

CARLTHORP ELEMENTARY SCHOOL SUPPORT SPACE IMPROVEMENTS



1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
310.399.7975
KFALOSANGELES.COM

CARLTHORP SCHOOL

SUPPORT SPACE IMPROVEMENTS

438 SAN VICENTE BLVD
SANTA MONICA, CA 90402

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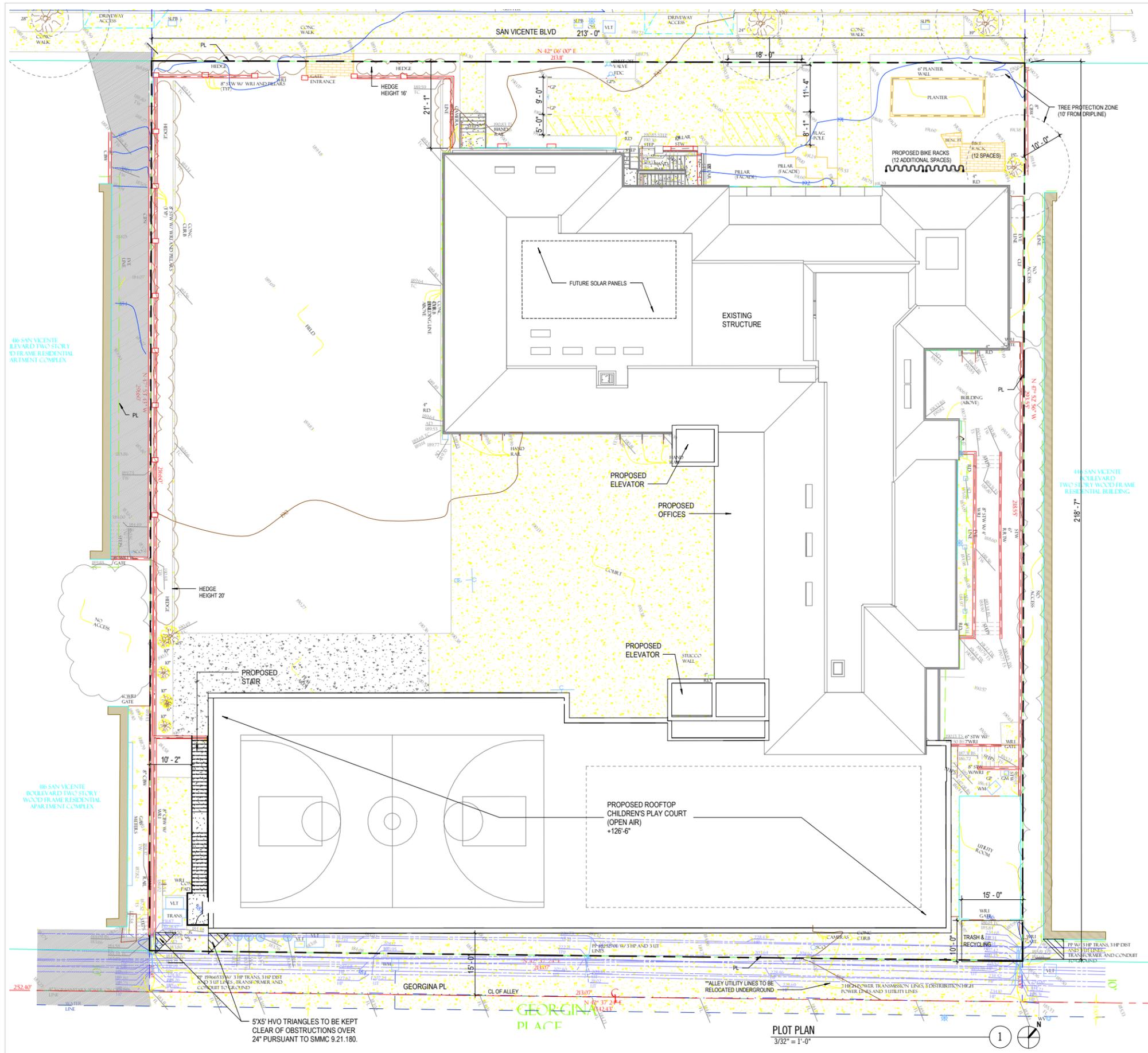
APPENDIX:

| | |
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DATE
COVER

SCALE
DATE
05.12.20
SHEET
00
ISSUE 12.04.08

**Application to Amend Existing CUP for Existing Elementary School



PROJECT INFORMATION

PROJECT NAME: CARLTHORP ELEMENTARY SCHOOL SUPPORT SPACE IMPROVEMENTS

ADDRESS: 438 SAN VICENTE BLVD. SANTA MONICA, CA 90402

OWNER: CARLTHORP SCHOOL

CONTACT: TIM KUSSEROW, HEAD OF SCHOOL (310)-451-1332

PROJECT DESCRIPTION: NEW MULTI-PURPOSE ROOM TO BE ADDED BELOW GRADE. AN ELEVATED PLAYCOURT TO BE ADDED ABOVE EXISTING GROUND-FLOOR CLASSROOMS ALONG REAR ALLEY, CONTIGUOUS WITH EXISTING UPPER LEVEL. NEW SCHOOL ADMINISTRATION OFFICES TO BE BUILT ALONG INTERIOR COURTYARD ABOVE EXISTING LUNCH SEATING AREA TO BE ENCLOSED. NO ADDITIONAL CLASSROOMS, ENROLLMENT CAPACITY OR FACULTY.

ZONING: R2 / SAN VICENTE BOULEVARD COURTYARD APARTMENTS HISTORIC DISTRICT
ELEMENTARY SCHOOL (K-6), GROUP E

EXISTING USE: NO CHANGE

PROPOSED USE: 40 STUDENTS PER GRADE, TYP.

EXISTING ENROLLMENT: NO CHANGE

PROPOSED ENROLLMENT: 8:00am - 3:00pm

EXISTING HOURS OF OPERATION: NO CHANGE

PROPOSED HOURS OF OPERATION: 46,362.50 SF

SITE PARCEL AREA:

MAIN LEVEL PARCEL COVERAGE
 EXISTING: 19,769 SF (42.6%)
 NEW: 1,120 SF (2.4%)
 EXISTING + NEW: 20,889 SF (45.06%)

UPPER LEVEL PARCEL COVERAGE
 EXISTING: 10,810 SF
 NEW: 1,263 SF
 EXISTING + NEW: 12,073 SF
 <90% OF MAIN LEVEL PARCEL AREA

MAXIMUM ALLOWABLE LOT COVERAGE: 45% (20,863 SF)

MAXIMUM ALLOWABLE HEIGHT FROM ANG: 30' ABOVE THE AVERAGE NATURAL GRADE

EXISTING HEIGHT: 30' ABOVE THE AVERAGE NATURAL GRADE

PROPOSED HEIGHT: NO CHANGE

EXISTING # OF CLASSROOMS: 22

PROPOSED # OF CLASSROOMS: NO CHANGE

REQUIRED PARKING: 2 PER CLASSROOM

EXISTING PARKING SPACES: 32 SPACES (+2 HANDICAPPED SPACED) TANDEM SPACES APP'D PER VAR95-022

PROPOSED PARKING SPACES: NO CHANGE

REQUIRED BIKE PARKING: 24 SHORT TERM (1.5 / STUDENT) 11 LONG TERM (0.5 / CLASSROOM)

EXISTING BIKE PARKING: BIKE RACK AT FRONT ENTRY (12 SPACES)

PROPOSED BIKE PARKING: 12 ADD'L SHORT TERM BIKE RACKS AT FRONT ENTRY 11 LONG TERM BIKE LOCKERS

REQUIRED SETBACKS: FRONT YARD: 20' SIDE YARD: 8' min (10' average) REAR YARD: 15' (to centerline of alley)

EXISTING SETBACKS: FRONT YARD: 21'-1" SIDE YARD: 16'-2" (west) 5'-8" (east) REAR YARD: 16'-4" (to centerline of alley)

PROPOSED SETBACKS: FRONT YARD: NO CHANGE SIDE YARD: 10'-4" (west) NO CHANGE (east) REAR YARD: 15'-0" (to centerline of alley)

FLOOD ZONE: FLOOD ZONE X

ANG: 185.69
183.77
190.36
+188.55
748.37 / 4 = 187.09 ANG

ON-SITE URBAN RUNOFF DETENTION/PERCOLATION SYSTEM TO BE ADDED AS REQUIRED PER CODE.



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PLOT PLAN

SCALE: As indicated
DATE: 05.12.20
SHEET: **A00**
02/09/2018

PLOT PLAN
3/32" = 1'-0"



5'X5' HVO TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS OVER 24" PURSUANT TO SMMC 9.21.180.



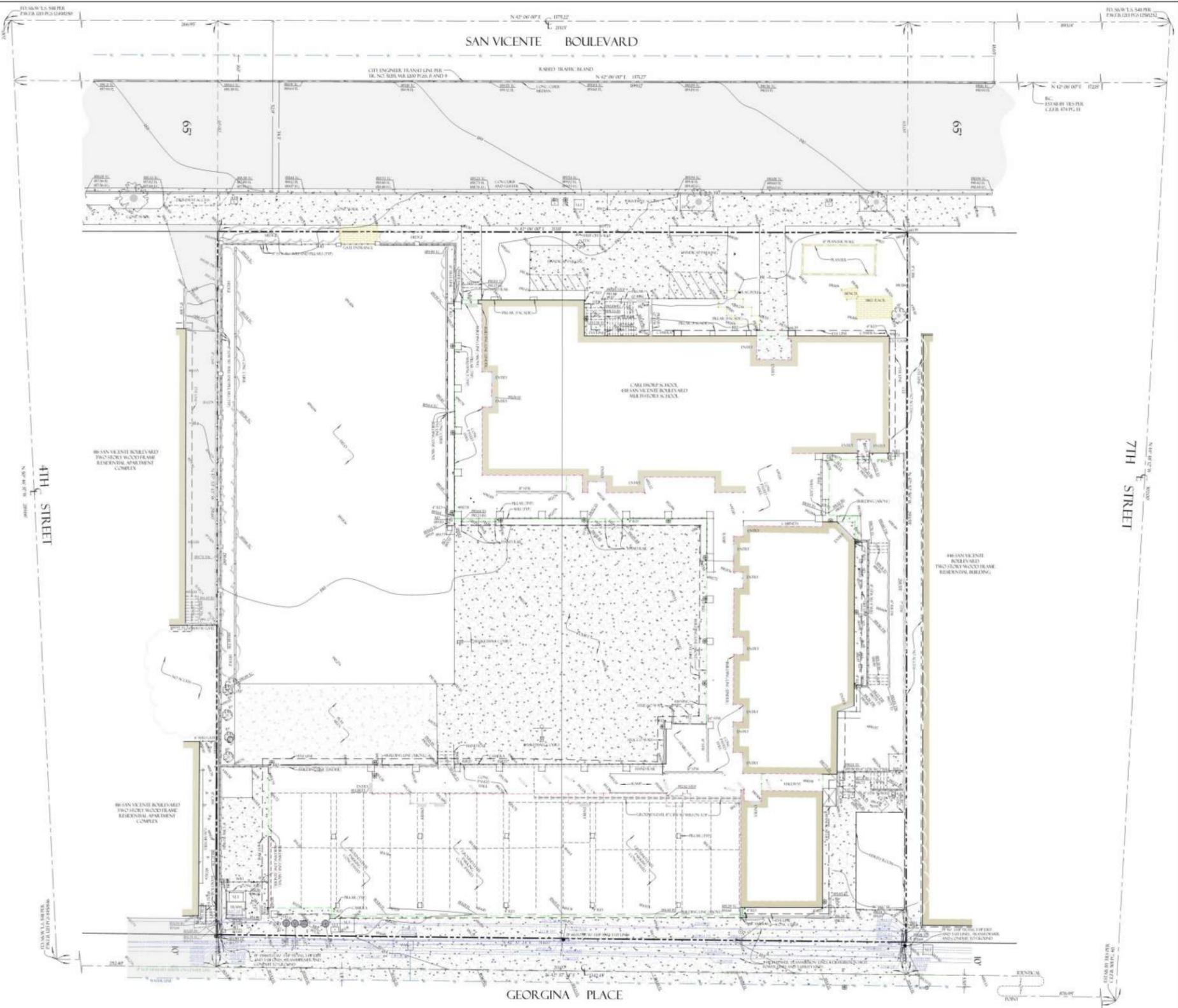
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0503 SITE SURVEY

SCALE
DATE 05.12.20
A001
05/20/2020 10:30 AM



SURVEYOR'S NOTES

- DATE OF SURVEY: MAY 25, 2020 AND JUNE 02, 2020
- SITE AREA: 46,320 SQ FT, OR 0.841 ACRES
- BOUNDARY BEARING: THE BEARING AND DISTANCE OF THE CENTERLINE OF SAN VICENTE BOULEVARD, AS SHOWN ON MAP OF TRACT NO. 102, AS PER MAP RECORDED IN BOOK 90 PAGES 13-17 OF MAPS, WAS TAKEN AS THE BASIS OF BEARING DATA FOR THIS MAP.
- VERTICAL DATUM: CITY OF SANTA MONICA MONOCENTRIC DATUM (MFM-10560 FT). DESC: THE NAME IS LOCATED ON THE CURB OF MADISON AVENUE EAST AT INTERSECTION OF MADISON STREET.
- UNDERGROUND UTILITIES: SHOWN HEREON AS PER CITY OF SANTA MONICA RECORDS AND PER FIELD LOCATIONS AS DETERMINED BY POINT MARKS ON THE PARCELS, AND CANNOT BE GUARANTEED FOR COMPLETENESS OR ACCURACY. THE LOCATIONS SHOWN BY THIS FIELD SURVEY ARE NOT TO BE USED FOR ANY EXCAVATING.
- ZONING: RESIDENTIAL DENSITY MEDIUM-FAMILY RESIDENTIAL.

SETBACK REQUIREMENTS

FRONT YARD SETBACK: 20 FT. (CITY)
SIDE YARD PARCELS SETBACK: 5 FT. OR MORE IN WIDTH (CITY)
REAR YARD SETBACK: 5 FT.

C. FRONT AND REAR SETBACKS

- THE FRONT YARD SETBACK, ON ALL SIDES, SHALL BE 20 FEET MEASURED FROM THE CENTERLINE OF THE HIGHWAY.
- ON THE REAR, AND ON EITHER SIDE, THE REAR YARD SETBACK SHALL BE AT LEAST 5 PERCENT OF THE PARCEL WIDTHED LESS THAN 5 FEET AND IS NOT REQUIRED TO EXCEED 5 FEET.
- WHERE A CORNER PARCEL IS AN E, R, L, OR R, A CORNER SETBACK SHALL BE AS REQUIRED BY THE CITY STREET SETBACKS SHALL BE AT LEAST HALF OF THE REQUIRED FRONT SETBACK IN THE ADJACENT BLOCK.

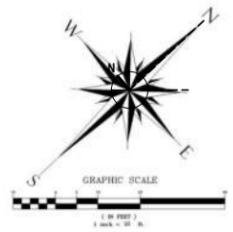
E. SPECIAL PROJECT DESIGN AND DEVELOPMENT STANDARDS

- THE NEW CONSTRUCTION OF OR NEW ADDITIONS TO EXISTING BUILDINGS SHALL COMPLY WITH THE FOLLOWING STANDARDS:
- ALL EXISTING FOUNDATION WALLS SHALL NOT BE LOCATED BELOW GRADE, AND ANY EXCAVATION TO ACCESS THE ENTRY SHALL BE PROVIDED.
- AN ADDITIONAL FRONT SETBACK BEYOND THE MINIMUM FRONT YARD SETBACK SET FORTH IN SECTION 17.02.02 SHALL BE REQUIRED AT LEAST TWENTY PERCENT OF THE WIDTH OF THE FRONT FACADE. THE SETBACK SHALL BE FULLY PROTRUDING INTO THE BUILDING THROUGH CONCRETE OR OTHER MATERIAL THAT SHALL NOT BE LOCATED AT THE FRONT OF THE BUILDING.
- ALL REQUIRED SETBACK SETBACKS SHALL BE OPEN TO THE SKY EXCEPT FOR PERMITTED ARCHITECTURAL PROJECTIONS CONTAINED IN SECTION 17.02.02.
- MEZZANINES SHALL BE CONSIDERED WITHIN THE BUILDING AND SHALL NOT APPEAR AS AN ADDITIONAL STORY ON THE EXTERIOR BUILDING FACADE.
- AN ADDITIONAL TWENTY PERCENT OVERAGE SETBACK FROM THE MINIMUM REQUIREMENT SET FORTH IN SECTION 17.02.02 SHALL BE PROVIDED AT EACH STORY SETBACK AREA GREATER THAN THE FIFTY PERCENT DEPTH FROM THE MINIMUM FRONT YARD SETBACK, OR THE AREA REQUIRED TO COMPLY WITH THE ADDITIONAL SETBACK REQUIREMENTS OF THIS SECTION, SHALL NOT BE USED TO VERIFY COMPLIANCE WITH THE REQUIREMENTS.

THIS REPORT IS ONLY A GUIDE. DEFINITIVE DIMENSIONS SHALL BE OBTAINED FROM THE ZONING CODE, CITY AND FROM CONSULTATION WITH THE DEPARTMENT OF BUILDING AND SAFETY.

7. LAND ZONE DATA:
RECORDING & COMMUNITY NO. 0601C
FASL NO. 0900
EFFECTIVE DATE: 09/26/08
AS NOTED:
ONLY A BOUND AND RECORDED COPY OF THIS SURVEY REPRESENTS A TRUE COPY OF OUR WORK. PRINTED AND COMPUTER GENERATED DIMENSIONS, FIELD OR OTHER MEASURES MUST BE COMPARED TO A BOUND AND RECORDED COPY TO VERIFY ACCURACY AND COMPLETENESS.

LEGAL DESCRIPTION:
SOUTH 1/4 OF SECTION 17, T. 11 N. R. 10 E. OF THE PALM BEACH TRACT IN THE CITY OF SANTA MONICA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 90, PAGE 13 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER, OF SAID COUNTY.



LEGEND:

| | | | |
|-----|--------------------------|-----|----------------------|
| AC | ASPHALT CONCRETE | BL | BUILDING |
| CEB | CITY ENGINEER FIELD MARK | CP | CONCRETE |
| CG | CONCRETE TO GROUND | CS | CONCRETE |
| CGC | CONCRETE | CSW | CONCRETE BLOCK WALL |
| CP | CONCRETE | ED | EDGE OF DITCH |
| ED | EDGE OF DITCH | EDB | EDGE OF BURIED |
| EDB | EDGE OF BURIED | FD | FOUNDATION |
| FD | FOUNDATION | FL | FLY LINE |
| FL | FLY LINE | GP | GARDEN PATH |
| GP | GARDEN PATH | GR | GRAVEL |
| GR | GRAVEL | LD | LAND DISTURBANCE |
| LD | LAND DISTURBANCE | PA | PAVING |
| PA | PAVING | PF | POWER POLE |
| PF | POWER POLE | PR | PRIVATE DRIVE |
| PR | PRIVATE DRIVE | PRB | PRIVATE DRIVE |
| PRB | PRIVATE DRIVE | PS | POST SIGN |
| PS | POST SIGN | RD | ROAD |
| RD | ROAD | RDW | ROADWAY |
| RDW | ROADWAY | RS | REINFORCED CONCRETE |
| RS | REINFORCED CONCRETE | SC | SOIL CUT |
| SC | SOIL CUT | SP | SPRINKLER |
| SP | SPRINKLER | SW | SEWER AND WASTEWATER |
| SW | SEWER AND WASTEWATER | SL | STEEL LIGHT PILLARS |
| SL | STEEL LIGHT PILLARS | TC | TOP OF CURB |
| TC | TOP OF CURB | UT | UTILITY |
| UT | UTILITY | V | VALVE |
| V | VALVE | W | WATER |
| W | WATER | WM | WATER MAIN |
| WM | WATER MAIN | WS | WATER SERVICE |
| WS | WATER SERVICE | WP | WATER PUMP |
| WP | WATER PUMP | WU | WATER UTILITY |



FOR DRAWING: 05/12/2020 10:30 AM
DRAWING: 05/12/2020 10:30 AM
DATE: 05/12/2020 10:30 AM



PREPARED FOR:
CARL H. SCHICK
1000 W. 10TH STREET, SUITE 100
SANTA MONICA, CA 90404

| DATE | REVISION |
|------|----------|
| | |
| | |
| | |

ARCHITECTURAL SURVEY
438 SAN VICENTE BOULEVARD
SANTA MONICA, CA
IACOBELLIS & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEY - SUBDIVISION - PROJECT & AMBRETTE
805 TAMPA AVENUE, SUITE 200, SANTA MONICA, CA 90401
TEL: 310.399.7975 FAX: 310.399.7975

DATE: 05.12.20
PROJECT NO.:
PROJECT NAME:
DRAWN BY:
CHECKED BY:
DATE: 05.12.20
SCALE: 1"=20'



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Proposed San Vicente Courtyard Apartments Historic District (Map courtesy of City of Santa Monica City Planning Division; edited by ARG, 2015)

SHEET
SITE CONTEXT

SCALE
DATE
05.12.20

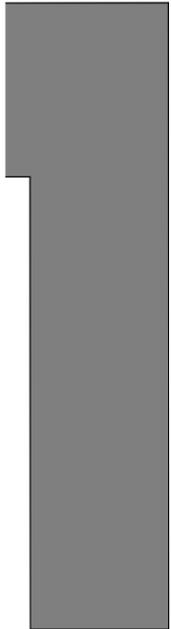
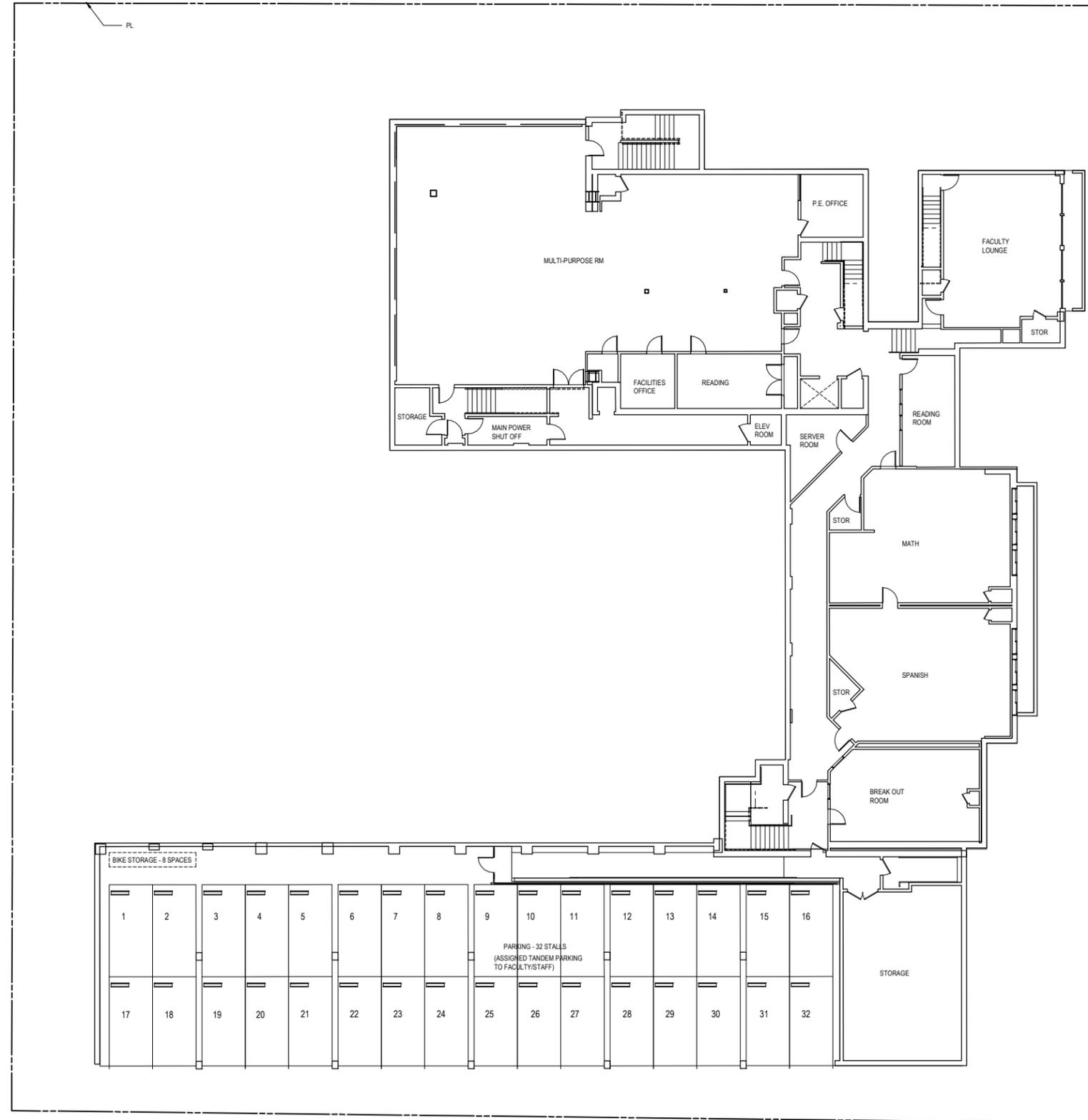
SHEET
A002

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LOWER LEVEL FLOOR PLAN - EXISTING
 3/32" = 1'-0"

1



LOWER LEVEL
 FLOOR - EXISTING

SCALE
 3/32" = 1'-0"

DATE
 05.12.20

SHEET
A100

9/20/19 11:20:08 AM



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MAIN LEVEL PLAN - EXISTING
 3/32" = 1'-0"

1



MAIN LEVEL PLAN
 - EXISTING

SCALE
 3/32" = 1'-0"
 DATE
 05.12.20

SHEET
A101

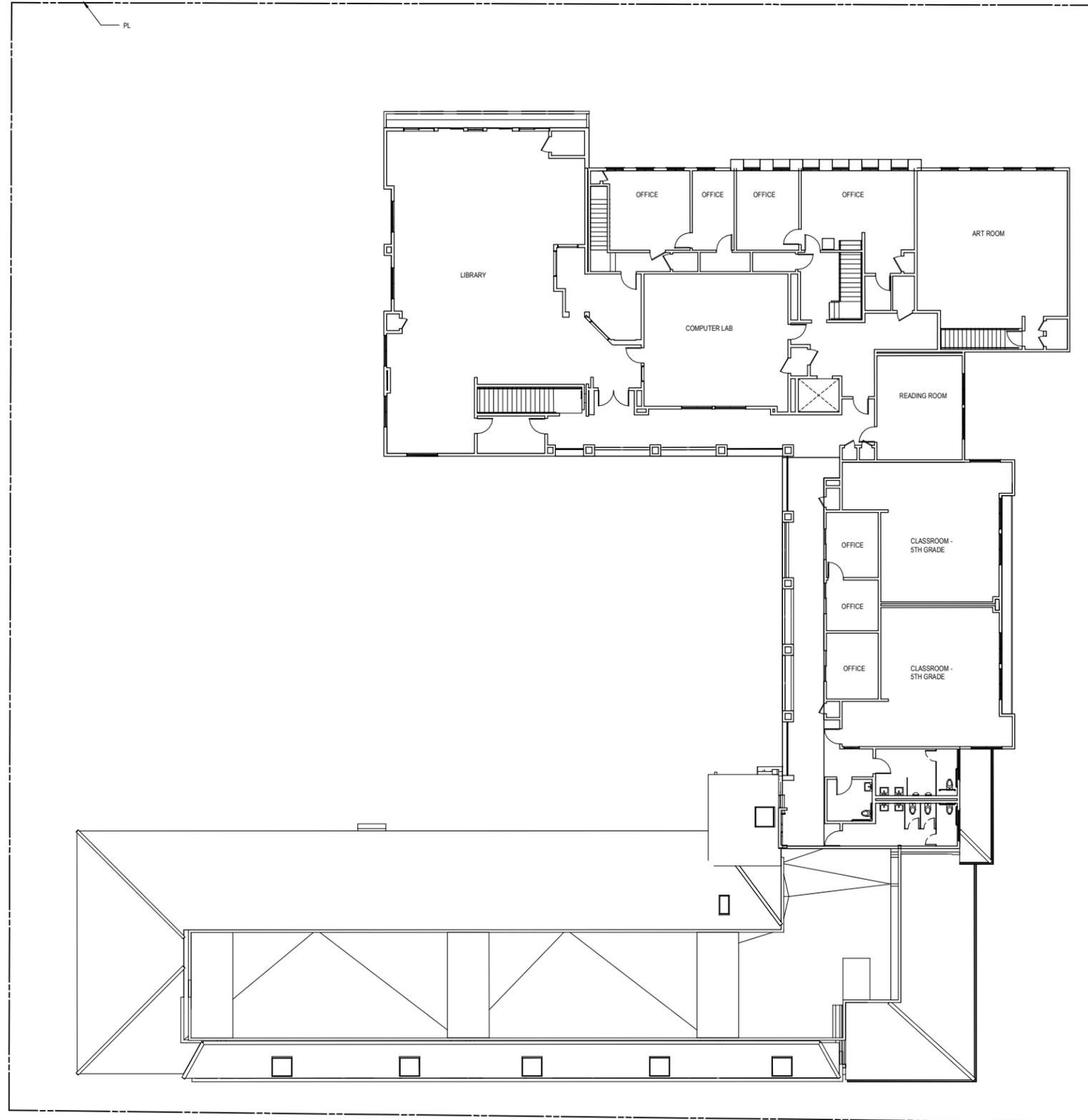
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UPPER LEVEL PLAN - EXISTING
3/32" = 1'-0"



UPPER LEVEL
PLAN - EXISTING

SCALE
3/32" = 1'-0"
DATE
05.12.20

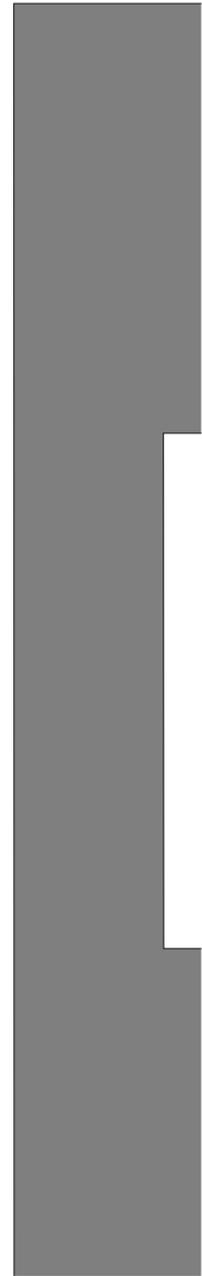
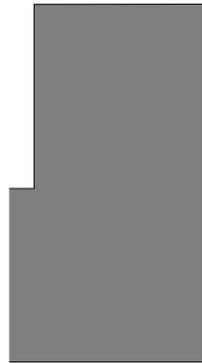
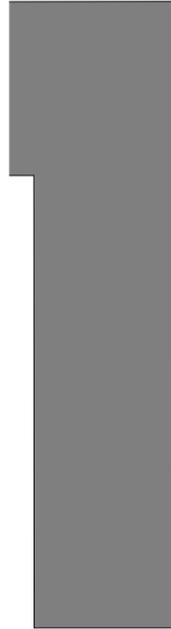
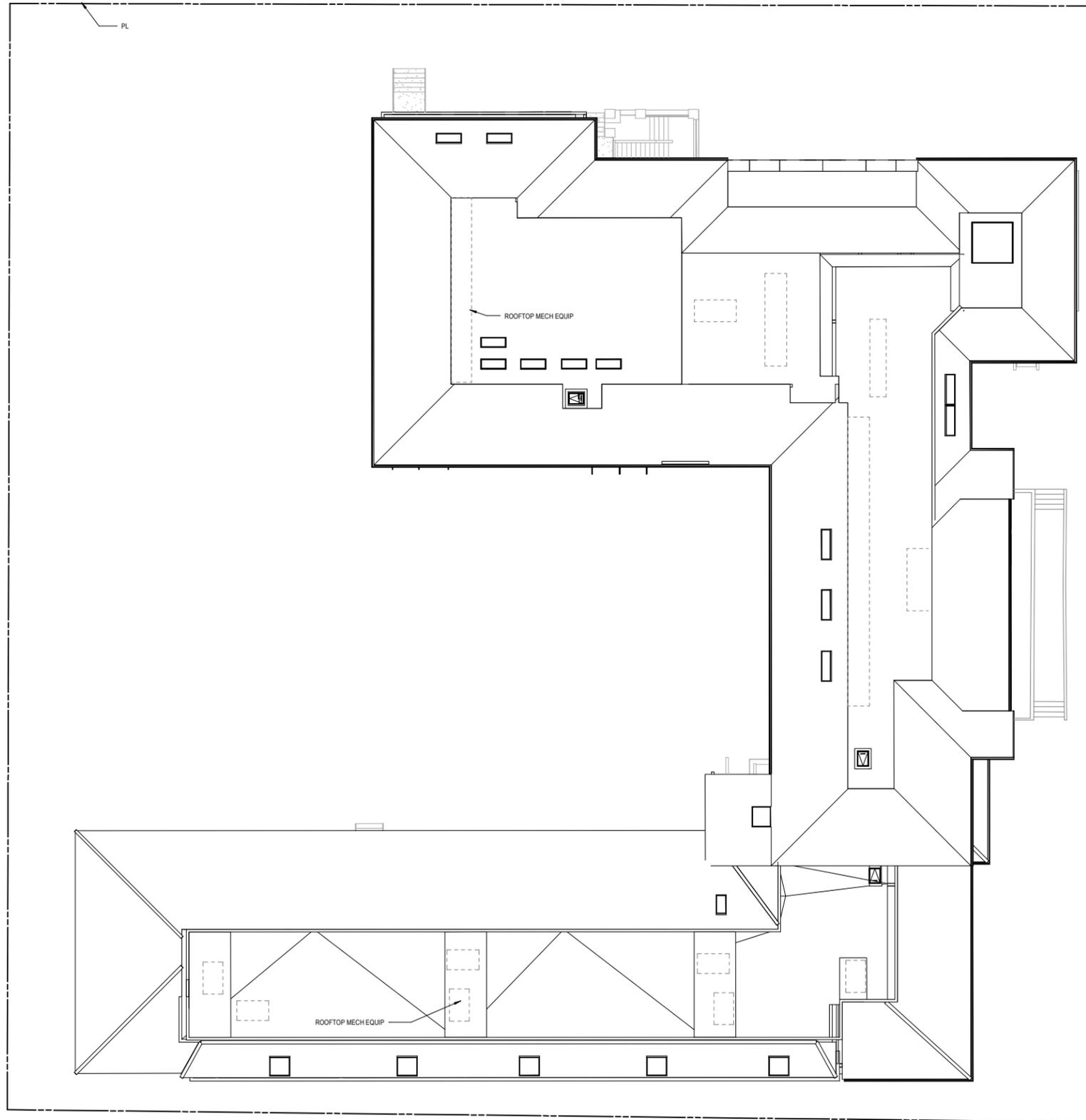
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VISION 11.2015.01



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ROOF PLAN - EXISTING
3/32" = 1'-0"



ROOF PLAN -
EXISTING

SCALE
3/32" = 1'-0"

DATE
05.12.20

SHEET
A103

VISION CONSULTING



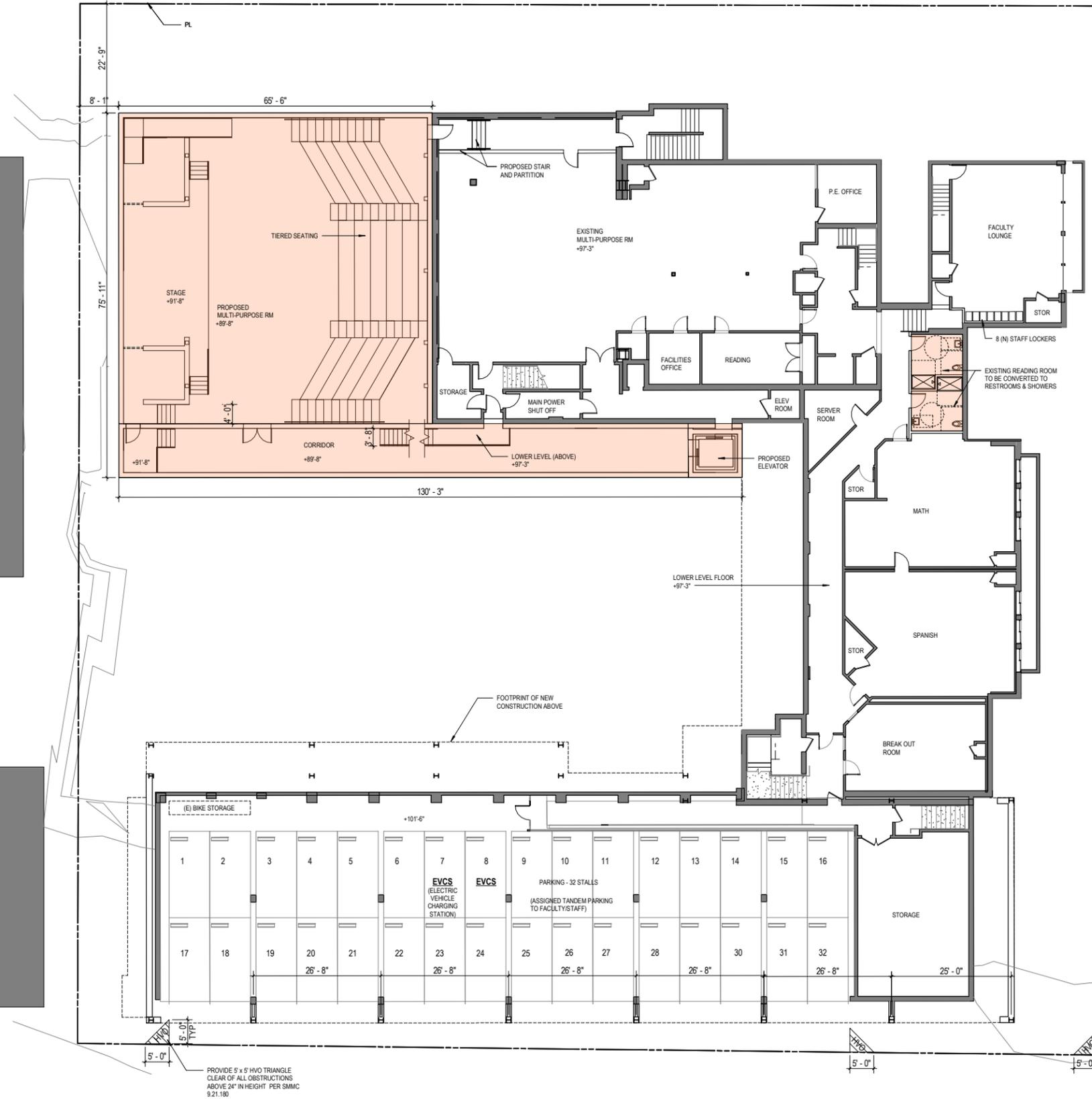
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LEGEND

INDICATES NEW CONSTRUCTION



PROVIDE 5' x 5' HVO TRIANGLE
CLEAR OF ALL OBSTRUCTIONS
ABOVE 24" IN HEIGHT PER SMMC
9.21.180

LOWER LEVEL FLOOR PLAN - PROPOSED
3/32" = 1'-0"



LOWER LEVEL FLOOR PLAN - PROPOSED

SCALE: As indicated
DATE: 05.12.20

SHEET: **A120**

02/20/2019 3:43:13 PM



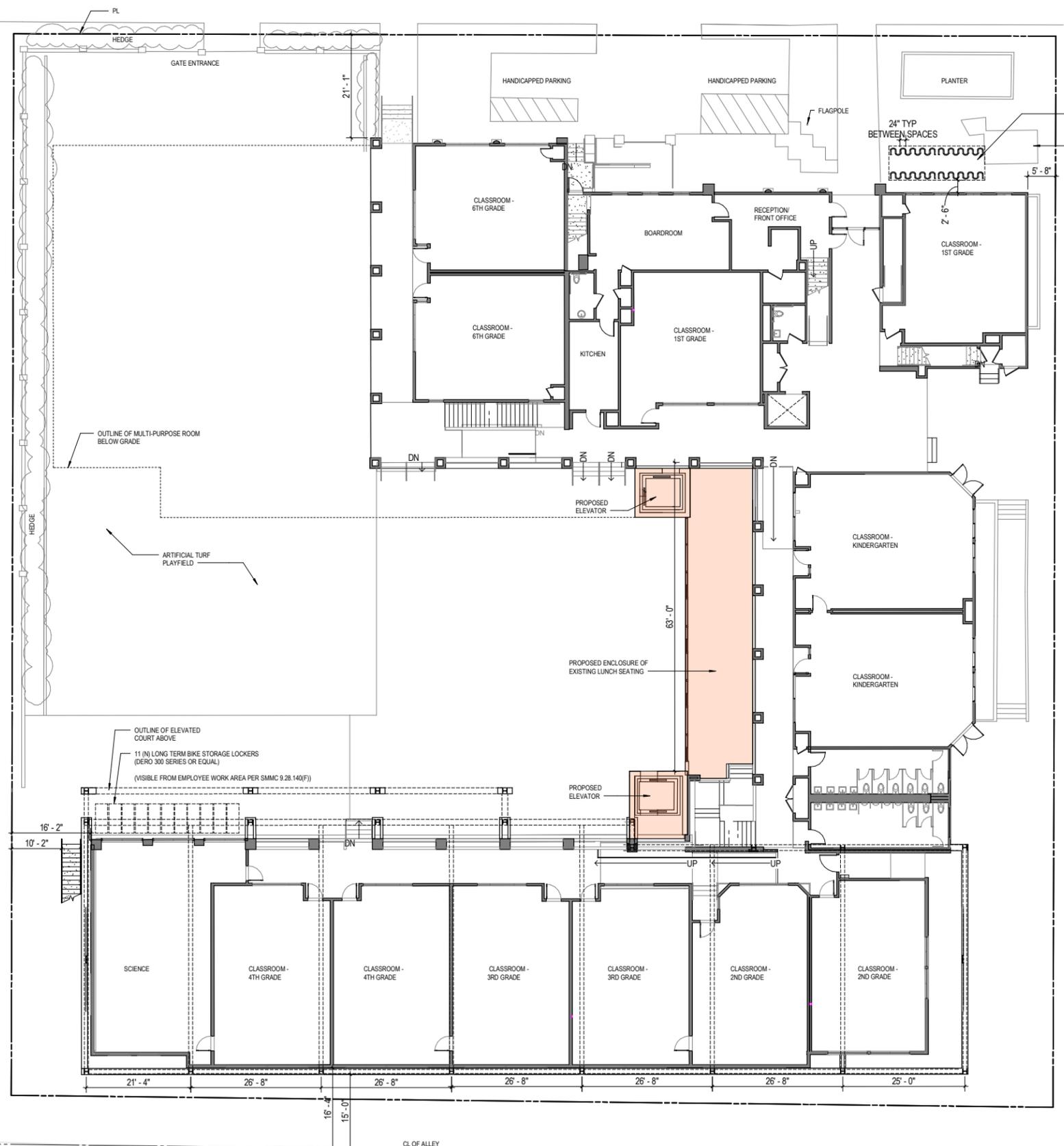
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LEGEND

 INDICATES NEW CONSTRUCTION



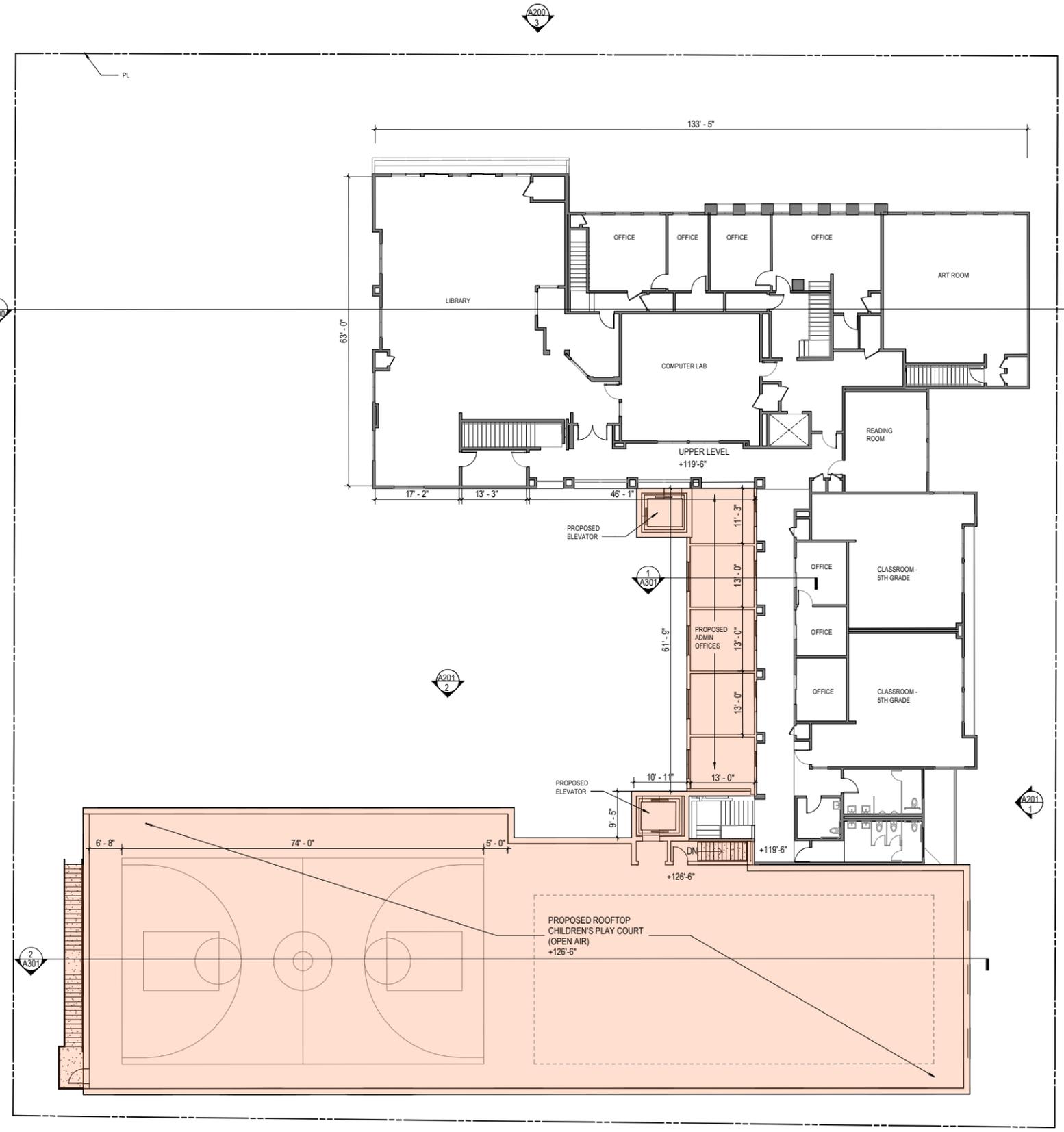
MAIN LEVEL PLAN - PROPOSED
3/32" = 1'-0"



SHEET
MAIN LEVEL PLAN - PROPOSED

SCALE
As indicated
DATE
05.12.20

SHEET
A121



NEW CONSTRUCTION



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UPPER LEVEL PLAN - PROPOSED
3/32" = 1'-0"

1

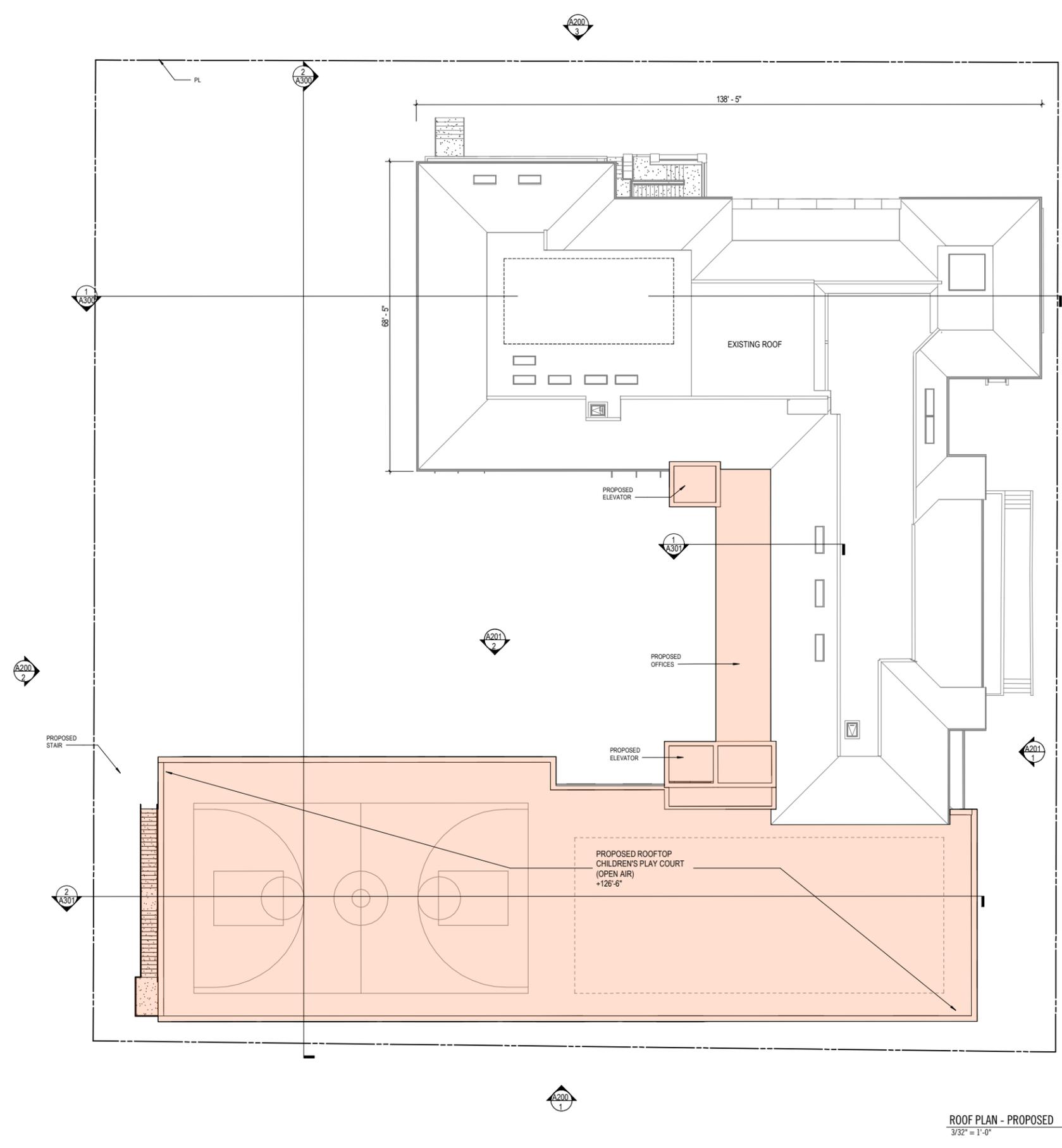


UPPER LEVEL
PLAN - PROPOSED

SCALE
As indicated
DATE
05.12.20

A122

9/20/19 11:29:58 AM



NEW CONSTRUCTION



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ROOF PLAN - PROPOSED
 3/32" = 1'-0"

1



ROOF PLAN - PROPOSED

SCALE: As indicated
 DATE: 05.12.20

A123



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NORTH ELEVATION - FROM SAN VICENTE
 1/8" = 1'-0" 3



WEST ELEVATION
 1/8" = 1'-0" 2



SOUTH ELEVATION
 1/8" = 1'-0" 1

ELEVATIONS

SCALE
 1/8" = 1'-0"

DATE
 05.12.20

SHEET
A200

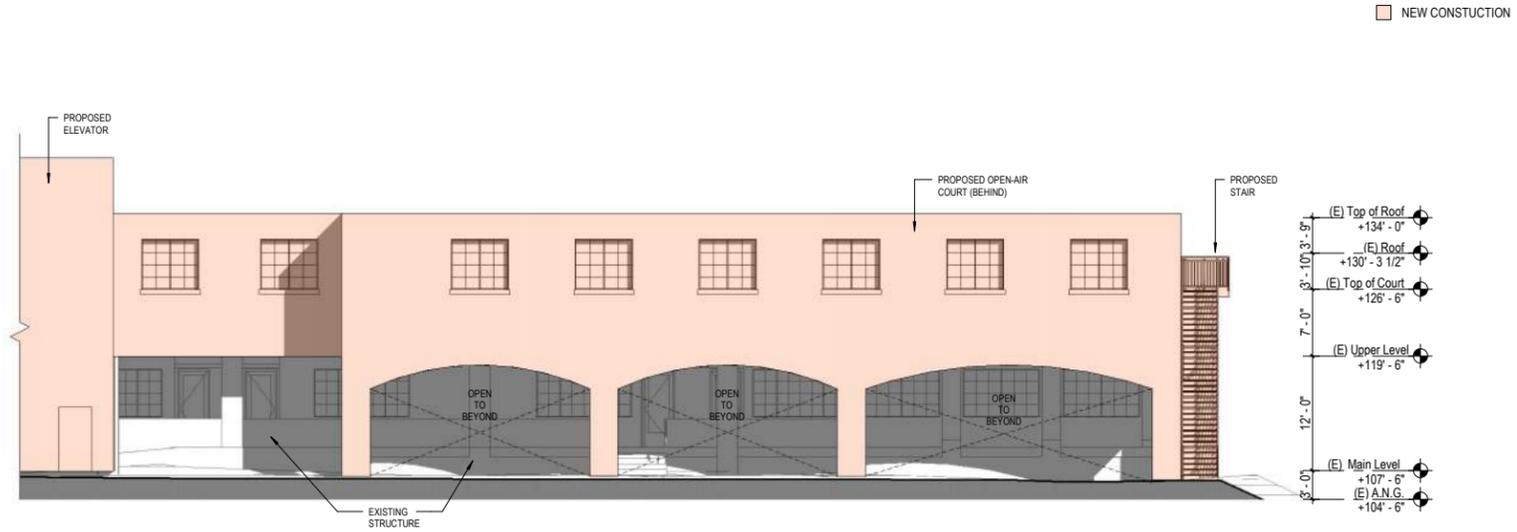
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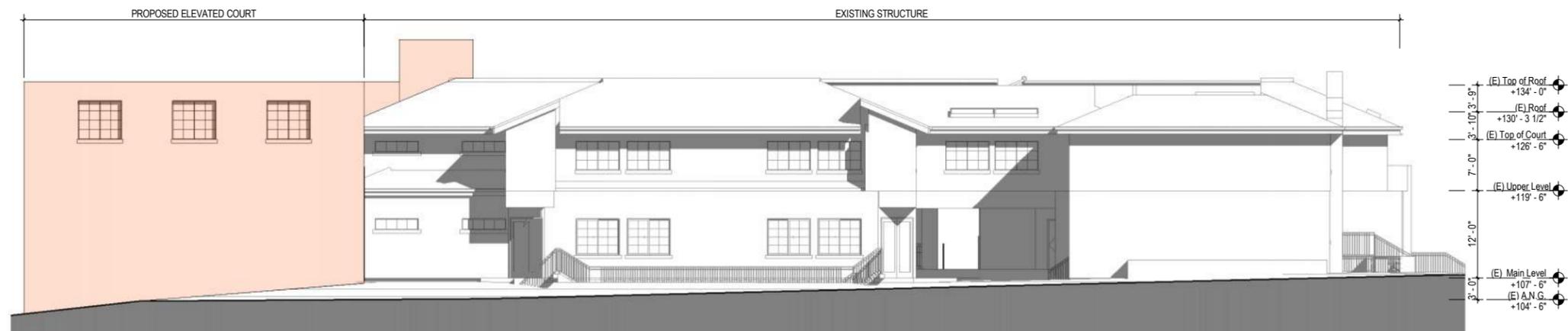
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NORTH ELEVATION - FROM COURTYARD
1/8" = 1'-0"

2



EAST ELEVATION
1/8" = 1'-0"

1

ELEVATIONS

SCALE
1/8" = 1'-0"
DATE
05.12.20

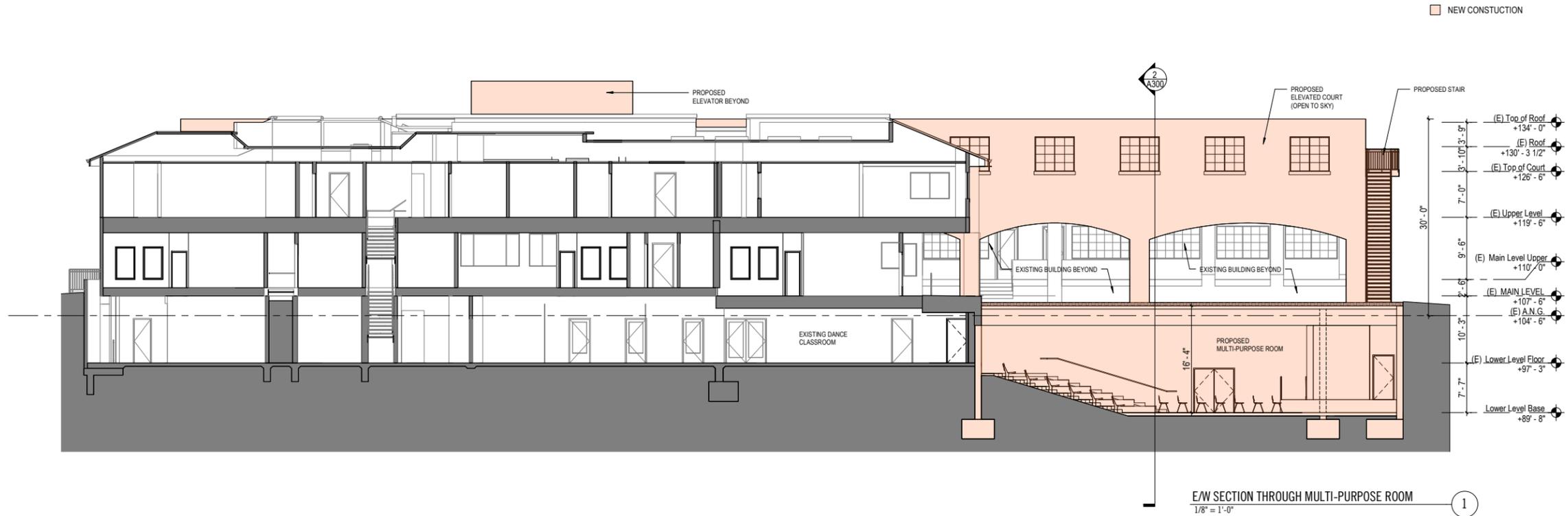
SHEET
A201

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E/W SECTION THROUGH MULTI-PURPOSE ROOM
 1/8" = 1'-0" 1



N/S SECTION THROUGH MULTI-PURPOSE ROOM &
 ELEVATED COURT
 1/8" = 1'-0" 2

SECTION

SCALE
 1/8" = 1'-0"
 DATE
 05.12.20

SHEET
A300
ISSUED FOR PERMIT

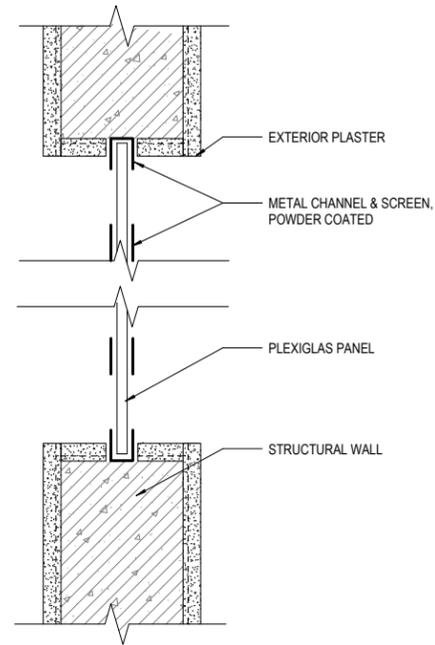


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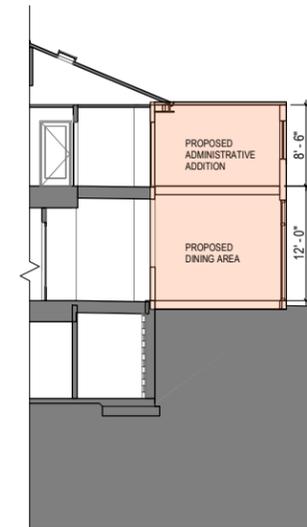
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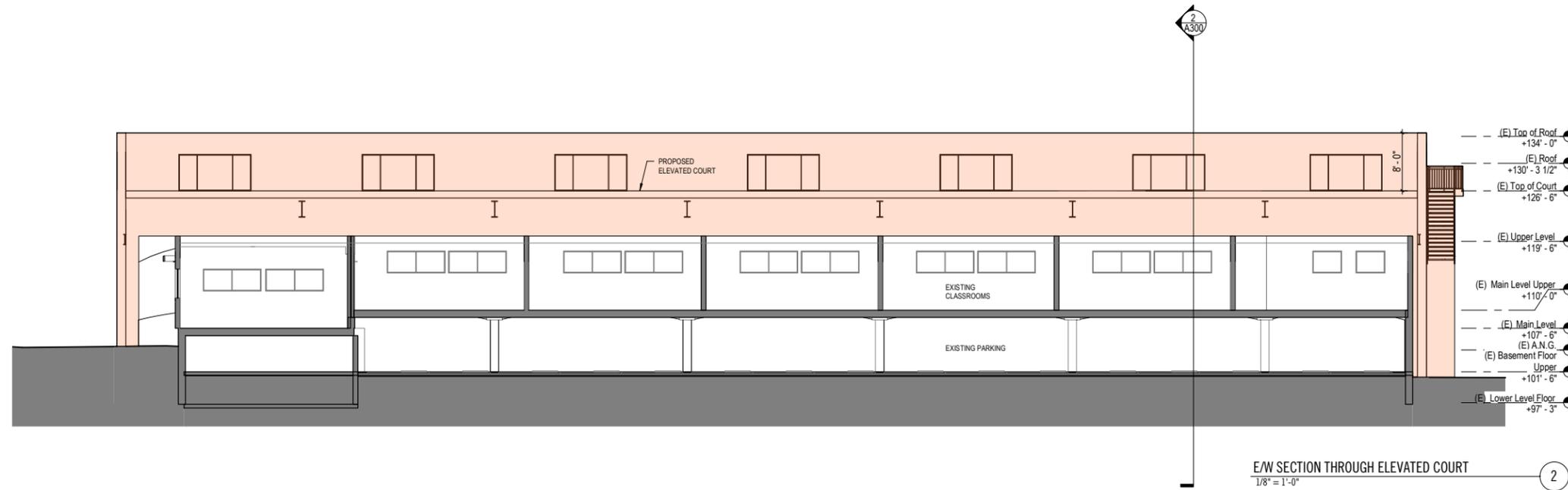
NEW CONSTRUCTION



PLAY COURT OPENING DETAIL
3" = 1'-0" 5



SECTION THROUGH ADMIN ADDITION
1/8" = 1'-0" 1



E/W SECTION THROUGH ELEVATED COURT
1/8" = 1'-0" 2

SECTIONS

SCALE
1/8" = 1'-0"

DATE
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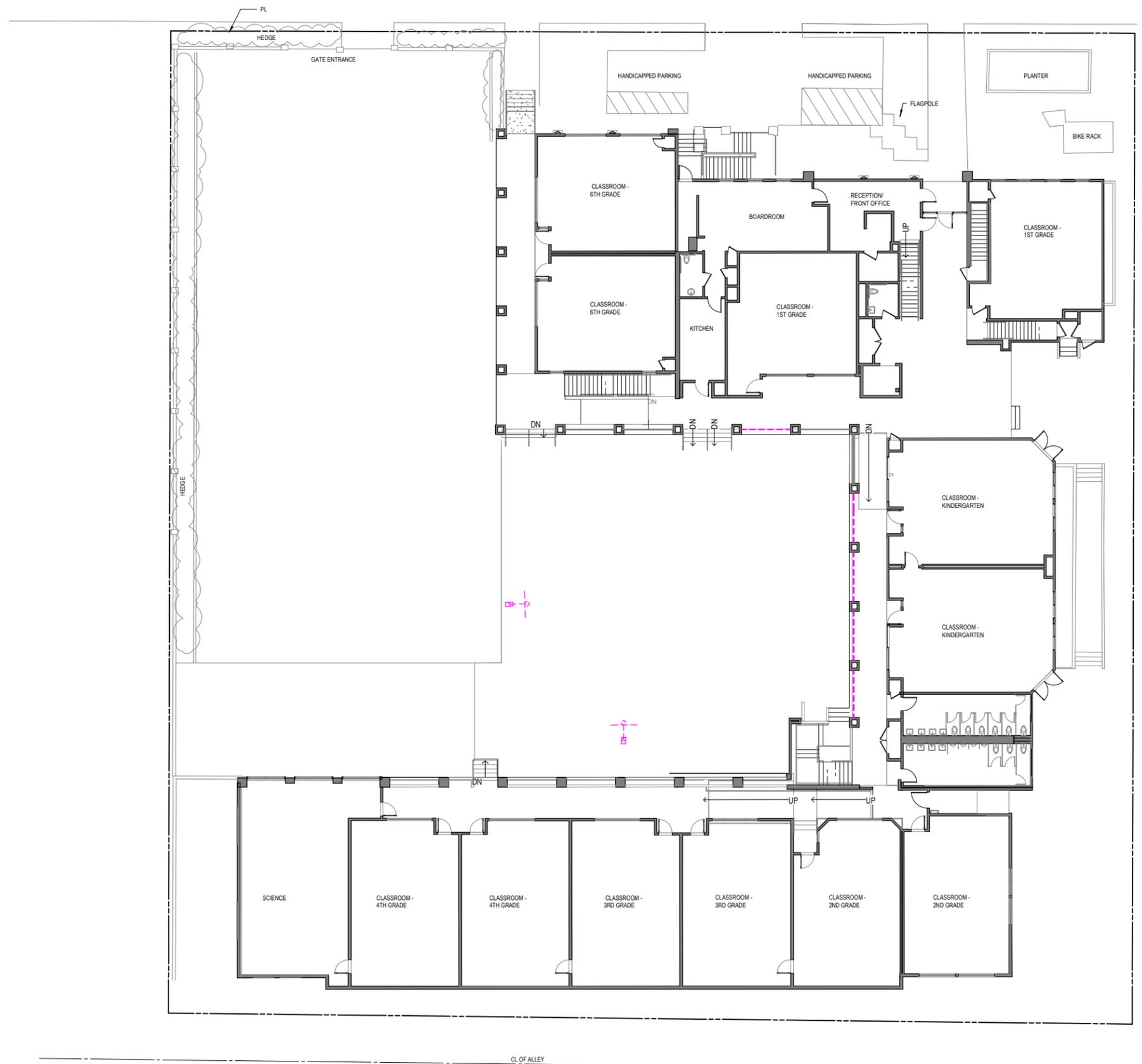


--- DEMOLISHED

LOWER LEVEL
 FLOOR PLAN -
 DEMO
 As indicated
 05.12.20
D100

LOWER LEVEL FLOOR PLAN - DEMO
 3/32" = 1'-0"





--- DEMOLISHED



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CARLTHORP SCHOOL

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SHEET
MAIN LEVEL PLAN - DEMO

SCALE
 As indicated
 DATE
 05.12.20

SHEET
D101
10/20/19 2:21:17 PM

MAIN LEVEL PLAN - DEMO
 3/32" = 1'-0"

1



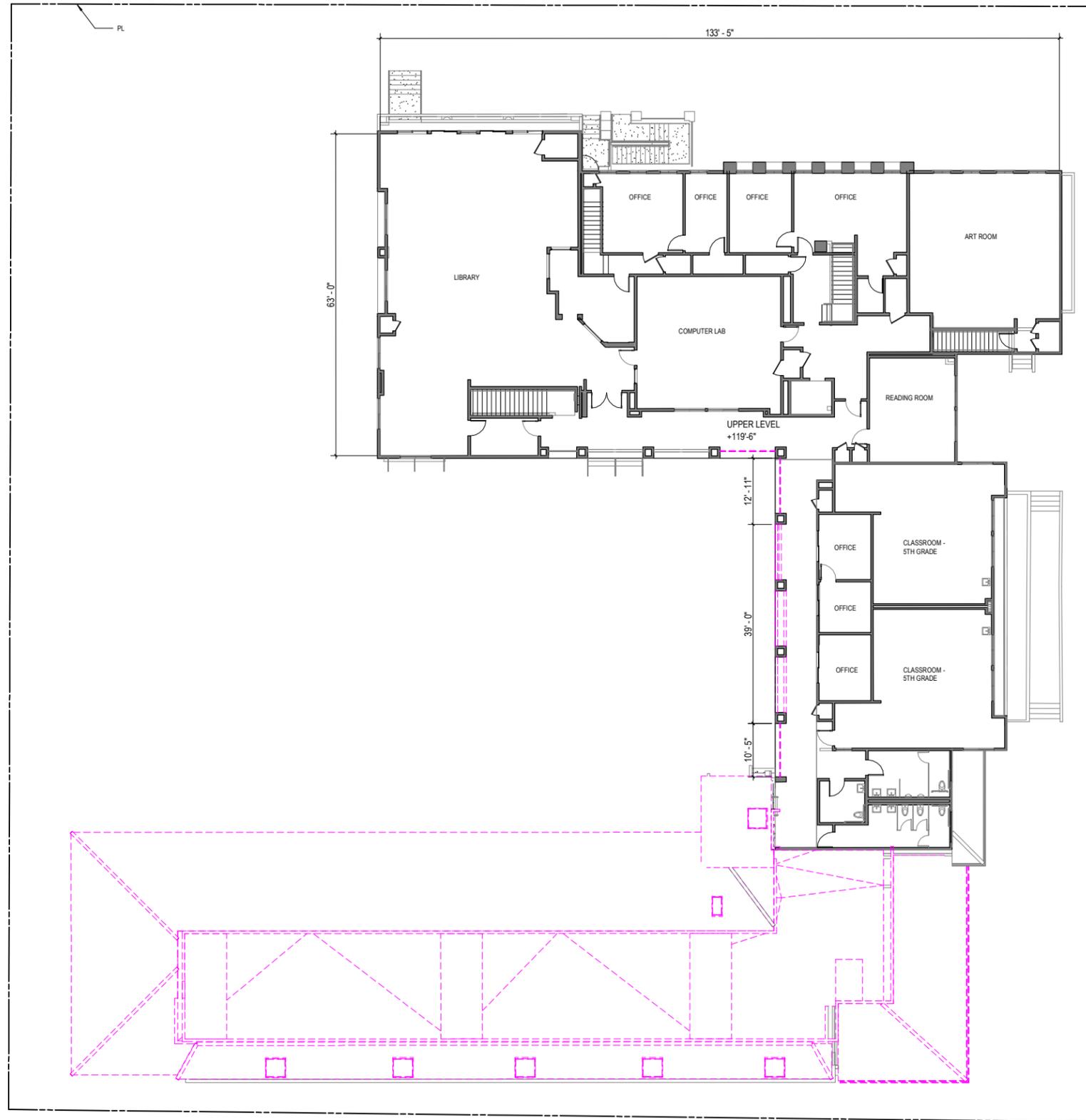


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--- DEMOLISHED



UPPER LEVEL PLAN - DEMO
3/32" = 1'-0"



UPPER LEVEL
PLAN - DEMO

As indicated
05.12.20

D102

10/10/11/2018

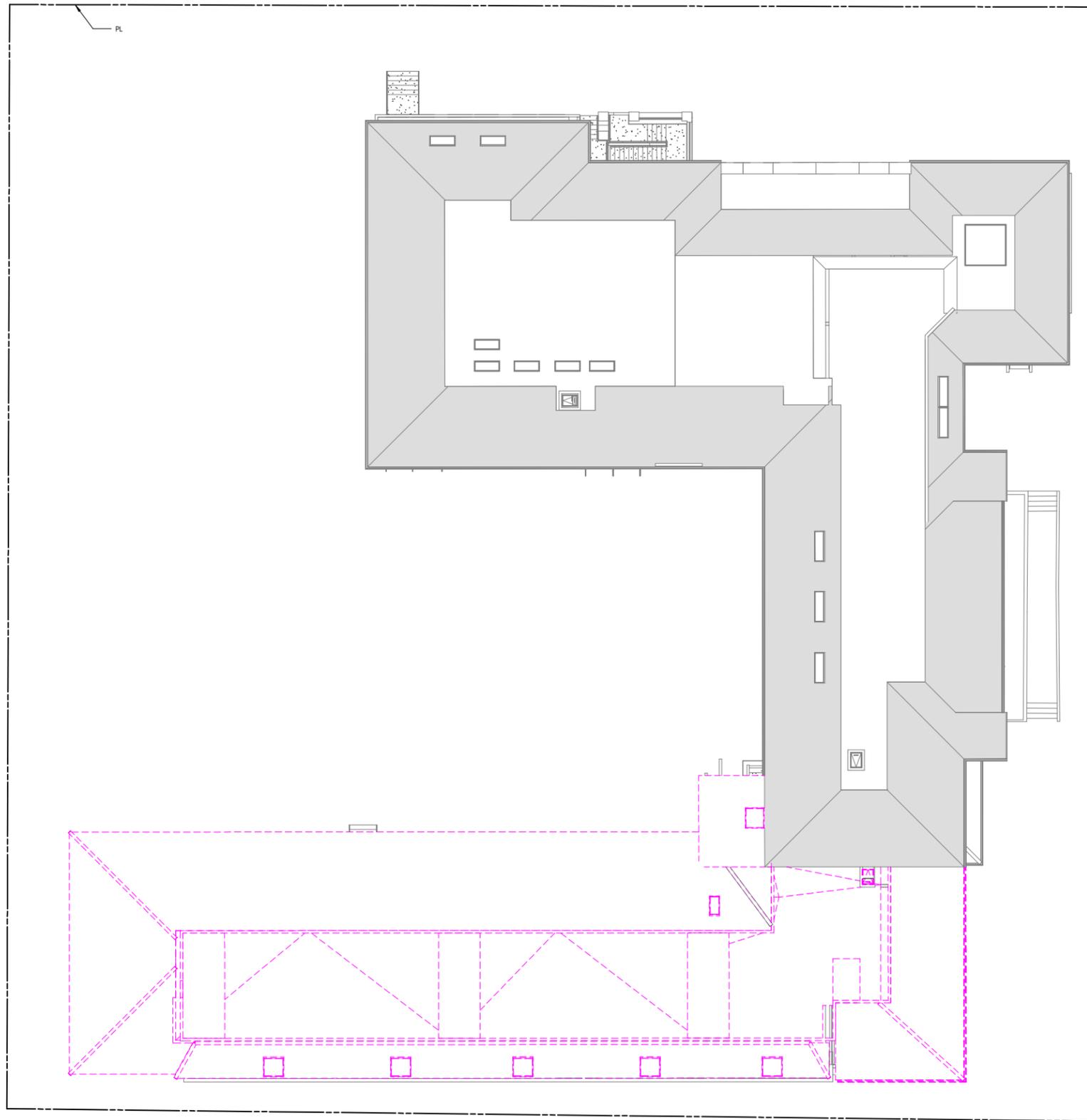


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--- DEMOLISHED



ROOF PLAN - DEMO
3/32" = 1'-0"

1



ROOF PLAN - DEMO

SCALE
As indicated
DATE
05.12.20

SHEET
D103

ISSUED FOR PERMIT



AERIAL VIEW - EXISTING + NEW CONSTRUCTION



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RENDERINGS

DATE
05.12.20

SHEET
AP.01

DESIGN STUDIO, INC.



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VIEW FROM CENTRAL COURTYARD - EXISTING + NEW CONSTRUCTION

RENDERINGS

DATE
05.12.20

AP.02

DESIGN STUDIO



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SITE PLAN - EXISTING + NEW CONSTRUCTION

RENDERINGS

DATE
05.12.20

SHEET
AP.03

DESIGN STUDIO



COURTYARD VIEW LOOKING SOUTHWEST



COURTYARD VIEW LOOKING NORTHWEST



COURTYARD VIEW LOOKING SOUTHEAST



COURTYARD VIEW LOOKING NORTHWEST TOWARD SAN VICENTE



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SHEET
SITE PHOTOS

SCALE
 DATE
 05.12.20

SHEET
AP.04
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EAST SIDE OF SITE



SOUTH SIDE OF SITE - GEORGINA PL N ACCESS TO PARKING



EAST SIDE OF SITE



SOUTH SIDE OF SITE - GEORGINA PL N, ACCESS TO PARKING



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SITE
SITE PHOTOS

SCALE
DATE
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SHEET
AP.05
DESIGN DEVELOPMENT



WEST SIDE OF SITE



VIEW FROM SAN VICENTE



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SHEET
SITE PHOTOS

SCALE
DATE
05.12.20

SHEET
AP.06
DESIGN DEVELOPMENT



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PRECEDENT
 IMAGERY

DATE
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SHEET
AP.07

DESIGN TEAM



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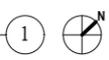
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PROVIDE 5' x 5' HYD TRIANGLE
CLEAR OF ALL OBSTRUCTIONS
ABOVE 24" IN HEIGHT PER SMMC
9.21.180

LOWER LEVEL PLAN - PROPOSED
3/32" = 1'-0"



LOWER LEVEL PLAN
- PROPOSED

SCALE: As indicated
DATE: 05.12.20

SHEET: **A120**



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MAIN LEVEL PLAN - PROPOSED
3/32" = 1'-0"



MAIN LEVEL PLAN - PROPOSED

SCALE: As indicated
DATE: 05.12.20

SHEET: A121



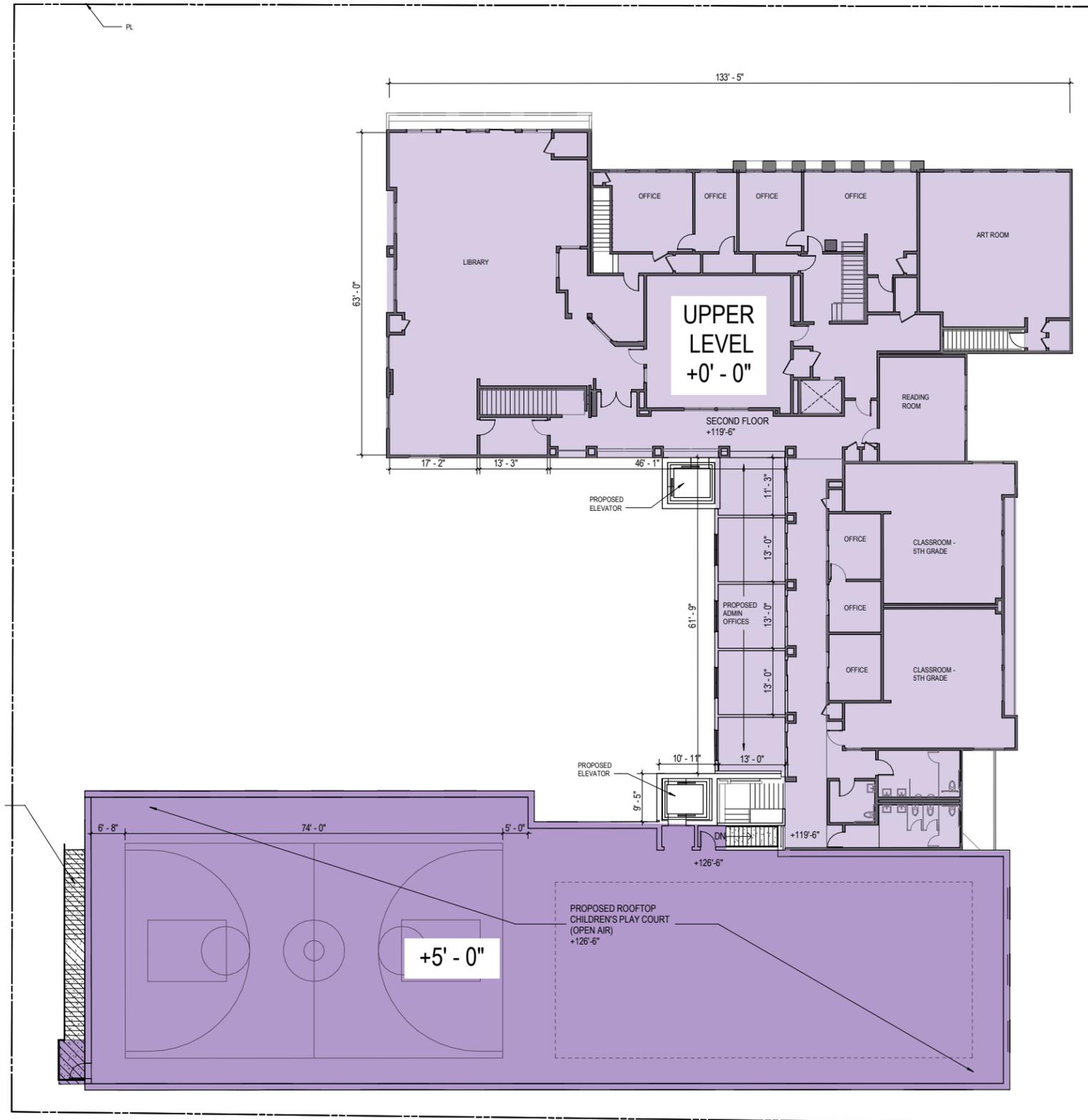
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LEGEND

INDICATES NEW CONSTRUCTION



UPPER LEVEL PLAN - PROPOSED
3/32" = 1'-0"



UPPER LEVEL PLAN
- PROPOSED

SCALE
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DATE
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SHEET
A122

DATE PLOTTED



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FOR PURPOSES OF CODE COMPLIANCE

PARCEL COVERAGE CALCULATIONS

MAIN LEVEL:

 **EXISTING PARCEL COVERAGE:** 19,769 SF

 **NEW PARCEL COVERAGE:**
NEW ENCLOSED LUNCH SEATING = 844 SF
NEW ELEVATORS = 276 SF
TOTAL NEW MAIN LEVEL PARCEL COVERAGE = 1,120 SF

TOTAL MAIN LEVEL PARCEL COVERAGE:
EXISTING = 19,769 SF
NEW = 1,120 SF

TOTAL (EXISTING + NEW) = 20,889 SF

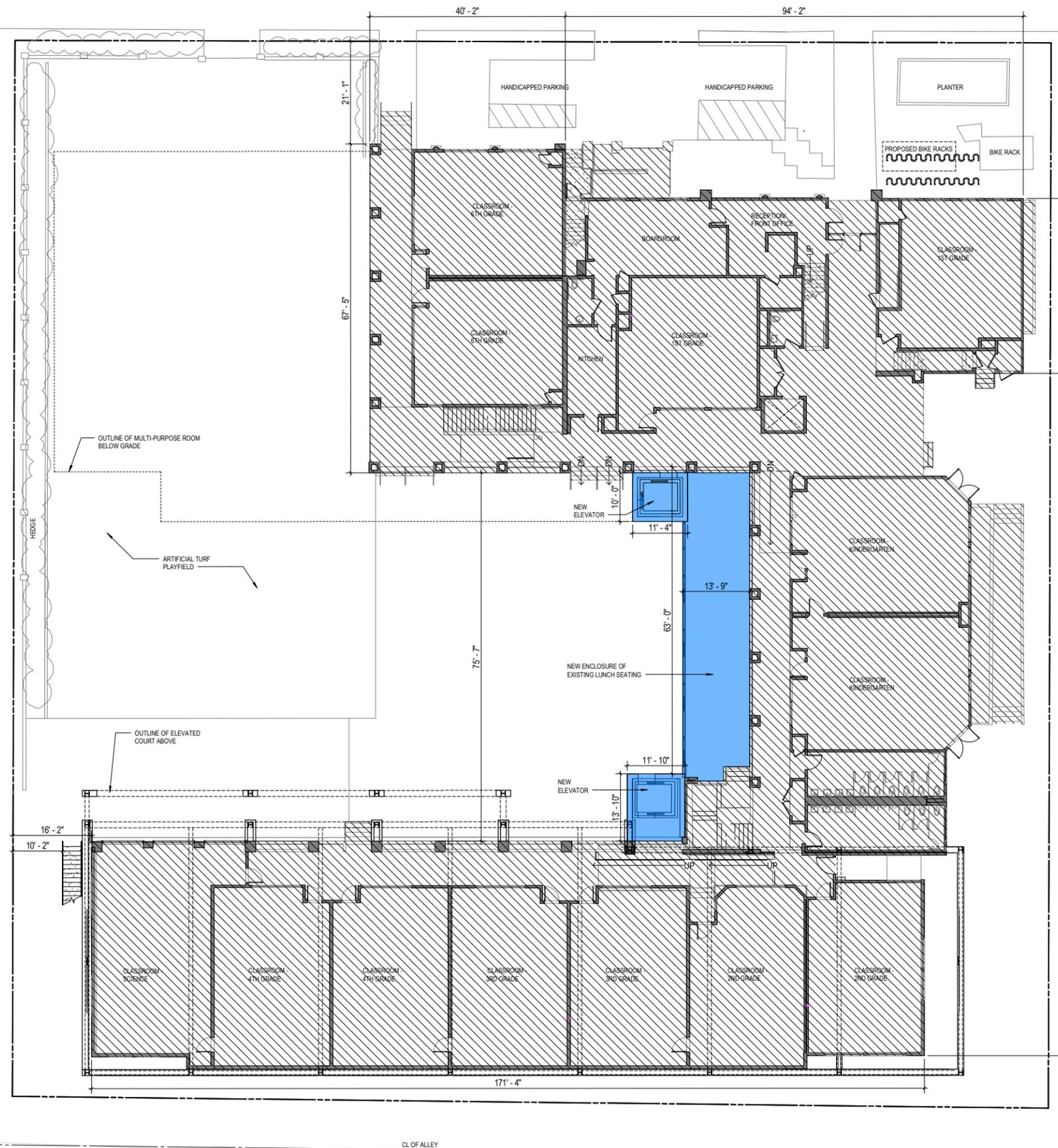
TOTAL PARCEL AREA FROM SURVEY: 46,362.50 SF
EXISTING MAIN LEVEL PARCEL COVERAGE: 19,769 SF (43% OF PARCEL AREA)

NEW MAIN LEVEL PARCEL COVERAGE: 1,120 SF (2.4 % OF PARCEL AREA)

TOTAL MAIN LEVEL PARCEL COVERAGE (NEW + EXISTING): 20,889 SF (45.06 % OF PARCEL AREA)

NOTE: THE CLASSROOMS ALONG THE REAR ALLEY ARE TREATED AS THE MAIN LEVEL FOR PURPOSES OF THIS CALCULATION OF PARCEL COVERAGE.

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MAIN LEVEL PLAN - NEW + EXISTING
3/32" = 1'-0"



MAIN LEVEL PLAN - PARCEL COVERAGE

SCALE: As indicated
DATE: 05.18.20

A121-B



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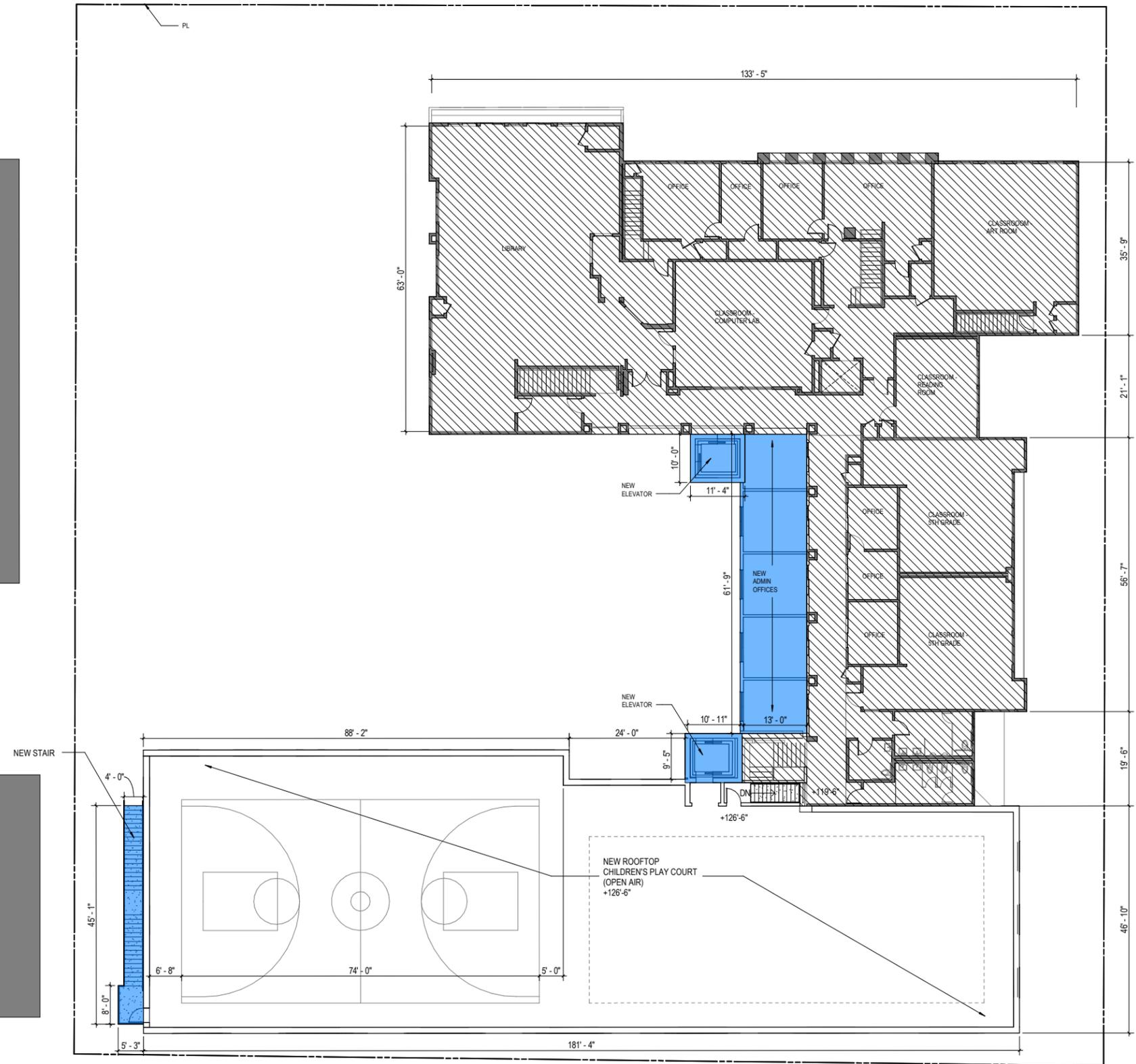
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FOR PURPOSES OF CODE COMPLIANCE

PARCEL COVERAGE CALCULATIONS

| | |
|--|--|
| UPPER LEVEL: | |
|  | EXISTING PARCEL COVERAGE: 10,810 SF |
|  | NEW PARCEL COVERAGE: |
| | NEW ADMIN OFFICES = 840 SF |
| | NEW ELEVATORS = 233 SF |
| | NEW STAIR = 190 SF |
| | TOTAL NEW UPPER LEVEL PARCEL COVERAGE = 1,263 SF |
| TOTAL UPPER LEVEL PARCEL COVERAGE: | |
| | EXISTING = 10,810 SF |
| | NEW = 1,263 SF |
| | TOTAL (EXISTING + NEW) = 12,073 SF |
| MAIN LEVEL PARCEL COVERAGE ALLOWED BY CODE: | |
| | 46,362.50 SF |
| | x .45 |
| | 20,863.13 SF |
| 90% OF MAIN LEVEL PARCEL COVERAGE ALLOWED BY CODE: | |
| | 20,863.13 SF |
| | x .90 |
| | 18,776.82 SF |
| TOTAL UPPER LEVEL PARCEL COVERAGE: (NEW + EXISTING) | |
| | 12,073 SF |
| | (< 90% OF MAIN LEVEL PARCEL AREA) |
| NOTE: THE OUTDOOR PLAYCOURT IS EXCLUDED FROM UPPER LEVEL PARCEL COVERAGE PER SMCC 9.04.100(G). | |



UPPER LEVEL PLAN - NEW + EXISTING
3/32" = 1'-0"



UPPER LEVEL PLAN
- PARCEL
COVERAGE
SCALE
As indicated
DATE
05.18.20
SHEET
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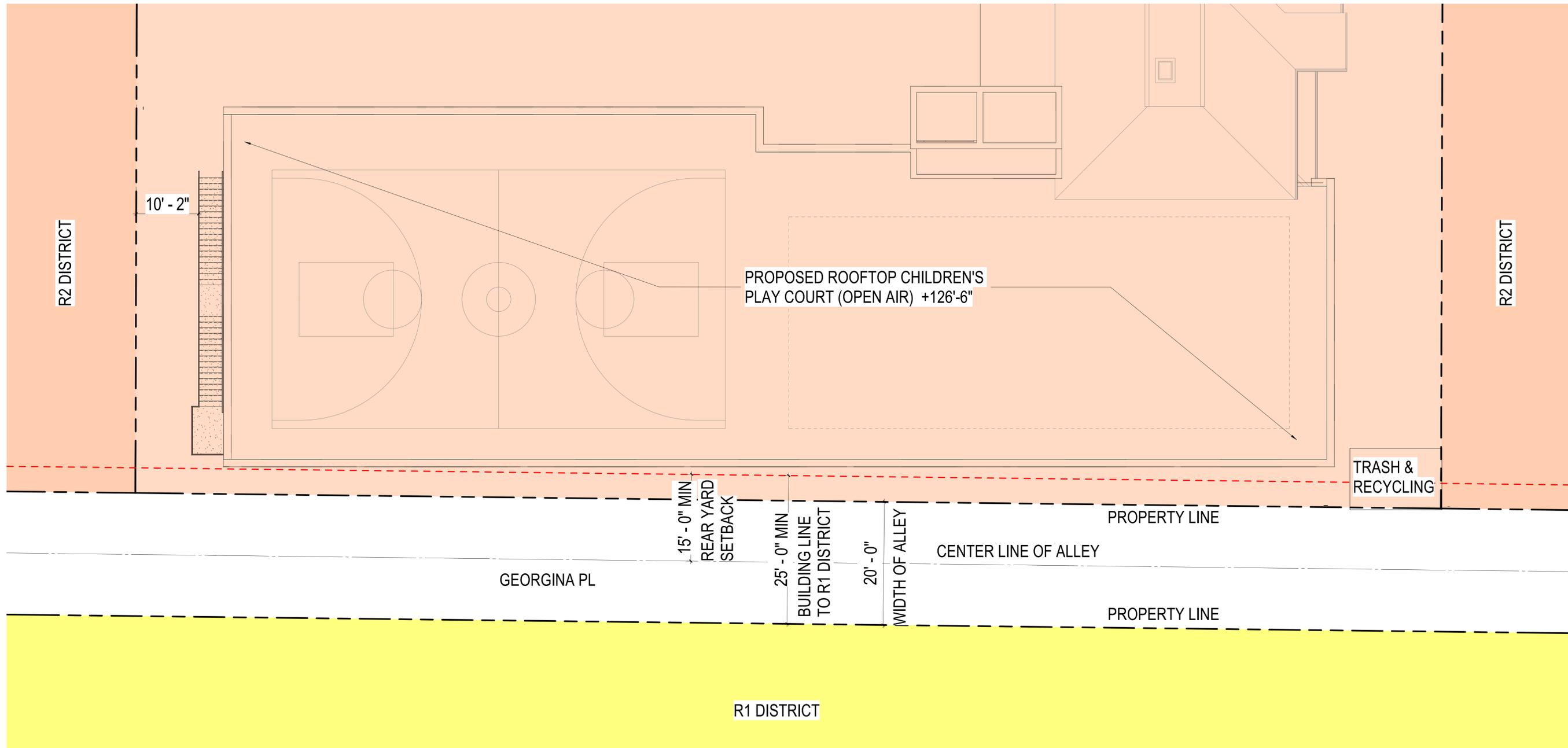


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SITE PLAN
1/8" = 1'-0"

1



ZONING PLAN
NTS

2

SITE PLAN ALLEY SETBACKS

SCALE
1/8" = 1'-0"
DATE
06.29.20

SHEET
EX 03

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** FOR PURPOSES OF CEQA EXEMPTION

PROPOSED FLOOR AREA CALCULATIONS:

LOWER LEVEL:

- NEW SECOND MULTI - PURPOSE ROOM = 3,819 SF
- NEW LOWER LEVEL CORRIDOR = 974 SF
- TOTAL NEW LOWER LEVEL FLOOR AREA = 4,793 SF

MAIN LEVEL:

- ENCLOSED LUNCH SEATING = 844 SF

UPPER LEVEL:

- NEW ADMINISTRATIVE OFFICES = 840 SF

TOTAL NEW PROPOSED FLOOR AREA: 6,477 SF
(< 25% OF EXISTING FLOOR AREA)

EXISTING FLOOR AREA CALCULATIONS:

LOWER LEVEL: 16,303 SF **

MAIN LEVEL: 14,258 SF

UPPER LEVEL: 10,013 SF

TOTAL EXISTING FLOOR AREA: 40,574 SF

TOTAL NEW PROPOSED FLOOR AREA = 16% OF TOTAL EXISTING FLOOR AREA

EXISTING # OF CLASSROOMS = 22
PROPOSED # OF CLASSROOMS = NO CHANGE

** COVERED PARKING INCLUDED IN EXISTING FLOOR AREA CALCULATION



LOWER LEVEL FLOOR PLAN - NEW + EXISTING
3/32" = 1'-0" 1



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** FOR PURPOSES OF CEQA EXEMPTION

| | |
|--|---|
| | NEW PROPOSED FLOOR AREA |
| | EXISTING FLOOR AREA |
| PROPOSED FLOOR AREA CALCULATIONS: | |
| LOWER LEVEL: | |
| NEW SECOND MULTI - PURPOSE ROOM = 3,819 SF | |
| NEW LOWER LEVEL CORRIDOR = 974 SF | |
| TOTAL NEW LOWER LEVEL FLOOR AREA = 4,793 SF | |
| MAIN LEVEL: | |
| ENCLOSED LUNCH SEATING = 844 SF | |
| UPPER LEVEL: | |
| NEW ADMINISTRATIVE OFFICES = 840 SF | |
| TOTAL NEW PROPOSED FLOOR AREA: | 6,477 SF |
| (< 25% OF EXISTING FLOOR AREA) | |
| EXISTING FLOOR AREA CALCULATIONS: | |
| LOWER LEVEL: | 16,303 SF ** |
| MAIN LEVEL: | 14,258 SF |
| UPPER LEVEL: | 10,013 SF |
| TOTAL EXISTING FLOOR AREA: | 40,574 SF |
| TOTAL NEW PROPOSED FLOOR AREA = | 16% OF TOTAL EXISTING FLOOR AREA |
| EXISTING # OF CLASSROOMS = 22 | |
| PROPOSED # OF CLASSROOMS = NO CHANGE | |
| ** COVERED PARKING INCLUDED IN EXISTING FLOOR AREA CALCULATION | |



MAIN LEVEL FLOOR PLAN - NEW + EXISTING
3/32" = 1'-0"



SHEET
MAIN LEVEL FLOOR PLAN - FLOOR AREA

SCALE
As indicated
DATE
10.14.20

SHEET
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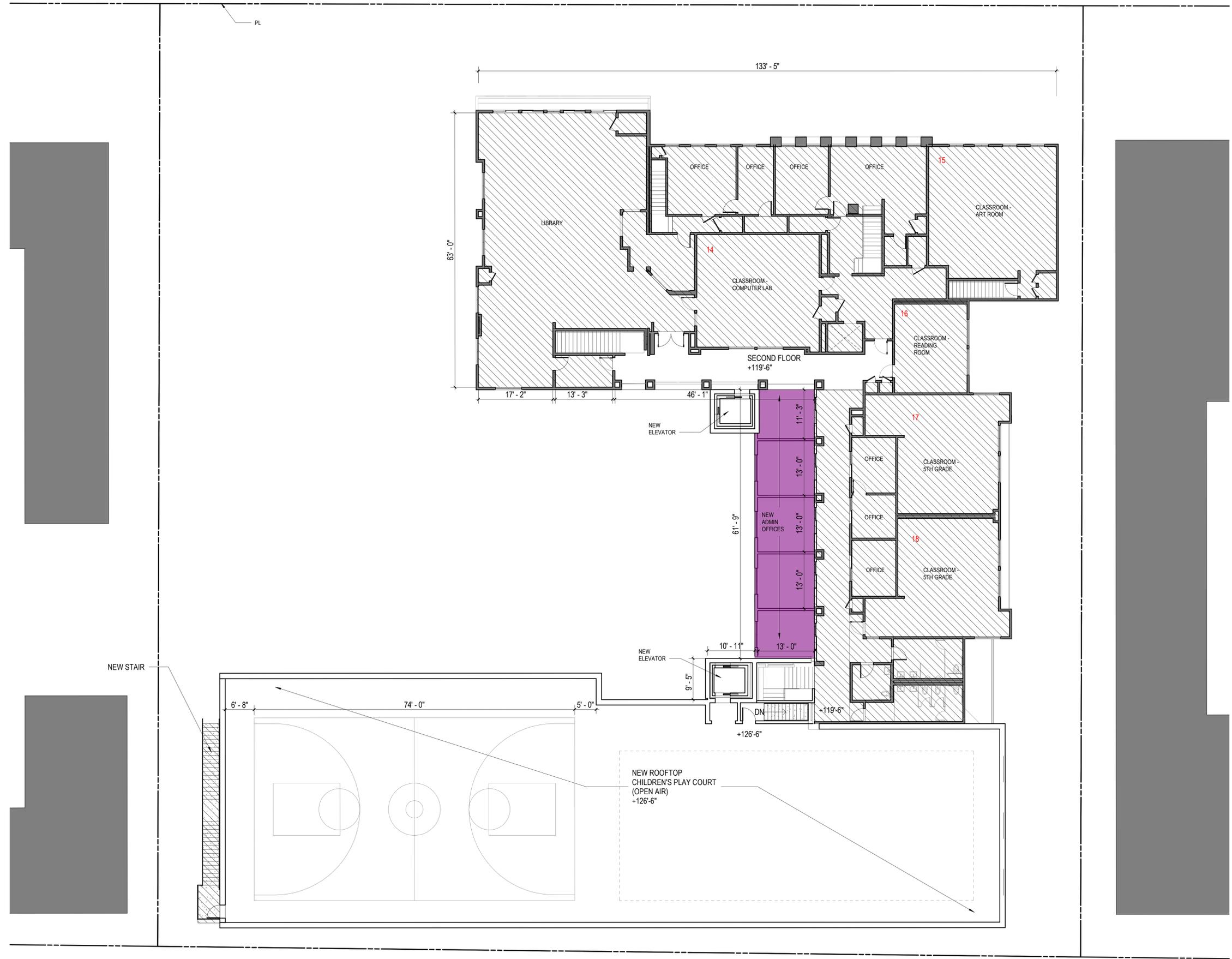
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** FOR PURPOSES OF CEQA EXEMPTION

| | |
|---|-------------------------|
| | NEW PROPOSED FLOOR AREA |
| | EXISTING FLOOR AREA |
| PROPOSED FLOOR AREA CALCULATIONS: | |
| LOWER LEVEL: | |
| NEW SECOND MULTI - PURPOSE ROOM = 3,819 SF | |
| NEW LOWER LEVEL CORRIDOR = 974 SF | |
| TOTAL NEW LOWER LEVEL FLOOR AREA = 4,793 SF | |
| MAIN LEVEL: | |
| ENCLOSED LUNCH SEATING = 844 SF | |
| UPPER LEVEL: | |
| NEW ADMINISTRATIVE OFFICES = 840 SF | |
| TOTAL NEW PROPOSED FLOOR AREA: 6,477 SF | |
| (< 25% OF EXISTING FLOOR AREA) | |
| EXISTING FLOOR AREA CALCULATIONS: | |
| LOWER LEVEL: | 16,303 SF ** |
| MAIN LEVEL: | 14,258 SF |
| UPPER LEVEL: | 10,013 SF |
| TOTAL EXISTING FLOOR AREA: | 40,574 SF |
| TOTAL NEW PROPOSED FLOOR AREA = 16% OF TOTAL EXISTING FLOOR AREA | |
| EXISTING # OF CLASSROOMS = 22 | |
| PROPOSED # OF CLASSROOMS = NO CHANGE | |
| ** COVERED PARKING INCLUDED IN EXISTING FLOOR AREA CALCULATION | |

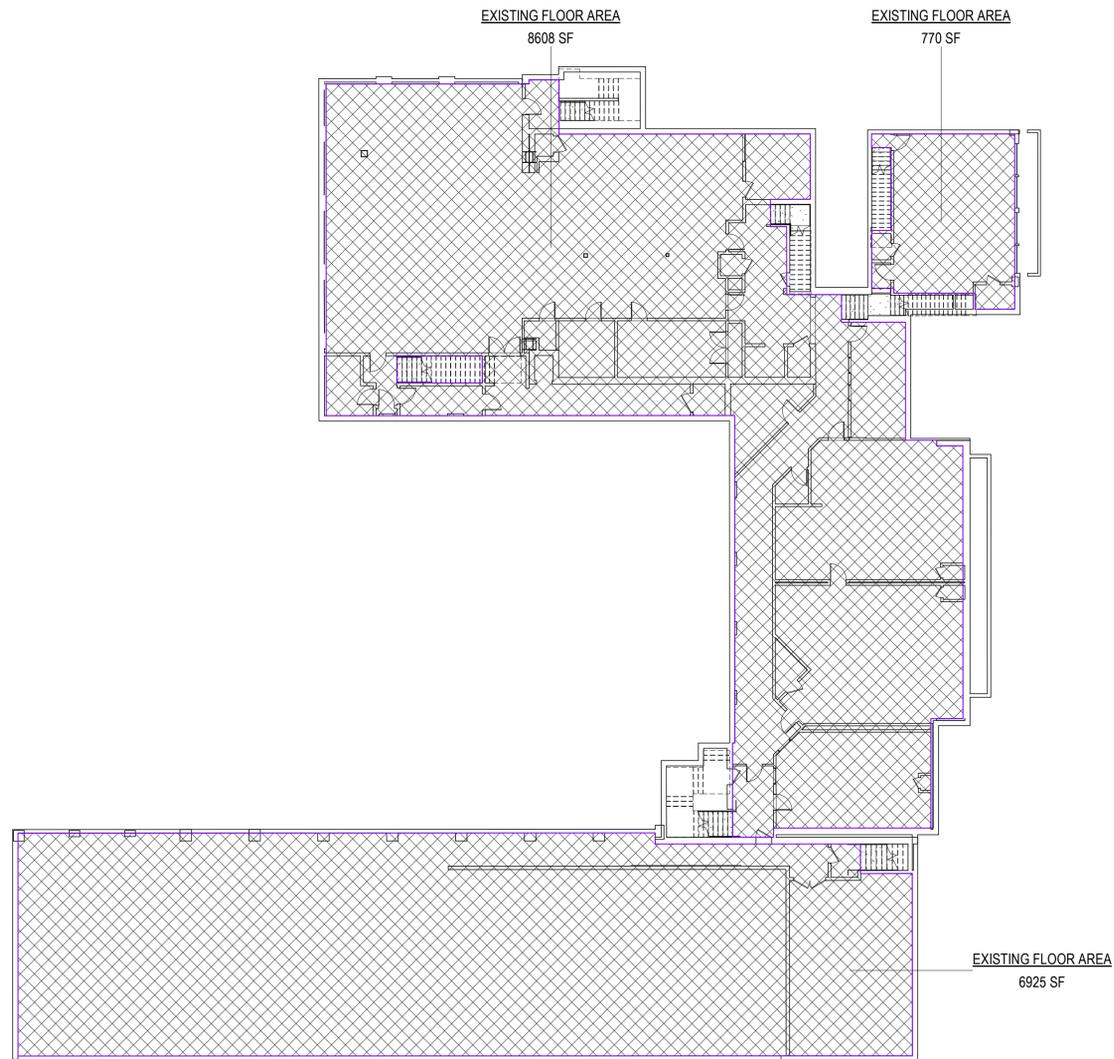


UPPER LEVEL FLOOR PLAN - NEW + EXISTING
3/32" = 1'-0" 1



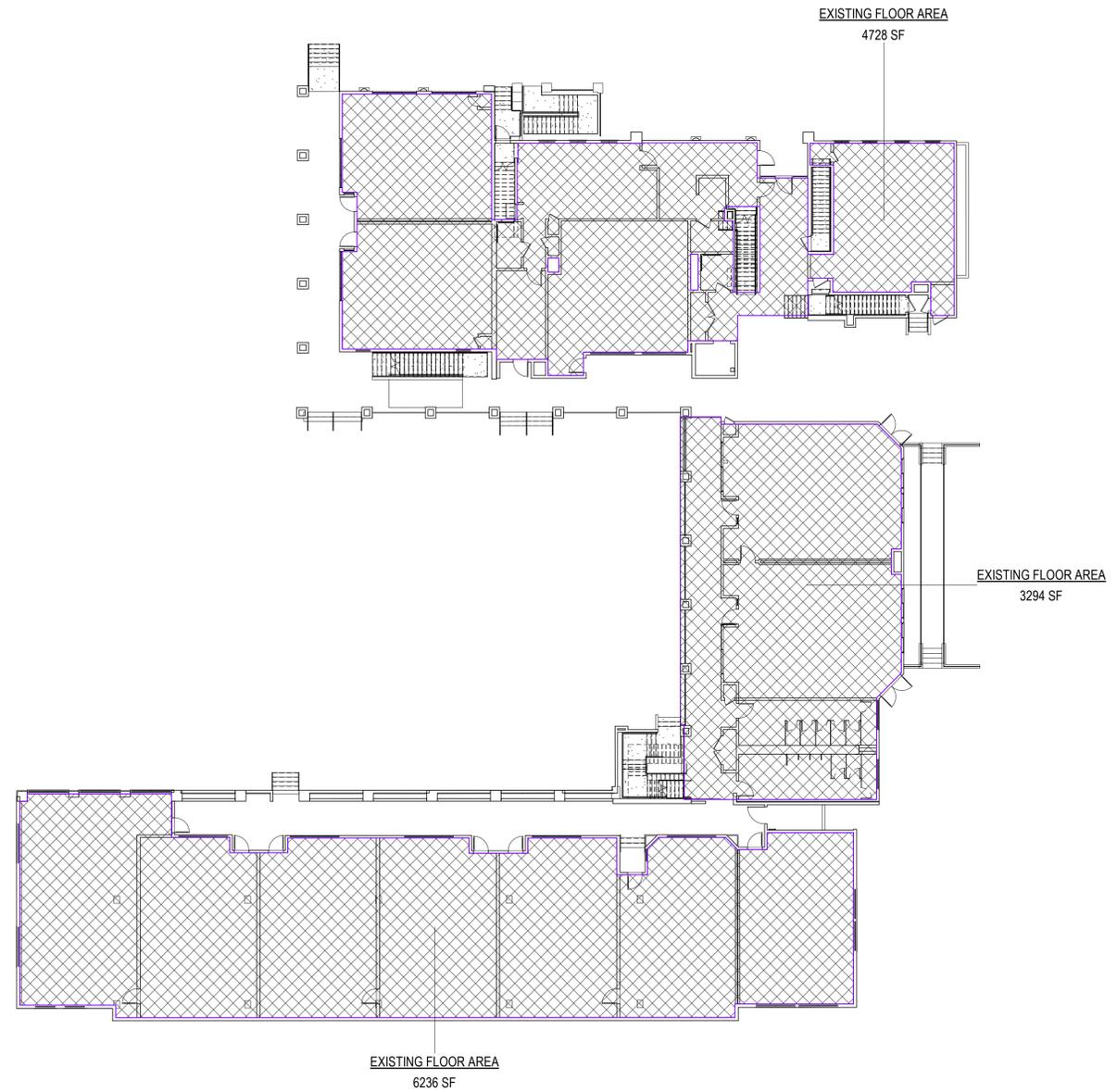
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(E) LOWER LEVEL AREA PLAN
1/16" = 1'-0"

1



(E) MAIN LEVEL AREA PLAN
1/16" = 1'-0"

2

| EXISTING BUILDING FLOOR AREA | |
|------------------------------|-----------|
| Level | AREA (SF) |
| (E) LOWER LEVEL | 16303 |
| (E) MAIN LEVEL | 14258 |
| (E) UPPER LEVEL | 10013 |
| GRAND TOTAL | 40574 |

EXISTING LOWER
LEVEL & MAIN
LEVEL AREA PLAN

SCALE
1/16" = 1'-0"

DATE
10.14.20

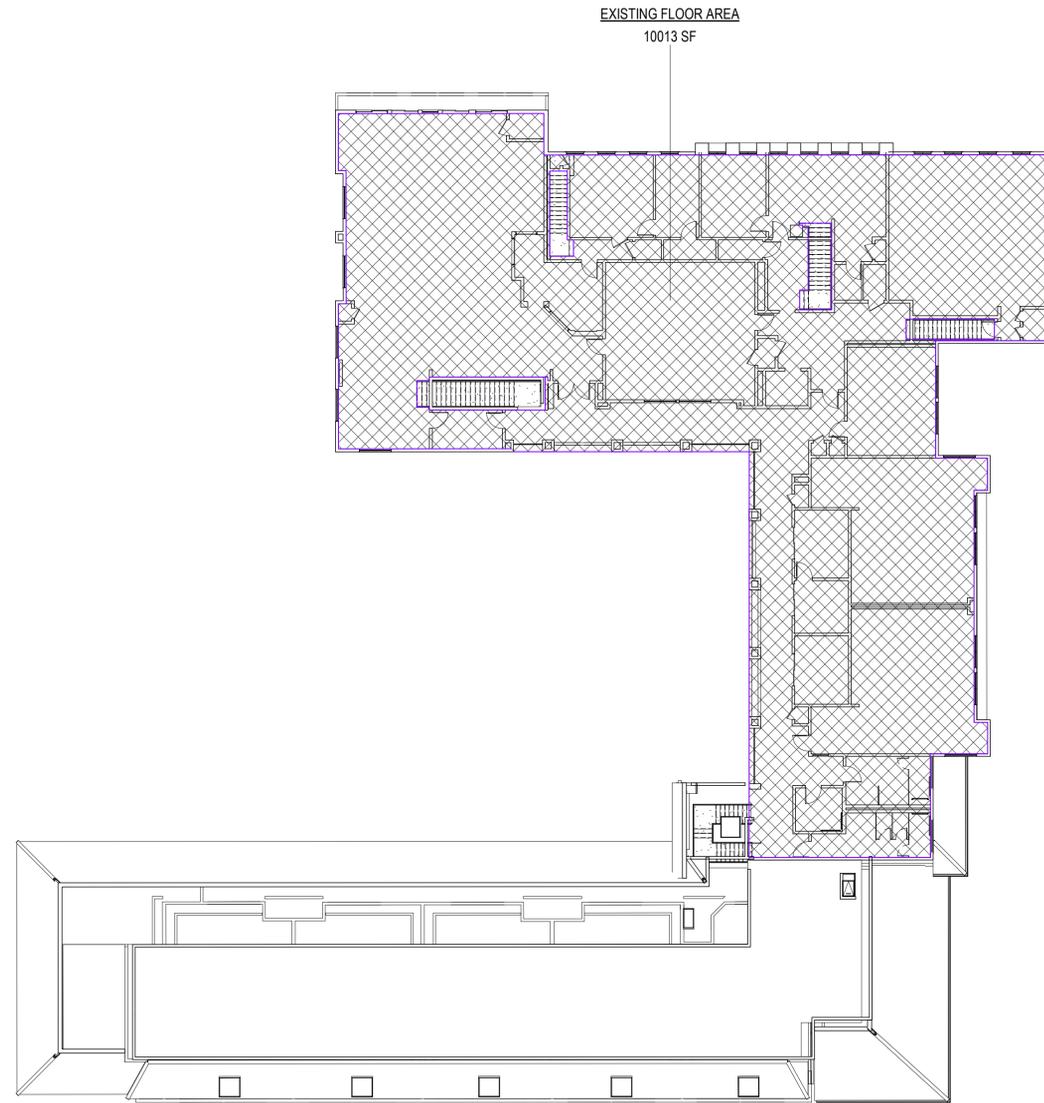
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(E) UPPER LEVEL AREA PLAN
 1/16" = 1'-0"

1

| EXISTING BUILDING FLOOR AREA | |
|------------------------------|-----------|
| Level | AREA (SF) |
| (E) LOWER LEVEL | 16303 |
| (E) MAIN LEVEL | 14258 |
| (E) UPPER LEVEL | 10013 |
| GRAND TOTAL | 40574 |

EXISTING UPPER
 LEVEL AREA PLAN

SCALE
 1/16" = 1'-0"

DATE
 10.14.20

SHEET
EX 02

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