



Development Review
Landmarks Commission Hearing | June 11, 2018
401 Ocean Avenue, Santa Monica

PROJECT INFORMATION

PROJECT ADDRESS: 401 OCEAN AVENUE SANTA MONICA, CA 90402

APN: 4293-007-022

LEGAL DESCRIPTION: THE PALISADES LOT 23 BLK 1

LOT AREA: 22,475.6 SF

ZONING: R4 HIGH DENSITY RESIDENTIAL

PROJECT DESCRIPTION: PRESERVATION AND REHABILITATION OF THIS PROMINENT HISTORIC HOUSE WITH A MINOR EXPANSION ON THE REAR OF THE EXISTING STRUCTURE. THE HOUSE IS A DESIGNATED CITY LANDMARK CONTAINING TWO FLOORS ABOVE A BASEMENT. THE LANDMARK HOUSE WILL REMAIN AS TWO UNITS: ONE UNIT REMAINS ON THE FIRST FLOOR AND BASEMENT (WITH THE ENTRY FROM OCEAN AVENUE), AND THE SECOND UNIT REMAINS ON THE SECOND FLOOR WITH THE ENTRY FROM GEORGINA AVENUE. THE REHABILITATION OF THIS DESIGNATED CITY LANDMARK WILL CONSTITUTE "DEMOLITION" WITHIN THE DEFINITION OF THE ZONING ORDINANCE DUE SOLELY TO THE REPLACEMENT OF MORE THAN 25% OF THE EXTERIOR CLADDING FACING OCEAN AND GEORGINA AVENUES. A DETACHED NEW FOUR-STORY BUILDING WILL BE CONSTRUCTED ALONG FIRST COURT ALLEY WITH A MAXIMUM HEIGHT OF 40' (IN COMPARISON WITH THE 45' ALLOWABLE MAXIMUM HEIGHT) AND WITH AN ELEVATOR SHAFT ONLY 11' ABOVE THE ROOFLINE (SUBSTANTIALLY BELOW THE MAXIMUM ALLOWABLE PROJECTION OF 18' FOR AN ELEVATOR SHAFT). THE NEW CONSTRUCTION WILL INCLUDE 3 CONDOMINIUM UNITS THAT ARE FLATS STACKED ABOVE ENCLOSED GARAGES FOR PARKING 8 VEHICLES ON THE FIRST LEVEL. THE REAR YARD WILL NOT BE EXCAVATED FOR SUBTERRANEAN PARKING. TWO PARKING SPACES WILL BE PROVIDED FOR EACH OF THE 3 NEW UNITS, AND ONE NON-REQUIRED PARKING SPACE WILL BE PROVIDED FOR EACH OF THE EXISTING UNITS IN THE LANDMARK HOUSE. A TOTAL OF 5 UNITS WILL BE PROVIDED COMPARED WITH 25 UNITS ALLOWED. THE LANDSCAPING WILL BE APPROPRIATE TO THE SITE. THE PROJECT WILL CONFORM TO THE SECRETARY OF THE INTERIOR'S STANDARDS. THE PROJECT SATISFIES OR EXCEEDS ALL OF THE OBJECTIVE DEVELOPMENT STANDARDS; NO VARIANCES OR MODIFICATIONS ARE REQUESTED.

CURRENT USE: SINGLE FAMILY RESIDENCE WITH 2 UNITS (FRONT HOUSE IS A LANDMARK AND WILL REMAIN)

PROPOSED USE: 5 CONDOMINIUM UNITS

REQUIRED SETBACKS: (PER SMMC TABLE 9.08.030)

FRONT YARD - 20' SETBACK REQUIRED
44'-2" EXISTING SETBACK PROVIDED

INTERIOR SIDE YARD - 8' SETBACK REQUIRED PLUS AN ADDITIONAL TWO FOOT AVERAGE SETBACK SHALL BE PROVIDED AT EACH STORY SEE ADDITIONAL SETBACK AREA DIAGRAM SHEET - 13'-5" SETBACK PROVIDED

REAR YARD - 15' SETBACK REQUIRED (MEASURED FROM CENTERLINE OF ALLEY)
19'-10" SETBACK PROVIDED (MEASURED FROM CENTERLINE OF ALLEY)

STREET FACING SIDE YARD - 20' (WHERE AN R4 CORNER PARCEL ABUTS AN R1 DISTRICT, STREET SIDE SETBACK SHALL BE AT LEAST HALF OF THE REQUIRED FRONT SETBACK OF THE ADJACENT R1 DISTRICT) PLUS AN ADDITIONAL TWO FOOT AVERAGE SETBACK SHALL BE PROVIDED AT EACH STORY SEE ADDITIONAL SETBACK AREA DIAGRAM SHEET - 20'-0" SETBACK PROVIDED

MAXIMUM HEIGHT AND STORIES PERMITTED: 45' MAXIMUM HEIGHT AND 4 STORIES ALLOWABLE WITH TIER 2 COMMUNITY BENEFITS PER TABLE 9.08.030 OF THE SANTA MONICA MUNICIPAL CODE (LANDMARK: 29'-6" HEIGHT, 2 STORIES AND NEW BUILDING: 40'-0" HEIGHT, 4 STORIES)

MAXIMUM PERMITTED PROJECTION ABOVE HEIGHT LIMIT : PER TABLE 9.21.060 OF THE SANTA MONICA MUNICIPAL CODE THE MAXIMUM VERTICAL PROJECTION ABOVE THE HEIGHT LIMIT FOR AN ELEVATOR SHAFT IS 18'-0" ABOVE THE ROOFLINE.

ELEVATOR SHAFT HEIGHT ABOVE ROOFLINE AT NEW REAR BUILDING IS 9'-0"

MINIMUM PARCEL AREA PER UNIT REQUIRED: PER TABLE 9.08.030 OF THE SANTA MONICA MUNICIPAL CODE A TIER 2 - WITH PROVISION OF COMMUNITY BENEFITS OR 100% AFFORDABLE HOUSING PROJECT IN AN R4 RESIDENTIAL DISTRICT REQUIRES 900 SF OF PARCEL AREA PER UNIT. 22,475.6 SF PARCEL AREA/900 SF PER UNIT = 24.9 (25) UNITS ALLOWABLE (2 EXISTING UNITS AND 3 ADDITIONAL UNITS, 5 TOTAL UNITS, PROPOSED FOR THIS PROJECT)

MAXIMUM PARCEL COVERAGE ALLOWABLE: PER TABLE 9.08.030 OF THE SANTA MONICA MUNICIPAL A PROJECT IN AN R4 RESIDENTIAL DISTRICT ALLOWS THE FOLLOWING PARCEL COVERAGES:

GROUND FLOOR ALLOWABLE AREA: 50% OF PARCEL AREA
SECOND FLOOR: 80% OF GROUND FLOOR ALLOWABLE AREA
THIRD FLOOR: 60% OF GROUND FLOOR ALLOWABLE AREA
FOURTH FLOOR: 50% OF GROUND FLOOR ALLOWABLE AREA

ALLOWABLE PARCEL COVERAGE AREA FOR THIS PROJECT:

GROUND FLOOR ALLOWABLE AREA: 22,475.6 SF X 50% = 11,237.8 SF
SECOND FLOOR ALLOWABLE AREA: 11,237.8 SF X 80% = 8,990.2 SF
THIRD FLOOR ALLOWABLE AREA: 11,237.8 X 60% = 6,742.7 SF
FOURTH FLOOR ALLOWABLE AREA: 11,237.8 X 50% = 5,618.9 SF
TOTAL ALLOWABLE PARCEL COVERAGE AREA: 32,589.6 SF

PROPOSED PARCEL COVERAGE AREA FOR THIS PROJECT: (PARCEL COVERAGE CALCULATED PER SMMC 9.04.100)

GROUND FLOOR PARCEL COVERAGE AREA: 7,305.3 SF
SECOND FLOOR PARCEL COVERAGE AREA: 6,688 SF
THIRD FLOOR PARCEL COVERAGE AREA: 3,519.7 SF
FOURTH FLOOR PARCEL COVERAGE AREA: 3,459.8 SF
TOTAL PROPOSED PARCEL COVERAGE AREA: 20,972.8 SF
(PROPOSED PARCEL COVERAGE AREA IS 64% OF ALLOWABLE PARCEL COVERAGE AREA)

FLOOR AREA RATIO: PER SMMC SECTION 9.04.090 FLOOR AREA RATION (FAR) IS THE RATION OF FLOOR AREA, EXCLUDING BASEMENTS, UNENCLOSED DECKS, BALCONIES AND PORCHES, OF ALL PRINCIPAL AND ACCESSORY BUILDINGS ON A SITE TO THE SITE AREA

SITE AREA: 22,475.6 SF

LANDMARK FIRST FLOOR AREA: 3,336 SF
LANDMARK SECOND FLOOR AREA: 2,306 SF
NEW BUILDING FIRST FLOOR GARAGE AREA: 2,394 SF
NEW BUILDING FIRST FLOOR AREA: 517 SF
NEW BUILDING SECOND FLOOR AREA: 2,916 SF
NEW BUILDING THIRD FLOOR AREA: 2,916 SF
NEW BUILDING FOURTH FLOOR AREA: 2,761 SF
TOTAL FLOOR AREA: 17,146 SF

FAR: 17,146 SF TOTAL FLOOR AREA/22,475.6 SITE AREA = .76

DEMOLITION AREA: PER SMMC SECTION 9.25.030 A DEMOLITION OCCURS WHEN THE FOLLOWING TAKES PLACE:
AT ANY TIME OVER A 5-YEAR YEAR PERIOD, FOR STRUCTURES OVER 40 YEARS OF AGE AND IDENTIFIED ON THE CITY'S HISTORIC RESOURCES INVENTORY, THE FOLLOWING OCCURS: REMOVAL OF MORE THAN 25% OF THE WALLS (INCLUDING EXTERIOR CLADDING) FACING A PUBLIC STREET OR 50% OF ALL EXTERIOR WALLS.

FACADE AREA OF LANDMARK BUILDING EXTERIOR WALLS: 6,112.3 SF
AREA OF CLADDING REMOVAL AT LANDMARK BUILDING: 3,190.9 SF

PERCENTAGE OF WALL (CLADDING) REMOVAL: 3,190.9/6,112.3 = .522 (52.2% REMOVAL, 50% REQUIRED)

SOLAR ENERGY: PER SMMC SECTION 8.106.055, ALL NEW MULTI-FAMILY DWELLINGS ARE REQUIRED TO INSTALL A PHOTOVOLTAIC SYSTEM WITH A MINIMUM TOTAL WATTAGE OF 2 TIMES THE SQUARE FOOTAGE OF THE NEW BUILDING FOOTPRINT.

NEW CONSTRUCTION FOOTPRINT: 2,911 SF
LANDMARK BUILDING ADDITION FOOTPRINT: 261 SF
WATTAGE REQUIRED: 2 WATTS PER NEW BUILDING FOOTPRINT AREA X 3,172 SF (2,911 + 261) = 6,344 WATTS REQUIRED

PANELS PROVIDED
NEW BUILDING ROOF: 21 PANELS
LANDMARK BUILDING ADDITION ROOF: 4 PANELS
TOTAL: 25 PANELS PROVIDED

PANELS PROVIDE 300 WATTS PER 39" X 65" PANEL
300 WATTS X 25 PANELS = 7,500 WATTS PROVIDED (6,344 WATTS REQUIRED)

UNIT SUMMARY

LANDMARK BUILDING LOWER UNIT
3 BEDROOMS, 3.5 BATHS

BASEMENT AREA: 718.5 SF
FIRST FLOOR LIVING AREA: 3,336 SF
GARAGE AREA: 266.4 SF

LANDMARK BUILDING UPPER UNIT
4 BEDROOMS, 3.5 BATHS

SECOND FLOOR LIVING AREA: 2,306 SF
SECOND FLOOR DECK AREA: 668.8 SF
GARAGE AREA: 229.9 SF

NEW BUILDING SECOND FLOOR UNIT
3 BEDROOMS, 4.5 BATHS, DEN, RECREATION ROOM

FIRST FLOOR RECREATION ROOM: 517 SF
SECOND FLOOR LIVING AREA: 2,916 SF
SECOND FLOOR DECK AREA: 700.3 SF
GARAGE AREA: 377.6 SF

NEW BUILDING THIRD FLOOR UNIT
3 BEDROOMS, 3.5 BATHS, DEN

THIRD FLOOR LIVING AREA: 2,916 SF
THIRD FLOOR DECK AREA: 608.9 SF
ROOF DECK AREA: 698 SF
GARAGE AREA: 378.2 SF

NEW BUILDING FOURTH FLOOR UNIT
3 BEDROOMS, 3.5 BATHS, DEN

THIRD FLOOR LIVING AREA: 2,761 SF
THIRD FLOOR DECK AREA: 699.4 SF
ROOF DECK AREA: 913 SF
GARAGE AREA: 382 SF

PARKING REQUIREMENTS

AUTO PARKING

PARKING REQUIRED

EXISTING PARKING FACILITIES ASSOCIATED WITH DESIGNATED LANDMARKS SHALL BE MAINTAINED.

PARKING REQUIRED FOR MULTIPLE-UNIT DWELLING PER SMMC TABLE 9.28.60 IS 2 SPACES PER UNIT

EXISTING PARKING REQUIRED WITH EXISTING FRONT HOUSE IS ZERO SPACES
PARKING REQUIRED FOR FOR 3 NEW UNITS AT NEW REAR BUILDING IS 6 SPACES (3 UNITS X 2 SPACES PER UNIT)

TOTAL PARKING REQUIRED = 6 SPACES

PARKING PROVIDED

3 PRIVATE GARAGES WITH 2 SPACES EACH = 6 SPACES
2 PRIVATE GARAGES WITH 1 SPACE EACH = 2 SPACES
ADDITIONAL SPACES ON SITE = 2 SPACES (POTENTIAL SUPPLEMENTAL COASTAL COMMISSION SPACES)

TOTAL PARKING PROVIDED = 10 SPACES (> 6 SPACES REQUIRED)

BICYCLE PARKING

PARKING REQUIRED

SHORT TERM BICYCLE PARKING REQUIRED AT A RATE OF .1 SPACES PER BEDROOM WITH A MINIMUM OF 4 REQUIRED

17 BEDROOMS (INCLUDES BEDROOMS AND BONUS ROOM) X .1 = 1.7 SPACES
4 SHORT TERM BICYCLE PARKING SPACES REQUIRED
4 SHORT TERM BICYCLE PARKING SPACES PROVIDED

LONG TERM BICYCLE PARKING REQUIRED AT A RATE OF 1 SPACE PER BEDROOM

17 BEDROOMS (INCLUDES BEDROOMS AND BONUS ROOM) X 1 = 17 SPACES
17 LONG TERM BICYCLE PARKING SPACES PROVIDED

5 LONG TERM BICYCLE PARKING SPACES PROVIDED IN GARAGES
12 LONG TERM BICYCLE PARKING LOCKERS PROVIDED ON SITE (2 OF THE LOCKERS ARE CUSTOM 10' LONG LOCKERS)
17 LONG TERM BICYCLE PARKING SPACES PROVIDED

PROJECT CONTACTS

OWNER
TABIT VENTURES LLC
1152 CHARM ACRES
PACIFIC PALISADES, CA 90272
PHONE: 310.944.9444

ARCHITECT
KAPLAN CHEN KAPLAN
ARCHITECTS AND PLANNERS
2526 EIGHTEENTH STREET
SANTA MONICA, CA 90405
CONTACT: DAVID KAPLAN
PHONE: 310.452.7505
EMAIL: david@kckarchitects.com
barbara@kckarchitects.com
michael@kckarchitects.com

CIVIL ENGINEER
VCA ENGINEERS, INC.
1041 GARFIELD AVE SUITE #210
ALHAMBRA, CA 91801
CONTACT: AUTUMN WAGGONER
PHONE: 323.729.6098
EMAIL: autumn.waggoner@vcaeng.com

STRUCTURAL ENGINEER (REAR BUILDING)
ENGLEKIRK
888 S. FIGUEROA ST. 18TH FLOOR
LOS ANGELES, CA 90017
CONTACT: ANDREW YU
PHONE: 323.733.6673 x355
EMAIL: andrew.yu@englekirk.com

MECHANICAL AND PLUMBING ENGINEER
DAVIDOVICH & ASSOCIATES
6160 BRISTOL PARKWAY SUITE 300
CULVER CITY, CA 90230
MECHANICAL CONTACT: JEFFREY TAYLOR
PHONE: 310.348.5101 x220
EMAIL: jeff@davidovich.com
PLUMBING CONTACT:
PHONE: 310.348.5101
EMAIL:

ELECTRICAL ENGINEER
E ENGINEERS
1238 7TH STREET
SANTA MONICA, CA 90401
CONTACT: ERIC PERCIC
PHONE: 424.272.6709
EMAIL: epercic2@gmail.com

LANDSCAPE ARCHITECT
KSA LANDSCAPE DESIGN STUDIO
4212 1/2 GLENCOE AVENUE
MARINA DEL REY, CA 90292
CONTACT: JAKE PATTON
PHONE: 310.574.4460
EMAIL: j.patton@kso-la.com
s.lacap@kso-la.com

ALTA SURVEY
BROOKS & ASSOCIATES SURVEYORS
3300 LEWIS AVENUE
SIGNAL HILL, CA 90755
CONTACT: RICHARD BROOKS
PHONE: 562.508.9010
EMAIL: cosecont@earthlink.net

VESTING TENTATIVE TRACT MAP
JK ASSOCIATES
1295 LOS ANGELES STREET
GLENDALE, CA 91204
CONTACT: JOHNSON KARAM
PHONE: 818.507.9881
EMAIL: jkassoc@earthlink.net

SOILS ENGINEER
SCHICK GEOTECHNICAL, INC
7650 HASKELL AVE SUITE D
VAN NUYS, CA 91405
PHONE: 818.905.8011

LEED CONSULTANT
GBWORKS/ZINNER CONSULTANTS
528 21st PLACE
SANTA MONICA, CA 90402
CONTACT: GLEN BOLDT
PHONE: 310.453.1349
EMAIL: glen.gbworks@gmail.com

PLANNING COMMISSION SUBMITTAL

SHEET #	SHEET TITLE
1	COVER SHEET
2	GEORGINA AVE LOOKING EAST
3	PROJECT INFORMATION
4	PROJECT DESCRIPTION
5	PROJECT CONCEPT
6	AERIAL MAPS
7	STREET VIEW
8	HEIGHT MAP
9	ALTA SURVEY
10	VESTING TENTATIVE TRACT MAP
11	SITE MAP
12	PROPOSED SITE PLAN
13	PARCEL COVERAGE
14	FAR DIAGRAM
15	ADDITIONAL SETBACK AREA
16	COURTYARD AREA
17	PRIVATE SPACE DIAGRAM
18	MASSING DIAGRAMS
19	MASSING DIAGRAMS
20	PROJECT NORTH ELEVATION
21	SITE SECTION LOOKING NORTH
22	THEORETICAL GRADE DIAGRAM
23	STREET VIEW SECTION
24	HISTORY AND DESCRIPTION
25	CONDITION ASSESSMENT
26	CONDITION ASSESSMENT
27	CONDITION ASSESSMENT
28	ADDITION AND MODIFICATION OF FRONT HOUSE
29	SANBORN MAPS & HISTORIC AERIAL PHOTOGRAPHS
30	OCEAN AVE LOOKING NORTH
31	DEMOLITION/PROPOSED LANDMARK WEST (FRONT) ELEVATION
32	DEMOLITION/PROPOSED LANDMARK SOUTH (SIDE) ELEVATION
33	DEMOLITION/PROPOSED LANDMARK EAST (REAR) ELEVATION
34	DEMOLITION/PROPOSED LANDMARK NORTH (SIDE) ELEVATION
35	LANDMARK BUILDING EXISTING DOOR SCHEDULE
36	LANDMARK BUILDING EXISTING WINDOW SCHEDULE
37	EXISTING/DEMOLITION LANDMARK FIRST FLOOR PLAN
38	EXISTING/DEMOLITION LANDMARK SECOND FLOOR PLAN
39	EXISTING/DEMO LANDMARK BASEMENT PLAN
40	EXISTING/DEMO LANDMARK ROOF PLAN
41	PROPOSED LANDMARK FIRST FLOOR PLAN
42	PROPOSED LANDMARK SECOND FLOOR PLAN
43	PROPOSED LANDMARK BASEMENT FLOOR PLAN
44	PROPOSED LANDMARK ROOF PLAN
45	LANDMARK BUILDING SECTION
46	GEORGINA AVE LOOKING SOUTH
47	GEORGINA AVE LOOKING WEST
48	ON PROPERTY LOOKING SOUTH
49	NEW BLDG FIRST FLOOR PLAN
50	NEW BLDG SECOND FLOOR PLAN
51	NEW BLDG THIRD FLOOR PLAN
52	NEW BLDG FOURTH FLOOR PLAN
53	NEW BLDG ROOF PLAN
54	NEW BLDG WEST ELEVATION
55	NEW BLDG NORTH ELEVATION
56	NEW BLDG EAST ELEVATION
57	NEW BLDG SOUTH ELEVATION
58	NEW BUILDING MATERIALS
59	NEW BUILDING MATERIALS
60	NEW BUILDING MATERIALS
61	NEW BUILDING MATERIALS
62	NEW BUILDING SECTION
63	OCEAN AVE LOOKING EAST
	LANDSCAPE SITE IMAGES
	GROUND FLOOR HARDCAPE PLAN
	GROUND FLOOR LANDSCAPE PLAN
	ROOF LANDSCAPE PLAN
	PLANTING SCHEDULE
	PLANT PALETTE
	PLANT PALETTE
	PLANT PALETTE

VICINITY MAP



PROJECT INFORMATION

Project Description

The proposed project is the rehabilitation of the existing historic two-story residence and construction of a new four level building at the east end of the property that contains ground floor parking with support spaces and three floors of units above. The project is seeking a building height of 40' as part of a Tier 2 Development Agreement with Community Benefits.

The existing 1910 residence has undergone many remodels and has deteriorated significantly from deferred maintenance. The exterior materials have been reviewed and need to be rehabilitated and in cases replaced with matching materials including wood shingle siding and asphaltic shingle roof. Railings and masonry chimneys will also be reconstructed for safety. All new electrical, plumbing and mechanical systems will be installed along with structural upgrades. The partial basement will be cleaned and refurbished for mechanical and other ancillary spaces. The house will continue to be separated into upper and lower units each with access to outdoor and garden space. All work on the residence and site will meet the Secretary of the Interiors Standards for Rehabilitation.

To complement the extensive work on the existing historic residence, new construction at the back of the site will include three residential units above a ground floor level with parking and support spaces. The project provides units to take advantage of the unique site with ocean views and the building is adjacent to the service alley for parking access and services. The new building will complement the historic building without mimicking historic styles. Every unit will have outdoor space including rooftop gardens. Special consideration is given to views and building massing to utilize this unique resource and to be compatible to the existing historic resource as well as the surrounding neighbors.

Architectural Compatibility

The project includes both rehabilitation of the existing residential structure and construction of a new building at the rear of the site. The new building is designed not to mimic historic styles but to be compatible with the overall site and adjoining landmark structure.

The area at the rear of the large parcel as well as all the neighboring sites have seen significant change over time and there is a mix of building types with many taller structures along Ocean Avenue and First Court alley on the east. The residential building directly across Georgina Avenue is in a modern style at approximately 45 feet tall and the roofline of the building immediately to the east with a mansard roof is at a similar height.

Area east of the alley behind the property is now zoned R-1 so that additional setback along Georgina Avenue is provided for this R-4 site although all buildings along the east side of the alley in both directions are multi-family including buildings immediately to the east and north of the project site that are over forty feet tall. The new building is setback behind the line of the residence with the original chimneys projecting further into the sideyard as well as the pergola constructed along the sidewalk. The portion of the new building closest to the residence are decks that notch further back behind the original residence. The enclosed living spaces are set even further back from Georgina Avenue and the line of the house.

For compatibility with the landmark structure, the new building is designed in smaller scale components with the living rooms and bedrooms on the front separated into separate volumes. Angles and setbacks along with balconies and shutters reflect the scale, textures and details of the adjacent large residence. A copper lower floor echoes the brick base of the existing residence while reducing the apparent scale of the overall building.

Horizontal wood siding on other surfaces similar in tone to the house will reference the material and horizontal lines of the shingle siding of the historic structure. The wood siding wraps around the alley façade of the new building to tie together the full site.

The new building has 3 floors of units above the ground level but the design has minimized the total building height with the use of a more complex but thinner concrete structural system. Through minimizing floor height, the design is 40 feet tall, a few feet less than a wood frame structure and five feet lower than Tier 2 threshold. Although the proposed new building is taller than the existing residence, it will not be visible over the house from the Ocean Avenue frontage. There are large trees including a sequoia in the sideyard on Georgina Avenue and two large trees on the south that further conceal nearby views of the new building from Ocean Avenue.

New landscaping as well as rehabilitation of the north trellis will help accentuate the historic resource, revitalize the view of the landmark from both Ocean and Georgina Avenues, and create smaller scale garden spaces around the structures.

Historic Preservation and Sustainability

The primary project goal is to rehabilitate the historic resource, a fundamentally sustainable project. It is not possible to incorporate the changes necessary for LEED certification into the existing residence without significantly impacting the historic resource. All new equipment in the historic building will meet or exceed current energy codes. The new building that supports the rehabilitation work at the site is designed for LEED Gold certification. The landscape design also includes retention of mature trees supported by sustainable ground cover and plantings.



View from Ocean Avenue - Large trees frame both sides of the residence

Community Engagement

A number of meetings have been held for neighbors and community members.

Specific public meetings for community members include Saturday afternoon December 16, 2017 for Santa Monica Conservancy members and volunteers to visit the property and review the project drawings. Approximately 49 guests attended. Mark Tabit introduced the project and Kaplan Chen Kaplan staff presented drawings and renderings with a question and answer period following. The volunteers and other members of the preservation community were generally supportive of the rehabilitation as well as the new construction on the site.

Another meeting was held for the membership of NOMA (North of Montana Neighborhood Association) in the early afternoon on January 21, 2018. Approximately 30 community members attended. A similar presentation was made by Mark Tabit and Kaplan Chen Kaplan including drawings and handouts. The project was generally received favorably. The height was not considered a major issue in part because it was noted that when standing on the sidewalk on Ocean Avenue in front of the house, the new building will not be visible over the roof. Mark Tabit also presented the following week at the NOMA Board meeting and received a similar reception.

Since the beginning of the project we have engaged the local community and met early with both nearby neighbors as well as interested members of the preservation community. Landmark Commissioners have visited the site to review the project. The owner has met and spoken with immediate adjacent neighbors as well as an Home Owners Association of an adjacent housing development.

Traffic Demand Management

A Transportation Demand Management (TDM) Plan, in accordance with the requirements of SMMC Chapter 9.53 will be provided including the following information:

The project consists of three residential units, each with three bedrooms that are added to a site that has two existing units also with three bedrooms each. The site is zoned for multi-family residential. The closest public transportation is on 4th Street, four blocks to the east that connects to other Santa Monica Big Blue Bus routes. There is also new public bicycle facilities nearby. The developer/owner will develop a plan to encourage use of ride-sharing and public transportation that will be further developed with the Homeowner's Association to manage including posting information for residents and guests. Bicycle parking and option for electric car chargers will be provided.

The Homeowners' Association will be responsible for management and dissemination of information for the Traffic Demand Management program including updates. Prior to Certificate of Occupancy, the developer shall record an agreement, in a form acceptable to the City, that makes the Developer TDM Plan a condition of property ownership. The agreement shall include provisions to:

1. Guarantee adherence to the TDM objectives and perpetual operations of the Developer TDM Plan for all legal parcels within the site regardless of property ownership.
2. Inform all subsequent property owners of requirement of the Developer TDM Plan.
3. Inform the Planning Director of any change in ownership.
4. Identify consequences of non-compliant performance. (Added by Ord. No. 2486CCS §§ 1, 2, adopted June 23, 2015)

Community Benefits: Tier 2

The project is seeking Tier 2 approval for 40' to top of roof deck will provide the Community Benefits outlined in the code 9.23.030. An in-lieu fee will be provided for Affordable Housing as well as a Transportation Impact Fee and Open Space Fee along with additional requirements for Transportation Demand Management.

Additional Project Benefits

The primary project goal is to rehabilitate the historic resource which is fundamentally a sustainable project. Although LEED for Residential is not achievable without significantly impacting the historic resource, all new equipment will meet or exceed current code and environmental guidelines. For the new building that supports the work on the site we are seeking LEED Gold certification.

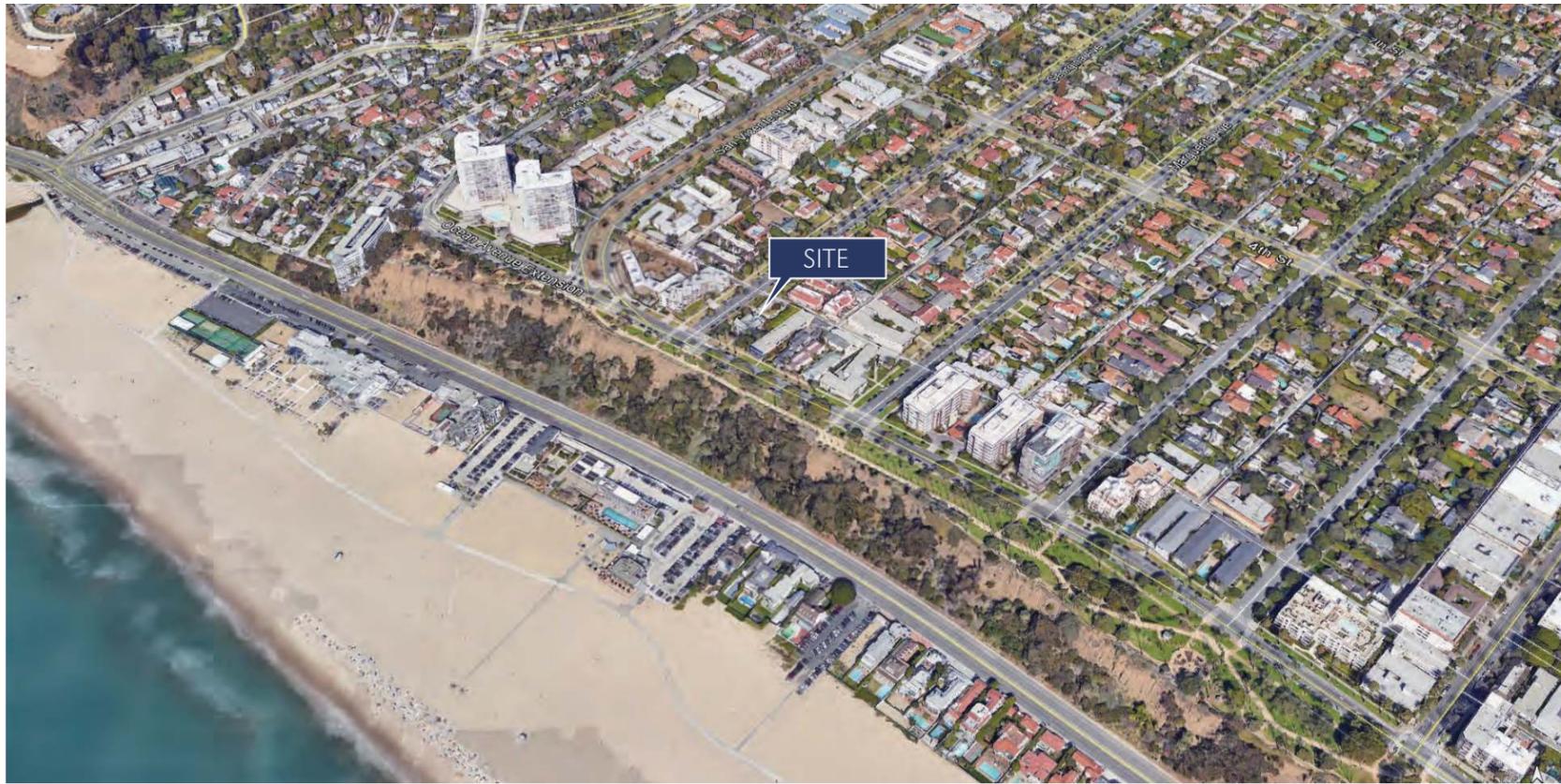
The existing 1910 residence has deteriorated significantly from deferred maintenance. The exterior materials have been reviewed and need to be replaced including wood shingle siding and asphaltic shingle roof. Railings and masonry chimneys will also be replaced for safety. All new electrical, plumbing and mechanical systems will be installed along with structural upgrades. The partial basement will be cleaned and refurbished for mechanical and other ancillary spaces. The existing decorative trellis which may be original although not listed in the designation will be restored. All work on the residence and site will meet the Secretary of the Interiors Standards for Rehabilitation.



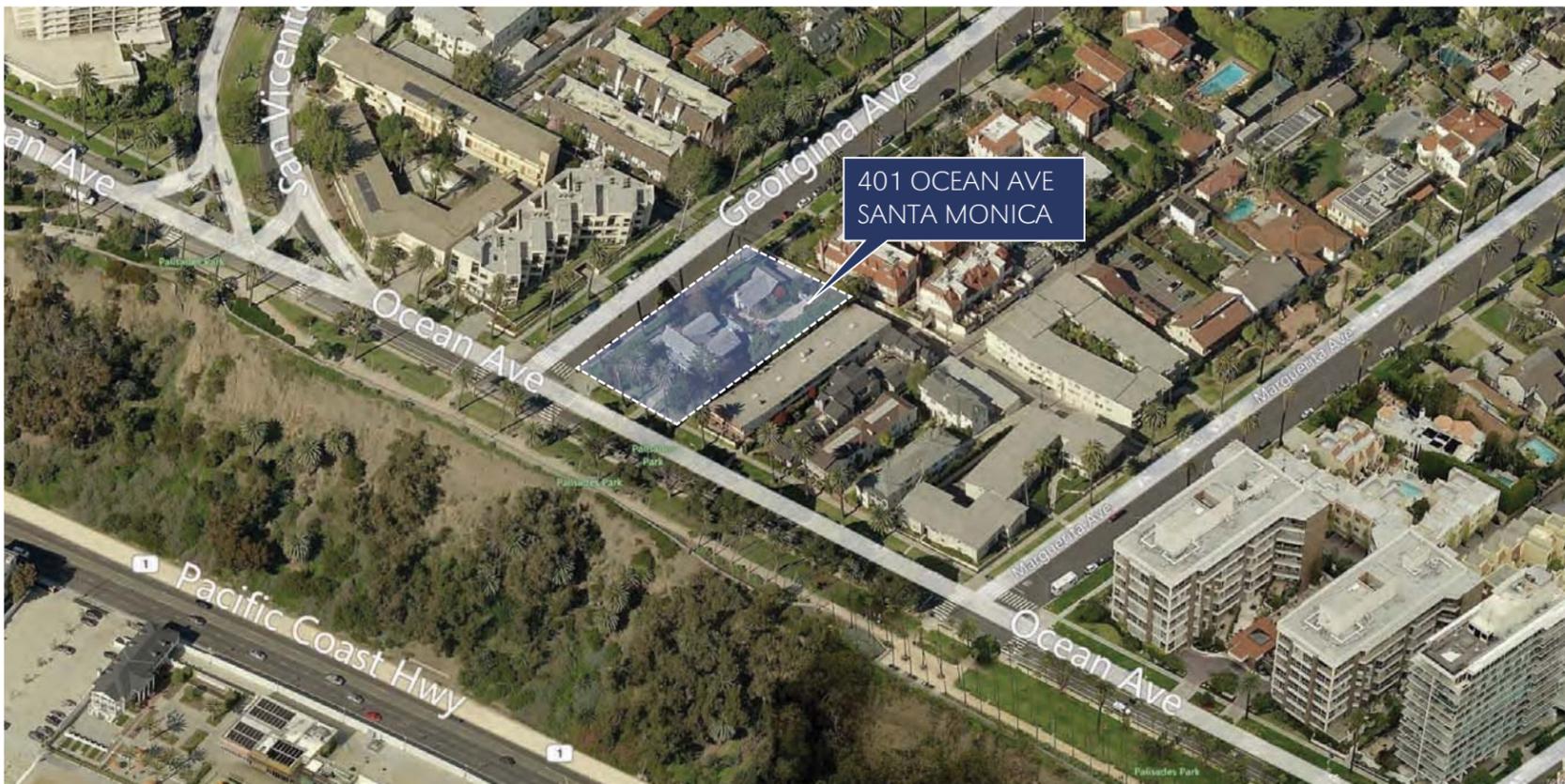
To complement and support the extensive work on the existing historic residence, new construction at the back of the site will include three residential units vertically above a level with parking and support spaces. The units are intended to take advantage of the unique site with ocean views and access to the service alley for parking and services. All units will have outdoor space including rooftop gardens. Special consideration is given to views and building massing to utilize this unique resource and to be compatible to the existing historic resource as well as the surrounding neighbors.

To provide three units in the new building for the project we are seeking a 40' height to the roof deck in a zone that allows 30' by right. Many buildings in the stretch of properties on Ocean Avenue are taller including the immediate neighbor on the east and across Georgina Avenue at approximately 45'.





Santa Monica aerial map



Site map



Ocean Ave

Georgina Ave

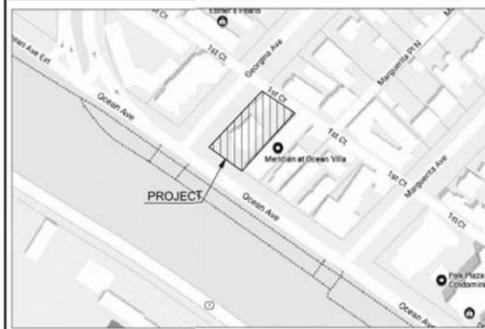
401 OCEAN AVE



Ocean Ave

Marguerita Pl





VICINITY MAP
N.T.S.

VESTING TENTATIVE TRACT MAP NO. 77180

SUBDIVED FOR CONDOMINIUMS

IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, CALIFORNIA
A.L.T.A./N.S.P.S.
LAND TITLE SURVEY
OF
LOT 23 IN BLOCK "I" OF THE PALISADES
M.B. 8 - 32, RECORDS OF LOS ANGELES COUNTY
IN THE
CITY OF SANTA MONICA
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

OWNER/SUBDIVIDERS
MARK TABIT/TABIT VENTURES LLC.
1152 CHARM ACRES
PACIFIC PALISADES, CA 90272
TEL. (310) 944-9444

ARCHITECT
KAPLAN CHEN KAPLAN
2526 EIGHTEEN ST.
SANTA MONICA, CA 90405

SURVEYOR
BROOKS & ASSOCIATES
3300 LEWIS AVE.
SIGNAL HILL, CA 90755

ENGINEER
JK ASSOCIATES
1295 LOS ANGELES ST.
GLENDALE, CA 91204
TEL. NO. (818) 507-6981
E-MAIL: jkasso@earthlink.net

PROJECT ADDRESS
401 OCEAN AVENUE
SANTA MONICA, CA 90402
6-29-2017

APN
4293-007-022

TREE INVENTORY DATA

Tree #	Species	DBH (inches)	Spread	Health	Structure	Disposition	Comments
1	Sequoia sempervirens	22	15'	fair	fair	remove?	
2	Magnolia grandiflora	30	22'	poor	good	remove	
3	Leptospermum sp.	30.10.5	14'	good	fair	remove?	
4	Magnolia grandiflora	24.0.4	22'	fair	good	remove?	
5	Arbutus heterophylla	24.5	12'	fair	good	save?	
6	Erythrina caudex	52.0.1	12'	poor	poor	remove	
7	Ficus microcarpa	11	12'	good	fair	remove	
8	Ficus microcarpa	12.0.4	12'	good	fair	remove	
9	Pinus attenuata	14	12'	fair	fair	remove	
10	Citrus sp.	8.5 @ 1'	6'	fair	fair	remove	
11	Leptospermum sp.	19	15'	fair	poor	remove	
12	Hibiscus sp.	6.5.5	10'	poor	poor	remove	
13	Dead tree	21	—	—	—	removal	Hazard tree
14	Ficus carica	11.0.2	6'	fair	poor	remove	
15	Ficus microcarpa	+10.9.8.4	20'	good	poor	remove	
16	Ficus microcarpa	9.5.9	8'	fair	fair	remove	
17	Jacaranda mimosaefolia	24.0.1	24'	poor	poor	remove	
18*	Phoenix canariensis	37	6'	fair	good	save	
19*	Phoenix canariensis	38 (RB)	12'	good	good	save	
20*	Phoenix canariensis	34 @ 5' (above RB)	6'	fair	good	save	
21*	Phoenix canariensis	36	12'	good	good	save	
22*	Phoenix canariensis	30	9'	fair	good	save	
23*	Phoenix canariensis	39	12'	good	good	save	
24*	Phoenix canariensis	48 (RB)	12'	good	good	save	

* City of Santa Monica street tree, not tagged.
+ Diameter measured at the standard height of 4.5-feet above grade, unless otherwise specified. RB = root boss on palm trees.
--- "r" indicates canopy as a radius estimated in feet.

BASIS OF BEARINGS:
THE BEARING OF N 55°52' W OF THE NORTHEASTERLY LINE OF OCEAN AVENUE AS SHOWN ON THE PALISADES AS PER MAP RECORDED IN BOOK 8, PAGE 10 OF MAPS, RECORDS OF LOS ANGELES COUNTY, TRANSLATED TO THE CENTERLINE OF SAID OCEAN AVENUE, 100 FEET WIDE, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARKS:
SANTA MONICA CITY BENCHMARK IN FIELD BOOK 417-14 BRASS SCREW IN LEAD IN SOUTHWEST CURB OF OCEAN AVENUE AT NORTHWEST CURB OF MARQUERITA AVENUE
ELEVATION = 150.035 FEET
DATUM (NGVD 29)

LEGAL DESCRIPTION:
THE PALISADES LOT 23 BLK 1
22,475.6 SF
ZONING: R4

PROJECT DESCRIPTION:
EXISTING FRONT HOUSE ON PROPERTY IS DESIGNATED AS A LANDMARK AND WILL REMAIN ON PROPERTY. EXISTING GAME ROOM AND GARAGE ARE NOT PART OF THE DESIGNATED LANDMARK AND WILL BE DEMOLISHED. THE REMAINING FRONT HOUSE WILL BE DIVIDED INTO TWO CONDOMINIUMS AT THE VACATED REAR OF THE PROPERTY 3 NEW SINGLE STORY CONDOMINIUMS WILL BE BUILT OVER A FIRST STORY CONSISTING OF 5 PRIVATE GARAGES.

CURRENT USE:
SINGLE FAMILY RESIDENCE - 2 UNITS (FRONT HOUSE IS A LANDMARK AND WILL REMAIN ON PROPERTY)

PROPOSED USE:
5 CONDOMINIUM UNITS
CURRENT OCCUPANCY:
R-3
PROPOSED OCCUPANCY:
R-2U

TYPE OF CONSTRUCTION:
TYPE I-B (FRONT BUILDING, EXISTING), I-B (REAR BUILDING, NEW)

MAXIMUM HEIGHT PERMITTED:
45' WITH TIER 2 COMMUNITY BENEFITS PER TABLE 9.04.033 OF THE SANTA MONICA MUNICIPAL CODE (COMPLY)

REQUIRED SETBACKS:
FRONT BUILDING - 40' W/13R SPRINKLERS, 2 STORES PER 2016 CBC TABLE 504.3 (COMPLY)
REAR BUILDING - 55' W/13R SPRINKLERS, 4 STORES PER 2016 CBC TABLE 504.3 (COMPLY)

SPRINKLERED:
22,475.6 - 709.5 (DECKS) - 3250.6 (CONC SIDEWALKS) - 1838.8 (DRIVEWAYS) - 752.5 (DO) - 1058.3 (EXISTING SIDEWALKS) - 3336 (FRONT BUILDING FIRST FLOOR) - 2831 (REAR BUILDING SECOND FLOOR) = 22,475.6 - 13,787.7 = 8,687.9 SF PLANTING
8,688.9/22,475.6 = .39 = 39% PLANTED

OCCUPANCY SEPARATIONS:
YES (MFA 13R)
1 HOUR BETWEEN R-2 AND U OCCUPANCIES IF BUILDING IS SPRINKLERED

PARCEL COVERAGE:
(3336 + 2306 + 2831 + 2752 + 2783 + 2597)/22,475.6 = 18,805.2/22,475.6 = .74 FAR (BASEMENT EXCLUDED PER 9.04.060 (A1))

PLANTING AREA:
3336 + 2831 (FIRST FLOOR OF EACH BUILDING)/22,475.6 = 6,167.2/22,475.6 = .274 = 27% COVERAGE

UNIT AREA:

Lower Unit 1
Basement - 719 sf
Living Area - 3336 sf
Garage (located in rear building at first floor) - 295.2 sf

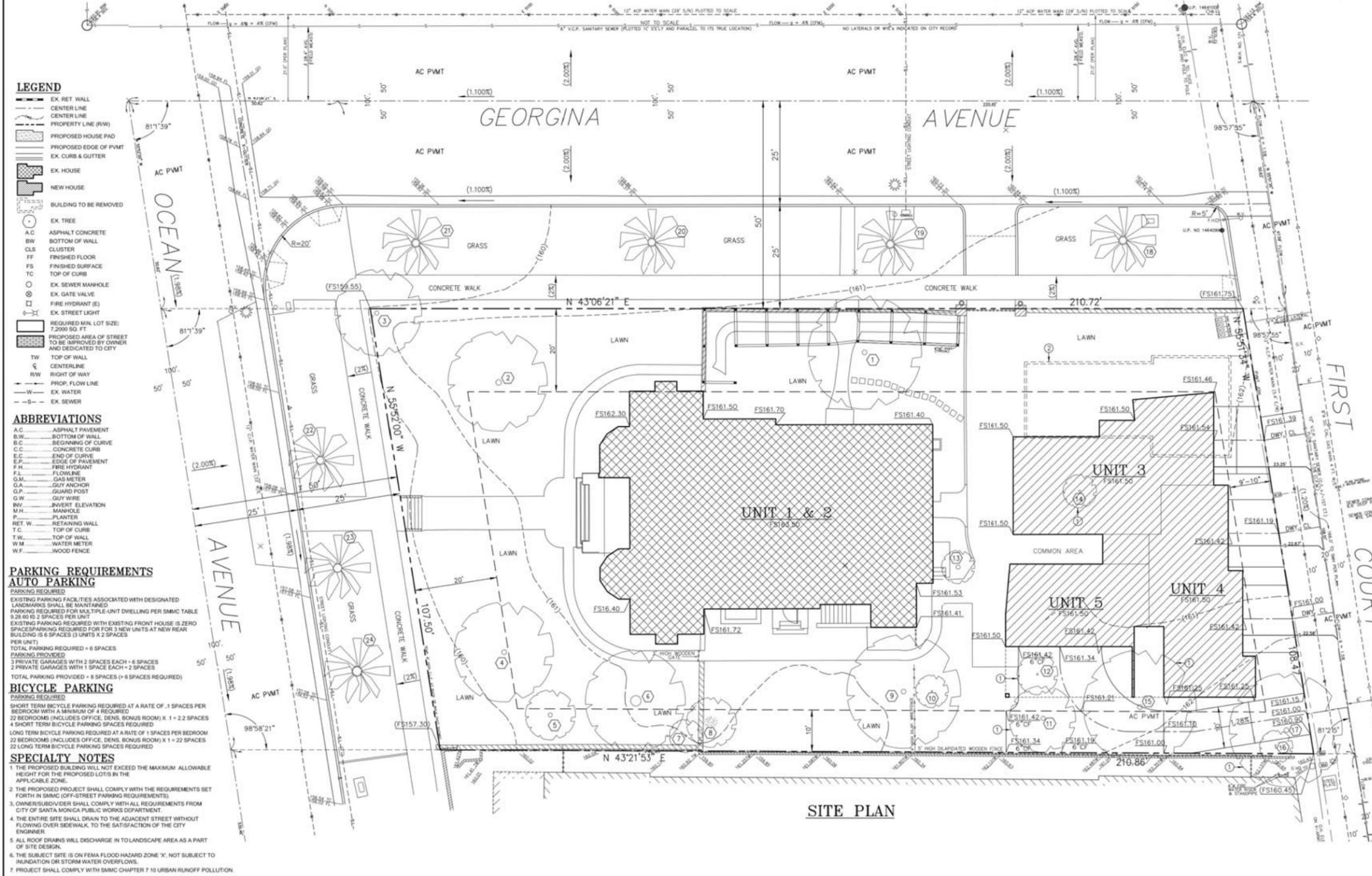
Upper Unit 2
Star Area at First Floor - 129.3 sf
Living Area - 2306 sf
Outdoor Deck - 390.1 sf
Garage (located in rear building at first floor) - 331.2 sf

Second Floor Unit 3
Bonus Room at First Floor - 558.7 sf
Living Area - 2752 sf
Outdoor Deck - 688.2 sf
Garage (located in rear building at first floor) - 410.4 sf

Third Floor Unit 4
Living Area - 2743 sf
Outdoor Deck - 516 sf
Garage (located in rear building at first floor) - 432.2 sf
Roof Deck - 828.3 sf

Fourth Floor Unit 5
Living Area - 2597 sf
Outdoor Deck - 705.3 SF
Garage (located in rear building at first floor) - 553.6 sf
Roof Deck - 863 sf

First Floor Common Area
Common Area, Elevator, etc. - 874.4 sf
Rear Building Roof Common Area (excludes private decks) - 1322.3 sf



- LEGEND**
- EX RET WALL
 - CENTER LINE
 - PROPERTY LINE (RW)
 - PROPOSED HOUSE PAD
 - PROPOSED EDGE OF PVMT
 - EX CURB & GUTTER
 - EX HOUSE
 - NEW HOUSE
 - BUILDING TO BE REMOVED
 - EX TREE
 - ASPHALT CONCRETE
 - BOTTOM OF WALL
 - CLUSTER
 - FINISHED FLOOR
 - FF
 - FINISHED SURFACE
 - TOP OF CURB
 - EX SEWER MANHOLE
 - EX GATE VALVE
 - FIRE HYDRANT (E)
 - EX STREET LIGHT
 - REQUIRED MIN. LOT SIZE: 7,200 SQ. FT.
 - PROPOSED AREA OF STREET TO BE IMPROVED BY OWNER AND DEDICATED TO CITY
 - TW
 - CENTERLINE
 - RW
 - RIGHT OF WAY
 - PROP. FLOW LINE
 - W
 - EX. WATER
 - S
 - EX. SEWER
- ABBREVIATIONS**
- A.C. ASPHALT PAVEMENT
 - B.W. BOTTOM OF WALL
 - B.C. BEGINNING OF CURVE
 - C.C. CONCRETE CURB
 - E.C. END OF CURVE
 - E.P. EDGE OF PAVEMENT
 - F.H. FIRE HYDRANT
 - F.L. FLOWLINE
 - G.A. GAS METER
 - G.A. GUY ANCHOR
 - G.P. GUY POST
 - G.W. GUY WIRE
 - INV. INVERT ELEVATION
 - M.H. MANHOLE
 - P. PLANTER
 - RET. W. RETAINING WALL
 - T.C. TOP OF CURB
 - T.W. TOP OF WALL
 - W.M. WATER METER
 - W.F. WOOD FENCE

PARKING REQUIREMENTS
AUTO PARKING
EXISTING PARKING FACILITIES ASSOCIATED WITH DESIGNATED LANDMARKS SHALL BE MAINTAINED
PARKING REQUIRED FOR MULTIPLE UNIT DWELLING PER SBMC TABLE 9.28.60 IS 2 SPACES PER UNIT
EXISTING PARKING REQUIRED WITH EXISTING FRONT HOUSE IS ZERO SPACES/PARKING REQUIRED FOR FOR 3 NEW UNITS AT NEW REAR BUILDING IS 6 SPACES (3 UNITS X 2 SPACES PER UNIT)
TOTAL PARKING REQUIRED = 6 SPACES
PARKING PROVIDED:
3 PRIVATE GARAGES WITH 2 SPACES EACH = 6 SPACES
2 PRIVATE GARAGES WITH 1 SPACE EACH = 2 SPACES
TOTAL PARKING PROVIDED = 8 SPACES (> 6 SPACES REQUIRED)

BICYCLE PARKING
PARKING REQUIRED
SHORT TERM BICYCLE PARKING REQUIRED AT A RATE OF .1 SPACES PER BEDROOM WITH A MINIMUM OF 4 REQUIRED
22 BEDROOMS (INCLUDES OFFICE, DEN, BONUS ROOM) X 1 = 22 SPACES
4 SHORT TERM BICYCLE PARKING SPACES REQUIRED
LONG TERM BICYCLE PARKING REQUIRED AT A RATE OF 1 SPACES PER BEDROOM
22 BEDROOMS (INCLUDES OFFICE, DEN, BONUS ROOM) X 1 = 22 SPACES
22 LONG TERM BICYCLE PARKING SPACES REQUIRED

SPECIALTY NOTES

- THE PROPOSED BUILDING WILL NOT EXCEED THE MAXIMUM ALLOWABLE HEIGHT FOR THE PROPOSED LOTS IN THE APPLICABLE ZONE.
- THE PROPOSED PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN SBMC (OFF-STREET PARKING REQUIREMENTS).
- OWNERS/SUBDIVIDERS SHALL COMPLY WITH ALL REQUIREMENTS FROM CITY OF SANTA MONICA PUBLIC WORKS DEPARTMENT.
- THE ENTIRE SITE SHALL DRAIN TO THE ADJACENT STREET WITHOUT FLOWING OVER SIDEWALK TO THE SATISFACTION OF THE CITY ENGINEER.
- ALL ROOF DRAINS WILL DISCHARGE IN TO LANDSCAPE AREA AS A PART OF SITE DESIGN.
- THE SUBJECT SITE IS ON FEMA FLOOD HAZARD ZONE "X". NOT SUBJECT TO INUNDATION OR STORM WATER OVERFLOWS.
- PROJECT SHALL COMPLY WITH SBMC CHAPTER 7.10 URBAN RUNOFF POLLUTION.

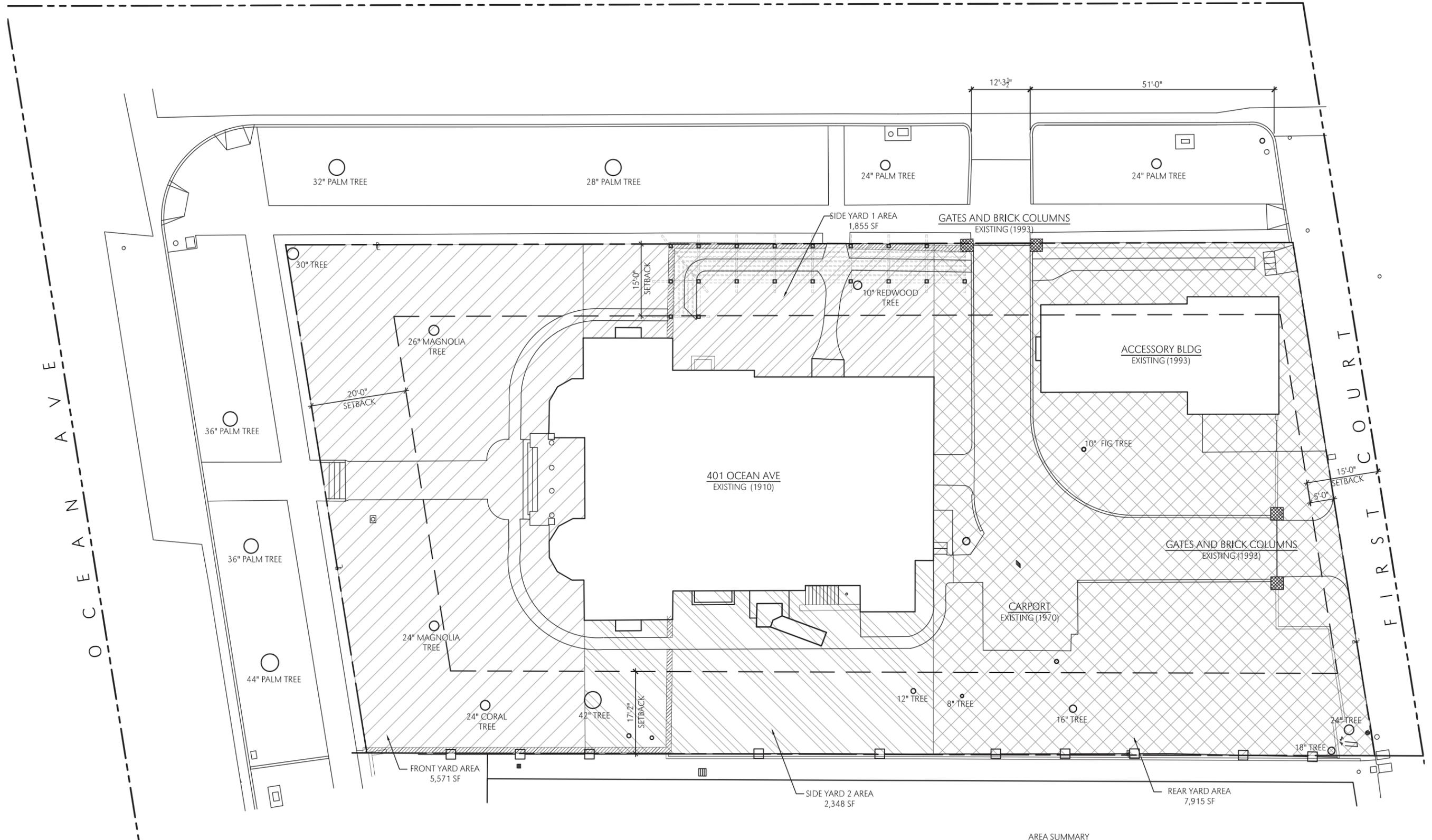
- GENERAL NOTES:**
- REMOVE EXISTING TREE
 - REMOVE EXISTING GAME ROOM AND GARAGE



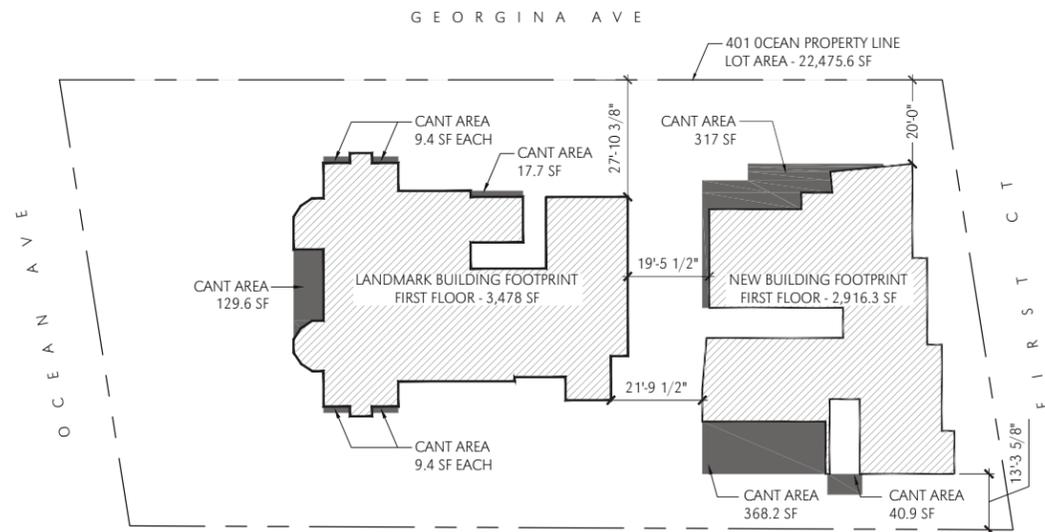
REGISTERED PROFESSIONAL ENGINEER
No. 37138
Exp. 8-30-18
CIVIL
STATE OF CALIFORNIA

PREPARED UNDER THE DIRECTION OF
11-27-17
DATE
R.C.E. # 37138

G E O R G I N A A V E



AREA SUMMARY
SITE - 22,651 SF (.52 ACRES)
FRONT YARD - 5,571 SF
SIDE YARD 1 - 1,855 SF
SIDE YARD 2 - 2,348 SF
REAR YARD - 7,915 SF



PARCEL COVERAGE CALCULATION - GROUND FLOOR

EXTERIOR WALL DIMENSIONS (BUILDING FOOTPRINT) USED TO CALCULATE PARCEL COVERAGE
 LOT AREA: 22,475.6 SF

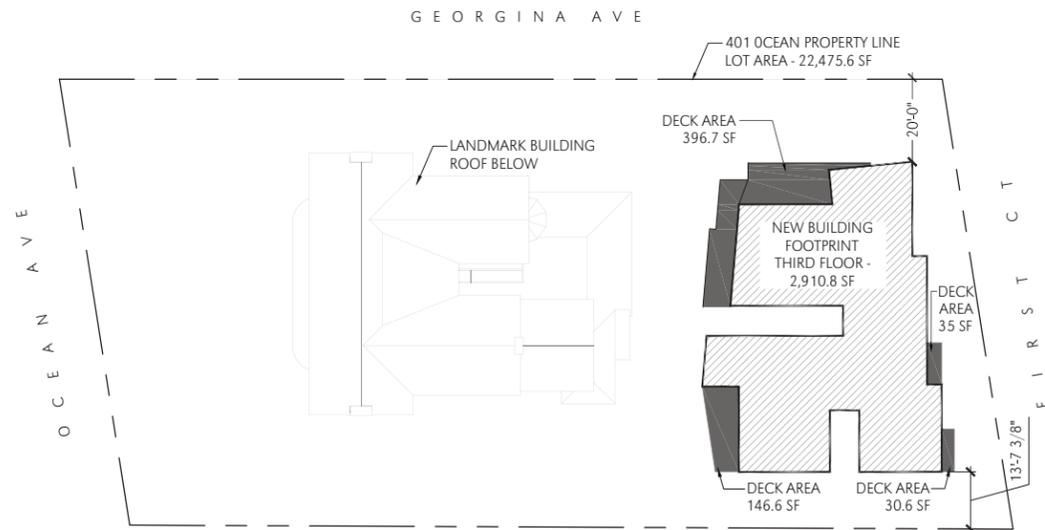
MAXIMUM GROUND FLOOR PARCEL COVERAGE IS 50% OF LOT AREA: .5 X 22,475.6 SF = 11,237.8 SF MAX GROUND FLOOR AREA ALLOWABLE

LANDMARK BUILDING GROUND FLOOR BUILDING FOOTPRINT: 3,478 SF
 NEW BUILDING GROUND FLOOR FOOTPRINT: 2,916.3 SF
 UPPER LEVEL CANTILEVERED AREAS FOR LANDMARK AND NEW BUILDING: 911 SF
 TOTAL BUILDING AREA INCLUDING CANTILEVERED AREAS AT GROUND FLOOR: (3,478 + 2,916.3 + 911) = 7,305.3 SF (LESS THAN 11,237.8 SF MAX GROUND FLOOR AREA ALLOWABLE)
 GROUND FLOOR PARCEL COVERAGE: 7,305.3 SF/22,475.6 SF = .325 = 32.5% PARCEL COVERAGE

GROUND FLOOR PARCEL COVERAGE

scale: 1" = 20.0'

1



PARCEL COVERAGE CALCULATION - THIRD FLOOR

EXTERIOR WALL DIMENSIONS (BUILDING FOOTPRINT) USED TO CALCULATE PARCEL COVERAGE
 LOT AREA: 22,475.6 SF

MAXIMUM GROUND FLOOR AREA ALLOWABLE: 11,237.8 SEE $\frac{1}{.6}$

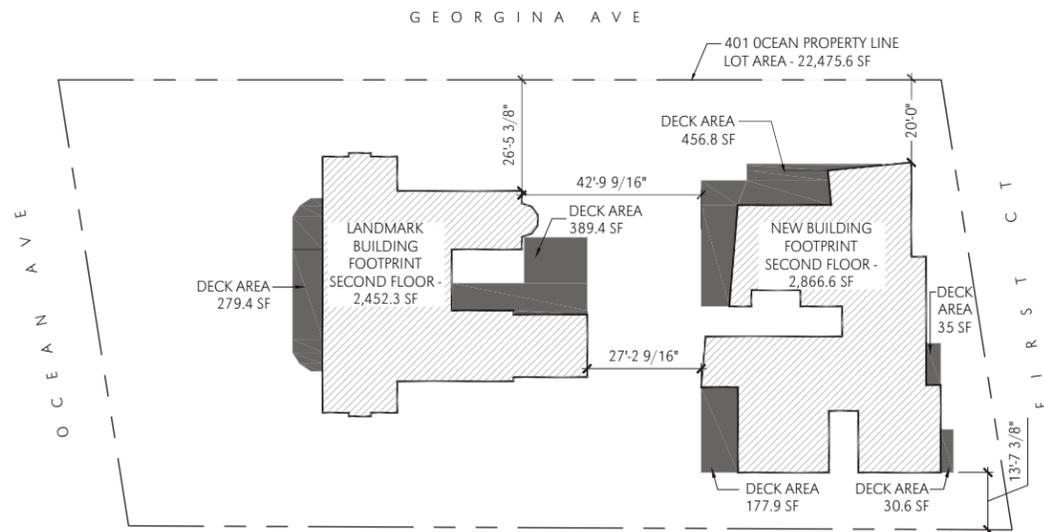
MAXIMUM THIRD FLOOR PARCEL COVERAGE IS 60% OF MAX GROUND FLOOR AREA ALLOWABLE: .6 X 11,237.8 = 6,742.7 SF MAX THIRD FLOOR AREA ALLOWABLE

NEW BUILDING THIRD FLOOR FOOTPRINT: 2,910.8 SF (EXCLUDES ELEVATOR SHAFT AND EXIT STAIRS)
 THIRD FLOOR DECK AREA FOR NEW BUILDING: 608.9 SF
 TOTAL BUILDING AREA INCLUDING DECKS AT THIRD FLOOR: (2,910.8 + 608.9) = 3,519.7 (LESS THAN 6,742.2 SF MAX THIRD FLOOR AREA ALLOWABLE)
 THIRD FLOOR PARCEL COVERAGE: 3,519.7 SF/22,475.6 SF = .157 = 15.7% PARCEL COVERAGE

THIRD FLOOR PARCEL COVERAGE

scale: 1" = 20.0'

3



PARCEL COVERAGE CALCULATION - SECOND FLOOR

EXTERIOR WALL DIMENSIONS (BUILDING FOOTPRINT) USED TO CALCULATE PARCEL COVERAGE
 LOT AREA: 22,475.6 SF

MAXIMUM GROUND FLOOR AREA ALLOWABLE: 11,237.8 SEE $\frac{1}{.8}$

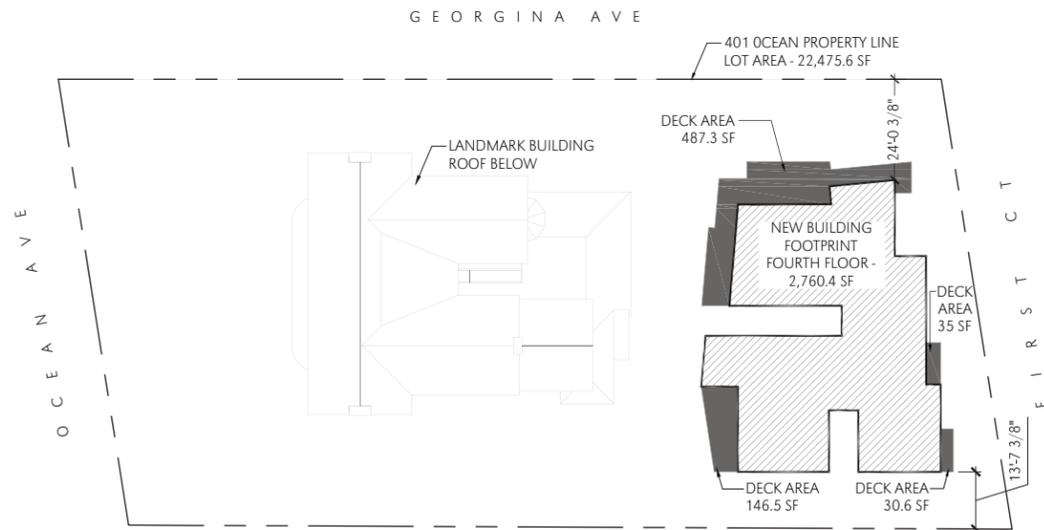
MAXIMUM SECOND FLOOR PARCEL COVERAGE IS 80% OF MAX GROUND FLOOR AREA ALLOWABLE: .8 X 11,237.8 = 8,990.2 SF MAX SECOND FLOOR AREA ALLOWABLE

LANDMARK BUILDING SECOND FLOOR BUILDING FOOTPRINT (INCLUDING ADDITION): 2,452.3 SF
 NEW BUILDING SECOND FLOOR FOOTPRINT: 2,866.6 SF (EXCLUDES ELEVATOR SHAFT AND EXIT STAIRS)
 SECOND FLOOR DECK AREA FOR LANDMARK AND NEW BUILDING: 1,369.1 SF
 TOTAL BUILDING AREA INCLUDING DECKS AT SECOND FLOOR: (2,452.3 + 2,866.6 + 1,369.1) = 6,688 SF (LESS THAN 8,990.2 SF MAX SECOND FLOOR AREA ALLOWABLE)
 SECOND FLOOR PARCEL COVERAGE: 6,688 SF/22,475.6 SF = .297 = 29.7% PARCEL COVERAGE

SECOND FLOOR PARCEL COVERAGE

scale: 1" = 20.0'

2



PARCEL COVERAGE CALCULATIONS - FOURTH FLOOR

EXTERIOR WALL DIMENSIONS (BUILDING FOOTPRINT) USED TO CALCULATE PARCEL COVERAGE
 LOT AREA: 22,475.6 SF

MAXIMUM GROUND FLOOR AREA ALLOWABLE: 11,237.8 SEE $\frac{1}{.5}$

MAXIMUM FOURTH FLOOR PARCEL COVERAGE IS 50% OF MAX GROUND FLOOR AREA ALLOWABLE: .5 X 11,237.8 = 5,618.9 SF MAX FOURTH FLOOR AREA ALLOWABLE

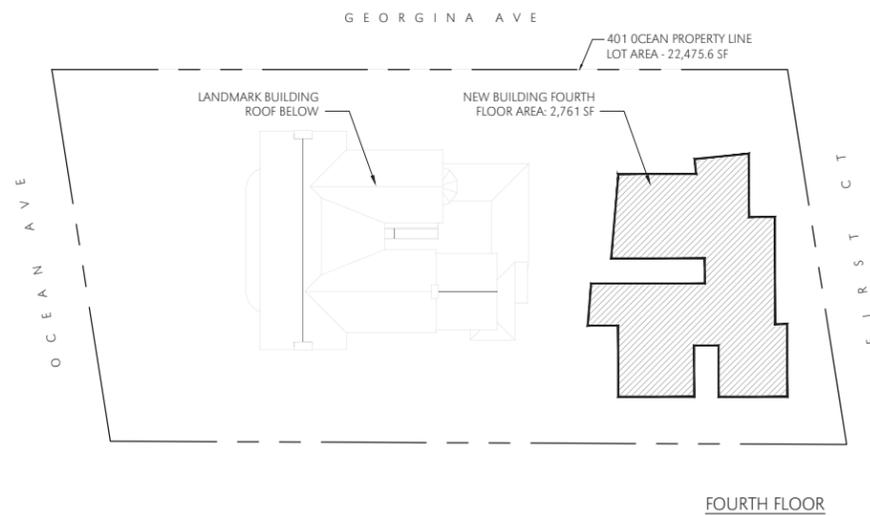
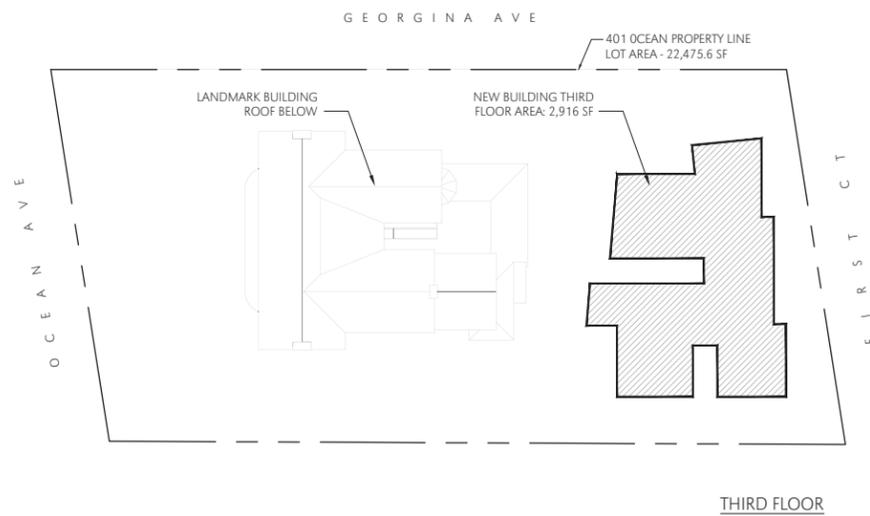
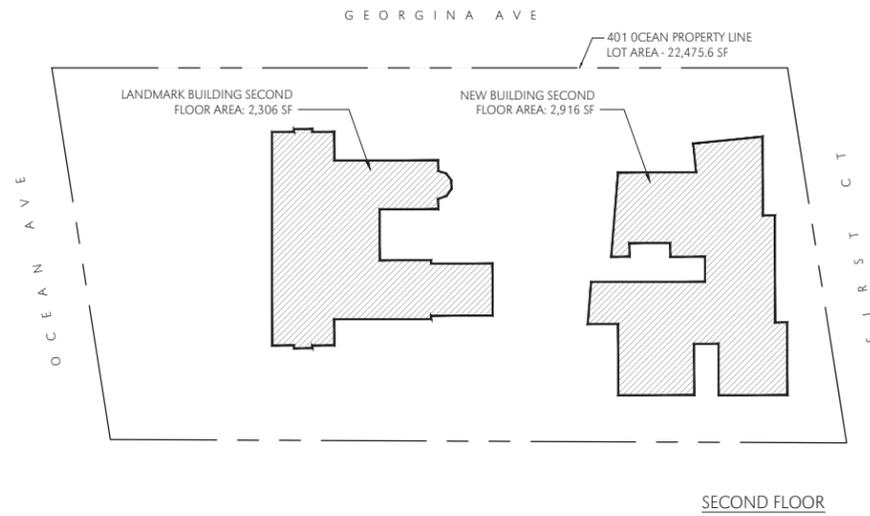
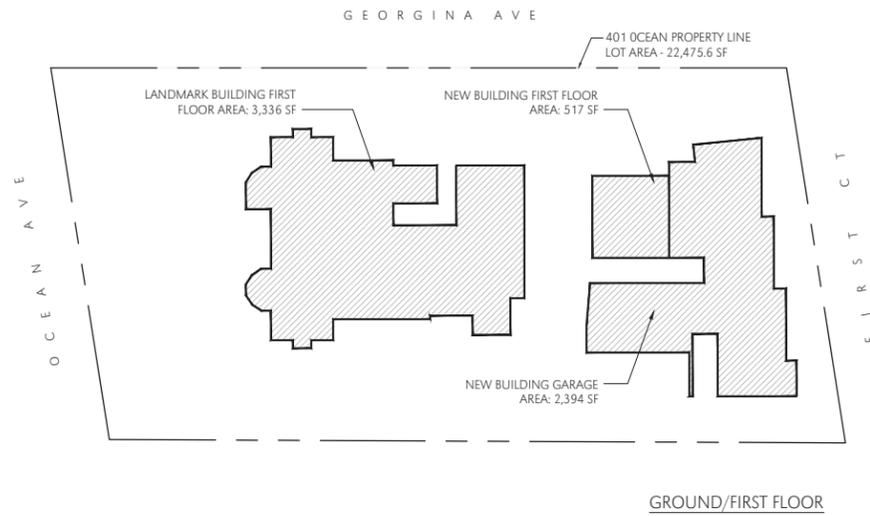
NEW BUILDING FOURTH FLOOR FOOTPRINT: 2,760.4 SF (EXCLUDES ELEVATOR SHAFT AND EXIT STAIRS)
 FOURTH FLOOR DECK AREA FOR NEW BUILDING: 699.4 SF
 TOTAL BUILDING AREA INCLUDING DECKS AT FOURTH FLOOR: (2,760.4 + 699.4) = 3,459.8 SF (LESS THAN 5,618.9 SF MAX FOURTH FLOOR AREA ALLOWABLE)
 FOURTH FLOOR PARCEL COVERAGE: 3,459.8 SF/22,475.6 SF = .154 = 15.4% PARCEL COVERAGE

FOURTH FLOOR PARCEL COVERAGE

scale: 1" = 20.0'

4



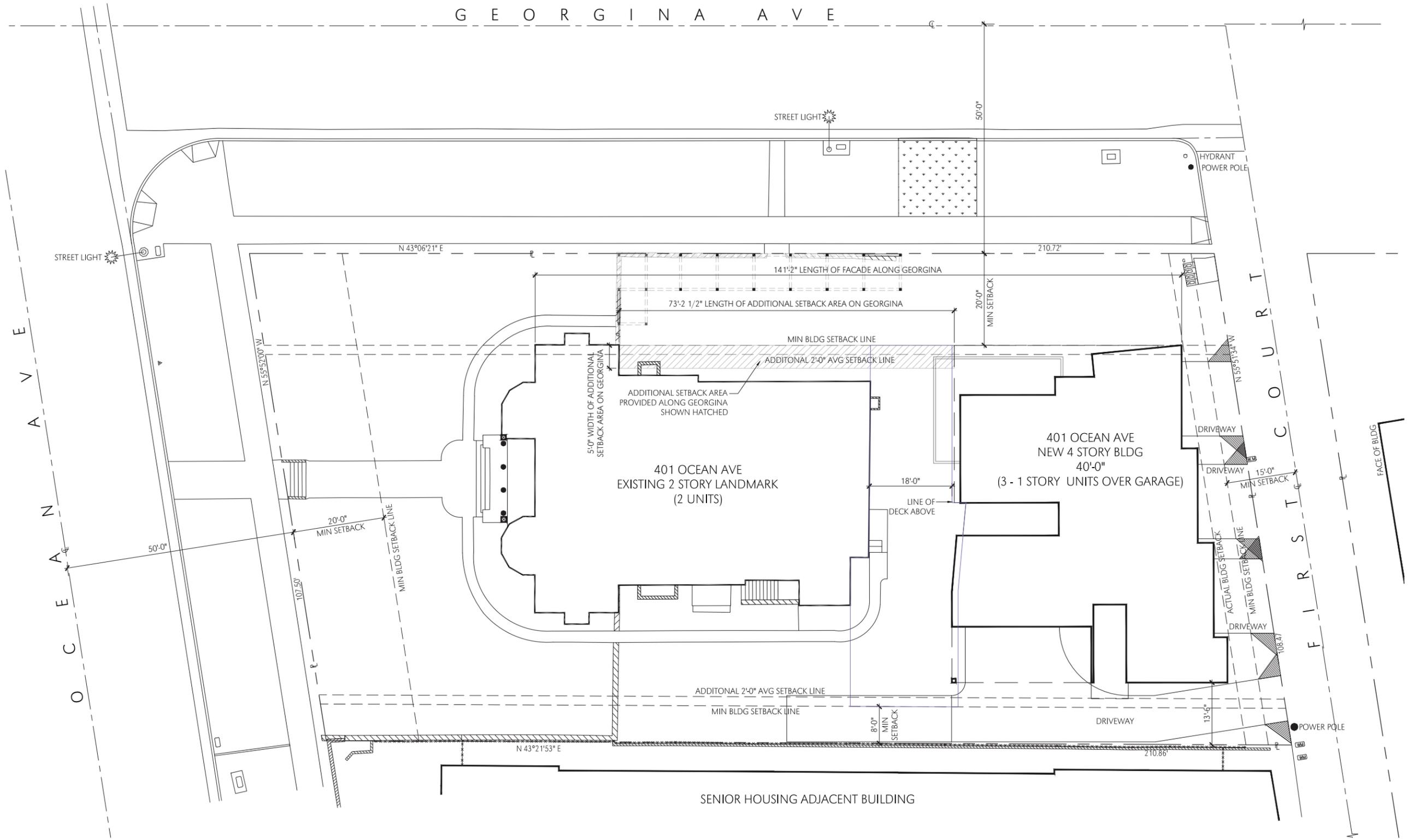


FAR CALCULATION

SITE AREA: 22,475.6 SF

LANDMARK FIRST FLOOR AREA:	3,336 SF
LANDMARK SECOND FLOOR AREA:	2,306 SF
NEW BUILDING FIRST FLOOR GARAGE AREA:	2,394 SF
NEW BUILDING FIRST FLOOR AREA:	517 SF
NEW BUILDING SECOND FLOOR AREA:	2,916 SF
NEW BUILDING THIRD FLOOR AREA:	2,916 SF
NEW BUILDING FOURTH FLOOR AREA:	2,761 SF
TOTAL FLOOR AREA:	17,146 SF

FAR: 17,146 SF TOTAL FLOOR AREA/22,475.6 SITE AREA = .76



ADDITIONAL AVERAGE SETBACK CALCULATION ALONG GEORGINA
 ADDITIONAL SETBACK REQUIRED = 141.17' X 2' = 282.33 SF
 ADDITIONAL SETBACK PROVIDED = 73.21' X 5' = 366.05 SF
 ADDITIONAL SETBACK PROVIDED, 366.05 SF, IS GREATER THAN ADDITIONAL SETBACK REQUIRED, 282.33 SF

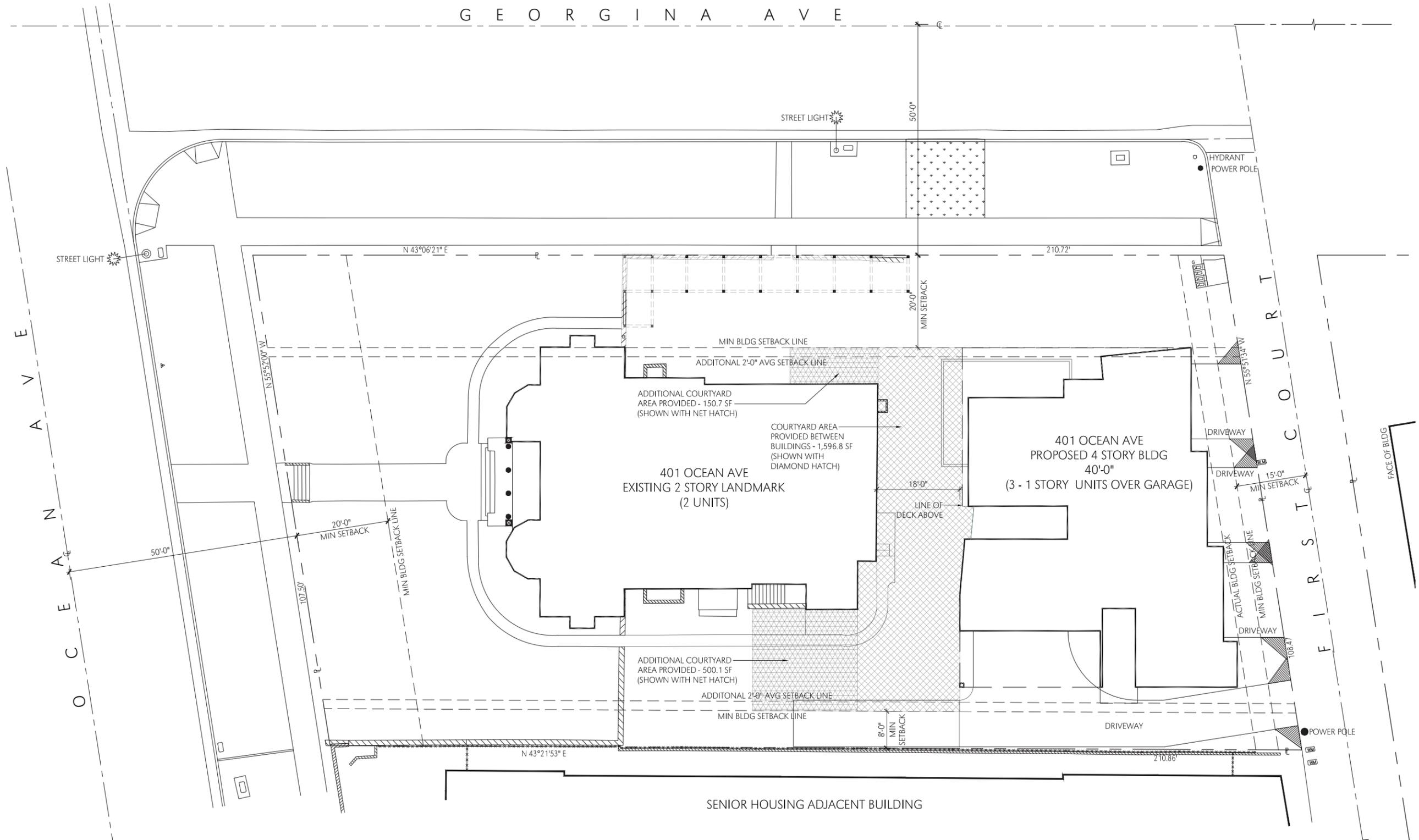
ADDITIONAL AVERAGE SETBACK AT INTERIOR OF PROPERTY
 ENTIRE FACADE IS SETBACK AT MINIMUM 13'-6" FROM PROPERTY LINE AND IS GREATER THAN THE 10'-0"
 AVERAGE ADDITIONAL SETBACK REQUIRED

ADDITIONAL SETBACK AREA

scale: 1" = 10'-0"

1





REQUIRED COURTYARD CALCULATION

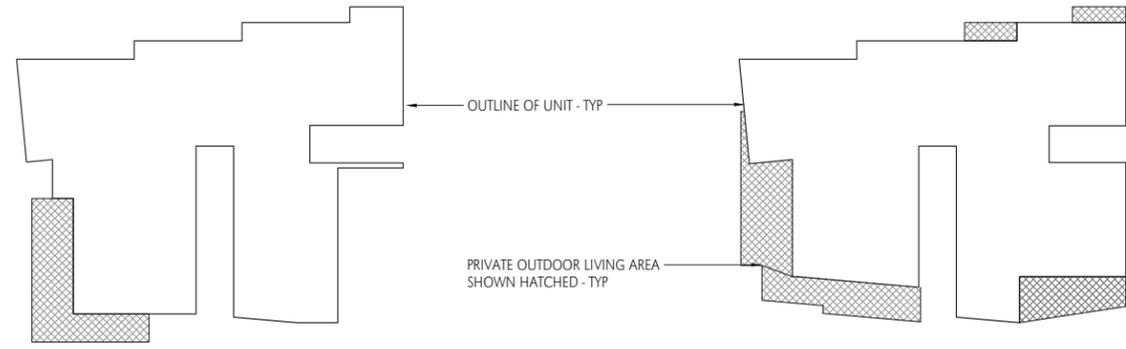
TOTAL LOT AREA: 22,475.6 SF
 COURTYARD AREA REQUIRED IS 10% OF LOT AREA: $22,475.6 \times .1 = 2,247.6$ SF COURTYARD AREA REQUIRED
 COURTYARD AREA PROVIDED BETWEEN BUILDINGS (DIAMOND HATCH): 1,596.8 SF
 ADDITIONAL COURTYARD AREA PROVIDED (NET HATCH): $150.7 + 500.1 = 650.8$ SF
 TOTAL COURTYARD AREA PROVIDED: $1,596.8 + 650.8 = 2,247.6$ SF COURTYARD AREA PROVIDED (MEETS REQUIREMENT)

COURTYARD AREA

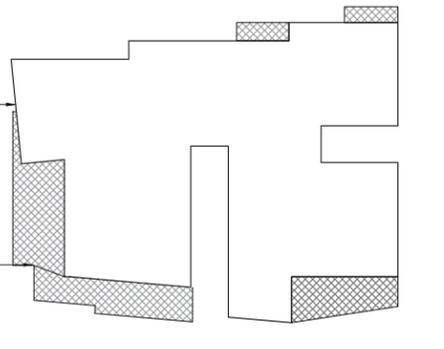
scale: 1" = 10'-0"

1

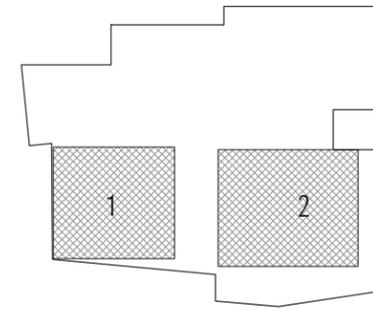




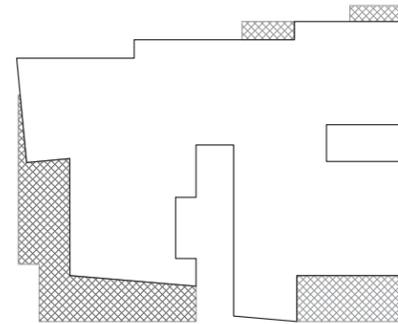
REAR BLDG FIRST FLOOR PRIVATE OUTDOOR LIVING AREA - 292 SF
ASSOCIATED WITH SECOND FLOOR UNIT



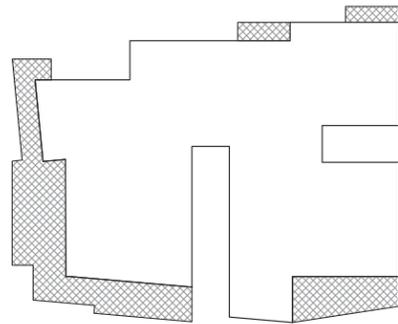
REAR BLDG THIRD FLOOR UNIT PRIVATE OUTDOOR LIVING AREA - 609 SF



ROOF DECK 1 - 492 SF
ASSOCIATED WITH FOURTH FLOOR UNIT
ROOF DECK 2 - 593 SF
ASSOCIATED WITH THIRD FLOOR UNIT



REAR BLDG SECOND FLOOR UNIT PRIVATE OUTDOOR LIVING AREA - 700 SF



REAR BLDG FOURTH FLOOR UNIT PRIVATE OUTDOOR LIVING AREA - 699 SF

PRIVATE OUTDOOR LIVING AREA SUMMARY

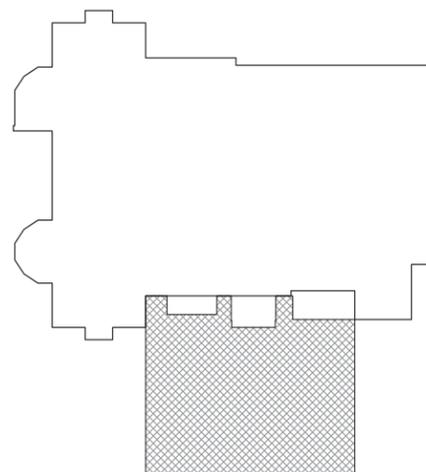
NEW BUILDING SECOND FLOOR UNIT
FIRST FLOOR PRIVATE GARDEN - 292 SF
SECOND FLOOR PRIVATE DECKS - 700 SF
TOTAL - 992 SF PROVIDED (100 SF MIN REQUIRED)

NEW BUILDING THIRD FLOOR UNIT
THIRD FLOOR PRIVATE DECKS - 609 SF
ROOF DECK 2 - 593 SF
TOTAL - 1202 SF PROVIDED (100 SF MIN REQUIRED)

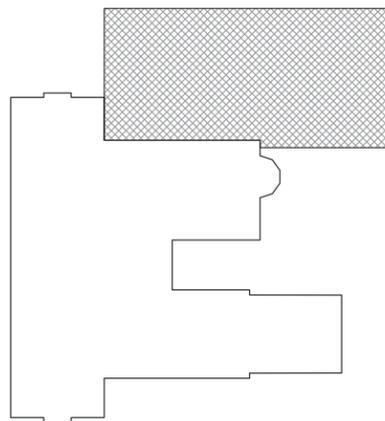
NEW BUILDING FOURTH FLOOR UNIT
FOURTH FLOOR PRIVATE DECKS - 699 SF
ROOF DECK 1 - 492 SF
TOTAL - 1191 SF PROVIDED (100 SF MIN REQUIRED)

LANDMARK BUILDING FIRST FLOOR UNIT
PRIVATE GARDEN - 1219 SF (100 SF MIN REQUIRED)

LANDMARK BUILDING SECOND FLOOR UNIT
PRIVATE GARDEN - 1408 SF (100 SF MIN REQUIRED)



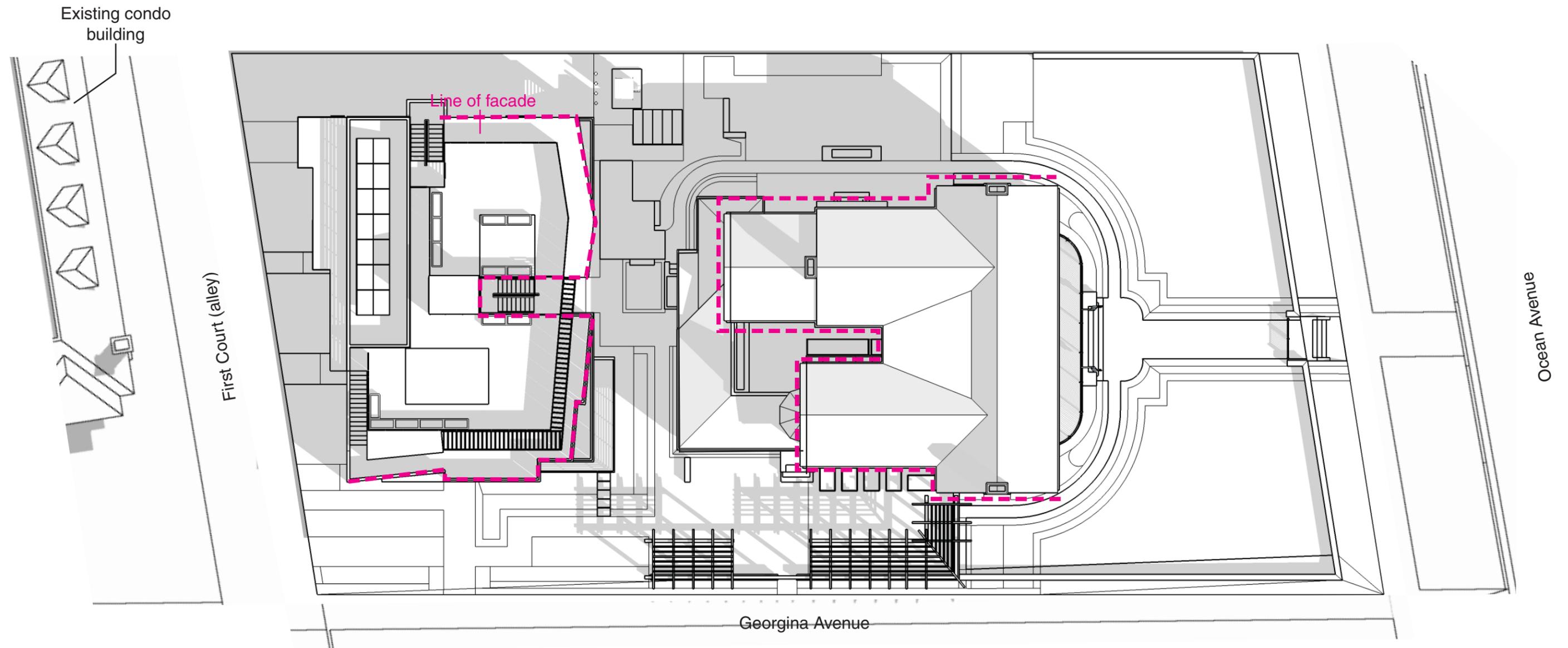
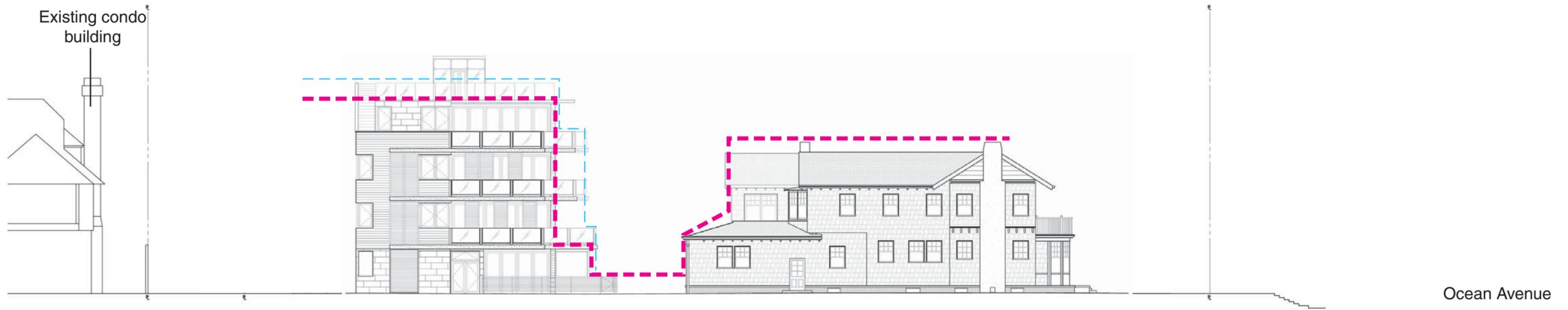
FRONT BLDG FIRST FLOOR UNIT PRIVATE OUTDOOR LIVING AREA - 1219 SF

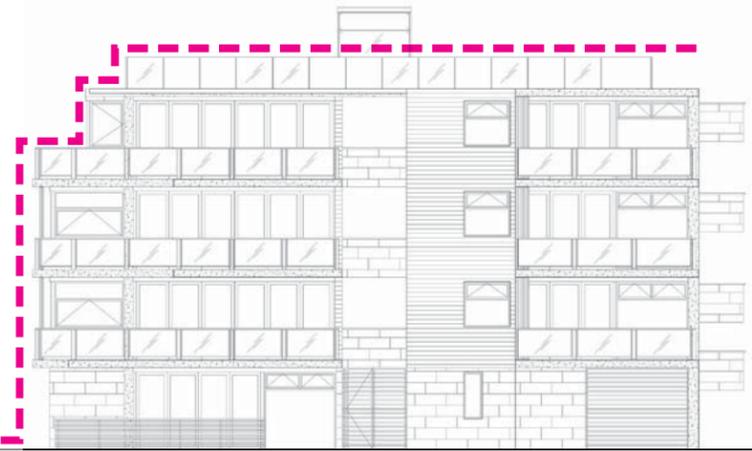


FRONT BLDG SECOND FLOOR UNIT PRIVATE OUTDOOR LIVING AREA - 1408 SF

PRIVATE SPACE DIAGRAMS

scale: 1/16" = 1'-0"





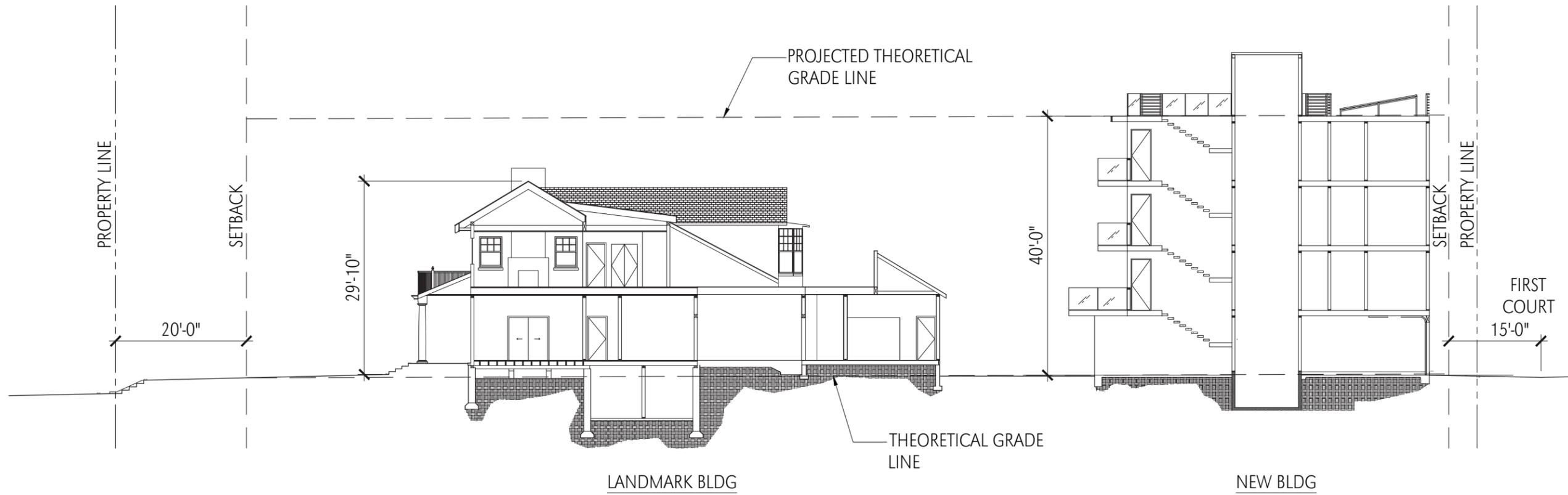
Georgina Avenue





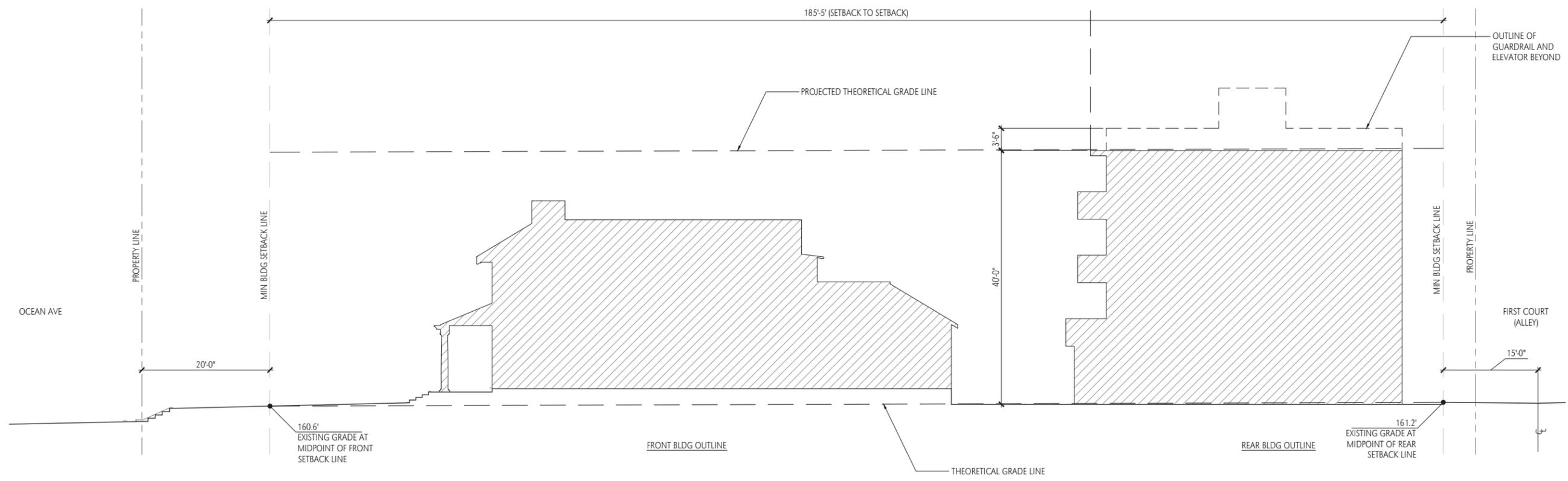
PROJECT NORTH ELEVATION

scale: NTS



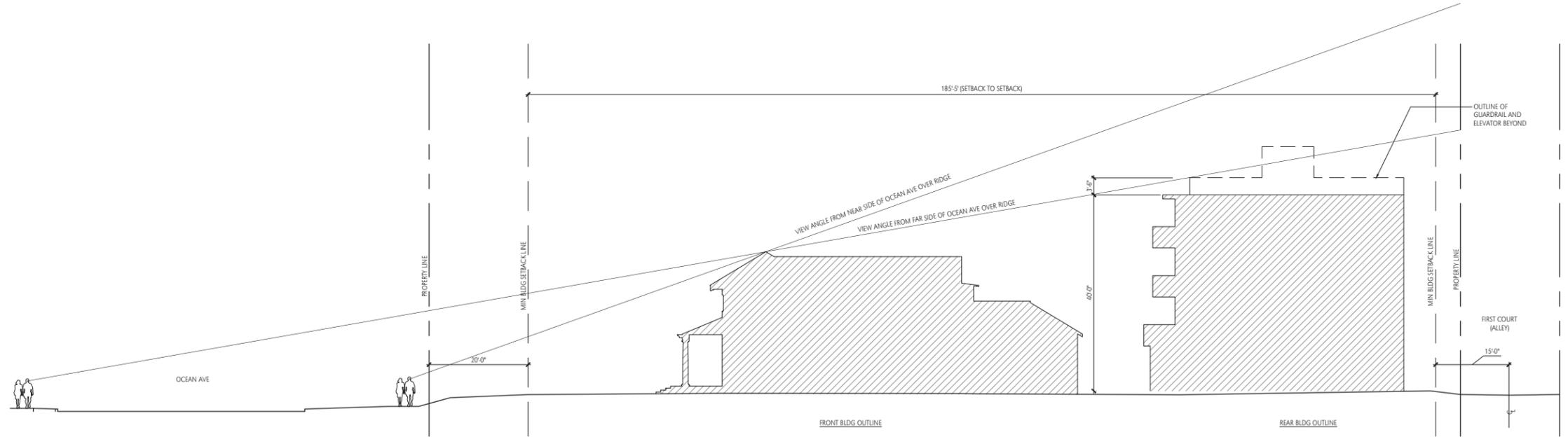
SITE SECTION LOOKING NORTH

scale: 1/16" = 1'-0"



THEORETICAL GRADE DIAGRAM

scale: 1/8" = 1'-0"



STREET VIEW SECTION

scale: 3/32" = 1'-0"



Photograph of residence ca. 1950



Current view of residence from Georgina Avenue

401 Ocean Avenue - History and Description

The two-story house was constructed at the corner of Ocean and Georgina Avenues in 1910 for Henry Weyse, a local attorney. The residence was the first home built on Ocean Avenue north of Montana Avenue following subdivision of the Palisades Tract in 1905 and annexation by Santa Monica in 1906. The home was designed by local architect Robert D. Farquhar. Farquhar was one of the most notable architects living in Santa Monica at the beginning of the 20th century. He was born in Brooklyn in 1872, attended Harvard, Massachusetts Institute of Technology and the Ecole des Beaux-Arts in Paris and then moved to Santa Monica in 1905. He married Marion Jones, one of the daughters of Santa Monica founder and later Senator John P. Jones. Other buildings designed by Farquhar included his own house on Georgina Avenue, a Roy Jones residence and the Gorham house on Adelaide Drive along with the California Club in downtown Los Angeles, Clark Memorial Library and numerous large homes in Beverly Hills, Los Angeles and Pasadena.

The house at 401 Ocean Avenue was designed in a style now identified as Colonial Revival with Craftsman features. The residence has a formal central entry facing Ocean Avenue with a gabled shingle roof. Two story masonry chimneys bookend the front portion of the house. Two wings on the back of the residence and set in slightly from the front portion extend to the west.

The residence's exterior is clad in wood shingles with double hung wood windows, most with sub-divided upper lites. A large pergola on the north was not included in the original designation but appears to be from the same era with crafted wood beams. Many changes and remodels have occurred to the house. Sometime before WWII a building was added across the rear of the house at the ground floor, closing in a small court. A large bay window was added to the upstairs bedroom on the west with one on the windows used as access to the rooftop of the added one-story building. During World War II many of these larger homes served as boarding houses for soldiers. The house eventually was separated into two units, upper and lower. The interior grand stair was removed and the opening to the floor above was covered. A new entry was established on the north side from Georgina Avenue that accessed a new stair that cut through part of the original rear court to the upper floor where a kitchen was added. The upper front bay windows were replaced by large view windows and the lower open porch bay was enclosed with a sliding glass door and modified windows.

Charles Morris purchased the home in 1952 and his extended family occupied the property until recently. The house remained subdivided with separate entries although a door was added to the stair at the lower court so that the family could circulate within the residence between the two floors. Windows at either end of the front portion of the house were covered by cabinets and built-in bookcases. Shutters were added to the exterior to cover these blocked openings. The natural gray wood shingles deteriorated and rotted without apparent treatment and eventually were painted green.

History and Description - Continued

The site contained other structures as well as the pergola along Georgina Avenue. A small temporary building was located on the southeast portion of the property in the 1930s and a two story structure was constructed in 1941 at the northeast corner of the site that remained until 1992 although excluded at the time of landmark designation. That building was demolished and a new accessory building with garage was constructed in its place. New gates with brick pillars were added at either end of the drive.

In 1990 the Morris Family was notified that the property at 401 Ocean Avenue had been identified as a potential historic resource and recorded in the City of Santa Monica's Historic Resource Inventory. The Department of Recreation and Parks (DPR) inventory form for the residence noted:

"It is significant architecturally as an example of the oeuvre of R. D. Farquhar, the most regionally prominent architect in residence in Santa Monica at the time and a son-in-law of the founder of the city. Historically, the house is one of the earliest to be built in the landmark Palisades Tract, and was furthermore, associated with local attorney, Henry G. Weyse for well over twenty-five years. Moreover, the house is an important visual feature of the Ocean Avenue streetscape and is one of the only remaining houses dating from the original period of Ocean Avenue's prominence in the Santa Monica community."

The owners asked the City about designation of the property as a historic landmark and supported that effort including naming of the house as the Henry Weyse/Charles Morris House to recognize both the original and current longstanding owners. The residence was designated as the 19th City of Santa Monica Historic Landmark in September 1990. The historic significance of the building in the Landmark Commission's designation was linked to three criteria: The residence exemplifies elements of the cultural social economic political or architectural history of the City as one of the earliest homes built in the Palisades Tract and representative of the homes built for the City's prominent residents that helped to establish the tract's reputation as one of Santa Monica's elite neighborhoods. The residence also embodies distinguishing architectural characteristics in that the house is an excellent example of Craftsman style with a mix of Colonial Revival details. The house is also significant as the work of noted architect Robert D. Farquhar, an early resident of Santa Monica and renowned for his design of large scale homes for prominent families in Santa Monica, Beverly Hills and Pasadena.



Ground floor north bay, view of Ocean Avenue



West entry facade from Ocean Avenue



Living room is one of few preserved spaces along with the Library at the opposite end and the octagonal Dining room



Upper floor was changed as separate unit with view windows on the west replacing original.



Detail at damaged shingles



South facade is especially deteriorated

Wood Shingles and Trim

The wood shingles through years of deferred maintenance have become heavily damaged and also rotted. The shingles are currently painted green. The shingles were originally a natural finish and were painted approximately 40 years ago possibly to cover deterioration. The shingles have continued to deteriorate and need to be removed and replaced. Very few areas appear to be in salvagable condition. Some wood trim is also affected.



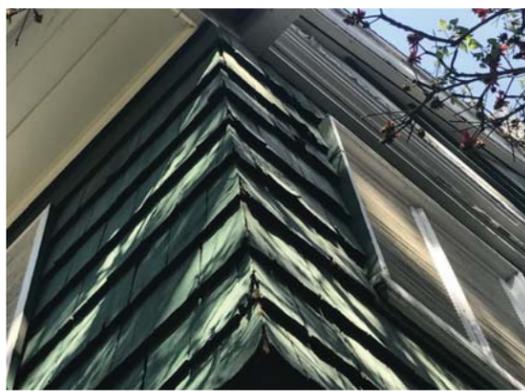
Detail at damaged shingles on window bay



Detail at damaged shingles and frames



Detail at damaged shingles



Detail at damaged shingles



Detail at damaged & deteriorated shingles



Wood eaves and fascias need replacement



North chimney to be removed & reconstructed

Masonry chimneys

The smooth plaster covered chimneys are masonry construction and have not been structurally upgraded. A chimney inspection revealed damaged flues in the three chimneys. These chimneys will need to be removed and reconstructed with framing and new plaster finish to match.



Detail at north chimney to be reconstructed



South chimney is also required to be demolished



East chimney to be removed & reconstructed

Wood Railings

Exterior wood railings are deteriorated and connections damaged. These items will need to be removed and built new to match. The front porch rail is to be removed and a new matching rail constructed with thin metal rails added behind to meet current code height requirements. The non-conforming rail at the east deck will be removed. The deck will be lowered so that a minimal rail will be visible over the roof providing a more open view of the building.



Front railing south end deteriorated



Front railing north end deteriorated



Front railing to be reconstructed



Deteriorated east deck rail to be removed



Looking east along Georgina Ave. with trellis



Trellis deteriorated with mature tree nearby



All wood beams and lattice are rotted

Sitework

Original paving and other sitework have been damaged, poorly repaired and require removal and replacement.



Paving and other sitework damaged and require reconstruction



Close view of rotted decorative wood trellis

Trellis on north

Although the trellis is not on the architect's drawings, it may be original or near original. The wood has not been preserved, a tree has grown into the place of one of the posts and one of the posts was removed for construction of a gate. All of the wood is rotted and deteriorated to point of removal and reconstruction to match.



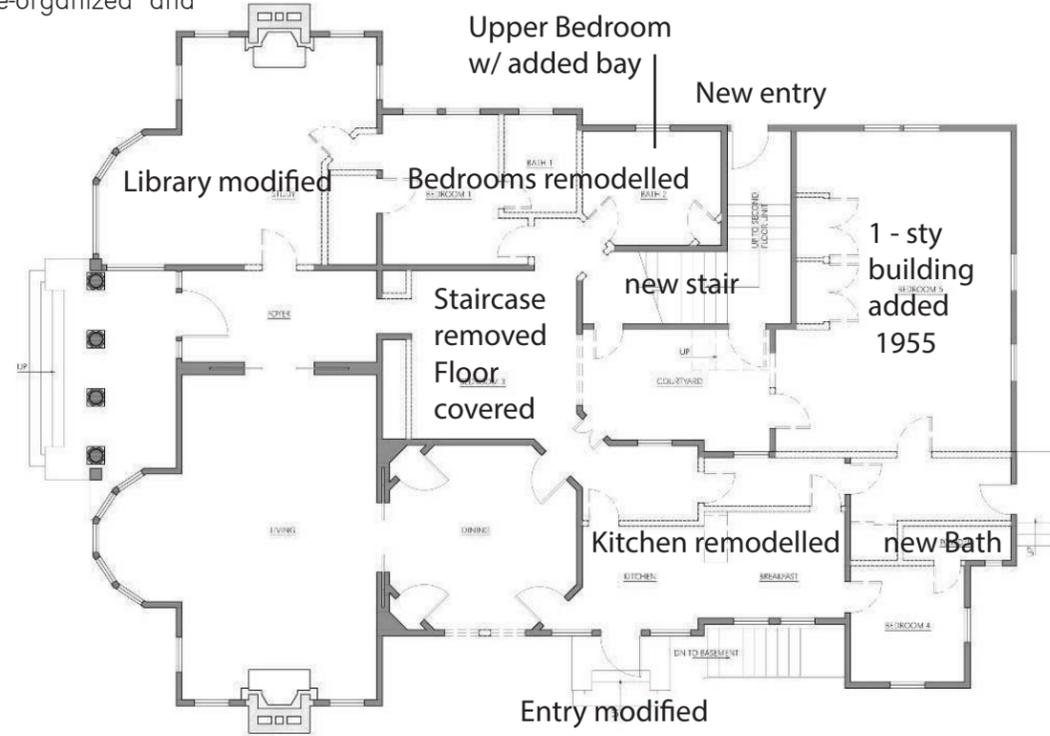
New entry to stairs for upper floor put into addition immediately east of original building along Georgina Avenue.

Previous changes to residence

The original house has been remodelled over the years with a major change in 1955 to add a building at the rear and separate the two floors internally so that the upper and lower floors were separate living spaces. The original central stair was removed and the floor filled in. The new stair partially filled the rear court. A kitchen was created upstairs and a bay window added on the east that included access to the rooftop deck provided on the addition. Changes to interior layouts included opening the Library into the outdoor porch bay and infilling the opening with glass doors. The kitchen was re-organized and bedrooms remodelled



One story building added on east with roof deck. Upper floor modified including bay window



The new stair cuts through the original court



Looking up in remaining partial court with modified window.



A deck accessed from the second floor bay window was built on the rear addition



Entry into rear addition from remaining court space



Addition at rear closes off court



View of existing residence from Georgina Avenue.



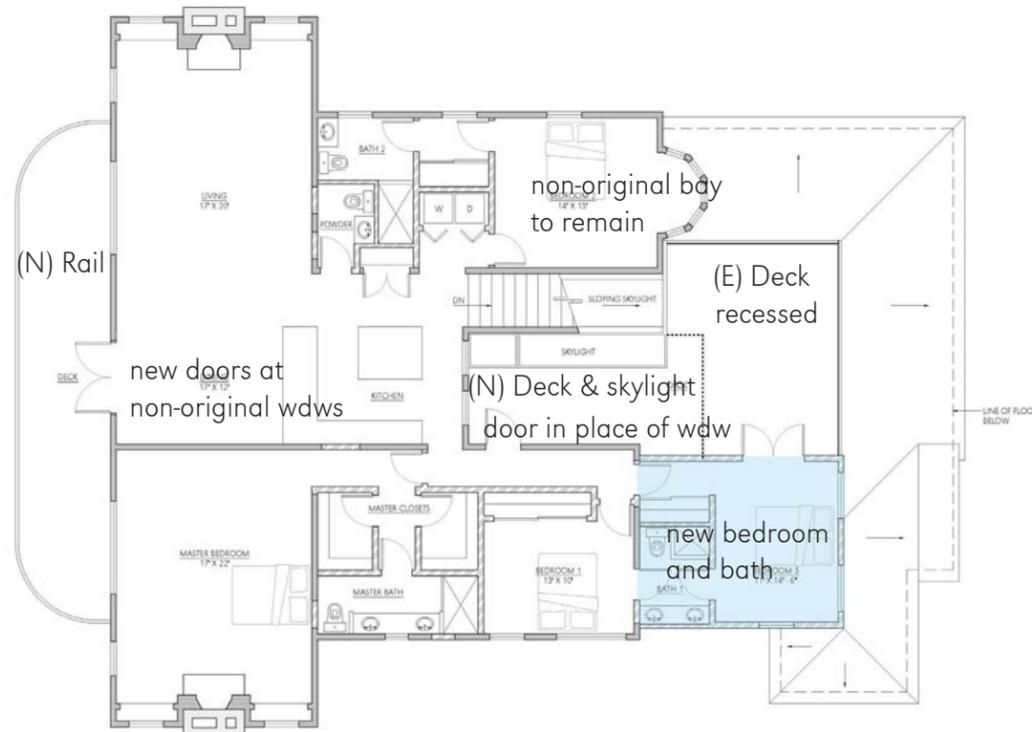
View of residence with added bedroom wing at rear of residence.

Proposed Modifications

The project includes a bedroom added onto the upper floor of the south wing of the existing residence. The addition follows the lower floor and steps in slightly from adjacent massing to subtly delineate old and new. Windows on the east end of the existing wing are not original. The masonry chimney extending from the kitchen will be replaced with framing and a plaster finished chimney will be seen from exterior in its original location.

To help with privacy and access, the existing deck off the second floor on the east will be extended over the remaining ground floor courtyard that was previously half filled by the stair to the second floor. The added deck is not visible from the street. A window in the upper court will be replaced with a door from the hallway to access the deck in a location mostly hidden from view. The non-conforming rail at the east deck will be removed with the deck recessed.

A new pair of doors will take the place of the non-original pair of windows in the center of the front facade in order to provide access to the front deck. The front deck will have a reconstructed rail to match existing with thin bars behind to raise the height to current code.



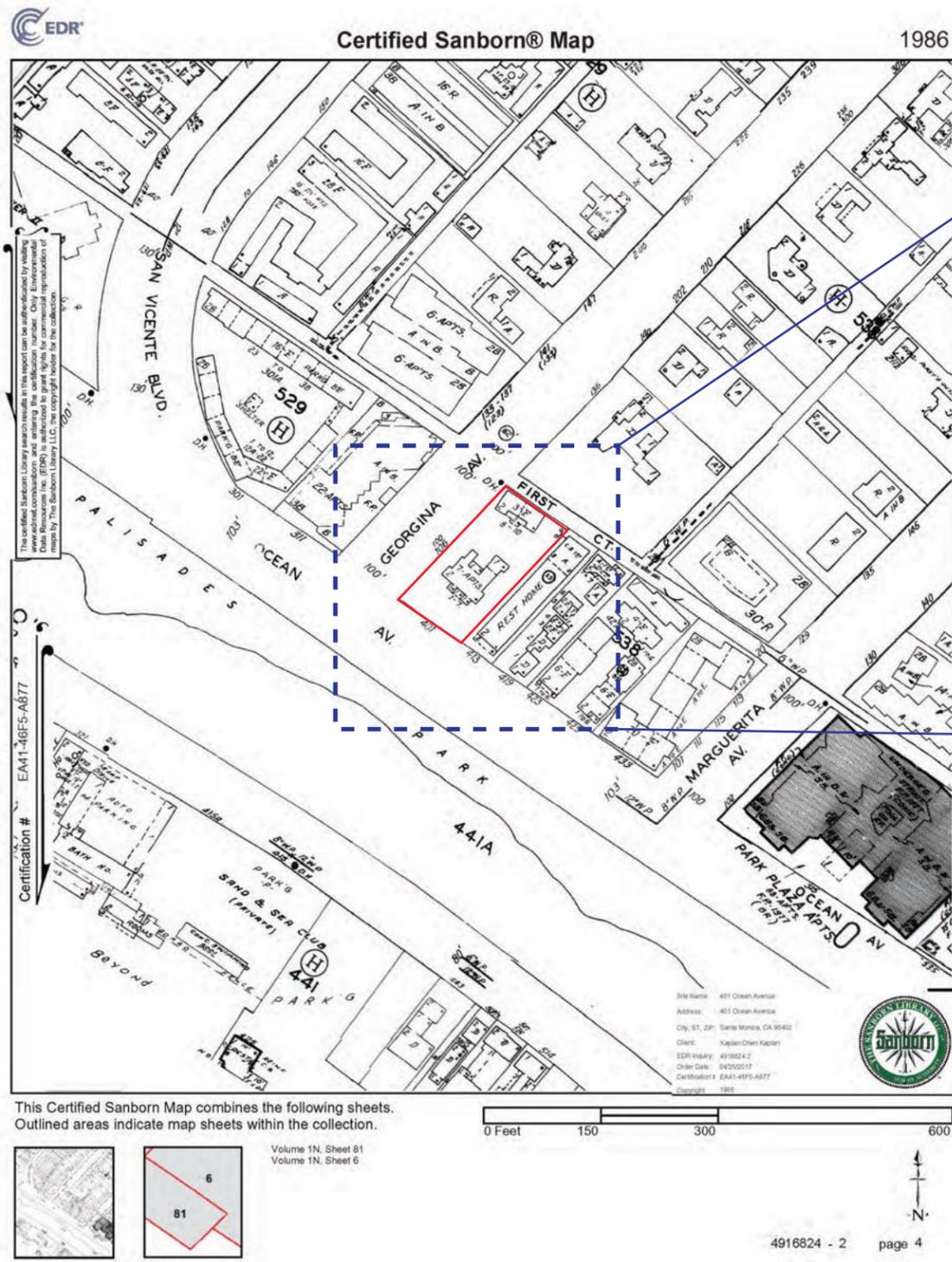
Proposed second floor plan with modifications noted



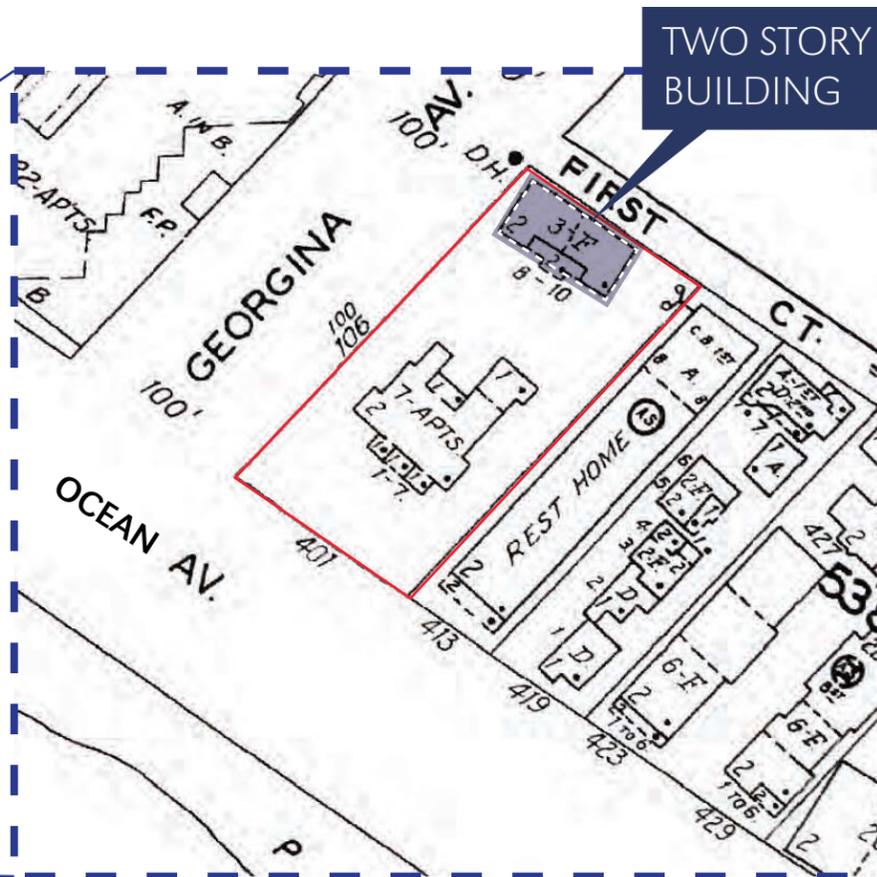
Aerial view of new bedroom and extended deck on east



View of west entry facade deck with rail and new doors in place of non-original windows



1986 Sanborn map



Site Buildings and Development

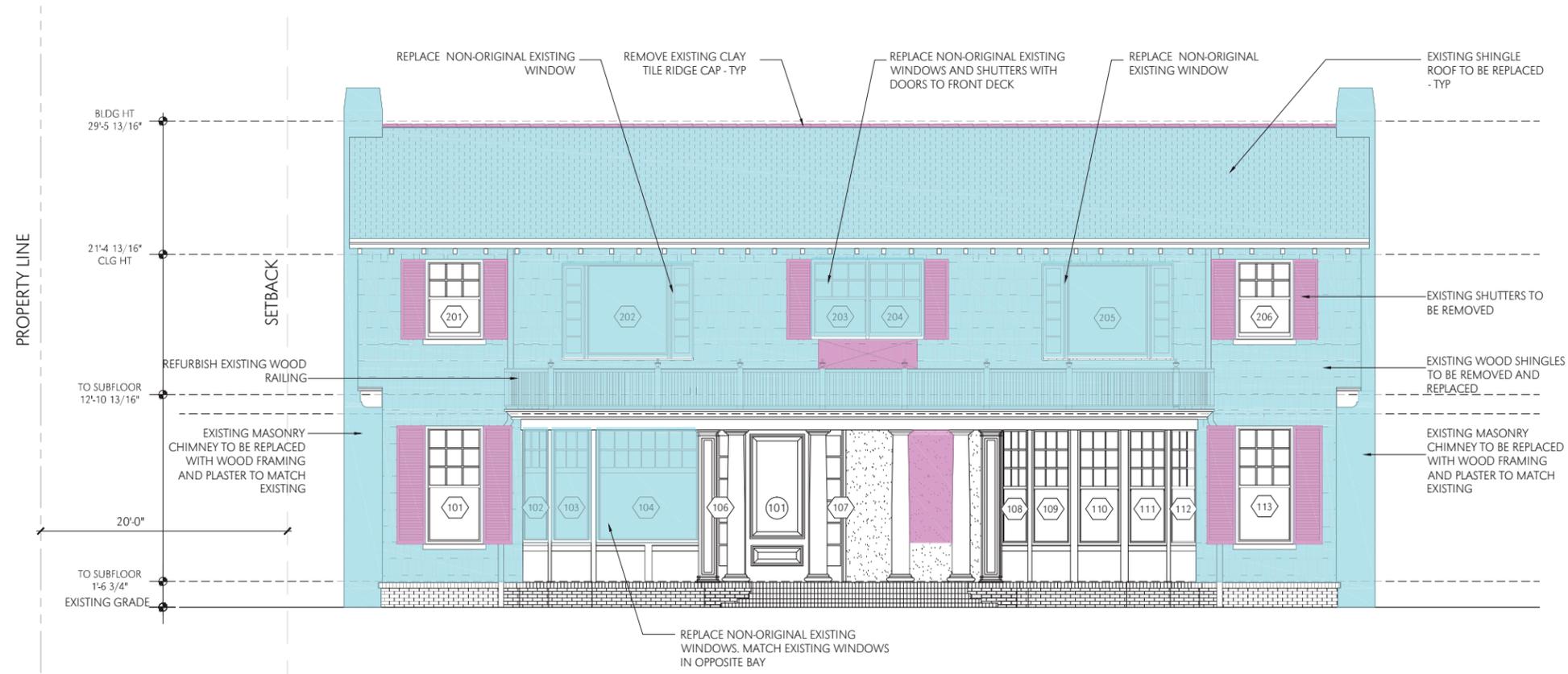
The 1918 Sanborn map does not indicate additional buildings on the site although aerial photographs possibly indicate a garage building at the north east corner. Other site structures such as the trellis do not appear on the map. Building permits show that a two story living quarters and garages was built at the east end of the site close to Georgina Avenue in 1941 and remained in place until 1992. The 1950 and 1986 Sanborn map includes this building. The two story residential building across First Court to the east was built in 1989.



1981 aerial map



1989 aerial map

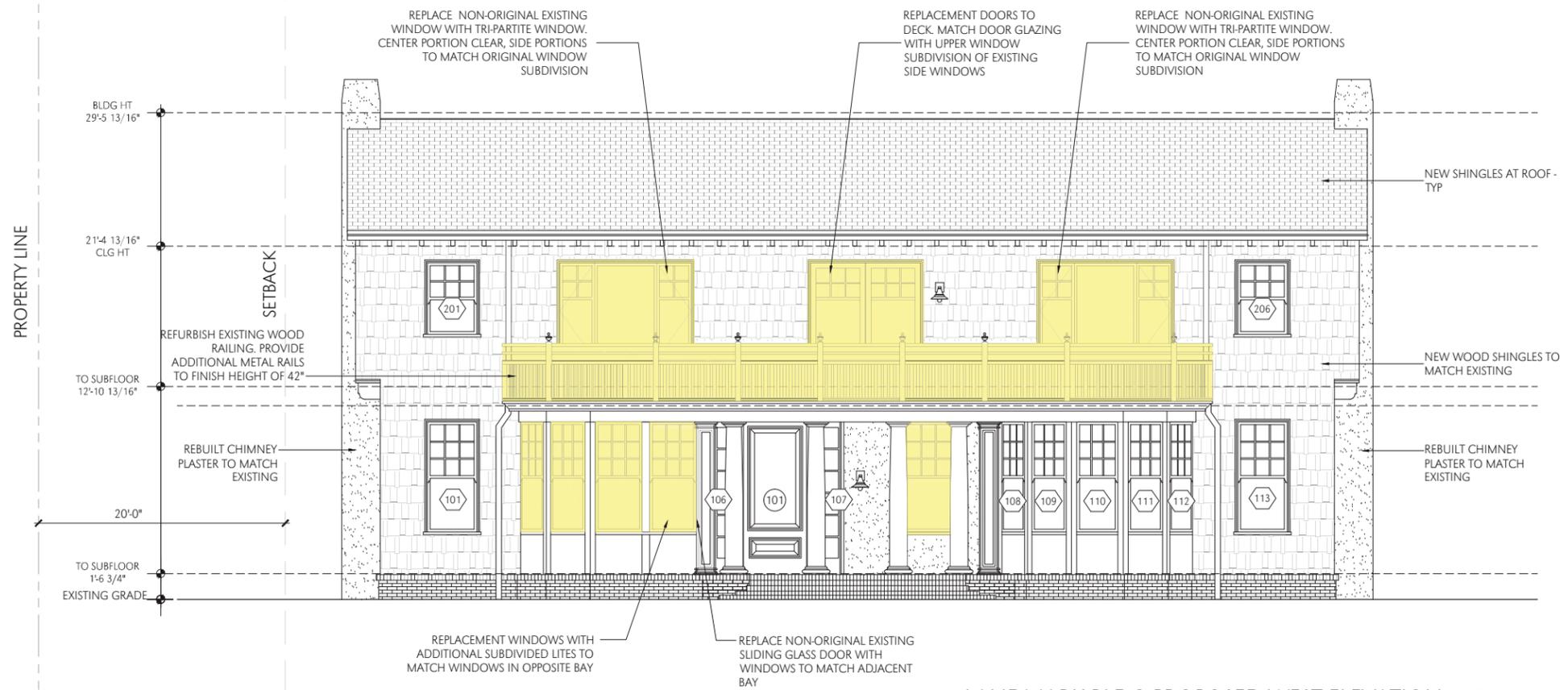


FRONT BLDG ELEVATION LEGEND

- NEW ADDITION
- EXISTING OBJECT TO BE REPAIRED OR REPLACED
- EXISTING OBJECT TO BE REMOVED
- NEW OBJECT OR REPLACEMENT
- # DOOR TAG SEE DOOR SCHEDULE
- # WINDOW TAG SEE WINDOW SCHEDULE

LANDMARK BLDG EXISTING WEST ELEVATION 1

scale: 1/4" = 1'-0"

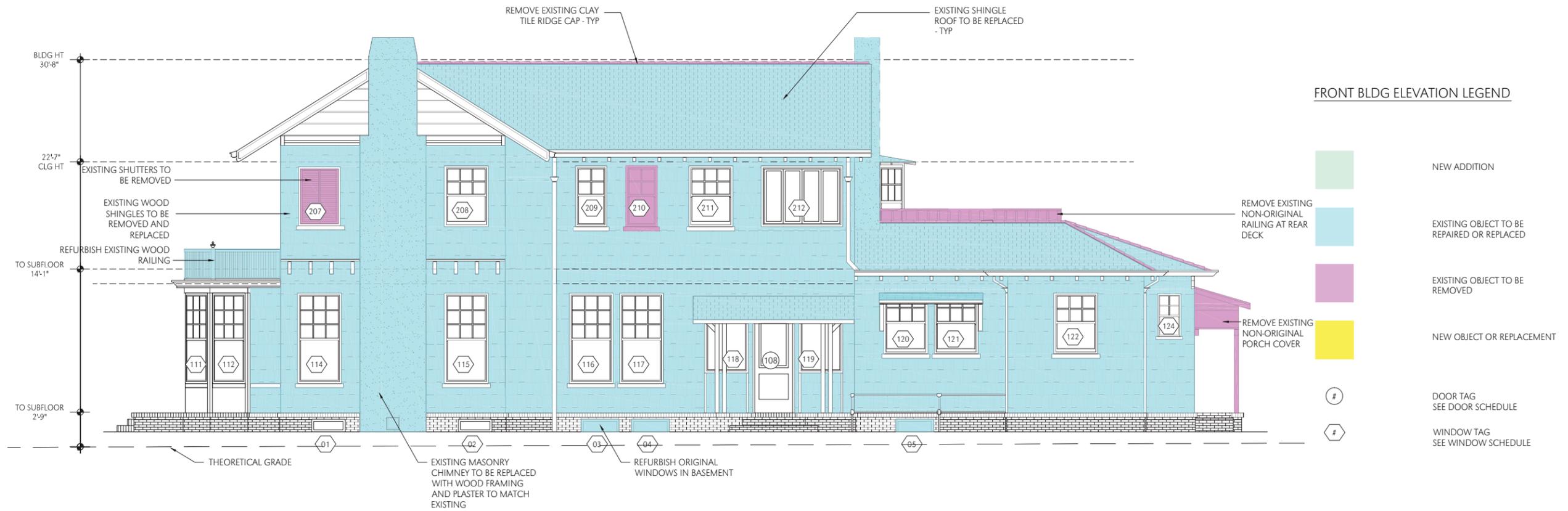


EXISTING WALLS (PLANNED TO BE MAINTAINED) SHOULD BE STUDIED FOR STRUCTURAL INTEGRITY

ALL EXTERIOR WALLS SHOWN AS "EXISTING WALLS" SHALL REMAIN AS INTEGRAL STRUCTURAL COMPONENTS OF THE OVERALL BUILDING, OTHERWISE THESE WALLS ARE CONSIDERED "REMOVED" FOR THE PURPOSES OF THE CITY'S DEFINITION, PER SMMC SECTION 9.25.030.

LANDMARK BLDG PROPOSED WEST ELEVATION 2

scale: 1/4" = 1'-0"



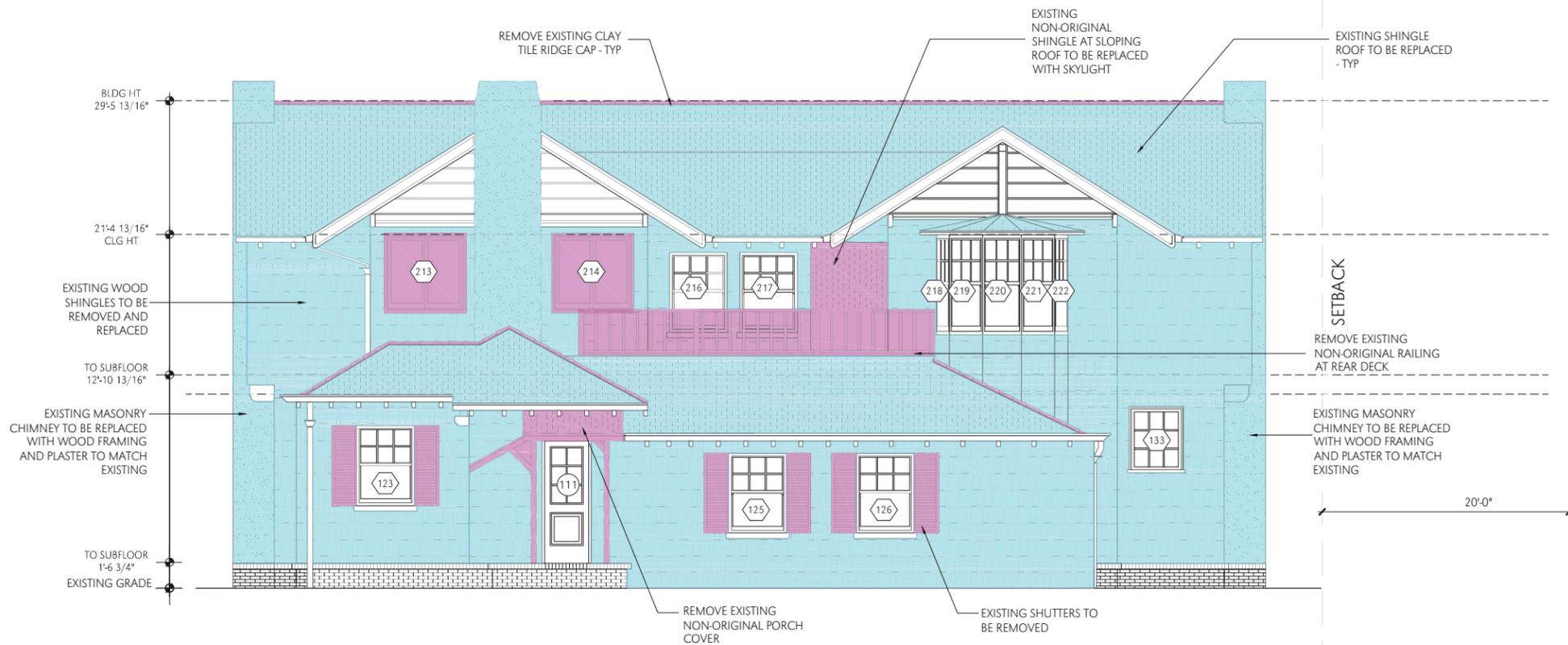
LANDMARK BLDG EXISTING SOUTH ELEVATION ①

scale: 1/4" = 1'-0"



LANDMARK BLDG PROPOSED SOUTH ELEVATION ②

scale: 1/4" = 1'-0"



FRONT BLDG ELEVATION LEGEND

- NEW ADDITION
- EXISTING OBJECT TO BE REPAIRED OR REPLACED
- EXISTING OBJECT TO BE REMOVED
- NEW OBJECT OR REPLACEMENT
- DOOR TAG
SEE DOOR SCHEDULE
- WINDOW TAG
SEE WINDOW SCHEDULE

LANDMARK BLDG EXISTING EAST ELEVATION

scale: 1/4" = 1'-0"

1



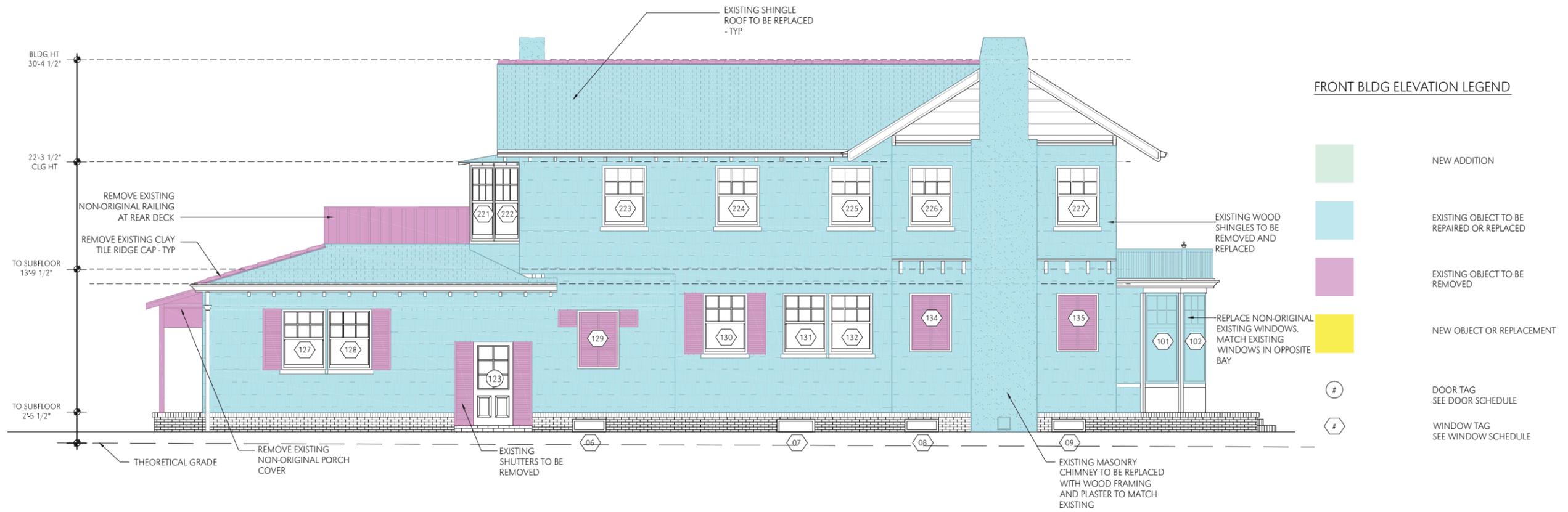
EXISTING WALLS (PLANNED TO BE MAINTAINED) SHOULD BE STUDIED FOR STRUCTURAL INTEGRITY

ALL EXTERIOR WALLS SHOWN AS "EXISTING WALLS" SHALL REMAIN AS INTEGRAL STRUCTURAL COMPONENTS OF THE OVERALL BUILDING, OTHERWISE THESE WALLS ARE CONSIDERED "REMOVED" FOR THE PURPOSES OF THE CITY'S DEFINITION, PER SMMC SECTION 9.25.030.

LANDMARK BLDG PROPOSED EAST ELEVATION

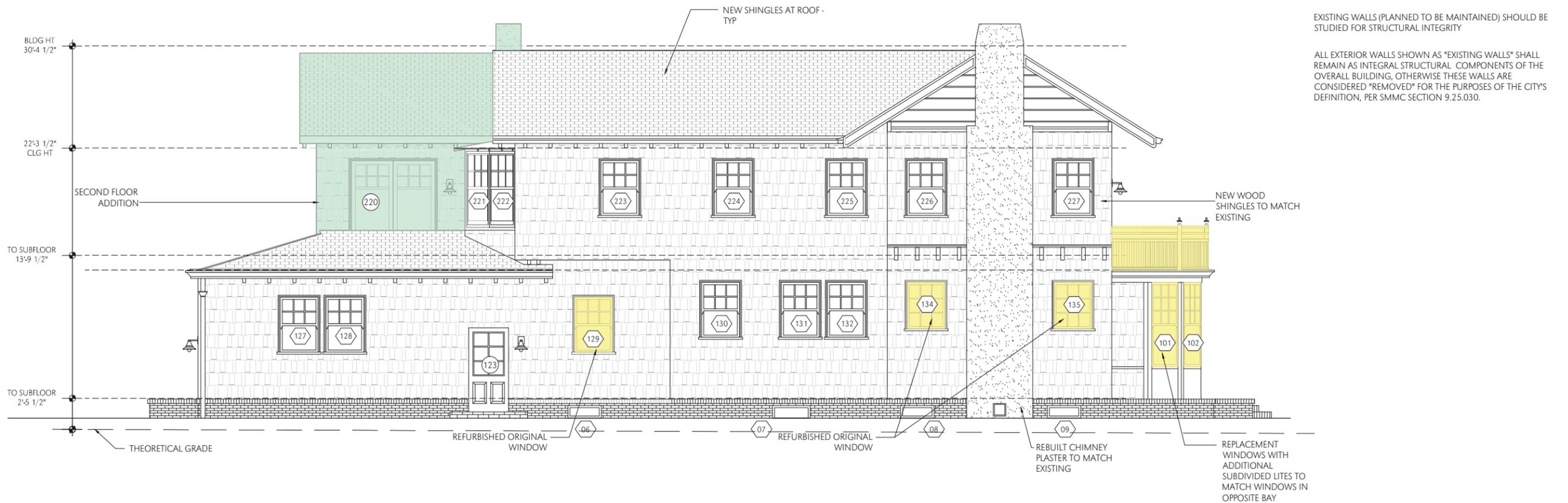
scale: 1/4" = 1'-0"

2



LANDMARK BLDG EXISTING NORTH ELEVATION ①

scale: 1/4" = 1'-0"



LANDMARK BLDG PROPOSED NORTH ELEVATION ②

scale: 1/4" = 1'-0"

EXISTING WALLS (PLANNED TO BE MAINTAINED) SHOULD BE STUDIED FOR STRUCTURAL INTEGRITY

ALL EXTERIOR WALLS SHOWN AS "EXISTING WALLS" SHALL REMAIN AS INTEGRAL STRUCTURAL COMPONENTS OF THE OVERALL BUILDING, OTHERWISE THESE WALLS ARE CONSIDERED "REMOVED" FOR THE PURPOSES OF THE CITY'S DEFINITION, PER SMMC SECTION 9.25.030.

Existing Basement Door Schedule

Number	Room Name	Material	Type	Size	Location	Remarks
01	Basement	Wood	Panel, In, R	36"x80"	Exterior	
02	Basement	Wood	Panel, Out, R	32"x80"	Interior	
03	Basement	Wood	Panel, In, L	36"x80"	Interior	
04	Basement	French	Panel, In, R	36"x80"	Interior	New door
05	Basement	Wood	Panel, In, L	36"x80"	Interior	New door, undercut 1"

Number	Room Name	Material	Type	Size	Location	Remarks
101	Foyer	Wood	Panel, In, R	36"x106"	Exterior	
102	Foyer	Wood	Double Pocket	72"x106"	Interior	
103	Living	Wood	Double Pocket	72"x106"	Interior	
104	Dining	Wood	Panel, Out, L	36"x80"	Interior	
105	Dining	Wood	Panel Out, R	36"x80"	Interior	
106	Dining	Wood	Panel, Out, R	36"x80"	Interior	
107	Dining	Wood	Panel, Out, R	36"x80"	Interior	
108	Kitchen	Wood and Glass	Screen, Out, R	42"x106"	Exterior	
109	Bedroom 4	Wood	Panel, In, L	32"x80"	Interior	To be removed
110	Powder	Wood	Panel, Out, L	32"x80"	Interior	To be removed
111	Hallway	Wood and Glass	Glass and Panel, In, R	32"x80"	Exterior	
112	Bedroom 5	Wood	Panel, In, L	36"x80"	Interior	To be removed
113	Hallway	Wood	Sliding	48"x80"	Interior	To be removed
114	Hallway	Wood	Panel, Out, R	32"x80"	Interior	To be removed
115	Breakfast Room	Wood	Panel, Out, R	32"x80"	Interior	To be removed
116	Hallway	Wood	Panel, In, L	32"x80"	Interior	To be removed
117	Kitchen	Wood	Panel, Out, R	32"x80"	Interior	To be removed
118	Courtyard	Wood and Glass	Double French, Out	30"x84"	Exterior	
119	Bedroom 5	Wood and Glass	Glass and Panel, In, R	36"x80"	Exterior	To be removed
120	Bedroom 5	Wood	Double Panel, Out	60"x80"	Interior	To be removed
121	Bedroom 5	Wood	Double Panel, Out	60"x80"	Interior	To be removed
122	Courtyard	Wood	Panel, In, L	38"x80"	Exterior	To be removed
123	Hallway to Second Unit	Wood and Glass	Glass and Panel, In, R	38"x80"	Exterior	Existing to be refurbished, paint white
124	Courtyard	Wood and Glass	French, In, R	30"x80"	Exterior	To be removed
125	Bath 2	Wood	Panel, In, L	32"x80"	Interior	To be removed
126	Bath 2	Wood	Panel, Out, L	28"x80"	Interior	To be removed
127	Bedroom 1	Wood	Panel, In, L	32"x80"	Interior	To be removed
128	Bath 1	Wood	Panel, In, R	28"x80"	Interior	To be removed
129	Bedroom 1	Wood	Panel, Out, L	36"x80"	Interior	To be removed
130	Study	Wood	Panel, In, L	30"x80"	Interior	To be removed
131	Study	Wood	Panel, In, L	36"x80"	Interior	To be removed
132	Master Bedroom	Wood	Double Panel, In	72"x80"	Interior	New door
133	Powder	Wood	Panel, In, R	32"x80"	Interior	New door
134	Office	Wood	Panel, In, L	32"x80"	Interior	New door
135	Bedroom 2	Wood	Panel, In, L	32"x80"	Interior	New door
136	Bath 2	Wood	Panel, In, R	32"x80"	Interior	New door
137	Bedroom 1	Wood	Panel, In, L	32"x80"	Interior	New door
138	Bath 1	Wood	Panel, In, R	32"x80"	Interior	New door
139	Bedroom 1	Wood	Sliding	98"x80"	Interior	New door
140	Bedroom 2	Wood	Sliding	98"x80"	Interior	New door
141	Master Closet	Wood	Panel, In, R	32"x80"	Interior	New door
142	Master Bath	Wood	Panel, Out, R	32"x80"	Interior	New door
143	Master Bath	Wood	Panel, In, R	32"x80"	Interior	New door
144	Family Room	Wood	Pocket	48"x80"	Interior	New door
145	Living Room	Wood	Panel, Out, R	32"x80"	Interior	New Door

Existing Second Floor Door Schedule

Number	Room Name	Material	Type	Size	Location	Remarks
201	Bedroom 1	Wood	Panel, In, R	28"x80"	Interior	To be removed
202	Bedroom 1	Wood	Sliding	48"x80"	Interior	To be removed
203	Bedroom 1	Wood	Sliding	48"x80"	Interior	To be removed
204	Master Bedroom	Wood	Panel, In, R	28"x80"	Interior	To be removed
205	Master Closet	Wood	Panel, In, R	28"x80"	Interior	To be removed
206	Master Bath	Wood	Panel, In, L	28"x80"	Interior	To be removed
207	Master Bath	Wood	Louver, Out, L	28"x80"	Interior	To be removed
208	Bedroom 3	Wood	Panel, In, L	28"x80"	Interior	To be removed
209	Bedroom 2	Wood	Panel, In, L	28"x80"	Interior	To be removed
210	Living	Wood	Panel, In, L	28"x80"	Interior	To be removed
211	Bath 2	Wood	Panel, In, R	28"x80"	Interior	To be removed
212	Dining	Wood	Double French, Out	80"x80"	Interior	New door. Match glazing with subdivisions of existing adjacent windows
213	Master Bedroom	Wood	Panel, In, R	32"x80"	Interior	New door
214	Master Closet	Wood	Panel, In, R	32"x80"	Interior	New door
215	Master Bath	Wood	Panel, Out, R	32"x80"	Interior	New door
216	Master Closet	Wood	Panel, In, L	32"x80"	Interior	New door
217	Closet	Wood	Sliding	96"x80"	Interior	New door
218	Bath 1	Wood	Panel, In, L	32"x80"	Interior	New door
219	Bath 1	Wood	Panel, In, R	32"x80"	Interior	New door
220	Bedroom 3	Wood	Double French, Out	64"x80"	Exterior	New doors. Match glazing with subdivisions of existing windows
221	Bedroom 3	Wood	Panel, In, L	32"x80"	Interior	New door
222	Bedroom 1	Wood	Panel, In, L	32"x80"	Interior	New door
223	Hallway	Wood	French, Out	36"x80"	Exterior	New door. Match glazing with subdivisions of existing windows
224	Bedroom 2	Wood	Panel, In, R	32"x80"	Interior	New door
225	Laundry	Wood	Double Bifold	64"x80"	Interior	New door
226	Closet	Wood	Double Panel, Out	48"x80"	Interior	New door
227	Powder	Wood	Panel, In, L	32"x80"	Interior	New door
228	Bath 2	Wood	Panel, In, R	32"x80"	Interior	New door
229	Bedroom 2	Wood	Panel, In, R	32"x80"	Interior	New door
230	Bedroom 3	Wood	Sliding	72"x80"	Interior	New door

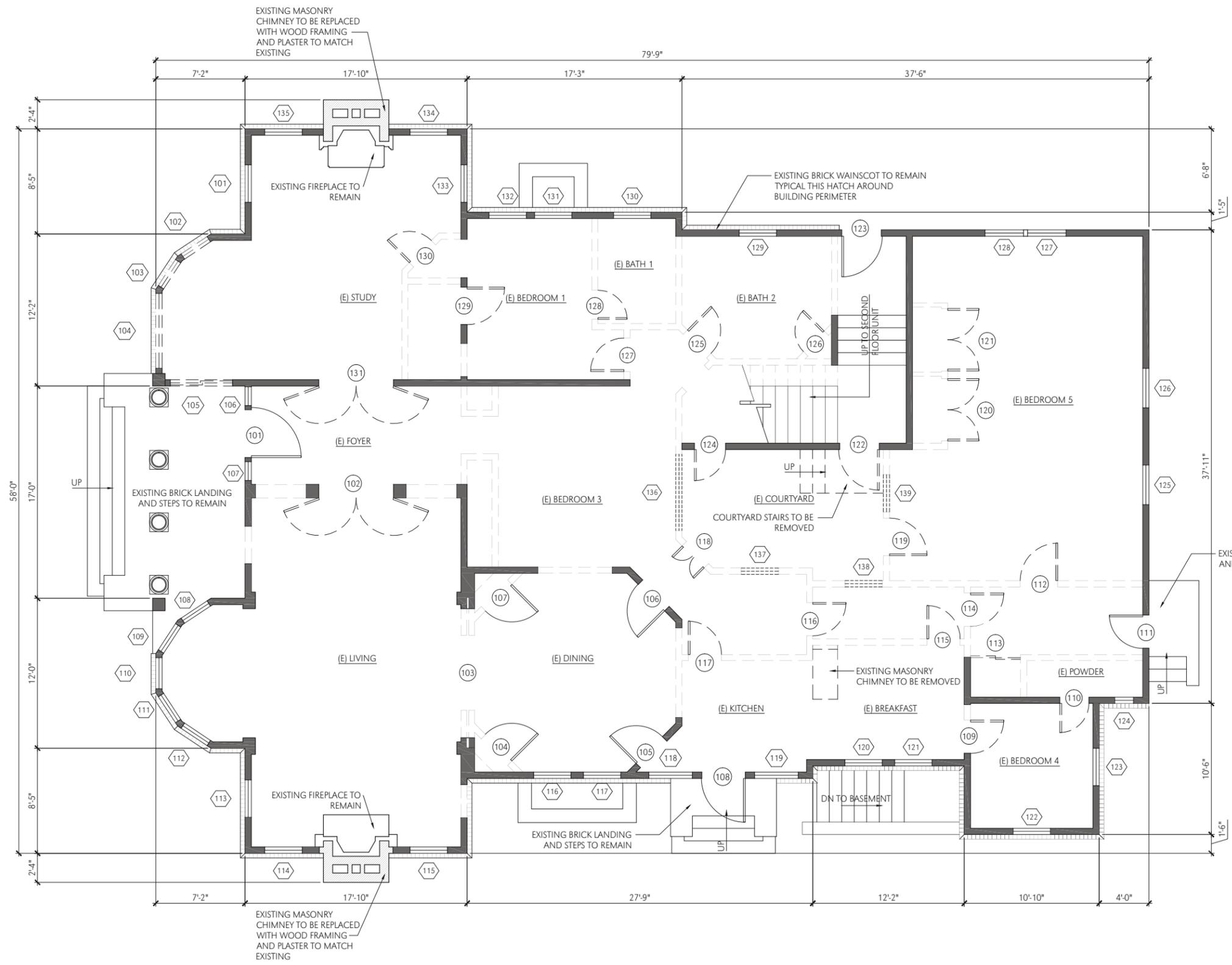
Existing Basement Window Schedule

Number	Room Name	Frame	Type	Size	Location	Remarks
01	Basement	Wood	Fixed	26"x8"	Exterior	
02	Basement	Wood	Fixed	26"x8"	Exterior	
03	Basement	Wood	Double Hung	32"x28"	Exterior	Refurbish existing window
04	Basement	Wood	Double Hung	32"x28"	Exterior	Refurbish existing window
05	Basement	Wood	Double Hung	32"x28"	Exterior	Replace existing glass with divided lites similar to adjacent windows
06	Basement	Wood	Fixed	26"x8"	Exterior	
07	Basement	Wood	Fixed	32"x30"	Exterior	
08	Basement	Wood	Fixed	26"x8"	Exterior	
09	Basement	Wood	Fixed	26"x8"	Exterior	

Number	Room Name	Frame	Type	Size	Location	Remarks
101	Study	Wood	Double Hung	36"x80"	Exterior	
102	Study	Wood	Double Hung	34"x80"	Exterior	Replace non-original window with window to match 108-113
103	Study	Wood	Double Hung	34"x80"	Exterior	Replace non-original window with window to match 108-113
104	Study	Wood	Double Hung	(2) 34"x80"	Exterior	Replace non-original window with two windows to match 108-113
105	Study	Wood	Double Hung	(2) 34"x80"	Exterior	Replace non-original sliding glass door with two windows to match 108-113
106	Foyer	Wood	Fixed	18"x96"	Exterior	
107	Foyer	Wood	Fixed	18"x96"	Exterior	
108	Living	Wood	Double Hung	34"x80"	Exterior	
109	Living	Wood	Double Hung	34"x80"	Exterior	
110	Living	Wood	Double Hung	34"x80"	Exterior	
111	Living	Wood	Double Hung	34"x80"	Exterior	
112	Living	Wood	Double Hung	34"x80"	Exterior	
113	Living	Wood	Double Hung	36"x80"	Exterior	
114	Living	Wood	Double Hung	36"x80"	Exterior	
115	Living	Wood	Double Hung	36"x80"	Exterior	
116	Dining	Wood	Double Hung	36"x80"	Exterior	
117	Dining	Wood	Double Hung	36"x80"	Exterior	
118	Kitchen	Wood	Fixed	42"x80"	Exterior	Not original
119	Kitchen	Wood	Fixed	42"x80"	Exterior	Not original
120	Breakfast	Wood	Double Hung	36"x52"	Exterior	
121	Breakfast	Wood	Double Hung	36"x52"	Exterior	
122	Bedroom 4	Wood	Double Hung	36"x52"	Exterior	
123	Bedroom 4	Wood	Double Hung	36"x52"	Exterior	
124	Powder	Wood	Double Hung	18"x36"	Exterior	
125	Bedroom 5	Wood	Fixed	32"x18"	Exterior	Not original
126	Bedroom 5	Wood	Double Hung	36"x52"	Exterior	Not original
127	Bedroom 5	Wood	Double Hung	36"x52"	Exterior	Not original
128	Bedroom 5	Wood	Double Hung	36"x52"	Exterior	Not original
129	Bedroom 5	Wood	Double Hung	36"x52"	Interior	Refurbish existing window after removing non-original shutters
130	Bathroom 2	Wood	Double Hung	36"x52"	Exterior	
131	Bathroom 1	Wood	Double Hung	36"x52"	Exterior	
132	Bedroom 1	Wood	Double Hung	36"x52"	Exterior	
133	Bedroom 1	Wood	Double Hung	36"x44"	Exterior	
134	Study	Wood	Double Hung	36"x44"	Exterior	Refurbish existing window after removing non-original shutters
135	Study	Wood	Double Hung	36"x44"	Exterior	Refurbish existing window after removing non-original shutters
136	Bedroom 3	Wood	Fixed	72"x52"	Interior	Non-original window to be removed
137	Bedroom 3	Wood	Fixed	30"x36"	Interior	To be removed
138	Hallway	Wood	Fixed	36"x52"	Interior	To be removed
139	Bedroom 5	Wood	Fixed	36"x80"	Interior	Non-original window to be removed
140	Hallway to Second Unit	Wood	Fixed	24"x24"	Interior	Non-original window to be removed
141	Hallway to Second Unit	Wood	Fixed	24"x24"	Interior	Non-original window to be removed
142	Living Room	Wood	Double Hung	34"x80"	Exterior	New window to match 108-113

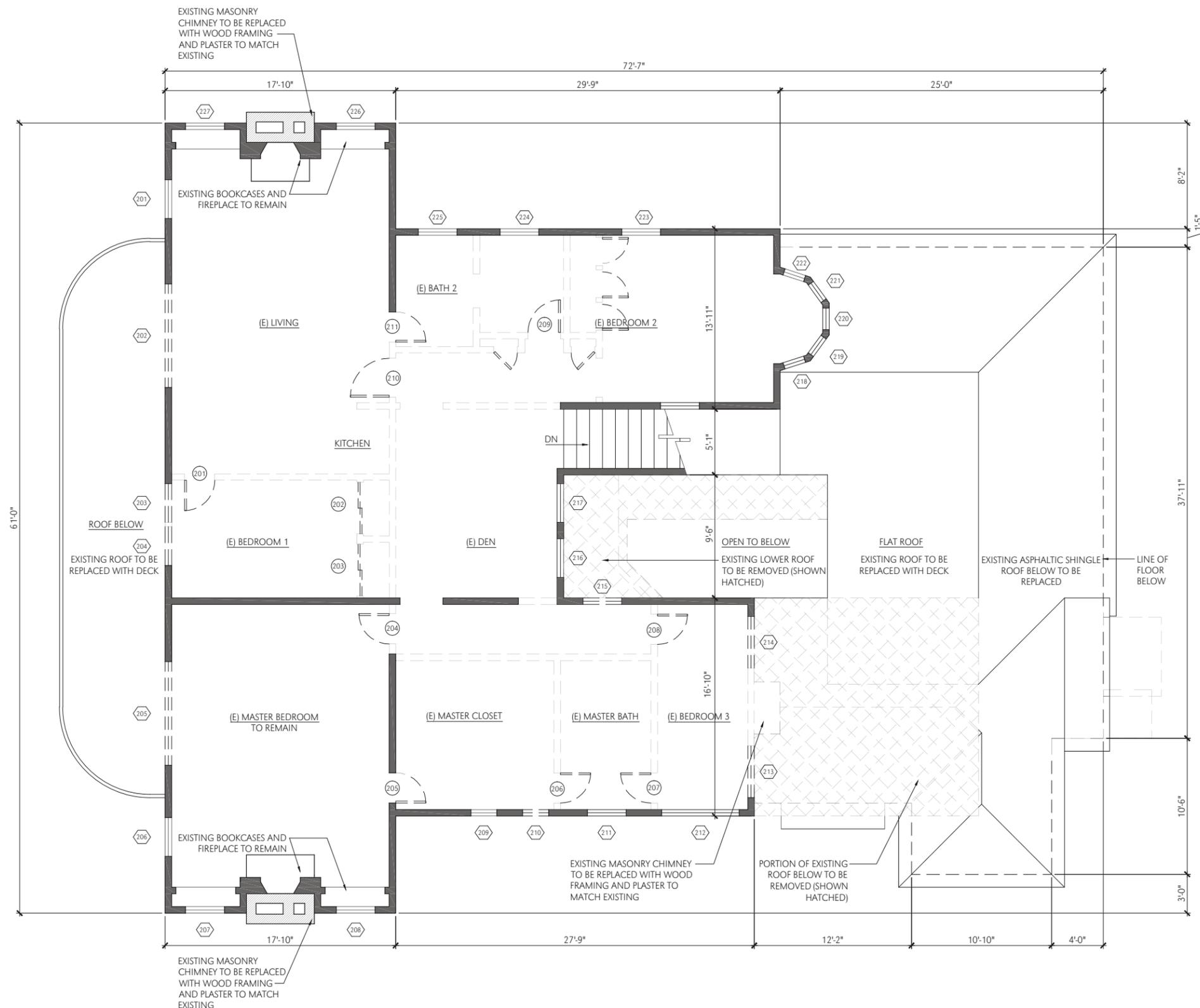
Existing Second Floor Window Schedule

Number	Room Name	Frame	Type	Size	Location	Remarks
201	Living	Wood	Double Hung	36"x52"	Exterior	
202	Living	Wood	Fixed	64"x80"	Exterior	Replace non-original window with tri-partite window
203	Bedroom 1	Wood	Double Hung	36"x52"	Exterior	Non-original window to be removed
204	Bedroom 1	Wood	Double Hung	36"x52"	Exterior	Non-original window to be removed
205	Master Bedroom	Wood	Fixed	64"x80"	Exterior	Replace non-original window with tri-partite window
206	Master Bedroom	Wood	Double Hung	36"x52"	Exterior	
207	Master Bedroom	Wood	Fixed	36"x52"	Exterior	Refurbish existing window after removing non-original shutters
208	Master Bedroom	Wood	Fixed	36"x52"	Exterior	
209	Master Closet	Wood	Double Hung	36"x52"	Exterior	
210	Master Closet	Wood	Double Hung	36"x52"	Exterior	To be removed
211	Master Bath	Wood	Double Hung	36"x52"	Exterior	
212	Bedroom 3	Wood	Casement	72"x52"	Exterior	Not original
213	Bedroom 3	Wood	Casement	48"x52"	Exterior	Non-original window to be removed
214	Bedroom 3	Wood	Casement	48"x52"	Exterior	Non-original window to be removed
215	Hall	Wood	Double Hung	36"x52"	Exterior	To be removed
216	Den	Wood	Double Hung	36"x52"	Exterior	
217	Den	Wood	Double Hung	36"x52"	Exterior	
218	Bedroom 2	Wood	Double Hung	20"x52"	Exterior	Not original
219	Bedroom 2	Wood	Double Hung	20"x52"	Exterior	Not original
220	Bedroom 2	Wood	Double Hung	20"x52"	Exterior	Not original
221	Bedroom 2	Wood	Double Hung	20"x52"	Exterior	Not original
222	Bedroom 2	Wood	Double Hung	20"x52"	Exterior	Not original
223	Bedroom 2	Wood	Double Hung	36"x52"	Exterior	Not original
224	Bath 2	Wood	Double Hung	36"x52"	Exterior	
225	Bath 2	Wood	Double Hung	36"x52"	Exterior	
226	Living	Wood	Double Hung	36"x52"	Exterior	
227	Living	Wood	Double Hung	36"x52"	Exterior	
228	Bedroom 3	Wood	Double Hung	48"x52"	Exterior	New window to match existing
229	Bedroom 3	Wood	Double Hung	48"x52"	Exterior	New window to match existing



- FRONT BLDG FLOOR PLAN LEGEND**
- EXISTING CONCRETE FOUNDATION WALL TO REMAIN
 - EXISTING WOOD FRAMED WALL TO REMAIN
 - EXISTING WOOD FRAMED WALL TO BE REMOVED
 - NEW WOOD FRAMED WALL
 - EXISTING DOOR TO REMAIN
 - EXISTING DOOR TO BE REMOVED
 - NEW DOOR PER SCHEDULE
 - EXISTING WINDOW REMAIN
 - EXISTING WINDOW TO BE REMOVED/REPLACED
 - NEW WINDOW PER SCHEDULE
 - DOOR TAG SEE DOOR SCHEDULE
 - WINDOW TAG SEE WINDOW SCHEDULE

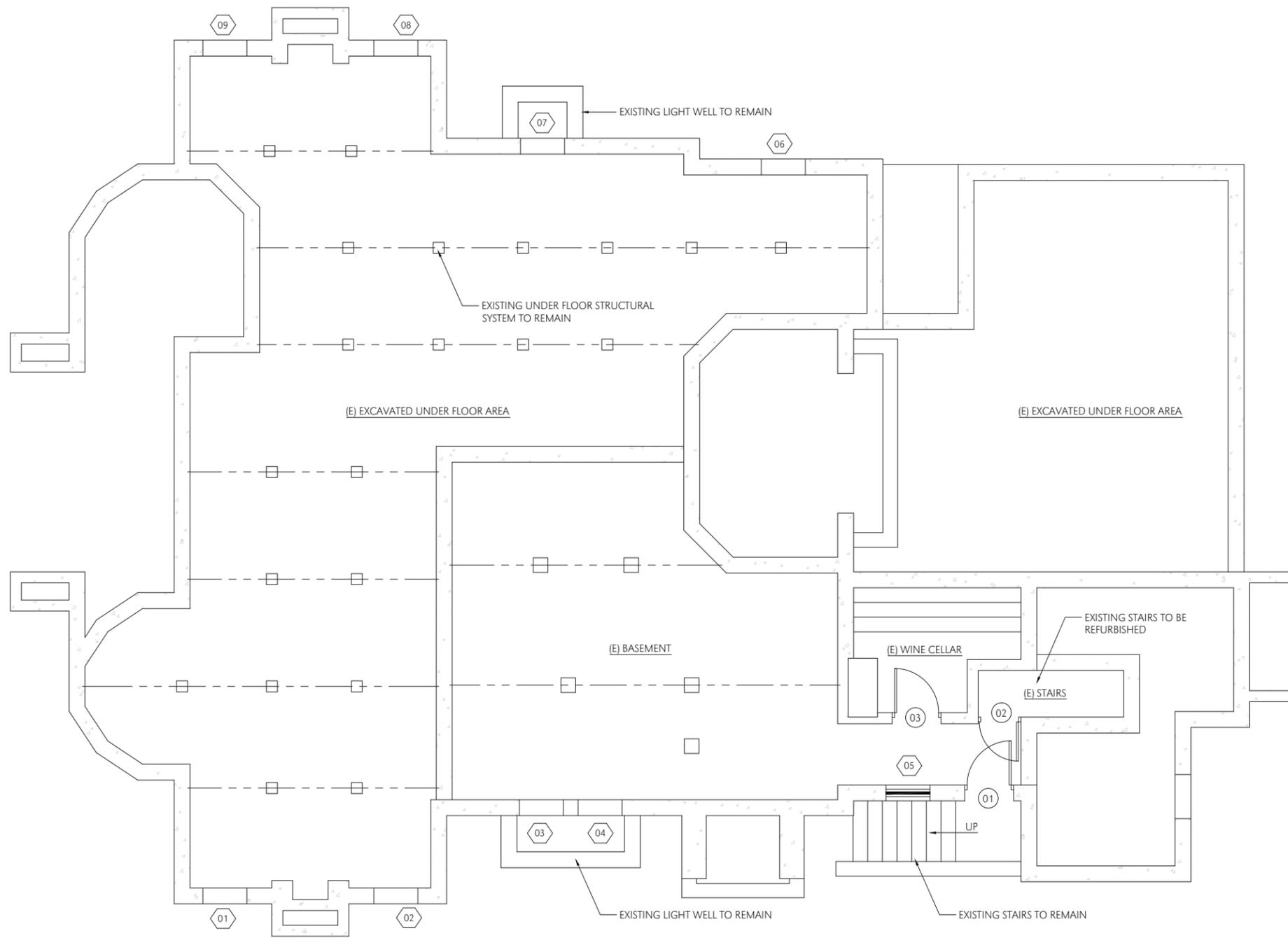
ALL EXTERIOR WALLS SHOWN AS "EXISTING WALLS" SHALL REMAIN AS INTEGRAL STRUCTURAL COMPONENTS OF THE OVERALL BUILDING, OTHERWISE THESE WALLS ARE CONSIDERED "REMOVED" FOR THE PURPOSES OF THE CITY'S DEFINITION, PER SMMC SECTION 9.25.030.



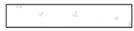
FRONT BLDG FLOOR PLAN LEGEND

-  EXISTING CONCRETE FOUNDATION WALL TO REMAIN
-  EXISTING WOOD FRAMED WALL TO REMAIN
-  EXISTING WOOD FRAMED WALL TO BE REMOVED
-  NEW WOOD FRAMED WALL
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED
-  NEW DOOR PER SCHEDULE
-  EXISTING WINDOW REMAIN
-  EXISTING WINDOW TO BE REMOVED/REPLACED
-  NEW WINDOW PER SCHEDULE
-  DOOR TAG
SEE DOOR SCHEDULE
-  WINDOW TAG
SEE WINDOW SCHEDULE

ALL EXTERIOR WALLS SHOWN AS "EXISTING WALLS" SHALL REMAIN AS INTEGRAL STRUCTURAL COMPONENTS OF THE OVERALL BUILDING, OTHERWISE THESE WALLS ARE CONSIDERED "REMOVED" FOR THE PURPOSES OF THE CITY'S DEFINITION, PER SMMC SECTION 9.25.030.



FRONT BLDG FLOOR PLAN LEGEND

-  EXISTING CONCRETE FOUNDATION WALL TO REMAIN
-  EXISTING WOOD FRAMED WALL TO REMAIN
-  EXISTING WOOD FRAMED WALL TO BE REMOVED
-  NEW WOOD FRAMED WALL
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED
-  NEW DOOR PER SCHEDULE
-  EXISTING WINDOW REMAIN
-  EXISTING WINDOW TO BE REMOVED/REPLACED
-  NEW WINDOW PER SCHEDULE
-  DOOR TAG SEE DOOR SCHEDULE
-  WINDOW TAG SEE WINDOW SCHEDULE

Square Footage: 718.5

LANDMARK BLDG EXISTING/DEMO BASEMENT FLOOR PLAN

scale: 1/4" = 1'-0"

1

EXISTING MASONRY CHIMNEY TO BE REPLACED WITH WOOD FRAMING AND PLASTER TO MATCH EXISTING

EXISTING ASPHALTIC SHINGLE ROOF AT SECOND FLOOR TO BE REPLACED

EXISTING ROOF BELOW TO BE REPLACED WITH DECK

LINE OF FIRST FLOOR WALL BELOW

EXISTING ASPHALTIC SHINGLE ROOF AT FIRST FLOOR TO BE REPLACED

(E) SLOPING ROOF OVER STAIRS TO HAVE A SLOPING SKYLIGHT INSTALLED

EXISTING LOWER ROOF TO BE REMOVED (SHOWN HATCHED)

FLAT ROOF BELOW EXISTING ROOF TO BE REPLACED WITH DECK

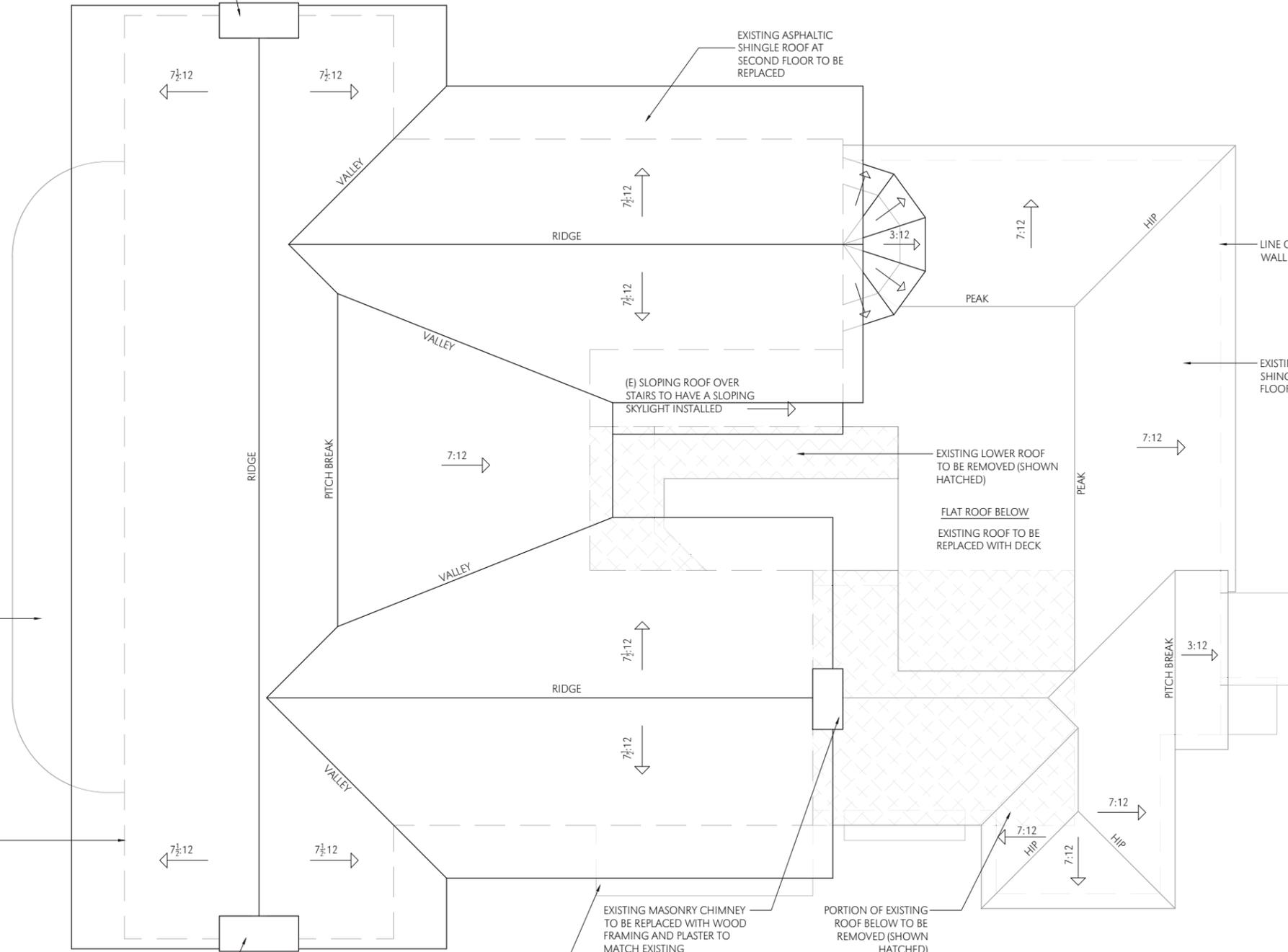
LINE OF WALL BELOW

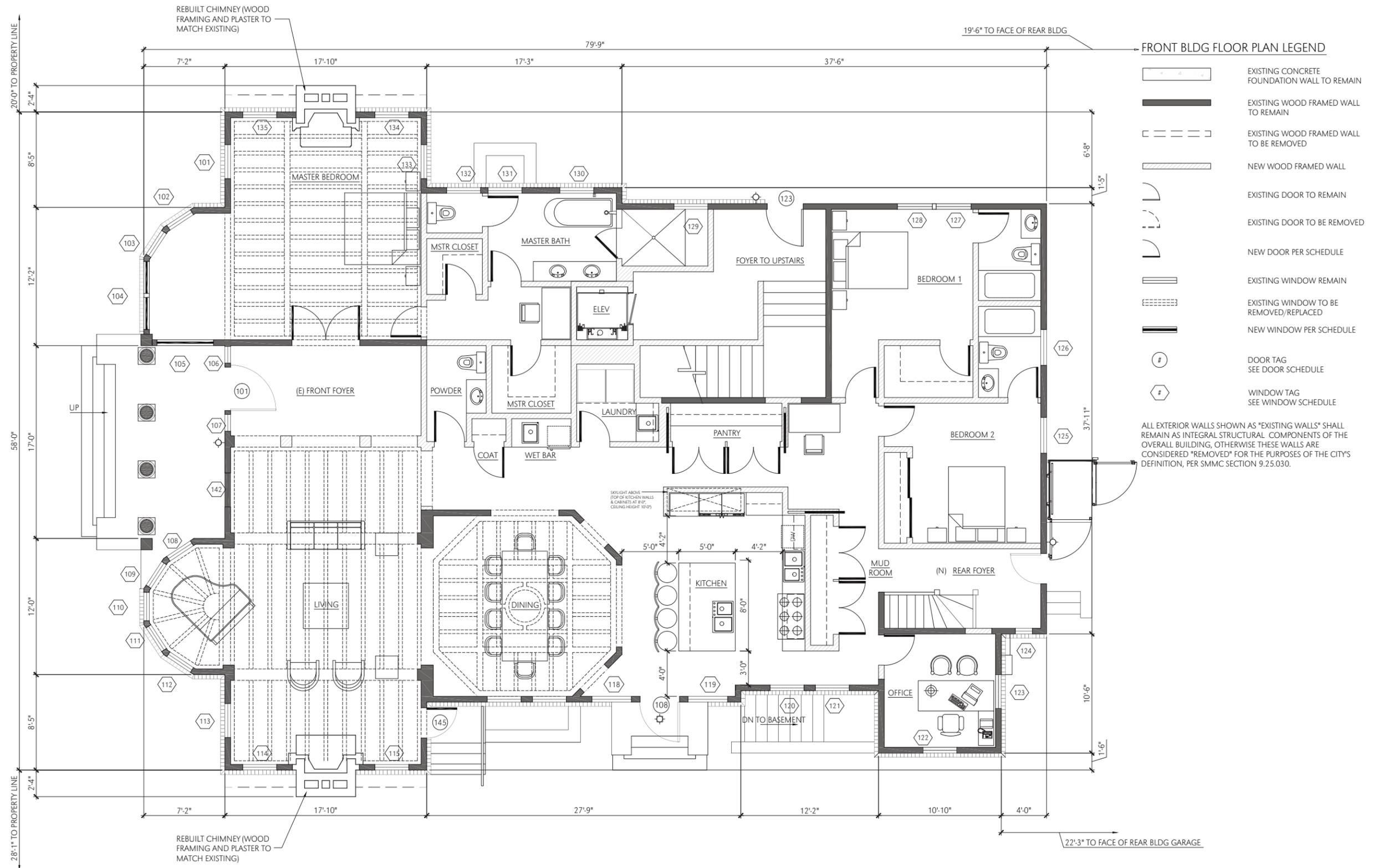
EXISTING MASONRY CHIMNEY TO BE REPLACED WITH WOOD FRAMING AND PLASTER TO MATCH EXISTING

PORTION OF EXISTING ROOF BELOW TO BE REMOVED (SHOWN HATCHED)

EXISTING MASONRY CHIMNEY TO BE REPLACED WITH WOOD FRAMING AND PLASTER TO MATCH EXISTING

ROOF AT PORCH BELOW



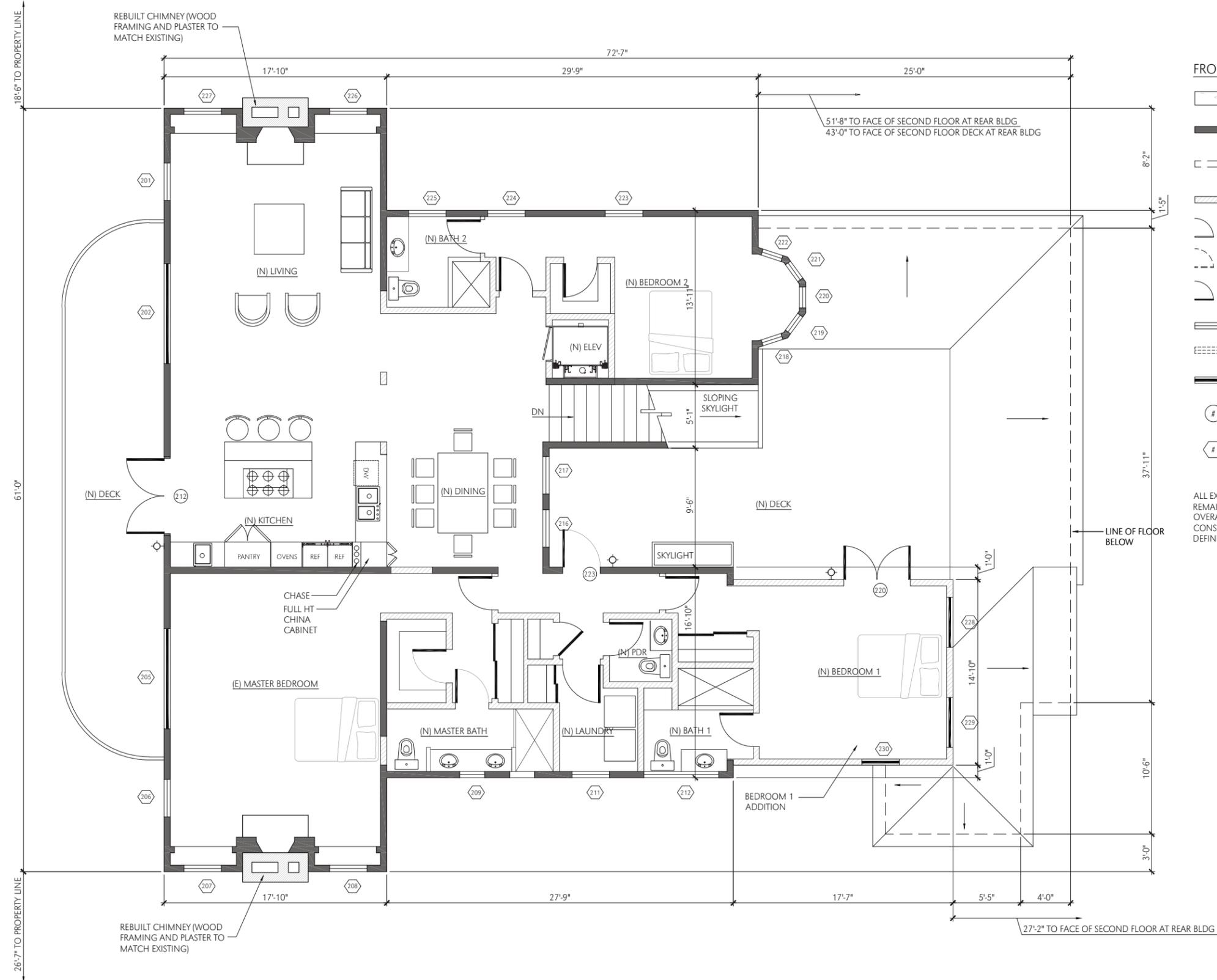


Square Footage: 3336

LANDMARK BLDG PROPOSED FIRST FLOOR PLAN G 1

scale: NTS





FRONT BLDG FLOOR PLAN LEGEND

- EXISTING CONCRETE FOUNDATION WALL TO REMAIN
- EXISTING WOOD FRAMED WALL TO REMAIN
- EXISTING WOOD FRAMED WALL TO BE REMOVED
- NEW WOOD FRAMED WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR PER SCHEDULE
- EXISTING WINDOW REMAIN
- EXISTING WINDOW TO BE REMOVED/REPLACED
- NEW WINDOW PER SCHEDULE
- DOOR TAG SEE DOOR SCHEDULE
- WINDOW TAG SEE WINDOW SCHEDULE

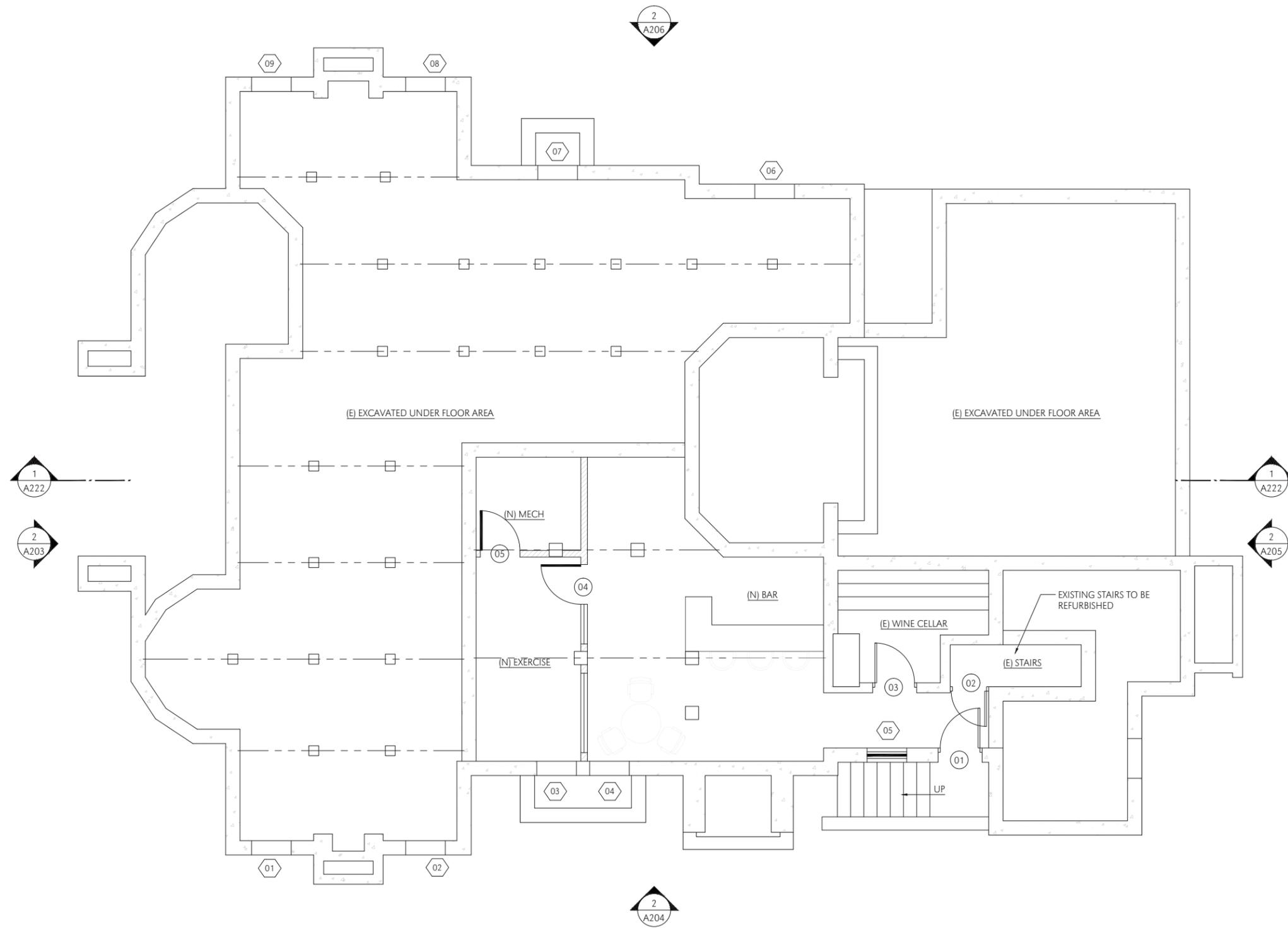
ALL EXTERIOR WALLS SHOWN AS "EXISTING WALLS" SHALL REMAIN AS INTEGRAL STRUCTURAL COMPONENTS OF THE OVERALL BUILDING, OTHERWISE THESE WALLS ARE CONSIDERED "REMOVED" FOR THE PURPOSES OF THE CITY'S DEFINITION, PER SMMC SECTION 9.25.030.

Square Footage: 2306

LANDMARK BLDG PROPOSED SECOND FLOOR PLAN

scale: NTS





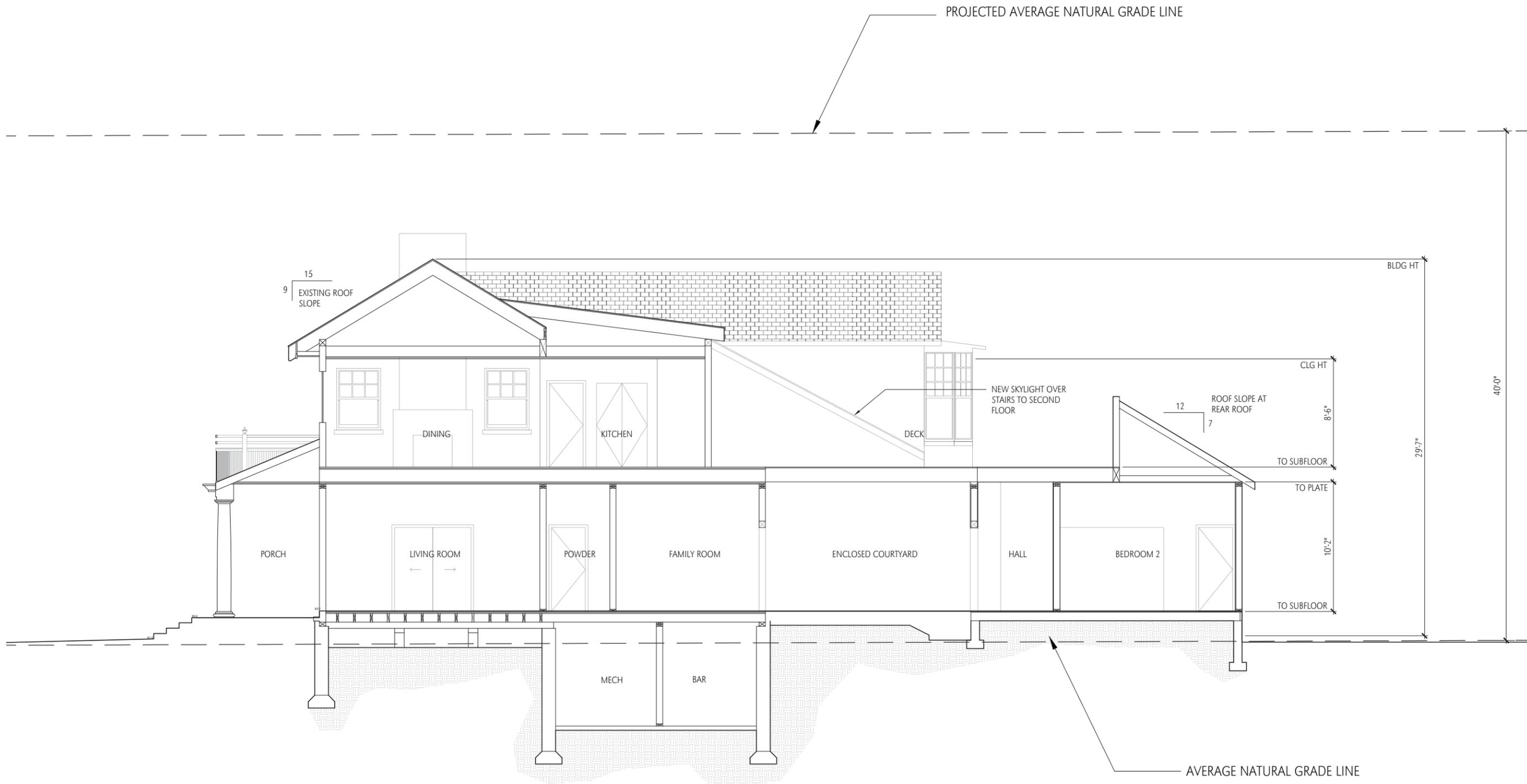
FRONT BLDG FLOOR PLAN LEGEND

- EXISTING CONCRETE FOUNDATION WALL TO REMAIN
- EXISTING WOOD FRAMED WALL TO REMAIN
- EXISTING WOOD FRAMED WALL TO BE REMOVED
- NEW WOOD FRAMED WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR PER SCHEDULE
- EXISTING WINDOW REMAIN
- EXISTING WINDOW TO BE REMOVED/REPLACED
- NEW WINDOW PER SCHEDULE
- DOOR TAG
SEE DOOR SCHEDULE
- WINDOW TAG
SEE WINDOW SCHEDULE

Square Footage: 718.5

LANDMARK BLDG PROPOSED BASEMENT FLOOR PLAN
scale: 1/4" = 1'-0"

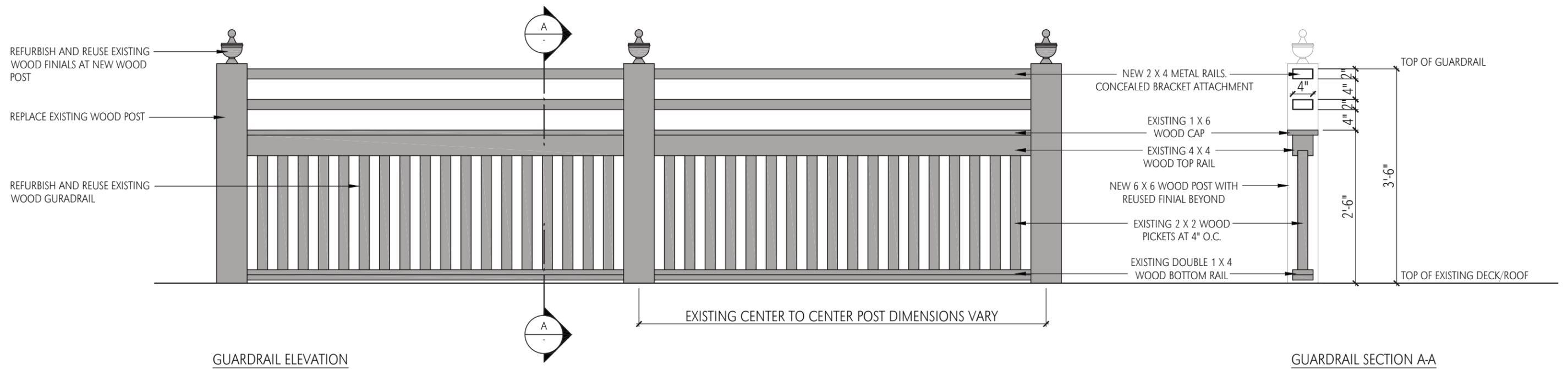
1



LANDMARK BUILDING SECTION

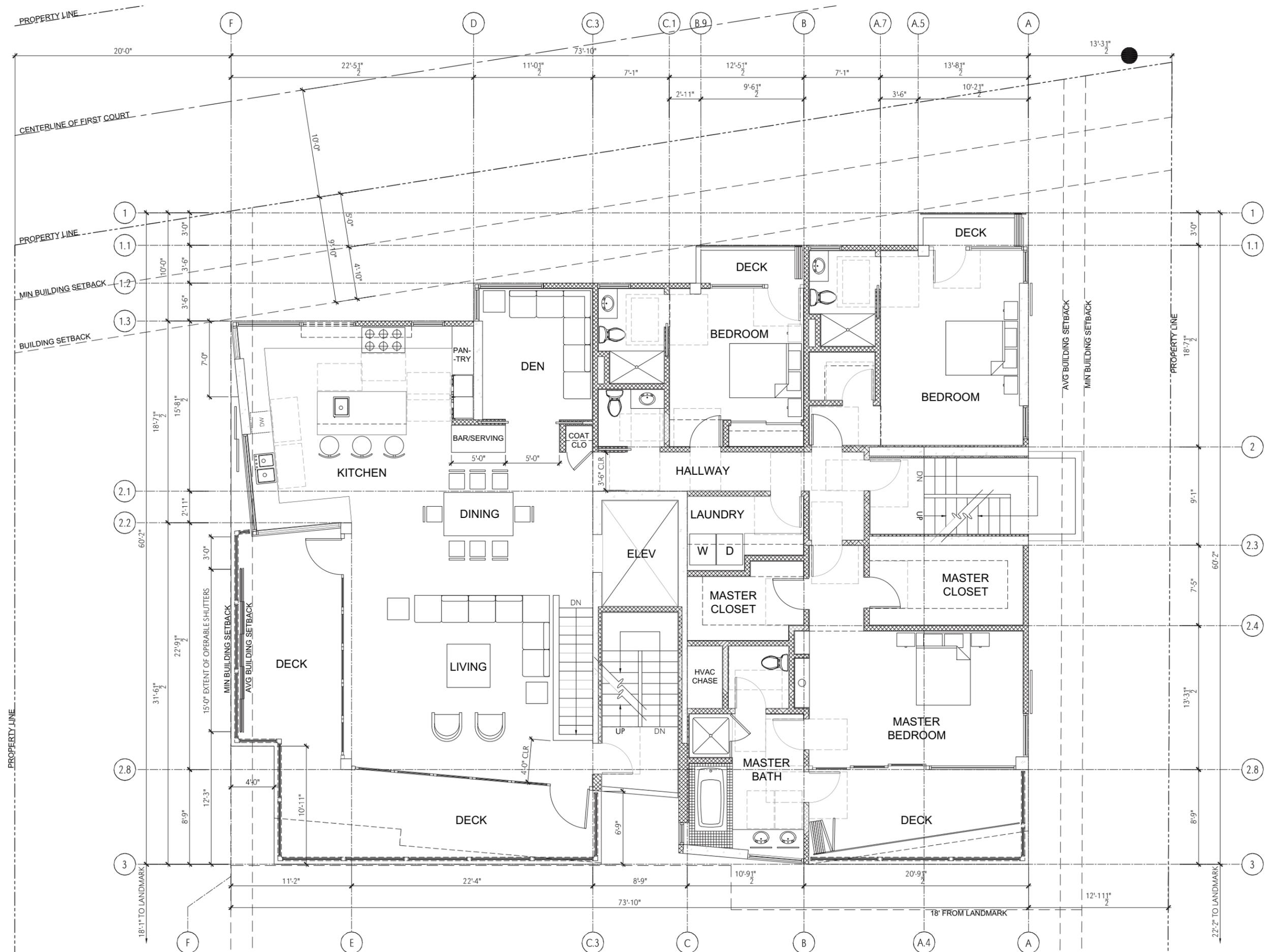
scale: 1/4" = 1'-0"

1



LANDMARK BUILDING DECK GUARDRAIL

scale: NTS



NEW BLDG SECOND FLOOR PLAN
 Scale: NTS
 Square Footage: 2916

PROPERTY LINE

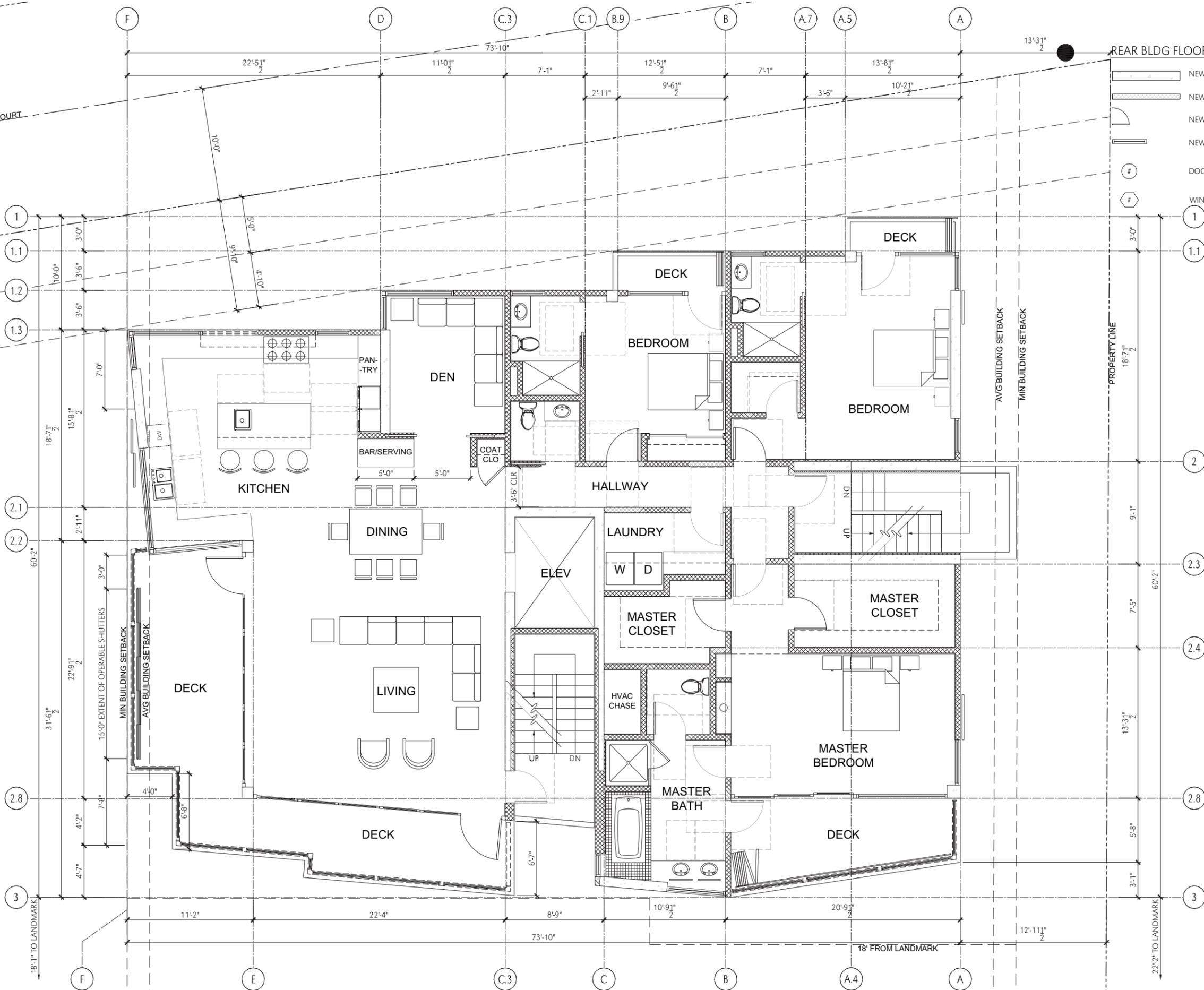
CENTERLINE OF FIRST COURT

PROPERTY LINE

MIN BUILDING SETBACK

BUILDING SETBACK

PROPERTY LINE



REAR BLDG FLOOR PLAN LEGEND

- NEW CONCRETE SHEAR WALL
- NEW 2x6 FRAMED WALL
- NEW DOOR PER SCHEDULE
- NEW WINDOW PER SCHEDULE
- DOOR TAG PER SCHEDULE
- WINDOW TAG PER SCHEDULE

NEW BLDG THIRD FLOOR PLAN

scale: NTS

Square Footage: 2916

PROPERTY LINE

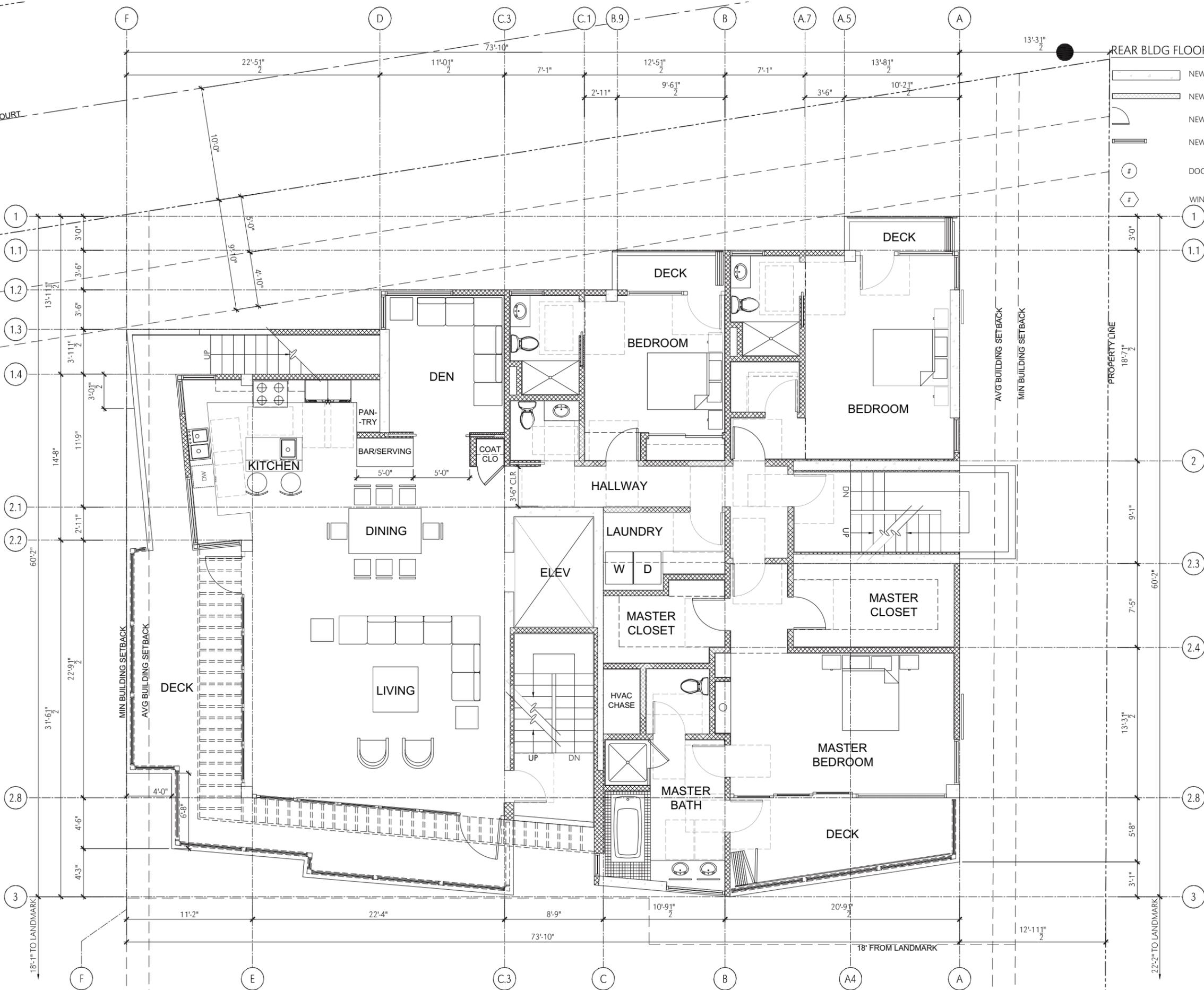
CENTERLINE OF FIRST COURT

PROPERTY LINE

MIN BUILDING SETBACK

BUILDING SETBACK

PROPERTY LINE



REAR BLDG FLOOR PLAN LEGEND

- NEW CONCRETE SHEAR WALL
- NEW 2x6 FRAMED WALL
- NEW DOOR PER SCHEDULE
- NEW WINDOW PER SCHEDULE
- DOOR TAG PER SCHEDULE
- WINDOW TAG PER SCHEDULE

NEW BLDG FOURTH FLOOR PLAN

scale: NTS

Square Footage: 2761



PROPERTY LINE

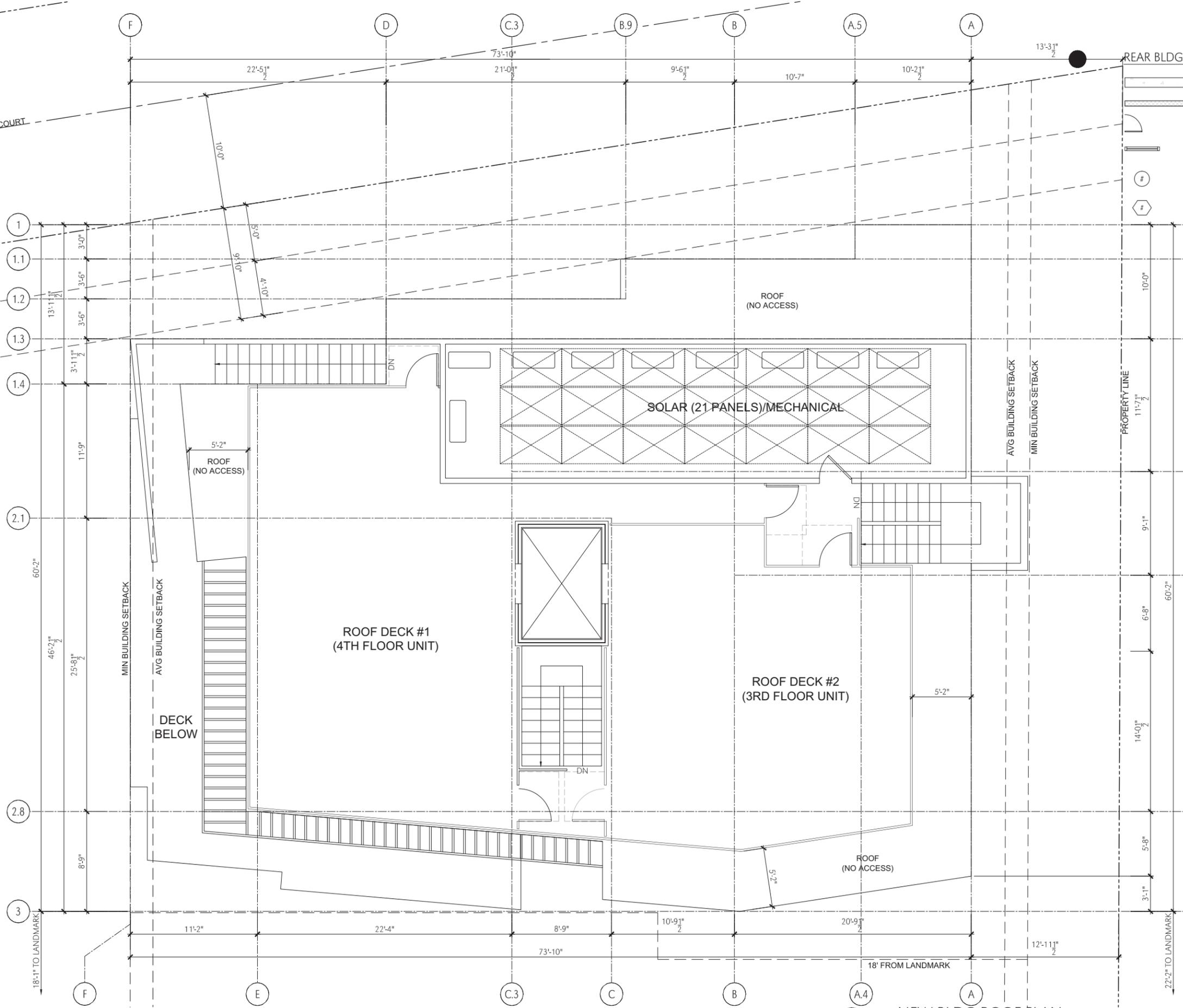
CENTERLINE OF FIRST COURT

PROPERTY LINE

MIN BUILDING SETBACK

BUILDING SETBACK

PROPERTY LINE



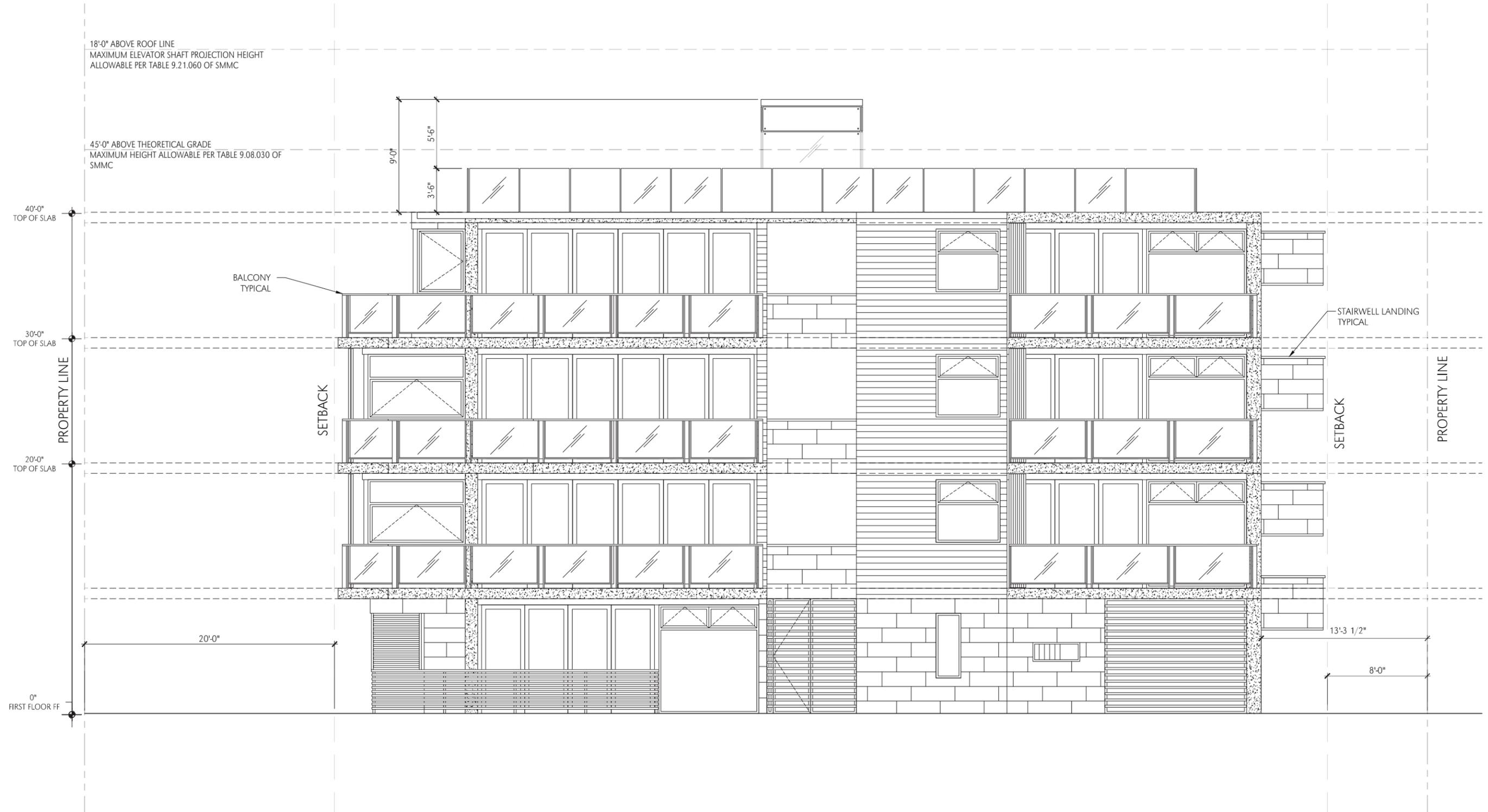
REAR BLDG FLOOR PLAN LEGEND

- NEW CONCRETE SHEAR WALL
- NEW 2x6 FRAMED WALL
- NEW DOOR PER SCHEDULE
- NEW WINDOW PER SCHEDULE
- DOOR TAG PER SCHEDULE
- WINDOW TAG PER SCHEDULE

Square Footage Roof Deck #1 : 913
 Square Footage Roof Deck #2 : 698
 Square Footage Solar/Mechanical: 591

NEW BLDG ROOF PLAN

scale: 1/4" = 1'-0"



NEW BLDG WEST ELEVATION

scale: NTS



NEW BUILDING NORTH ELEVATION

scale: NTS

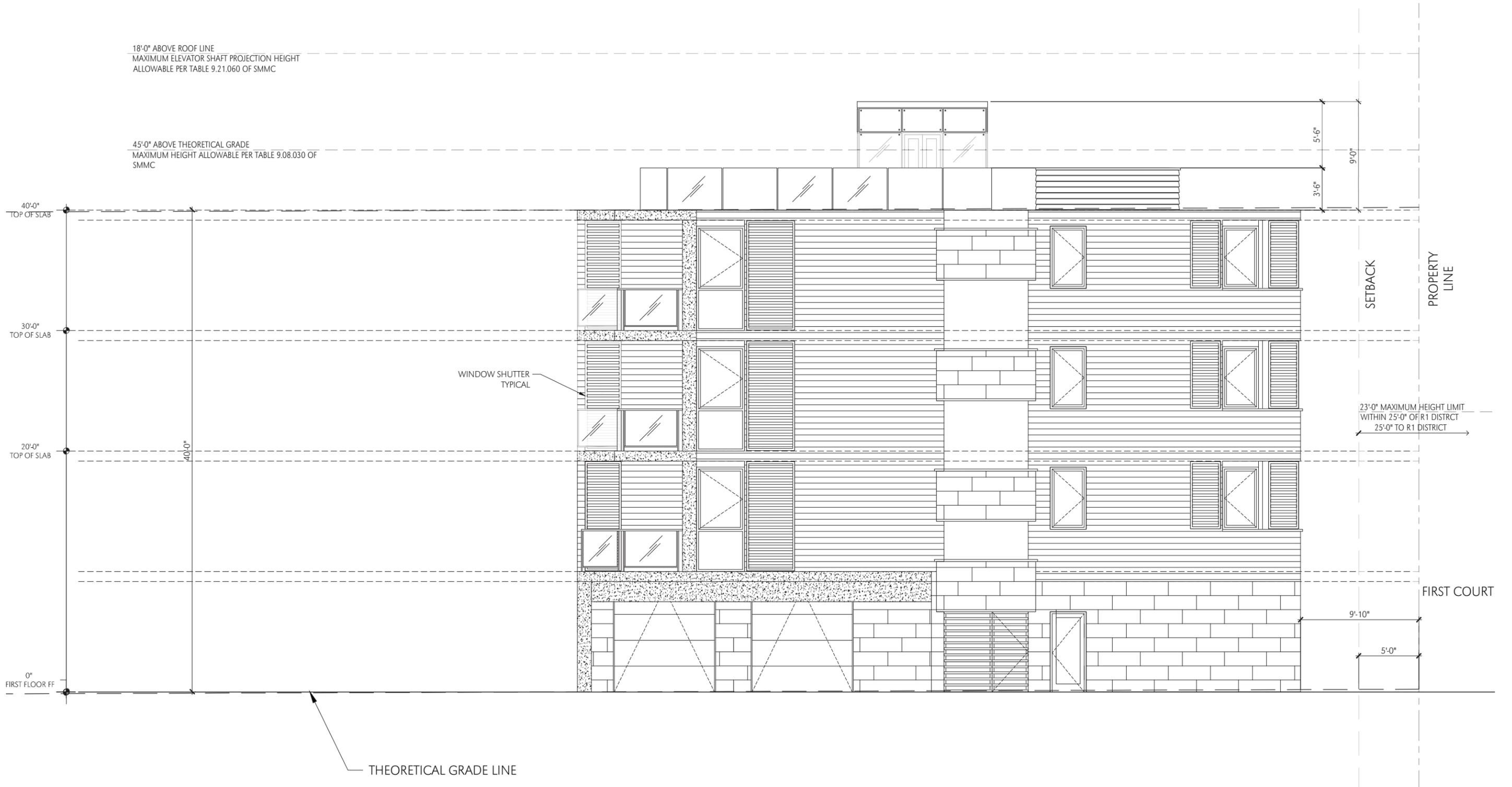


NEW BUILDING EAST ELEVATION

scale: NTS

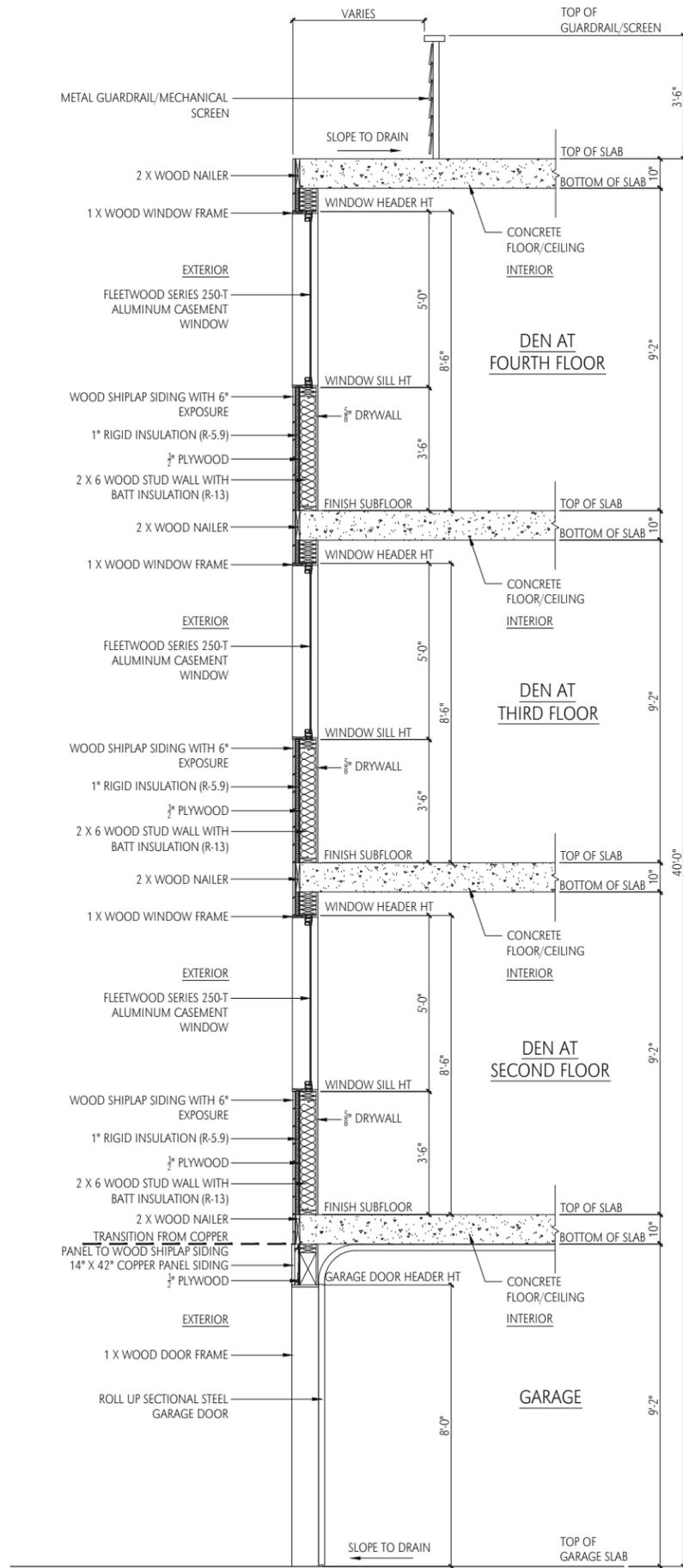
18'-0" ABOVE ROOF LINE
MAXIMUM ELEVATOR SHAFT PROJECTION HEIGHT
ALLOWABLE PER TABLE 9.21.060 OF SMMC

45'-0" ABOVE THEORETICAL GRADE
MAXIMUM HEIGHT ALLOWABLE PER TABLE 9.08.030 OF
SMMC



NEW BUILDING SOUTH ELEVATION

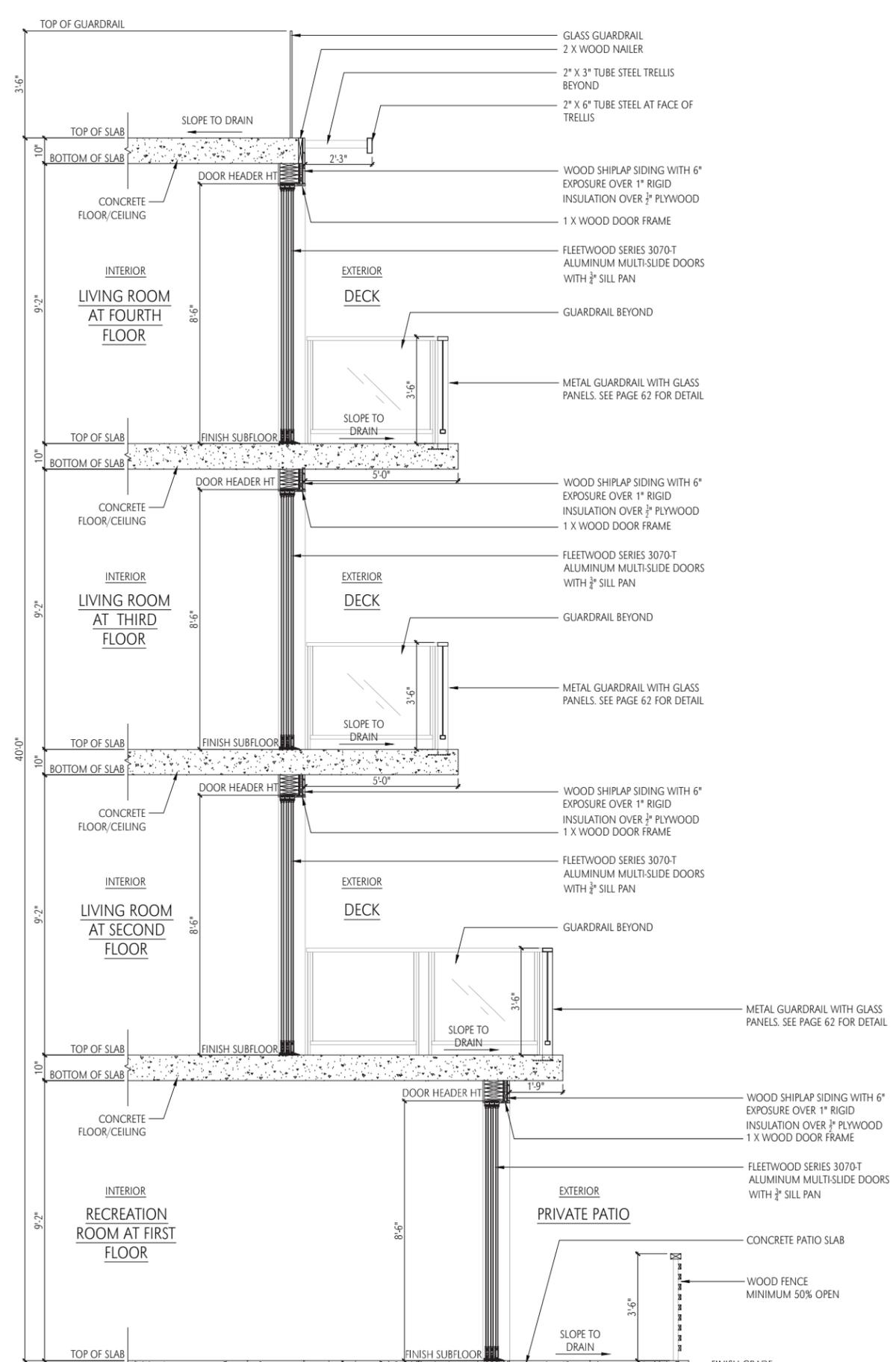
scale: NTS



NEW BUILDING WALL SECTION AT ALLEY

scale: NTS

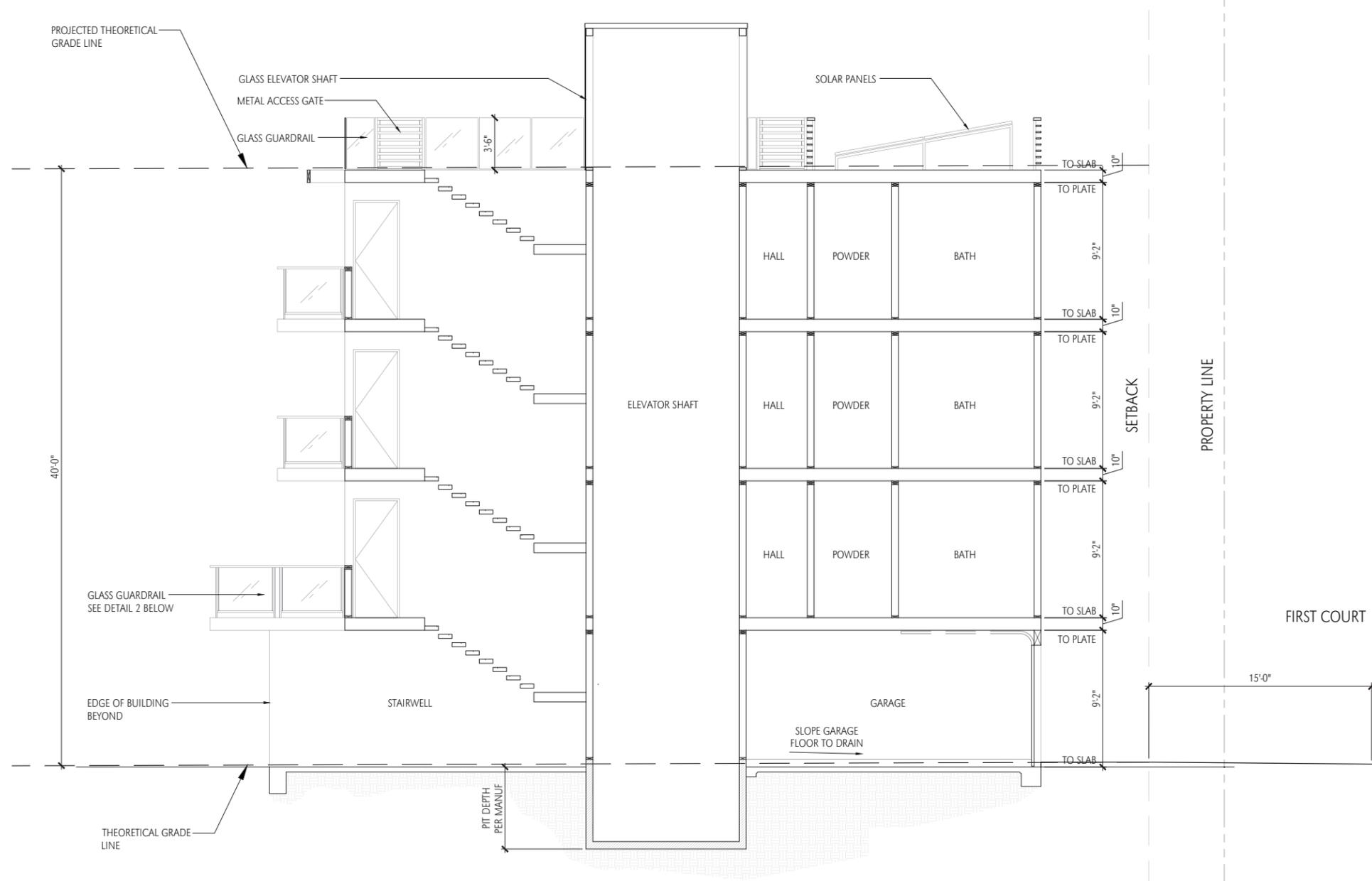
2



NEW BUILDING WALL SECTION AT COURTYARD

scale: NTS

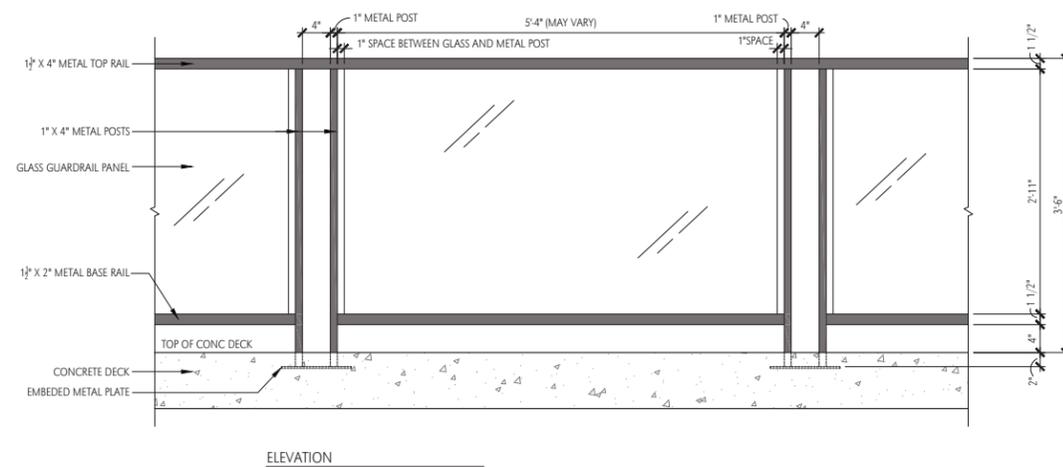
1



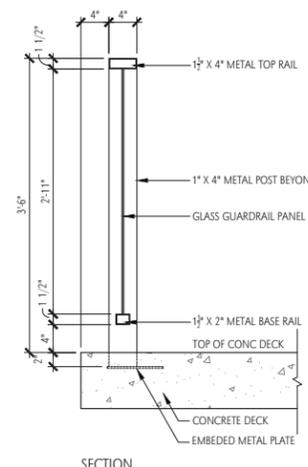
NEW BUILDING SECTION

scale: 1/4" = 1'-0"

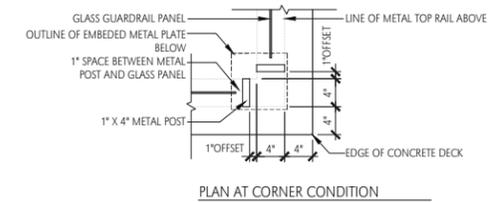
1



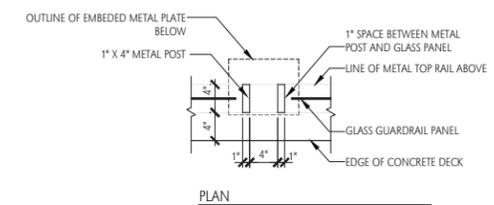
ELEVATION



SECTION

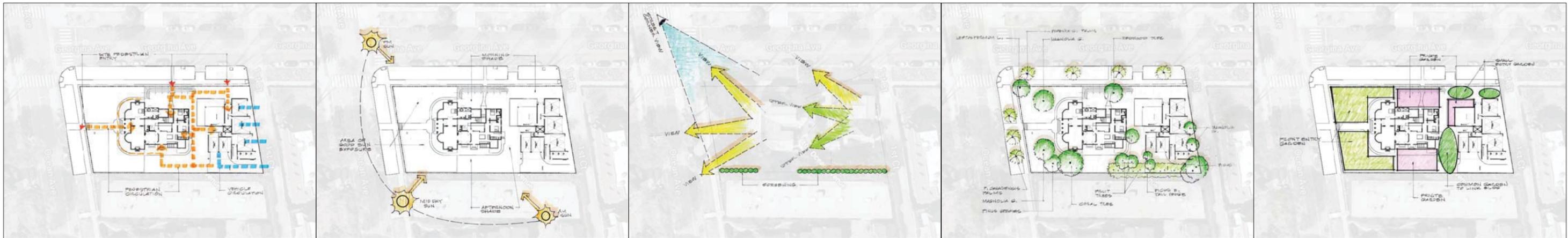


PLAN AT CORNER CONDITION



PLAN

2



SITE CIRCULATION - DIAGRAM

SUN / SHADE - DIAGRAM

SITE VIEWS AND SCREENING - DIAGRAM

SITE VEGETATION (TREES) - DIAGRAM

SITE PROGRAM - DIAGRAM



PRECEDENT IMAGES



SITE PHOTOS

SITE ANALYSIS - PRECEDENT IMAGES - SITE PHOTOS



Kaplan Chen Kaplan
Architects & Planners
2526 Eighteenth Street
Santa Monica CA 90405
Telephone 310.452.7505
Facsimile 310.452.1494



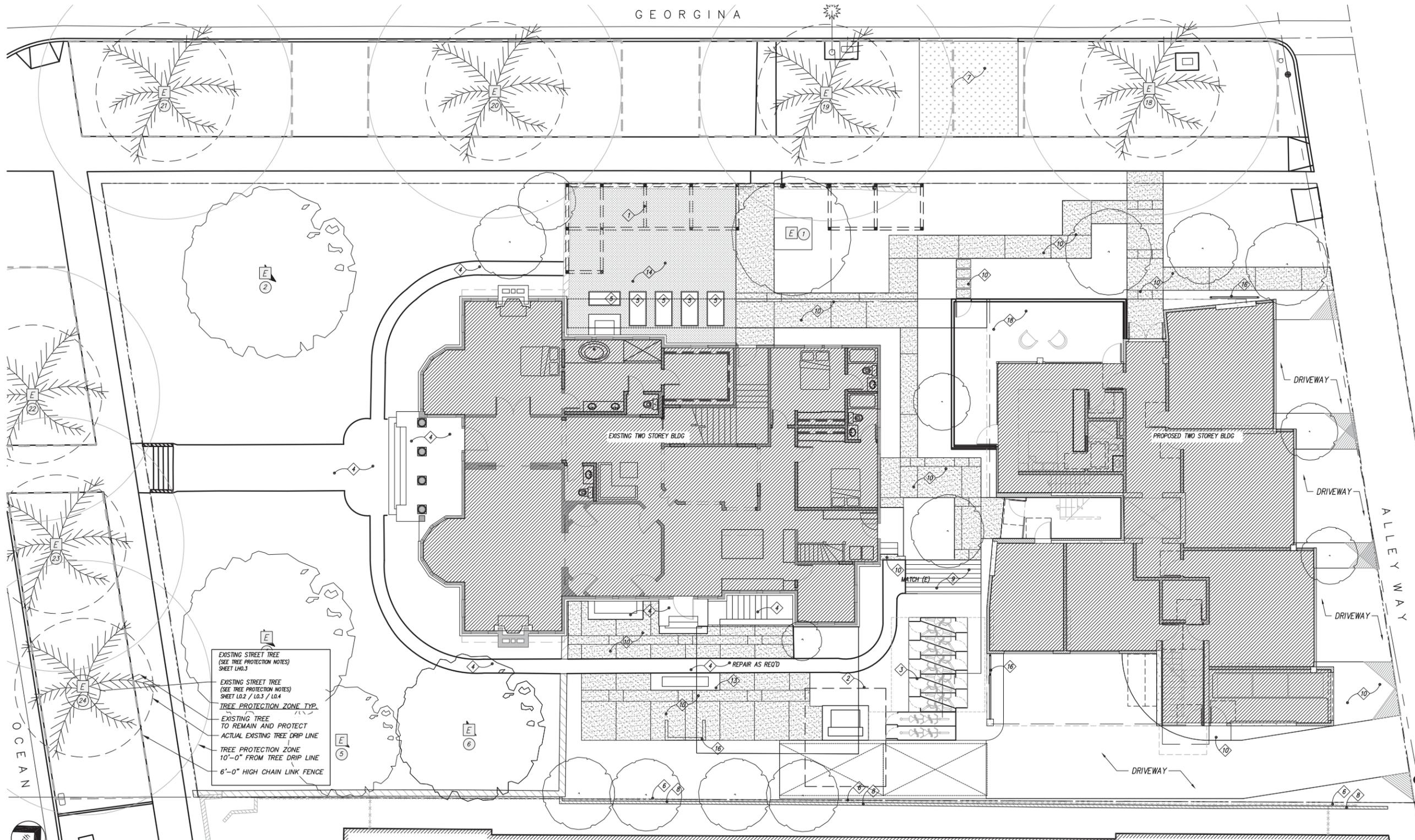
WEYSE/MORRIS
HOUSE
401 Ocean Ave
Santa Monica, CA



REVISIONS

STATUS

THIS SHEET IS THE PROPERTY OF KAPLAN CHEN KAPLAN ARCHITECTS AND PLANNERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KAPLAN CHEN KAPLAN ARCHITECTS AND PLANNERS.



EXISTING STREET TREE
(SEE TREE PROTECTION NOTES)
SHEET LH1.3

EXISTING STREET TREE
(SEE TREE PROTECTION NOTES)
SHEET LH2 / LH3 / LH4

TREE PROTECTION ZONE TYP.

EXISTING TREE
TO REMAIN AND PROTECT
ACTUAL EXISTING TREE DRIP LINE

TREE PROTECTION ZONE
10'-0" FROM TREE DRIP LINE

6'-0" HIGH CHAIN LINK FENCE

HARDSCAPE PLAN SC: 1/8"=1'-0"

KEYNOTE	MATERIAL	REMARKS	KEYNOTE	MATERIAL	REMARKS	KEYNOTE	MATERIAL	REMARKS
1	TRELLIS PER ARCH. DWGS.		7	(E) DRIVEWAY TO BE REMOVED	REPAIR CURB AS REQ'D	13	WATER FEATURE P.I.P. COLOR: CHARCOLE GREY FINISH: LIGHT WASH	DETAIL:
2	TRANSFORMER AND ENCLOSURE PER ARCH. DWGS.		8	(E) CMU WALL TO REMAIN	PROTECT-IN-PLACE	14	CHIP SEAL (STONE MATERIAL ONLY) MFTR: KCR ROCK COLOR: WHITE CHIP SEAL	DETAIL:
3	BICYCLE RACK PER ARCH. DWGS.		9	IPE WOOD DECKING 1X2 1/2 IPE w/ 3/8" GAP TYP. FINISH: TRANSPARENT REDWOOD STAIN OIL	DETAIL:	15	FIBERGLASS PLANTER MFTR: OLDTOWN MODEL: RL603030 COLOR: TAUP 19 MATTE	DETAIL: 3/LP3.0 NOTE: 18" HEIGHT
4	(E) PATH TO REMAIN PROTECT IN PLACE	REPAIR AS NOTED	10	POURED IN PLACE SLAB ON GRADE FINISH: NATURAL GRAY w/ LIGHT WASH	NOTE: SAW CUT AS INDICATED ON PLANS	16	BARBEQUE ENCLOSURE	DETAIL:
5	PLANTER BOX	DETAIL:	11	POURED IN PLACE BENCH COLOR: CHARCOLE GREY FINISH: LIGHT WASH	DETAIL:	17	LANDSCAPE TRELLIS (FREESTANDING) MFTR: GREENSCREEN COLOR: MATTE TEXTURED BLACK NOTE: ASSY. POSTS AND SCREEN (FTG BY OTHERS)	DETAIL:
6	(E) CHAINLINK FENCE TO BE REMOVED		12	WOOD SEAT OVER CONCRETE BENCH 1X2 1/2 IPE w/ 3/8" GAP TYP. FINISH: TRANSPARENT REDWOOD STAIN OIL	DETAIL:	18	NEW BUILDING SEE ARCH. DWGS.	

- NOTE:
- REFER TO ARCHITECTURAL, CIVIL, MECH. DRAWINGS FOR ADDITIONAL INFORMATION.
 - U.N.O. TREES ARE PROPOSED/NEW.
 - REFER TO ARBORIST REPORT (L0.5) FOR ADDITIONAL INFORMATION
 - REFER TO TREE PROTECTION PLAN FOR PLANTING IN PARKWAY (L0.4)
 - REFER TO PLANT SCHEDULE (LP2.0) FOR PLANT TYPE INFORMATION.

E EXISTING TREE TO REMAIN (PROTECT-IN-PLACE)
T ARBORIST TREE NUMBER (EXISTING TO REMAIN) SEE SHT. L0.5

scale:

HARDSCAPE PLAN
LH1.0
PROJECT NO.:
DATE: FEB. 6, 2018
DRAWN BY:
CHECKED BY:



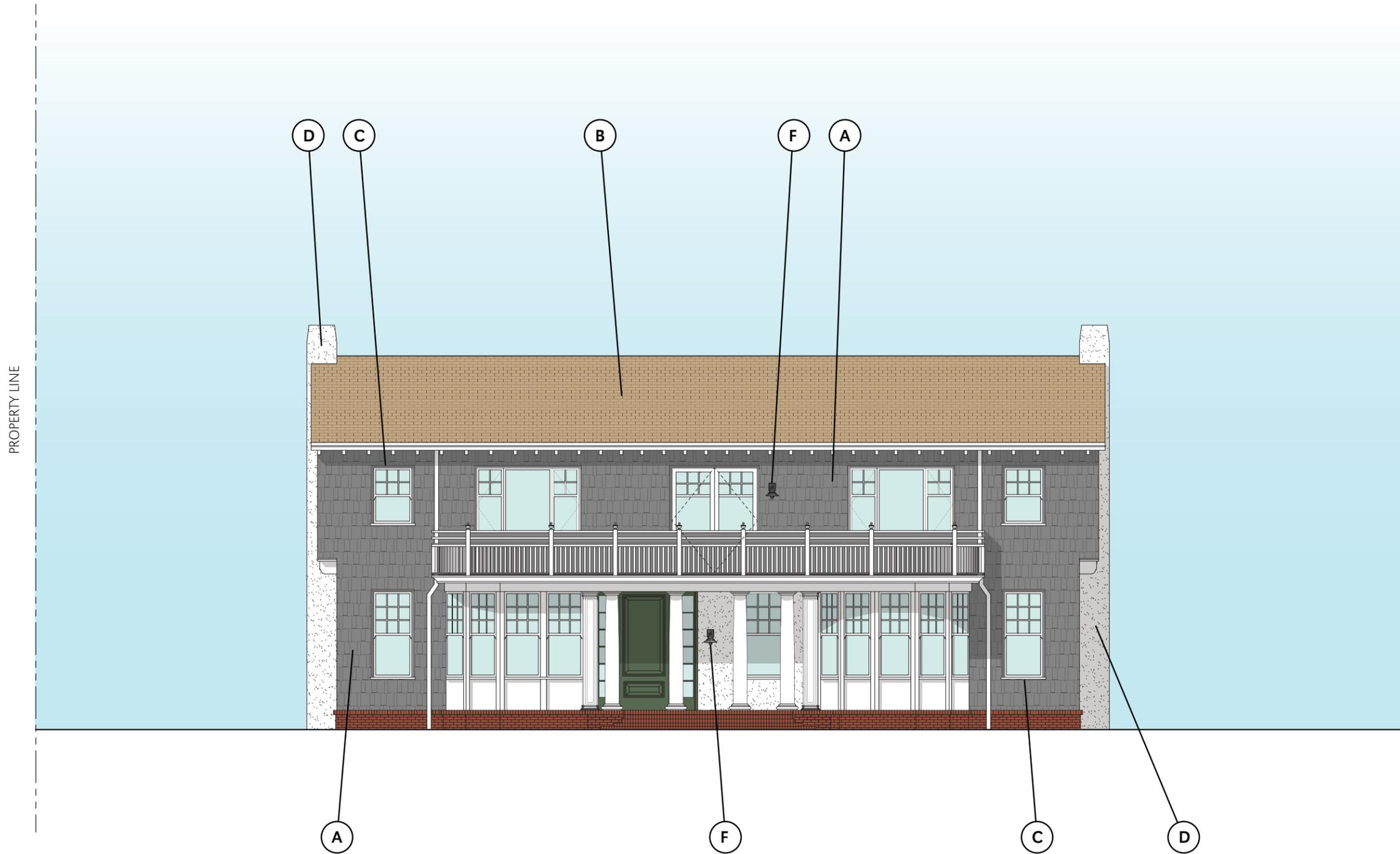












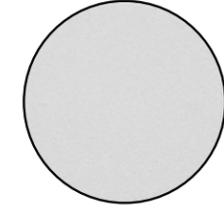
A: New wood shingles to match existing. Stain Penofin Verde Sustainable Oil, "Fog" (or equal)



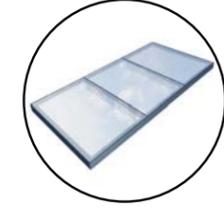
B: New Cedar wood shingles at roof



C: Refurbish existing windows, paint Dunn Edwards DEW392 "Crystal Bell" (or equal)



D: New smooth plaster finish to match existing over new wood framing, paint Dunn Edwards DEW392 "Crystal Bell" (or equal)



E: New skylight with aluminium frame



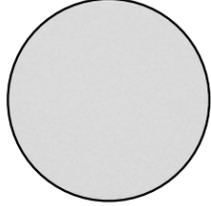
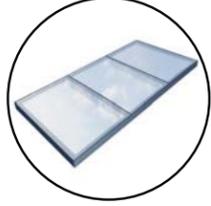
F: New wall sconce, ELA Lighting, "Nostalgia"

LANDMARK BUILDING PROPOSED WEST ELEVATION

1/4" = 1'-0"

MATERIALS & FINISHES



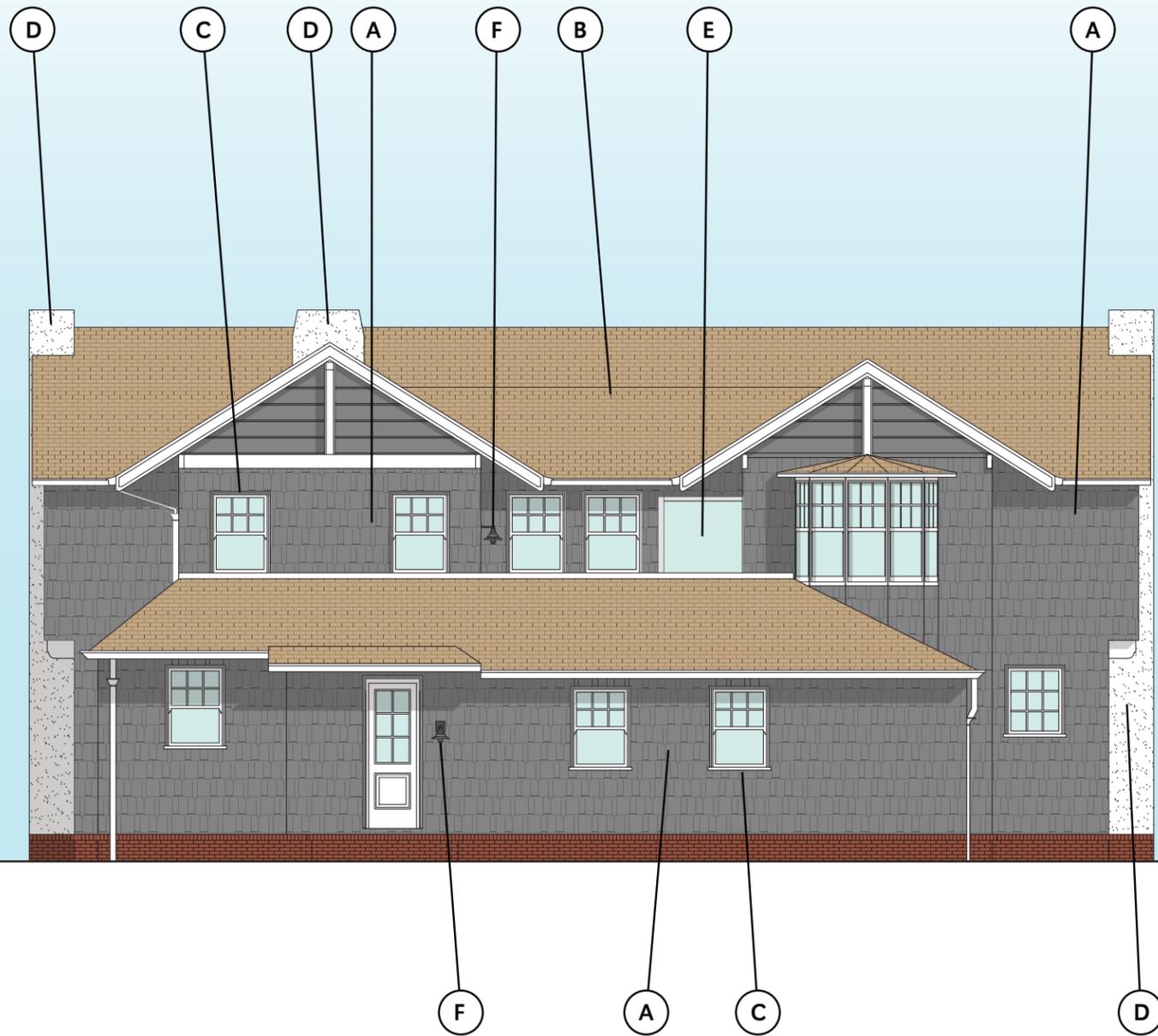
- 
A: New wood shingles to match existing. Stain Penofin Verde Sustainable Oil, "Fog" (or equal)
- 
B: New Cedar wood shingles at roof
- 
C: Refurbish existing windows, paint Dunn Edwards DEW392 "Crystal Bell" (or equal)
- 
D: New smooth plaster finish to match existing over new wood framing, paint Dunn Edwards DEW392 "Crystal Bell" (or equal)
- 
E: New skylight with aluminium frame
- 
F: New wall sconce, ELA Lighting, "Nostalgia"

LANDMARK BUILDING PROPOSED SOUTH ELEVATION

1/4" = 1'-0"

MATERIALS & FINISHES

PROPERTY LINE



PROPERTY LINE



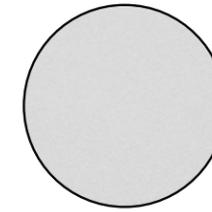
A: New wood shingles to match existing.
Stain Penofin Verde Sustainable Oil, "Fog" (or equal)



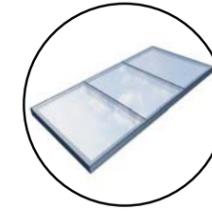
B: New Cedar wood shingles at roof



C: Refurbish existing windows, paint Dunn Edwards DEW392 "Crystal Bell" (or equal)



D: New smooth plaster finish to match existing over new wood framing, paint Dunn Edwards DEW392 "Crystal Bell" (or equal)



E: New skylight with aluminium frame

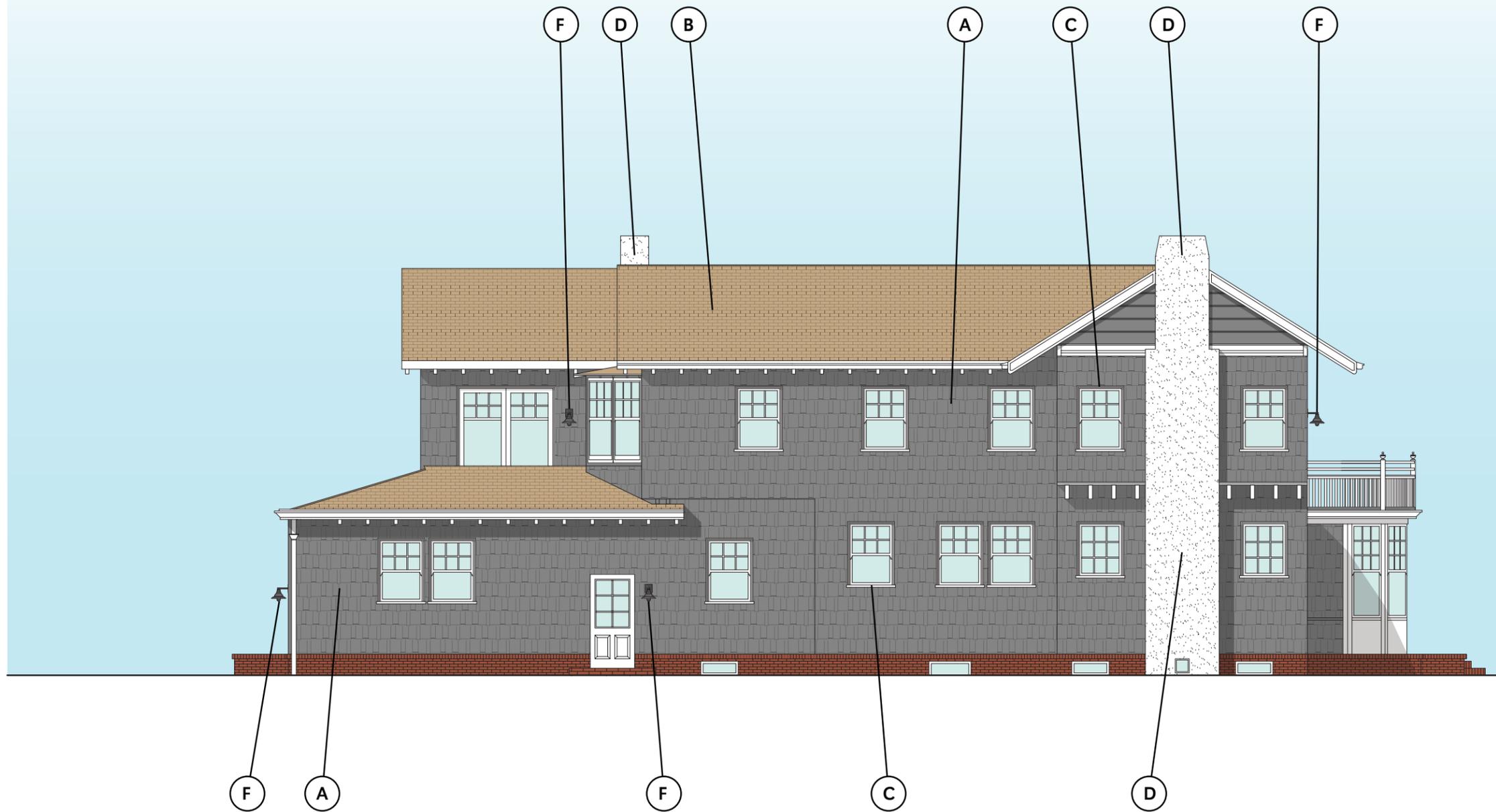


F: New wall sconce, ELA Lighting, "Nostalgia"

LANDMARK BUILDING PROPOSED EAST ELEVATION

1/4" = 1'-0"

MATERIALS & FINISHES



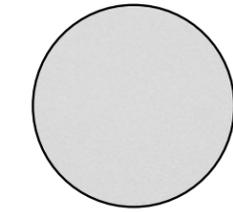
A: New wood shingles to match existing. Stain Penofin Verde Sustainable Oil, "Fog" (or equal)



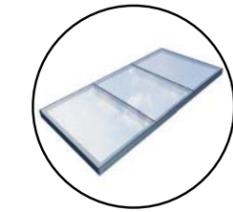
B: New Cedar wood shingles at roof



C: Refurbish existing windows, paint Dunn Edwards DEW392 "Crystal Bell" (or equal)



D: New smooth plaster finish to match existing over new wood framing, paint Dunn Edwards DEW392 "Crystal Bell" (or equal)



E: New skylight with aluminium frame

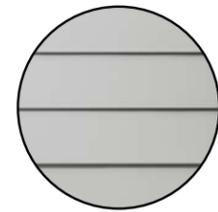
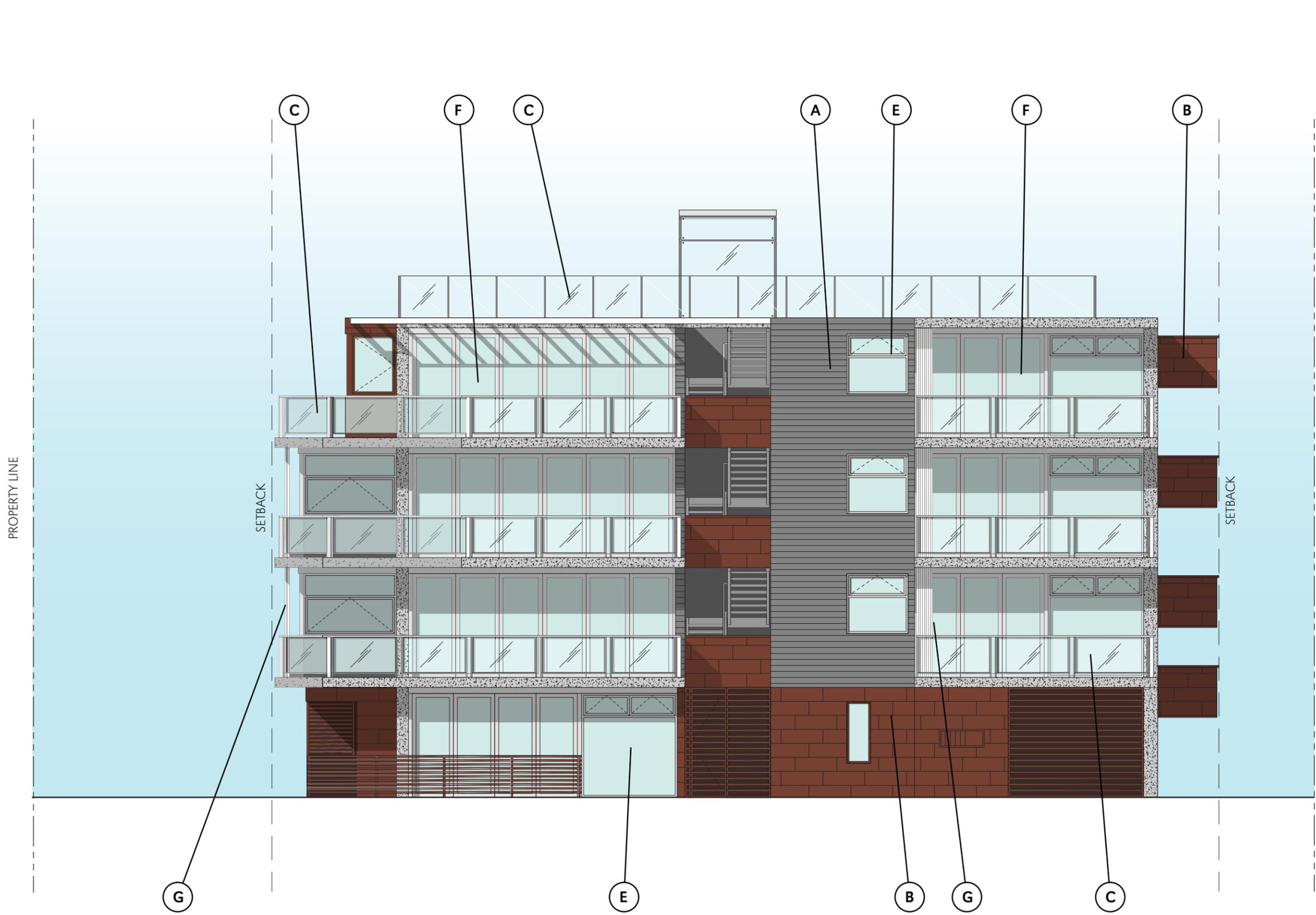


F: New wall sconce, ELA Lighting, "Nostalgia"

LANDMARK BUILDING PROPOSED NORTH ELEVATION

1/4" = 1'-0"

MATERIALS & FINISHES



A: Wood siding, paint Benjamin Moore Historic Color "Platinum Gray" HC-179 (or equal)



B: Painted copper color metal panel



C: Glass railing



D: Aluminum louver panels



E: Fleetwood aluminum windows & doors



F: Louis Poulsen Toldbod wall sconce 6.1 with aluminum finish (or equal)

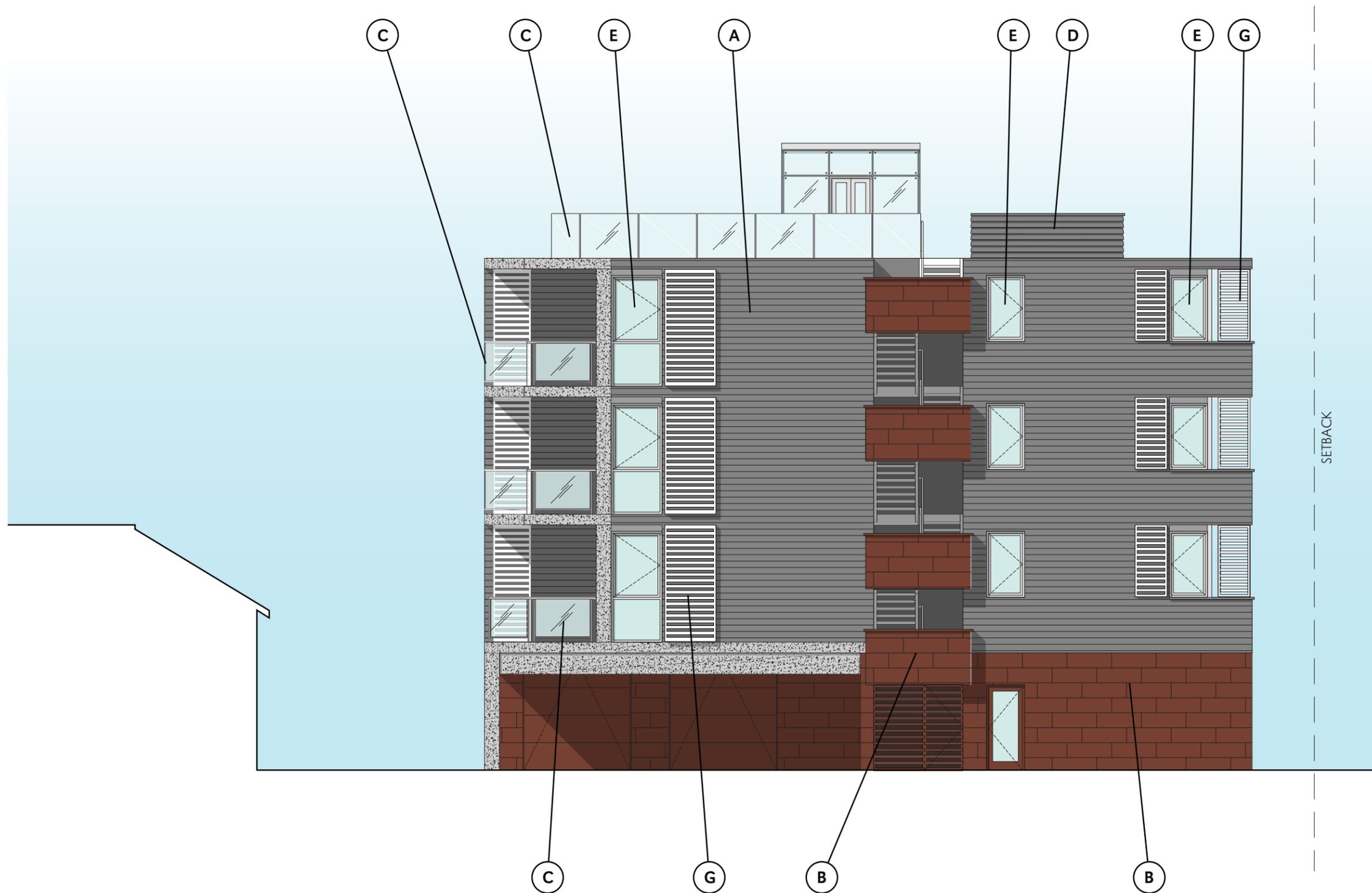


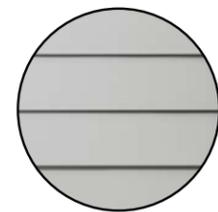
G: Aluminium window shutters

NEW BUILDING PROPOSED WEST ELEVATION

1/4" = 1'-0"

MATERIALS & FINISHES



-  **A:** Wood siding, paint Benjamin Moore Historic Color "Platinum Gray" HC-179 (or equal)
-  **B:** Painted copper color metal panel
-  **C:** Glass railing
-  **D:** Aluminum louver panels
-  **E:** Fleetwood aluminum windows & doors
-  **F:** Louis Poulsen Toldbod wall sconce 6.1 with aluminum finish (or equal)
-  **G:** Aluminium window shutters

NEW BUILDING PROPOSED SOUTH ELEVATION

1/4" = 1'-0"

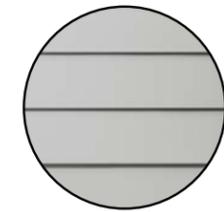
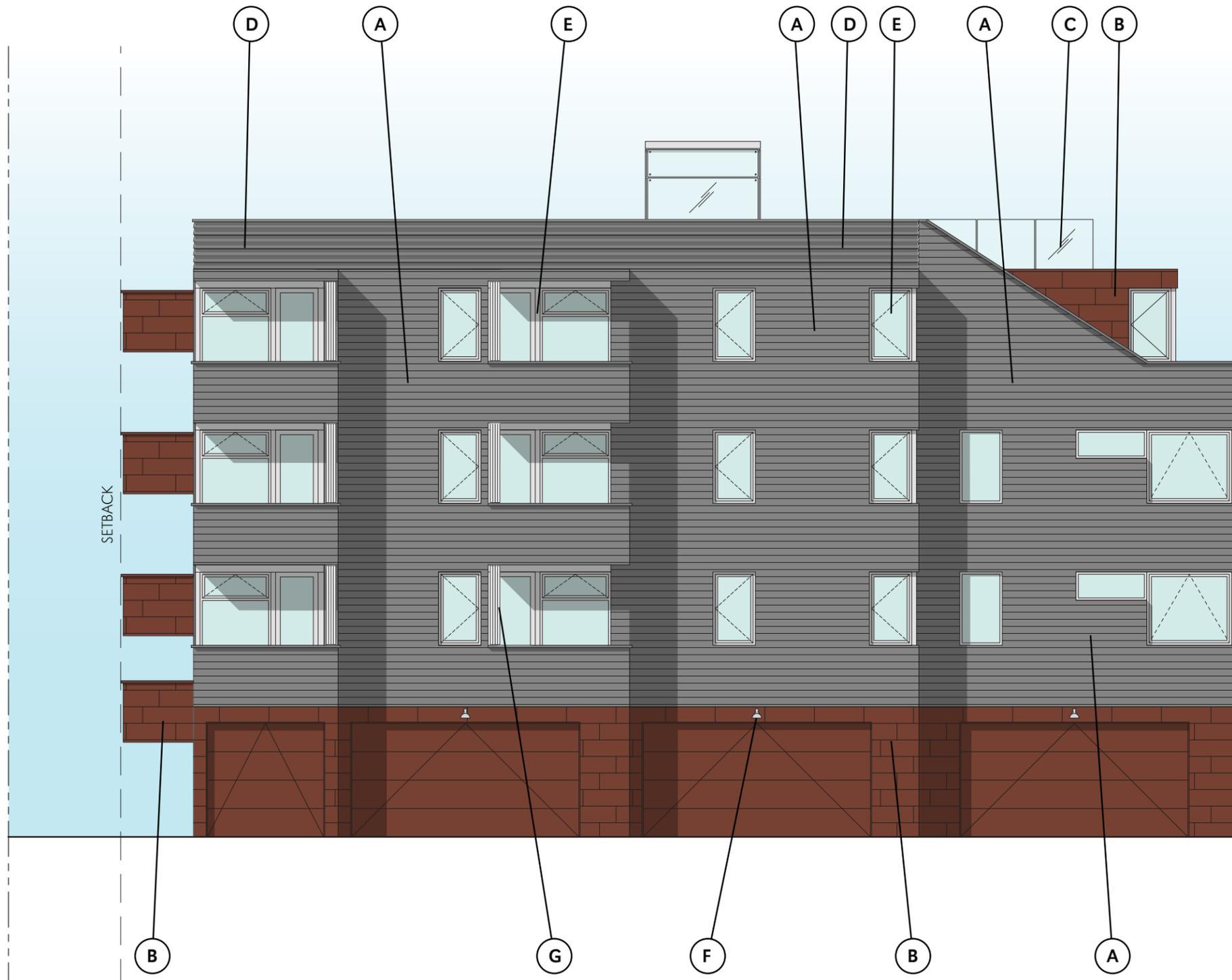
MATERIALS & FINISHES

PROPERTY LINE

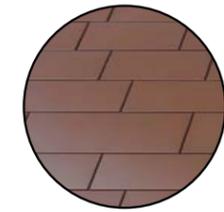
SETBACK

SETBACK

PROPERTY LINE



A: Wood siding, paint Benjamin Moore Historic Color "Platinum Gray" HC-179 (or equal)



B: Painted copper color metal panel



C: Glass railing



D: Aluminum louver panels



E: Fleetwood aluminum windows & doors



F: Louis Poulsen Toldbod wall sconce 6.1 with aluminum finish (or equal)

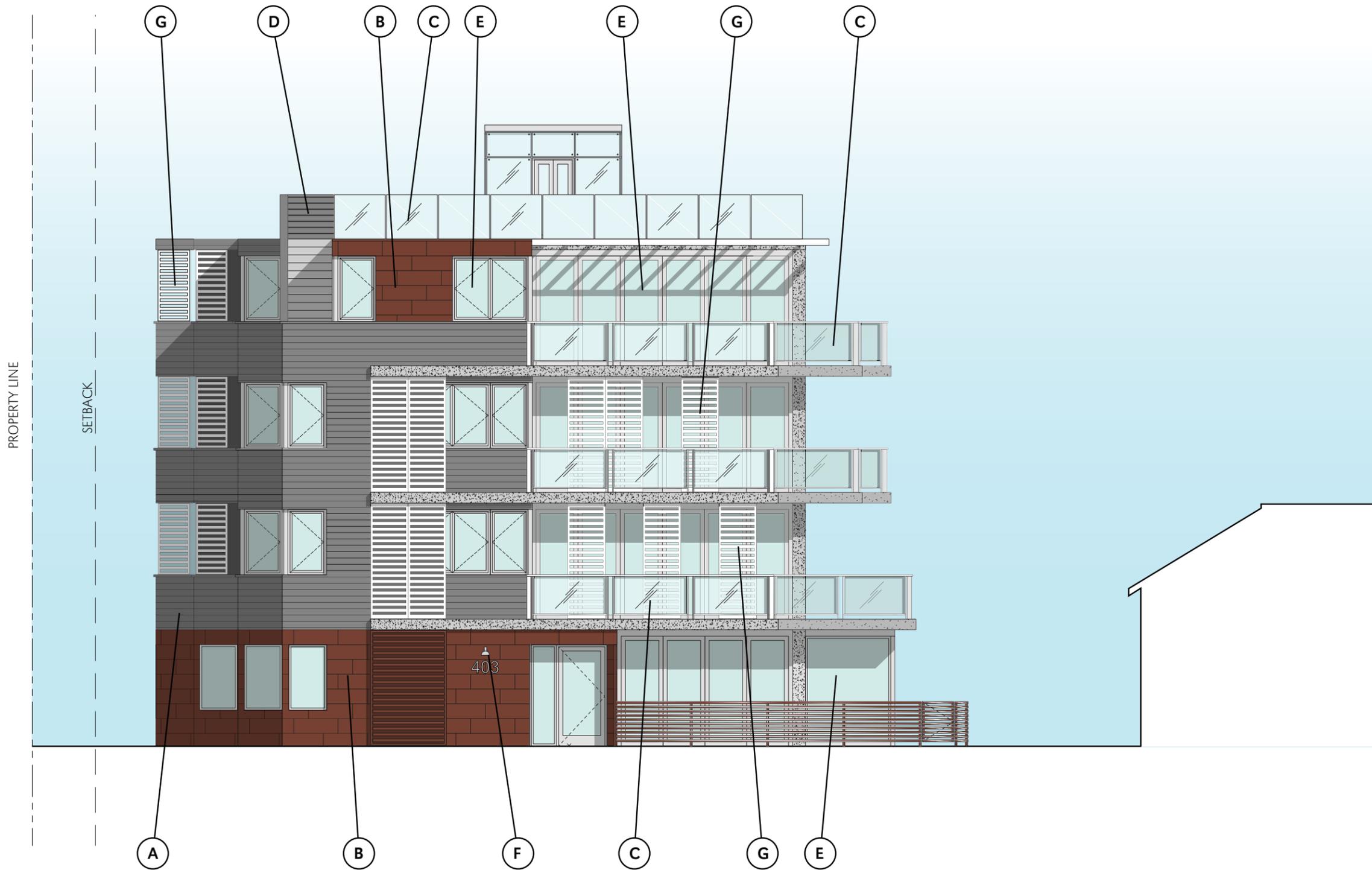


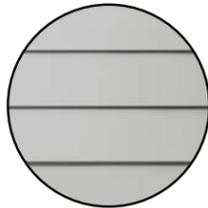
G: Aluminium window shutters

NEW BUILDING PROPOSED EAST ELEVATION

1/4" = 1'-0"

MATERIALS & FINISHES



-  **A:** Wood siding, paint Benjamin Moore Historic Color "Platinum Gray" HC-179 (or equal)
-  **B:** Painted copper color metal panel
-  **C:** Glass railing
-  **D:** Aluminum louver panels
-  **E:** Fleetwood aluminum windows & doors
-  **F:** Louis Poulsen Toldbod wall sconce 6.1 with aluminum finish (or equal)
-  **G:** Aluminium window shutters

NEW BUILDING PROPOSED NORTH ELEVATION

1/4" = 1'-0"

MATERIALS & FINISHES



Kaplan Chen Kaplan
 Architects & Planners
 2526 Eighteenth Street
 Santa Monica CA 90405
 Telephone 310.452.7505
 Facsimile 310.452.1494



NORTH ELEVATION (GEORGINA AVENUE) AT 2 YEARS LANDSCAPE MATURITY

SCALE 3/32" = 1'-0"

WEYSE/MORRIS
 HOUSE
 401 Ocean Ave
 Santa Monica, CA



REVISIONS

STATUS

THIS PLAN OR OTHER MATERIALS BY KAPLAN CHEN KAPLAN ARCHITECTS & PLANNERS IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF KAPLAN CHEN KAPLAN ARCHITECTS & PLANNERS.

scale:



SOUTH ELEVATION AT 2 YEARS LANDSCAPE MATURITY

SCALE 3/32" = 1'-0"

ELEVATIONS

LS-1.0

PROJECT NO.:
 DATE: FEB. 6, 2018
 DRAWN BY:
 CHECKED BY:



Kaplan Chen Kaplan
 Architects & Planners
 2526 Eighteenth Street
 Santa Monica CA 90405
 Telephone 310.452.7505
 Facsimile 310.452.1494



WEST ELEVATION (OCEAN AVENUE) AT 2 YEARS LANDSCAPE MATURITY

SCALE: 3/32" = 1'-0"

WEYSE/MORRIS
 H O U S E
 401 Ocean Ave
 Santa Monica, CA



INTERIOR COURT ELEVATION (WEST VIEW) AT 2 YEARS LANDSCAPE MATURITY

SCALE: 3/32" = 1'-0"

REVISIONS

STATUS

THIS DRAWING IS THE PROPERTY OF KAPLAN CHEN KAPLAN ARCHITECTS & PLANNERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF KAPLAN CHEN KAPLAN ARCHITECTS & PLANNERS.

scale:

ELEVATIONS

LS-1.1

PROJECT NO.:
 DATE: FEB. 6, 2018
 DRAWN BY:
 CHECKED BY:



Kaplan Chen Kaplan
 Architects & Planners
 2526 Eighteenth Street
 Santa Monica CA 90405
 Telephone 310.452.7505
 Facsimile 310.452.1494



INTERIOR COURT ELEVATION (EAST VIEW) AT 2 YEARS LANDSCAPE MATURITY

SCALE: 3/32" = 1'-0"

WEYSE/MORRIS
 HOUSE
 401 Ocean Ave
 Santa Monica, CA



REVISIONS

STATUS

THIS DRAWING IS THE PROPERTY OF KAPLAN CHEN KAPLAN ARCHITECTS & PLANNERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KAPLAN CHEN KAPLAN ARCHITECTS & PLANNERS.

scale:



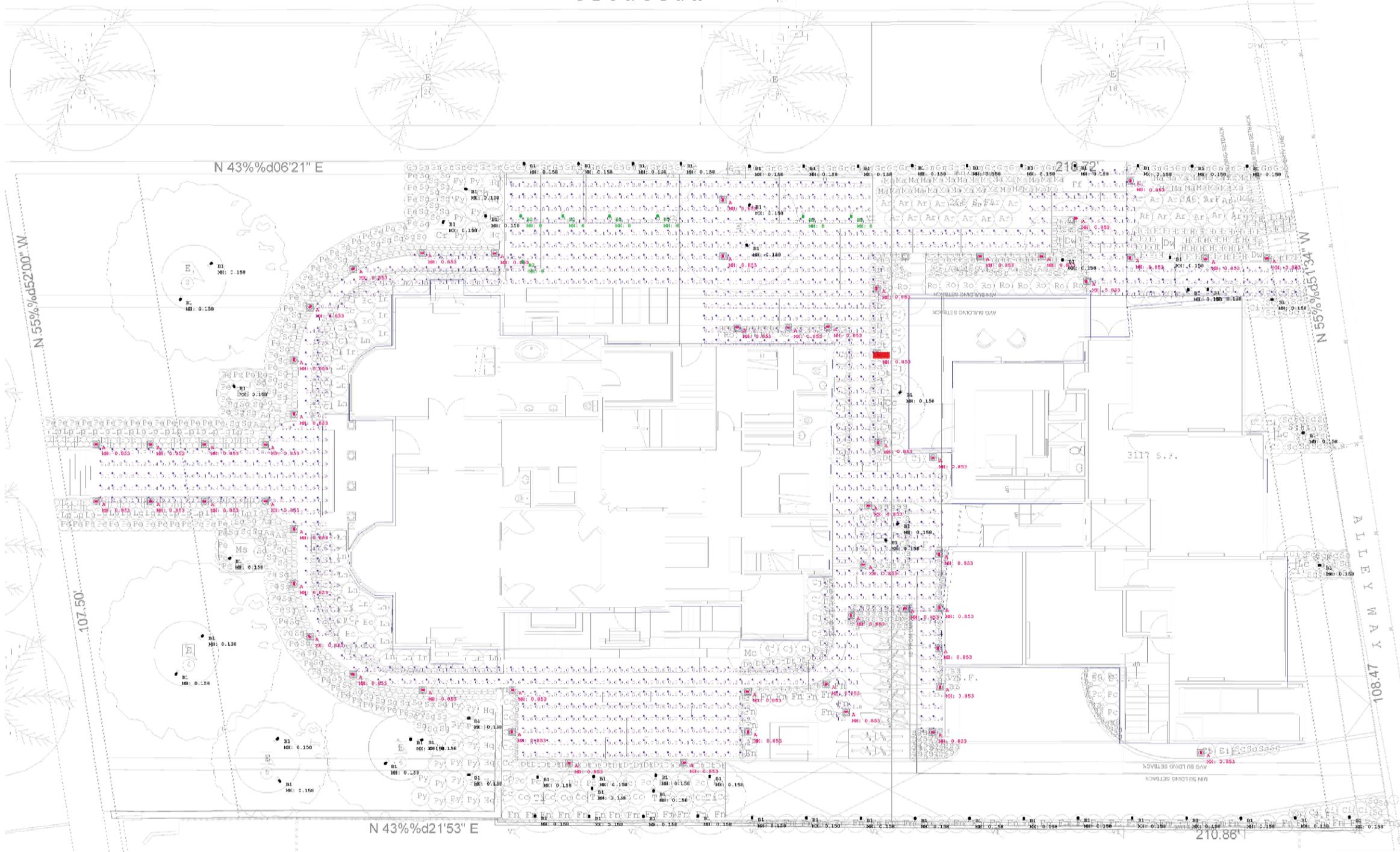
EAST ELEVATION (1ST COURT) AT 2 YEARS LANDSCAPE MATURITY

SCALE: 3/32" = 1'-0"

ELEVATIONS

LS-1.2

PROJECT NO.:
 DATE: FEB. 6, 2018
 DRAWN BY:
 CHECKED BY:



Kaplan Chen Kaplan
Architects & Planners
2526 Eighteenth Street
Santa Monica CA 90405
Telephone 310.452.7505
Facsimile 310.452.1494



WEYSE/MORRIS
HOUSE
401 Ocean Ave
Santa Monica, CA



REVISIONS

No.	Description

STATUS

Date	Description

THIS DRAWING OR ANY PART THEREOF IS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE LIGHTING SYSTEM AS SHOWN ON THIS DRAWING. THE ARCHITECT IS NOT RESPONSIBLE FOR THE PERFORMANCE OF THE LIGHTING SYSTEM OR FOR THE SAFETY OF THE LIGHTING SYSTEM. THE ARCHITECT IS NOT RESPONSIBLE FOR THE SAFETY OF THE LIGHTING SYSTEM OR FOR THE SAFETY OF THE LIGHTING SYSTEM.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens LLF	Description
	34	A	SINGLE	434	designplan/FLIN 2.2 A (4000K 12W 230vac) h740
	64	B1	SINGLE	N.A.	0.850 B-K LIGHTING/DS-LED-666-MFL-12
	7	B2	SINGLE	N.A.	0.850 B-K LIGHTING/DS-LED-666-MFL-12

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Path	Illuminance	Fc	3.02	152.1	0.0	f.A.	N.A.

Jobname
Santa Monica Project_2018-5-7.AGI
Report for Back Calculation
Report by: Ismael Avina / Applications Engineer
Mounting Ht.: See Drawing
See Luminaire Schedule for Light Loss Factor - Unless otherwise specified by customer
Reflectance: 80/50/20 - Unless otherwise specified by customer
Date: 7/2018

-----Disclaimer-----
Luminaire data is obtained according to IES procedures under controlled laboratory conditions. Field results may differ from computer predictions due to many uncontrollable factors including, but not limited to Line Voltage Variations, Lamp Performance, Ballast Input Watts, LED Drivers Input Watts, Temperature Variations and Jobsite Conditions.

scale: N.T.S.

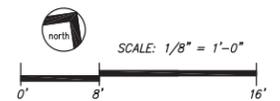
LIGHTING PLAN
LIGHTING PLAN
LE1.1

PROJECT NO.:
DATE: FEB. 6, 2018
DRAWN BY:
CHECKED BY:

GEORGINA AVENUE



GROUND LEVEL LANDSCAPE PLAN



GEORGINA AVENUE

FIREGLASS PLANTERS:
L60"X W18"X H30"

FIREGLASS PLANTERS:
L60"X W18"X H30"

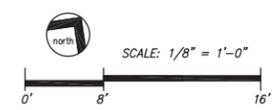
FIREGLASS PLANTERS:
L60"XW18"XH30"

FIREGLASS PLANTERS:
L60"XW18"XH30"

OCEAN AVENUE

1ST COURT

ROOF LEVEL LANDSCAPE PLAN





Kaplan Chen Kaplan
Architects & Planners
2526 Eighteenth Street
Santa Monica CA 90405
Telephone 310.452.7505
Facsimile 310.452.1494



WEYSE/MORRIS
HOUSE
401 Ocean Ave
Santa Monica, CA



REVISIONS

STATUS

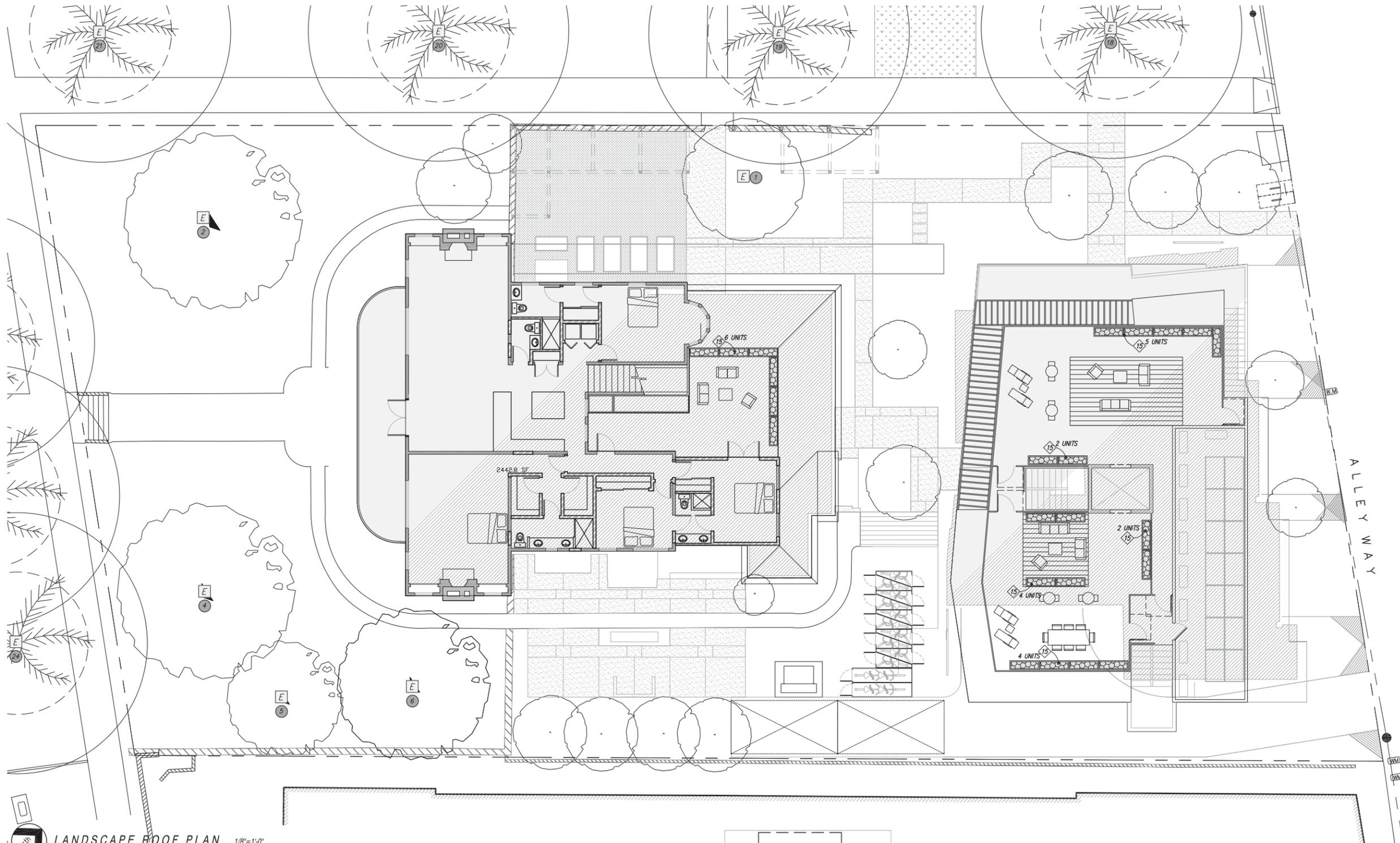
NOT FOR CONSTRUCTION. THIS SHEET IS NOT TO BE USED ALONE OR FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN CONNECTION WITH ARCHITECT'S STAMP AND SIGNATURE. ALL DIMENSIONS, ELEVATIONS AND LOCATIONS ON THIS SHEET ARE PROPERTY OF KAPLAN CHEN KAPLAN AND SHALL NOT BE REPRODUCED, COPIED, REPRODUCED OR OTHERWISE USED FOR ANY OTHER PROJECT THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED. IN WASTE OR REUSE, SHOWN FROM WRITTEN CONSENT OF KAPLAN CHEN KAPLAN.

scale: 1/8"=1'-0"

ROOF LANDSCAPE PLAN

LP1.1

PROJECT NO.:
DATE: FEB. 6, 2018
DRAWN BY:
CHECKED BY:



LANDSCAPE ROOF PLAN 1/8"=1'-0"

KEYNOTE	MATERIAL	REMARKS	KEYNOTE	MATERIAL	REMARKS	KEYNOTE	MATERIAL	REMARKS
1	TRELLIS PER ARCH. DWGS.		7	(E) DRIVEWAY TO BE REMOVED	REPAIR CURB AS REQ'D	13	WATER FEATURE P.I.P. COLOR: CHARCOLE GREY FINISH: LIGHT WASH	DETAIL:
2	TRANSFORMER AND ENCLOSURE PER ARCH. DWGS.		8	(E) CMU WALL TO REMAIN	PROTECT-IN-PLACE	14	CHIP SEAL (STONE MATERIAL ONLY) MFR: KCR ROCK COLOR: WHITE CHIP SEAL	DETAIL:
3	BICYCLE RACK PER ARCH. DWGS.		9	IPE WOOD DECKING 1X2 1/2 IPE w/ 3/8" GAP TYP. FINISH: TRANSPARENT REDWOOD STAIN OIL	DETAIL:	15	FIBERGLASS PLANTER MFR: OLDTOWN MODEL: RL603030 COLOR: TAUP 19 MATTIE	DETAIL: 3/LP3.0 NOTE: 18" HEIGHT
4	(E) PATH TO REMAIN PROTECT IN PLACE	REPAIR AS NOTED	10	POURED IN PLACE SLAB ON GRADE FINISH: NATURAL GRAY w/ LIGHT WASH	NOTE: SAW CUT AS INDICATED ON PLANS	16	BARBEQUE ENCLOSURE	DETAIL:
5	PLANTER BOX	DETAIL:	11	POURED IN PLACE BENCH COLOR: CHARCOLE GREY FINISH: LIGHT WASH	DETAIL:	17	LANDSCAPE TRELLIS (FREESTANDING) MFR: GREENSCREEN COLOR: MATTE TEXTURED BLACK NOTE: ASSY. POSTS AND SCREEN (FTG BY OTHERS)	DETAIL:
6	(E) CHAINLINK FENCE TO BE REMOVED		12	WOOD SEAT OVER CONCRETE BENCH 1X2 1/2 IPE w/ 3/8" GAP TYP. FINISH: TRANSPARENT REDWOOD STAIN OIL	DETAIL:	18	NEW BUILDING SEE ARCH. DWGS.	

- NOTE:
1. REFER TO ARCHITECTURAL, CIVIL, MECH. DRAWINGS FOR ADDITIONAL INFORMATION.
2. U.N.O. TREES ARE PROPOSED/NEW.
3. REFER TO ARBORIST REPORT (L0.5) FOR ADDITIONAL INFORMATION
4. REFER TO TREE PROTECTION PLAN FOR PLANTING IN PARKWAY (L.04)
5. REFER TO PLANT SCHEDULE (LP2.0) FOR PLANT TYPE INFORMATION.

E EXISTING TREE TO REMAIN (PROTECT-IN-PLACE)
ARBORIST TREE NUMBER (EXISTING TO REMAIN) SEE SHT. L0.5

PLANTING NOTES:

CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THESE DETAILS, DRAWINGS AND NOTES.
 CONTRACTOR SHALL CONFIRM STATUS OF ALL EXISTING PLANT MATERIAL WITH OWNER OR LAND ARCH. PRIOR TO DEMOLITION. ALL DEMOLITION DEBRIS IS TO BE DISPOSED OF IN TIMELY MANNER TO LEGAL DUMPING FACILITY.

FINAL LOCATIONS OF TREES AND SHRUBS SHALL BE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING. COMPLETED PLANTING AND IRRIGATION SHALL BE INSPECTED BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE.

CONTRACTOR SHALL GUARANTEE ALL NEW PLANTS AS FOLLOWS UNLESS MUTUALLY AGREED UPON BY THE CONTRACTOR AND THE OWNER AND SPECIFIED IN WRITING:
 TREES (24" BOX AND LARGER)- 1 YEAR
 SHRUBS AND VINES (1 GAL. AND LARGER)- 6 MONTHS
 GROUND COVER - 6 MONTHS
 ANNUAL COLOR- 1 MONTH

PLANT MATERIAL WHICH IN THE JUDGMENT OF THE OWNER OR LANDSCAPE ARCHITECT IS NOT HEALTHY AND VIGOROUS AT THE END OF THE GUARANTEE PERIOD WILL BE REPLACED.

CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.

QUALITY AND SIZE OF ALL PLANTS SHALL CONFORM TO THE CALIFORNIA STANDARD GRADING CODE OF NURSERY STOCK AND SHALL BE NUMBER ONE GRADE. THERE SHALL BE NO INSECTS, EGGS, OR LARVAE.

CONTRACTOR SHALL CONFIRM WITH GROWERS THAT PLANTS PURCHASED FOR THIS PROJECT ARE PROPERLY ACCLIMATIZED TO PROJECTS CONDITIONS AND SEASONS OF PLANTING.

CONTRACTOR SHALL STORE PLANT MATERIAL IN SHADE AND PROTECT FROM SUN. MAINTAIN PLANTS IN MOIST CONDITION PRIOR TO PLANTING.

CONTRACTOR SHALL PLANT ALL PLANTS SO THAT AFTER FULL SETTLING, THE CROWN OF THE PLANT IS EVEN WITH OR 1/2" ABOVE THE FINISH GRADE. AFTER PLANTING, SMOOTH SOIL AROUND PLANT AND WATER WITH A FINE SPRAY.

CONTRACTOR SHALL WATER THOROUGHLY, IMMEDIATELY AFTER PLANTING. WATERSETTLE ALL BACKFILLED AREAS THOROUGHLY.

CONTRACTOR SHALL WATER SETTLE AND HAND COMPACT ALL SOIL IN BUILT-UP PLANTERS. SUCH COMPACTION SHALL OCCUR OVER A 3-DAY PERIOD IN ORDER TO MAXIMIZE SETTLEMENT. CONTRACTOR SHALL INSTALL ADDITIONAL SOIL AS REQUIRED TO BRING TOP OF FINISH GRADE TO 2" BELOW TOP OF WALL, OR TO TOP OF WATERPROOFING MEMBRANE WHERE WATERPROOFING MEMBRANE IS HIGHER THAN 3" BELOW TOP OF WALL.

CONTRACTOR SHALL TOP DRESS ALL PLANTING AREAS WITH 1-1/2" NITROWOOD MULCH UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL REMOVE ALL NURSERY STAKES AND TAGS FROM ALL PLANT MATERIALS AFTER PLANTING.

CONTRACTOR SHALL STAKE ALL TREES IN 36" BOX CONTAINERS AND SMALLER IMMEDIATELY AFTER PLANTING PER DRAWINGS.

CONTRACTOR SHALL TAKE SUFFICIENT MEASURES TO KEEP LAWN AREAS FROM DAMAGE BY PEDESTRIANS AND WORKMEN.

CONTRACTOR SHALL ATTACH VINES TO HARD SURFACES WITH 1"x3/16" BRASS SCREW-EYES AND GREEN WIRE TIES. PROVIDE SAMPLE OF WIRE TIE TO OWNER OR LANDSCAPE ARCHITECT PRIOR TO TYING.

CONTRACTOR SHALL INSTALL ADDITIONAL SOIL AS REQUIRED TO BRING TOP OF FINISH GRADE TO 2" BELOW TOP OF WALL OR HARDSCAPE UNLESS NOTED OTHERWISE.

SOIL PREPARATION AND BACKFILL REQUIREMENTS

A MINIMUM OF 2 SOILS TESTS SHALL BE MADE PRIOR TO ANY NEW LANDSCAPE PLANTING TO IDENTIFY SOIL CHARACTERISTICS AND RECOMMEND FERTILIZERS, AMENDMENTS AND INSTALLATION PROCEDURES. SOIL SAMPLES WILL BE SUBMITTED TO AN AUTHORIZED SOILS LABORATORY, WITH THE RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR REVIEW.

ORGANIC FERTILIZER. FERTILIZER TABLETS TO BE 7-GRAM 12-8-8 AT THE FOLLOWING RATES.

4" POT- 1 TABLET, 1 GAL. CAN-3 TABLETS, 5 GAL. CAN,- 8 TABLETS,
 24" BOX- 15 TABLETS,

SOIL AMENDMENT AND FERTILIZER: (FOR BID PURPOSES ONLY. ACTUAL SPEC. TO BE DETERMINED BY SOIL TEST)

AFTER SETTING FINISH GRADE AMEND SOIL AS FOLLOWS:
 6 CUBIC YARDS ORGANIC AMENDMENT PER 1000 SQ. FT.
 5 POUNDS COMMERCIAL FERTILIZER (10-10-10) PER 1000 SQ. FT.
 BROADCAST SOIL AMENDMENT UNIFORMLY OVER PLANTING AREA AND INCORPORATE INTO THE TOP 6 INCHES OF SOIL.

ACID-LOVING PLANTS (PLANTING PITS): 50 % SITE SOIL/50 IRON CHELATE/"GRO-POWER" PLANTING TABLETS (SEE BELOW FOR QUANTITY)

GENERAL BACKFILL FOR ALL PITS FOR ALL TREES AND SHRUBS:
 SOIL TEST RESULTS TO BE APPLIED IF DIFFERENT FROM GENERAL

THOROUGHLY PRE-MIX BACKFILL PER CUBIC YARD AS FOLLOWS:
 6 PARTS BY VOLUME OF CLEAN ON-SITE TOPSOIL
 4 PARTS BY VOLUME OF NITROGEN-STABILIZED ORGANIC AMENDMENT OR WOOD SHAVINGS

ORGANIC FERTILIZER. FERTILIZER TABLETS TO BE 7-GRAM 12-8-8 AT THE FOLLOWING RATES.

4" POT- 1 TABLET
 1 GAL. CAN-3 TABLETS
 5 GAL. CAN,- 8 TABLETS
 15 GAL. CAN- 13 TABLETS

CREATE TEMPORARY WATERING BASIN AROUND EACH PLANTING PIT. APPLY FERTILIZER TABLETS, AGRIFORM OR EQUAL PER MANUFACTURER'S WRITTEN SPECIFICATIONS.

24" BOX- 15 TABLETS 36" BOX- 20 TABLETS 48" BOX- 23 TABLETS

TREE PROTECTION ZONE AT PARKWAY

PARKWAY FENCING NOT TO EXCEED 4 FEET IN HEIGHT. FENCE INSTALLATION SHOULD BE SUCH THAT LINES OF SIGHT ARE MAINTAINED SO AS TO AVOID ANY VEHICLE OR PEDESTRIAN HAZARDS. A WARNING SIGN MUST BE NO LESS THAN 8.5x11 INCHES. THE SIGN MUST CLEARLY STATE: "WARNING: TREE PROTECTION ZONE". THE SIGN SHALL CLEARLY LIST THE NAME AND CURRENT CONTACT INFORMATION OF THE PROJECT OWNER OR AUTHORIZED REPRESENTATIVE.
 FOR INSPECTION FOR INSTALLATION PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION WORK. CONTACT (310) XXX-XXXX

DURING THE PROJECT MAINTAIN THE INTEGRITY OF THE TREE PROTECTION ZONE FENCING AND KEEP THE PARKWAY SITE CLEAN AND MAINTAINED AT ALL TIMES.

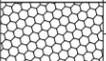
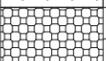
THE SITE WILL BE INSPECTED BY BUILDING AND SAFETY DEPARTMENT AND THE URBAN FOREST DIVISION OF THE RECREATION AND PARKS DEPARTMENT. IF THE TREE PROTECTION PLAN IS NOT COMPLIED WITH, OR PROVES INADEQUATE, ADDITIONAL MEASURES MAY BE REQUIRED.

IT IS RECOMMENDED THAT THE TREES BE DEEP WATERED ON A WEEKLY BASIS OR THE DURATION OF THE PROJECT.

PLANTING SCHEDULE - TREES								
SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	DETAIL	REMARKS	WATER USE
Cc	2	36" BOX	CERCIS CANADENSIS 'HEARTS OF GOLD'	HEARTS OF GOLD REDBUD	SEE PLAN	1,4,5/LP3.0		M
Ms	2	36" BOX	MAGNOLIA X SOULANGEANA ALEXANDRINA	PINK SAUCER MAGNOLIA	SEE PLAN	1,4,5/LP3.0		M
Ti	4	36" BOX	TIPUANA TIPU	TIPU TREE	SEE PLAN	1,4,5/LP3.0		L
Cr	1	36" BOX	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	SEE PLAN	1,4,5/LP3.0		M
Dw	3	36" BOX	DOMBEYA WALLICHII	PINK BALL TREE	SEE PLAN	1,4,5/LP3.0		M
Lc	2	36" BOX	LOPHOSTEMON CONFERTUS	BRISBANE BOX	SEE PLAN	1,4,5/LP3.0		M
Mc	1	24" BOX	MICHELIA CHAMPACA	FRAGRANT HIMALAYAN CHAMPACA	SEE PLAN	1,4,5/LP3.0		M
Ch	1	24" BOX	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	SEE PLAN	1,4,5/LP3.0		M

PLANTING SCHEDULE - SHRUBS								
SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	DETAIL	REMARKS	WATER USE
Cj	26	15 G.C.	CAMELLIA JAP. 'NUCCIO'S BELLA ROSSA'	NUCCIO'S BELLA ROSSA CAMELLIA	36"	7,9/LP3.0		M
Cc	18	15 G.C.	CARPENTERIA CALIFORNICA 'ELIZABETH'	ELIZABETH BUSH ANEMONE	30"	7,9/LP3.0		L
Ar	27	5 G.C.	ACACIA REDOLENS 'LOW BOY'	PROSTRATE ACACIA	36"	7,9/LP3.0		VL
Ag	12	5 G.C.	AGAVE ATTENUATA	FOXTAIL AGAVE	30"	7,9/LP3.0		L
Cl	24	5 G.C.	CISTUS LADANIFER	CRIMSON SPOT ROCKROSE	30"	7,9/LP3.0		L
Ci	18	5 G.C.	CORREA 'IVORY BELLS'	WHITE AUSTRALIAN FUCHSIA	36"	7,9/LP3.0		L
Dl	39	5 G.C.	DIANELLA TASMANICA 'VARIEGATA'	WHITE STRIPED FLAX LILY	30"	7,9/LP3.0		M
Ec	6	5 G.C.	ECHIUM CANDICANS 'RINCON BLUE'	PERIWINKLE BLUE PRIDE OF MADEIRA	42"	7,9/LP3.0		L
Ff	2	5 G.C.	FURCAEA FOETIDA 'MEDIOPICTA'	NCN	48"	7,9/LP3.0		L
Gr	67	5 G.C.	GREVILLEA X 'NOELL'	NOELL GREVILLEA	24"	7,9/LP3.0		L
Hq	10	5 G.C.	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	40"	7,9/LP3.0		M
Ln	26	5 G.C.	LAURUS NOBILIS 'MONRIK'	LITTLE RAGU SWEET BAY	36"	7,9/LP3.0		L
Lp	34	5 G.C.	LAVANDULA X INTERMEDIA 'PROVENCE'	BLUE LAVANDIN	24"	7,9/LP3.0		L
Mg	48	5 G.C.	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	24"	7,9/LP3.0		M
Py	25	5 G.C.	PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX	36"	7,9/LP3.0		L
Pc	47	5 G.C.	PITOSPORUM CRASSIFOLIUM COMPACTUM	DWARF KARO	36"	7,9/LP3.0		M
Pe	85	5 G.C.	PITOSPORUM TENUIFOLIUM 'ELFIN'	ELFIN PITTOSPORUM	24"	7,9/LP3.0		M
Ro	17	5 G.C.	ROSMARINUS OFFICINALIS 'BLUE SPIRES'	BLUE SPIRES ROSEMARY	30"	7,9/LP3.0		VL
Sg	26	5 G.C.	SALVIA CHAMAEDRYOIDES	GERMANDER SAGE	18"	7,9/LP3.0		L
Ss	83	5 G.C.	SALVIA GREGGII 'SALMON'	SALMON TEXAS SAGE	24"	7,9/LP3.0		L
S	201	1 G.C.	CAREX PHYLLOSCEPHALA 'SPARKLER'	SPARKLER SEDGE	12"	7,9/LP3.0		M
⊕	211	1 G.C.	CAREX DIVULSA	BERKELEY SEDGE	12"	7,9/LP3.0		L
D	138	1 G.C.	DIANELLA CAERULEA	LITTLE BECCA FLAX LILY	12"	7,9/LP3.0		M
Fn	54	1 G.C.	FICUS RETUSUS NITIDA	INDIAN LAUREL FIG	36"	7,9/LP3.0		M
H	69	1 G.C.	HEUCHERA 'OLD LA ROCLETTE'	CORAL BELLS	18"	7,9/LP3.0		M
⊖	388	1 G.C.	LOMANDRA 'PLATINUM BEAUTY'	DWARF MAT RUSH	12"	7,9/LP3.0		M
Sc	44	1 G.C.	SENECIO TALINOIDES CYLINDRICUS	NARROW LEAF CHALKSTICKS	24"	7,9/LP3.0		L

PLANTING SCHEDULE - VINES								
SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	DETAIL	REMARKS	WATER USE
v1	9	1 G.C.	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	SEE PLAN	6/LP3.0		M
v2	4	1 G.C.	VITIS VINIFERA	COMMON GRAPE	SEE PLAN	6/LP3.0		M
v3	8	1 G.C.	WISTERIA SINENSIS	CHINESE WISTERIA	SEE PLAN	6/LP3.0		M

PLANTING SCHEDULE - GROUND COVER								
SYMBOL	QTY.(SF)	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	DETAIL	REMARKS	WATER USE
	110	1 G.C.	SUCCULENT MIX					L
	3,834 SF	SOD	TIFWAY 419	BERMUDA GRASS				L/M
	75		VEGETABLES				EDIBLE VEGTABLES	

NOTE: CONTRACTOR TO SUBMIT PHOTOS OF PLANTS PRIOR TO DELIVERY



Kaplan Chen Kaplan
 Architects & Planners
 2526 Eighteenth Street
 Santa Monica CA 90405
 Telephone 310.452.7505
 Facsimile 310.452.1494



WEYSE/MORRIS
 HOUSE
 401 Ocean Ave
 Santa Monica, CA



REVISIONS

STATUS

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF KAPLAN CHEN KAPLAN ARCHITECTS & PLANNERS. ALL DRAWINGS, SPECIFICATIONS AND NOTES ARE TO BE USED ONLY IN CONNECTION WITH THE PROJECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF KAPLAN CHEN KAPLAN ARCHITECTS & PLANNERS.

scale:

PLANTING SCHEDULE

LP2.0

PROJECT NO.:
 DATE: FEB. 6, 2018
 DRAWN BY:
 CHECKED BY:



Camellia jap. 'Nuccio Bella Rossa'



Carex divulsa



Carex phyllocephala sparkler



Carpenteria californica 'Elizabeth'



Dianella tasmanica 'variengata'



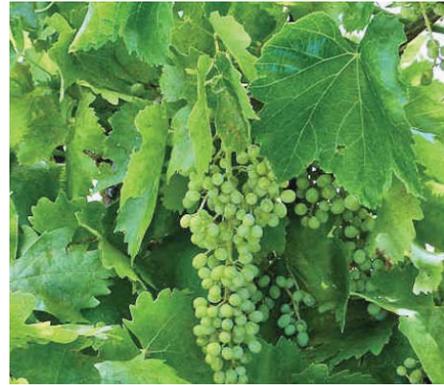
Ficus nitida



Parthenocissus tricuspidata



Pittosporum crassifolium compactum



Vitis vinifera



Cercis canadensis



Michelia champaca



Tipuana tipu



Agave attenuata



Cistus ladanifer



Dianella caerulea



Echium candicans



Hydrangea quercifolia



Laurus nobilis 'monrik'



Lavandula_Provence



Lomandra platinum beauty



Magnolia soulangeana



Phormium 'Yelow Wave'



Pittosporum tenuifolium elfin



Salvia greggii 'Salmon'





Agave Attenuanta



Acacia rodolens



Carpenteria californica 'Elizabeth'



Camellia jap. 'Nuccio Bella Rossa'



Carex divulsa



Dianella tasmanica 'variengata'



Furcraea foetida



Grevillea x noellii



Heuchera 'Old La Rochete'



Herb Garden



Hydrangea quercifolia



Laurus nobilis 'Monrik'



Miscanthus sinensis adaigo



Lomandra platinum beauty



Rosmarinus officinalis blue spires



Salvia charamoydes



Vitis vinifera



Wisteria sinensis



Cercis canadensis



Chionanthus retusus



Chionanthus retusus



Dombeya wallichii



Lomphostemos confertus



Tipuana tipu



CERTI-GUARD® Pressure-Impregnated, Fire-Retardant Treated Shakes and Shingles

Certi-label® shake and shingle roofs are available in Class A, B and C roofing systems. Class A systems are achieved by using Class B treated products with a specific assembly method. Class B and Class C are differentiated by the amount of fire-retardant treatment locked into the cells of the product. Contact the treatment company for treatment warranty information, accessory product requirements and application details for treated material. **The CSSB requires Type 316 Stainless Steel fasteners to be used with Certi-Guard® member treated material.** Only Certi-label® products can achieve a Certi-Guard® label. Treated products include Premium and Number 1 Grade Certi-label® roofing materials.



Class B label

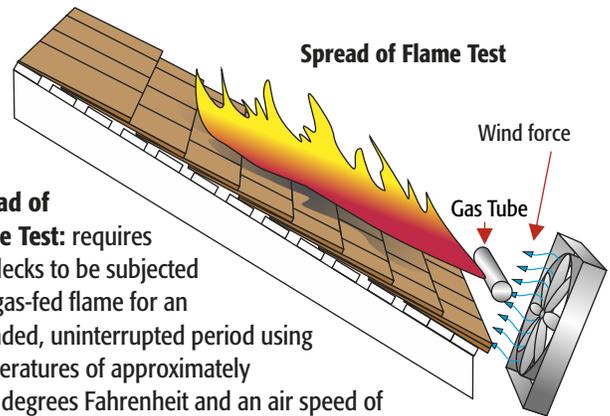


Class C label

How is the treatment tested?

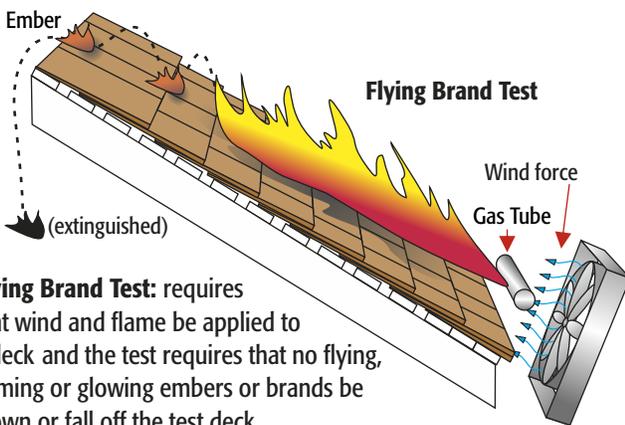
CSSB member pressure-impregnated fire-retardant treated cedar shakes and shingles provide fire protection locked into the roofing material, proven over and over in eight rigorous Underwriters Laboratories (Underwriters Laboratories, Inc. and Underwriters' Laboratories of Canada) designed tests:

The Intermittent Flame, Burning Brand and Flying Brand Tests are redone after the natural weathering of 1, 2, 3, 5 and 10 years.

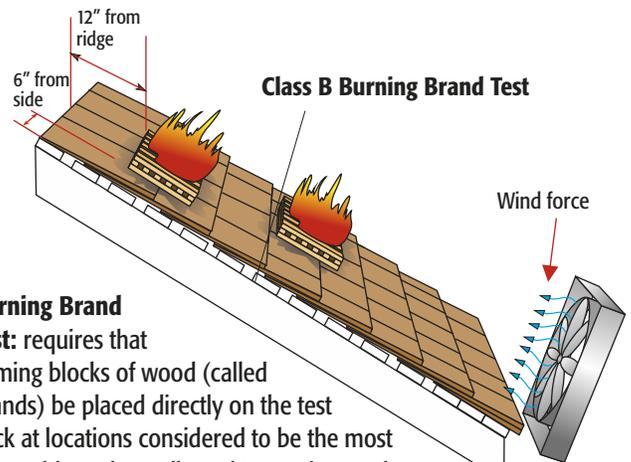


Spread of Flame Test:

requires test decks to be subjected to a gas-fed flame for an extended, uninterrupted period using temperatures of approximately 1350 degrees Fahrenheit and an air speed of 12 mph. Conditions for acceptance: flaming shall not have spread beyond six feet for Class A, eight feet for Class B and thirteen feet for Class C. There shall have been no significant lateral spread of flame from the path directly exposed to the test flame.



Flying Brand Test: requires that wind and flame be applied to a deck and the test requires that no flying, flaming or glowing embers or brands be blown or fall off the test deck.



Burning Brand Test:

requires that flaming blocks of wood (called brands) be placed directly on the test deck at locations considered to be the most vulnerable and are allowed to continue to burn until they are completely consumed. Conditions for acceptance: there may be no burn through or sustained flaming on the underside of the deck.

