



City of
Santa Monica[®]

CITY OF SANTA MONICA
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(310) 458-8341

MILLS ACT CONTRACT APPLICATION INSTRUCTIONS

WHAT IS THE MILLS ACT?

The Mills Act is a California State law that enables cities to enter into contracts with property owners of qualified historic structures. Mills Act contracts can provide tax benefits for both owner-occupied and income producing properties. In the case of owner-occupied property, the income projection is based on comparable rents for similar property in the area or, if insufficient rental information is available, the income that it could reasonably be expected to produce. For income producing property, the income amount is based on rent actually received and on typical rents received for similar property in similar use.

The owner of any building that is either a designated local landmark or a contributing building in a designated historic district may file a Mills Act Contract Application. Once approved, a Mills Act contract requires the County Tax Assessor's office to determine the value of the historic property based upon its current income, rather than future development potential.

In exchange for this reduction in property taxes, the contract requires the property owner to undertake specific restoration tasks, if necessary, and to properly maintain the historic structure. The proposed restoration and maintenance items are included in a work plan that is submitted by the applicant and, if approved, becomes attached to the contract as an exhibit.

More details about the State enacting law are available at www.ohp.parks.ca.gov.

CONTRACT TERM

Mills Act contracts are for a ten-year term and are renewed automatically each year on the contract's anniversary. As a result, unless either the property owner or the City submits a notice of non-renewal, the owner is always ten years away from the contract termination. The effect of a non-renewal notice is contract termination at the end of the then current ten-year term. The owner may also petition the City to initiate an immediate cancellation. If cancelled, a penalty equal to 12 1/2 percent of the property's assessed market value is imposed. The City may also cancel the contract in the case of breach of the contract conditions. The rights and obligations to the contract are also binding upon successive property owners during the contract term. Although new contracts can take place at any time, new valuations will not be effective until March of any given year.

APPLICATION PROCESS

The deadline for filing an application for a Mills Act Contract is May 31st annually.

Applications must be filed by appointment at the City Planning Division's public information counter. Appointments are available weekly on Tuesdays and Thursdays. Please contact the City Planning Division at (310) 458-8341 at least one week in advance to schedule an appointment to file your application.

Staff will review your Mills Act Contract application upon receipt and will contact you and/or your representative to schedule a site visit. Following a site visit, staff will prepare a report to present to the Landmarks Commission for their recommendation (tentatively scheduled for the August or September Landmarks Commission meeting). It is important for you and/or your representative (architect) to be present at this meeting to answer any questions the Commission may have regarding the property.

After the Landmarks Commission has made a recommendation on the Contract application, staff will then take it to the City Council for their review and approval. Once City Council approves the Contract, notarized signatures of both the property owner and City officials must be obtained no later than early-December. The City will endeavor to submit the signed document to the Los Angeles County Recorder for recordation no later than December 28 for benefits to begin the following tax year.

Upon receipt of the fully executed and recorded document, the City will then forward it to the Los Angeles County Tax Assessor, who will recalculate the property owner's tax payment (usually mid April). Staff will provide you a copy of the fully executed Contract after it has been sent to the County Tax Assessor.

CHECKLIST

Please review the attached application form for more information about submittal requirements. If you have any other questions, please contact Steve Mizokami, Senior Planner, Landmarks Commission Liaison, at (310) 458-8341 or by email at steve.mizokami@smgov.net.

Before submitting your application, please check that you have included the following items:

- Completed application form.
- Restoration/Rehabilitation and/or Maintenance Plan.
- An Architectural Report identifying the status of all character-defining features of the building prepared by a certified architect.
- Financial Analysis form with information required (two highlighted boxes only).
- Photographs of all building elevations and character-defining features of the structure(s).
- Copy of the Grant Deed for the property.
- Copy of latest property tax bill.

City of Santa Monica
Planning and Community Development Department
City Planning Division
(310) 458-8341



MILLS ACT CONTRACT APPLICATION

Application Number (s) _____

Date Filed: _____

Fee: _____

Receipt # _____

Received by: _____

PROJECT ADDRESS 2518 Fourth Street, Santa Monica, CA 90405

Land Use Element District _____ Zoning District _____

Legal Description (Lot, Block, Tract) _____

Legal Description (Book, Page, Parcel #) 4287-008-023

APPLICANT:

Name: David Kaplan

Address: 2526 18th Street

Phone: 310-452-7505 Fax: 310-452-1494 e-mail: david@kckarchitects.com

CONTACT PERSON OTHER THAN APPLICANT (optional):

Name: H. Joseph Soleiman

Address: 2800 Olympic Blvd., Suite 100 Santa Monica CA 90404

Phone: 310-770-5199 Fax: _____ e-mail: j@xyz.rent

ARCHITECT/DESIGNER:

Name: _____

Address: _____

Phone: _____ Fax: _____ e-mail: _____

Santa Monica Business License No. _____

PROPERTY OWNER (if other than applicant):

Name: XYZ RENT 14 LLC

Address: 2800 Olympic Blvd., Suite 100 Santa Monica CA 90404

Phone: 310-770-5199 Fax: _____ e-mail: _____

ATTORNEY (optional):

Name: _____

Address: _____

Phone: _____ Fax: _____ e-mail: _____

Santa Monica Business License No. _____

Existing Use of Property: Residential

Date of Local Designation: 2018

Please give a brief summary of the general condition of the Landmark Structure:
The buildings were highly deteriorated from long term deferred maintenance

Is rehabilitation or maintenance needed? (Select one)

Rehabilitation Maintenance

Is the property designated as part of an historic district? Yes No

If so, what district? Fourth Street

Is the property listed on the National Register of Historic Places? Yes No

If so, date of designation: _____

APPLICATION MATERIALS

The following materials must be submitted to the Planning Division along with this application form in order to process a Mills Act Contract application:

An Architectural Report and a Restoration/Rehabilitation plan are required for the designated historic property. If the building is already restored and in good condition, a maintenance list must be submitted to support the need for tax relief.

Please submit one (1) unbound, single-sided copy of each of the following items:

1. An Architectural Report identifying the status and condition of all character-defining features of the building and site ***prepared by a certified architect.***
2. A ten (10) year Restoration/Rehabilitation Plan with estimate cost and schedule ***prepared by a certified architect.***

Please note that a Mills Act Contract only regulates exterior restoration/rehabilitation and general maintenance of your property. If you are also planning interior work, please include a description of this work in a separate section (*please see attached sample plan*).

3. A ten (10) year Maintenance Plan with estimate cost and schedule. Please describe all periodic/ongoing maintenance needs of the structure including plumbing, electrical, roofing and structural systems. This information must be submitted as a section of the Restoration/Rehabilitation Plan.
4. Photographs (35 mm or digital) of all building elevations and character defining features.
5. Information required for the Financial Analysis (fill in the two highlighted boxes on the attached form). Staff will use this form to calculate an estimate of the Mills Act tax assessment with the information provided. Please note that this forthcoming analysis is only an estimate. The Los Angeles County Office of the Assessor will make a revised tax assessment that will be applicable for the next tax year.

- 6. Copy of the legal description for the property ("Exhibit A" on a Grant Deed).
- 7. Copy of the latest property tax bill for the property.
- 8. OPTIONAL: One (1) digital copy of above listed items #1-4 on a CD or diskette.

I (we) hereby certify that the information contained in this application and attached hereto is correct to the best of my knowledge and that this application is made with the knowledge and consent of the property owner.

APPLICANT'S SIGNATURE: *[Handwritten Signature]* DATE: 5/26/2020
 APPLICANT'S SIGNATURE: _____ DATE: _____

I (we) hereby declare under the penalty of perjury that I (we) am (are) the owners of the property involved in this request, or if the owner is a corporation or other entity that I (we) are duly authorized to execute this affidavit on behalf of said corporations or entity. I further declare that the foregoing statements and the information submitted herewith are true and correct. I certify that this application is being made with my consent.

[Handwritten Signature] 5/26/2020

PROPERTY OWNER'S SIGNATURE _____ DATE _____

PROPERTY OWNER'S SIGNATURE _____ DATE _____



2518 Fourth Street
Santa Monica, California
Historic Structure Condition Assessment
and Maintenance Plan

May 15, 2020

Submitted by:

Kaplan Chen Kaplan
2526 Eighteenth Street
Santa Monica, CA 90405

CONDITION ASSESSMENT REPORT

Overview

The property at 2518 Fourth Street is a contributor to the recently designated Fourth Street Corner Historic District. There are two buildings on the parcel, the front two story building with lower unit at back and a two story building at the rear of the site with 2 units above four garages. A project for rehabilitation of the property has been underway since the beginning of 2020 under the Certificate of Appropriateness 19ENT-0443 dated December 16, 2019. That project provides for window refurbishment, plaster repair, painting as well as improvements to building utilities and structural supports. The current project will be completed Summer of 2020 and then there will be ongoing maintenance of the buildings on site. The priorities for future maintenance will be for plaster and wood window repairs and painting as well as maintenance of the wood stairs at the rear building. Flat roof at rear building may also require ongoing review and repairs.

Project Site

Kaplan Chen Kaplan conducted an historic resources condition assessment of 2518 Fourth Street, a two story plus basement residential structure located on a single parcel in Santa Monica on Fourth Street just north of Ocean Park Boulevard. According to the Los Angeles County Assessor, the Spanish style building as well as the rear building were constructed in 1936, and the parcel was designated as a Contributor to the Fourth Street Corner Historic District in 2019. The historic district consists of four properties on the south side of Fourth Street immediately north of the intersection with Ocean Park Boulevard and the corner property across Fourth Street on the east corner.



Property is part of Fourth Street Historic District



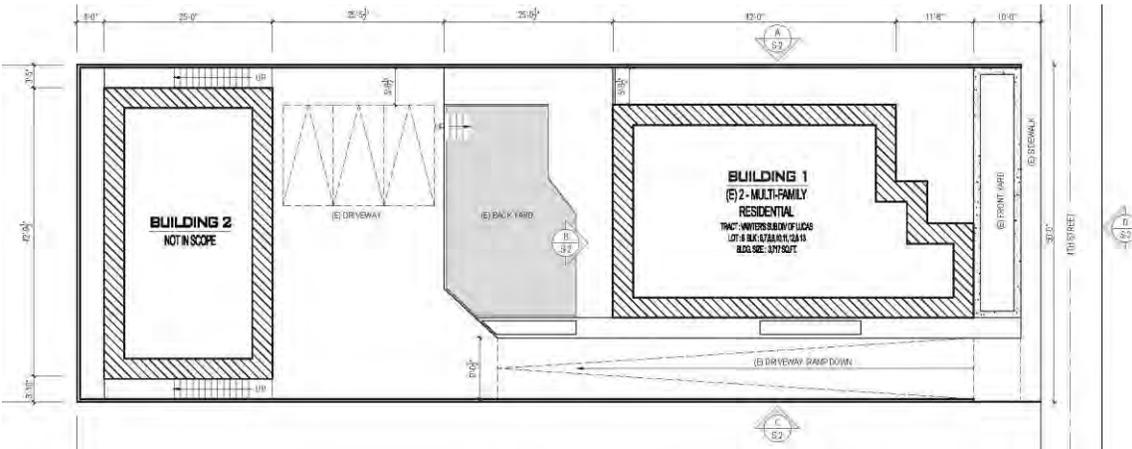
Property includes a rear building with residential units above parking.



Oblique aerial view of property from west Showing rear building



View from southwest looking at back of property



Site plan drawing for 2518 Fourth Street

Neighborhood and General Building Description

The property is located on the west side of Fourth Street. While many of the buildings further north on both sides of Fourth Street are multi-story and many are more modern in design, adjacent neighboring structures are older one-story residences along the Fourth Street frontage and around the corner down the Ocean Park Boulevard ramp on the south. The property immediately to the south has a lower floor underneath the back of the residence and the property to the north has a two story building at the back of that site.

The subject parcel is a 50 x 143 foot rectangular site that slopes approximately 10 feet down to the back of the parcel. The Los Angeles County assessor indicates a total of 3,700 square feet of space and five units on site. The front façade of the building is two stories with a basement unit in back at the level of the rear yard. There is a two story building across the back of the site that

consists of ground level garages with two units on the second floor accessed by stairways at either end of the building. The buildings have plaster exterior with wood windows. The main building has a sloping clay tile roof and the rear building has a front portion of tile with a flat roof behind.. The driveway slopes down from the street along the south side of the property.

The only mature landscape is toward the front of the site with one street tree adjacent to the public sidewalk and an overgrown tree on the parcel directly in front of the south portion of the front façade. There is also a large palm tree just across the property line to the north with fronds that reach over the roof of the front building. The front yard is not deep and a short scored concrete walkway leads to a single step up to a landing in front of the ground floor entry door. The landing also leads to a curving concrete stairway with metal railing on the north that winds up to the second floor landing over the front entry door.



Street view of 2518 S. Fourth Street
The roof is clay tile.



Front entry porch with raised concrete landing



Southwest corner with arched window and rail
The driveway runs along the southside.



South elevation looking west to rear building
The grade drops approx. 10' to back of site.



Looking northeast at back elevation. Sloped Site allows for basement unit.



Rear building with residential units over garages. Has similar detailing as main structure

Rehabilitation work has begun on the historic property through a Certificate of Appropriateness with the City of Santa Monica. The following report includes a condition assessment of key exterior elements and character defining features as well as strategies for ongoing maintenance and repair. All work is to meet the Secretary of the Interiors Standards for historic properties.

Character Defining Features – Condition Assessment and Treatment

Site Work

Sitework consists of walkway paving to the front porch with a finish continuous to the stairs of the second floor entry. The driveway on the south has deteriorated and has previous overcoats of asphalt. The rear yard area is largely paved and part of the parking access to the garages across the back of the site.



Front walk entry and porch paving



Drive on south to garages has deteriorated



Driveway was poorly supported



Driveway from west looking towards 4th Street



Rear portion of site is paving for parking access



Original incinerator is in sideyard on north

Treatment: Maintain walks, review damaged for repair or replacement with matching materials.

Landscape

The landscape does not consist of any specimen trees or other special features. Current landscape ions adjacent to the front façade of the building. The tall palm tree on the north is just across the property line on the adjacent property



Front yard landscape



View from southeast with street tree



Landscape adjacent to front facade



Large tree on adjacent parcel overhangs the roof on the north

Treatment: Maintain plantings away from building and irrigation pointed away from plaster. Maintain drainage. The front yard landscape will need ongoing maintenance to avoid damage to the structure. The roof will need to be occasionally cleared of palm fronds

Foundations / Structural

The concrete foundations require upgrade and additional moisture protection. The basement space is not fully reinforced. No apparent shifting of building frame although areas of previous water intrusion at exterior walls



Underfloor of house



Foundation exposed on north



New foundations provided at lower section of building (looking north)



New footing required across residence at edge of crawl space.

Treatment: Provide new and upgraded footings as needed. Provide additional exterior moisture protection to prevent deterioration,

Front and Side Entry Porch

The front entry porch is a significant feature of the residence. The porch is accessed by a stained paved walkway that steps up at the doorway and landing for the curved stair that leads to the second floor entry above the ground entry. The second floor roof projects out over the second floor landing as a porch covering with exposed rafters over the walkway. The ground floor entry also a small roof covering with clay tile extending out from the facade over the door.

The side porch is located along the driveway towards the back of the residence. The porch provides access for units with steps leading in either direction. The porch has a decorative railing and has an opening to the west as well



View from sidewalk to front porch



The paving is continuous at the front porch and up the stairs to upper level



Underside of porch at front door



Porch paving appearance is continuous up stairs to second floor landing



Front steps from second floor



Steps are cracked



Side porch on southwest corner of front building



Side porch on south with steps off drive



Steps lead to two entries and deck



Rear deck has similar paving and railing to front porch

Treatment: Maintain finishes and continuity of paving. Repair cracks in paving. See also recommendations for treatment of metal railings, windows, entry doors and lights

Rear Building Entry Stairs and porch covering

A wood vertical plank fence surrounds the sides and rear of the property and helps secure the site. Woodwork will need to be maintained and painted



Stairs flank both sides of rear building



Stair has railing with height extension



Stair rail on south has been altered. Both set of steps are wood



Stair railing to be upgraded



Stair on north



Each stairway on the rear building leads to landing with porch covering

Treatment: Repair railings compatible to original. Paint and protect wood finishes of rail and steps

Wood Doors and Windows

Both front and rear buildings have operable wood windows and wood doors. Windows at lower level unit need replacement. There is extensive deterioration of the wood sash and all the elements need to be refinished



Front door at ground floor



Typical double hung window



Front windows are primary features.



All windows need full refurbishment



Second entry door from side porch



Overall view showing extent of window refurbishment



Entry door at rear units - typical both sides



Typical garage doors are metal



Typical windows at rear building



Windows and wood frames have significant deterioration

Treatment: All windows and doors need significant rehabilitation with treatment for rotted areas including surface prep and paint. Doors are to be refurbished

Plaster Finish

The primary exterior material is plaster. Due to long term deferred maintenance and water intrusion, areas of plaster need to be re-applied with new backing. Significant foundation work as well as window repair and installation around the back of the front building requires new plaster that should match existing plaster finish.



Areas around side porch required work



Plaster was damaged from water intrusion



Significant areas of plaster require reinstallation



Work in progress to match existing plaster

Treatment: Damaged and altered areas of plaster to be re-installed. New plaster finish to match existing. Final finish is paint.

Clay Tile Roof

The front building is a fully covered clay tile gabled roof made of "S" tile. The clay tile is also on all the projecting porch coverings on both front and rear buildings. The rear building has a band of sloping clay tile on the front portion with a flat composite roof over the remaining portion.



Aerial view showing clay tile roof and flat area on rear building



Oblique view showing sloping tile roof



Typical porch eave with application of replacement roof tile



Typical porch roof at rear building

Treatment: Areas of broken tile need repair and replacement. Small decorative areas such as porch roofs and decorative chimney were damaged and need replacement.

Wood Eaves

The roof has a typical overhang with exposed roof planks and extended roof joists. The front porch at the second floor has a deep overhang with exposed wood joists and decorative header. There is deferred maintenance of the wood elements



Typical exposed eaves at overhangs



Second floor front porch has exposed eaves and header beam



Typical eave underside with exposed wood



Rafter tails are exposed and subject to rapid deterioration

Treatment: Wood eaves including exposed roof joist and beams need to be maintained and painted on a regular cycle. The exposed ends of the roof joists and projecting beams are particularly vulnerable to deterioration from moisture,

Metal Rails

There are several simple decorative railings at the front building. There is metal rail at main front window and the side porch on the south. There are also handrails for the curving front stairs and for the south porch deck. The railings are severely deteriorated and need treatment. Some elements are de-laminated.



Front stair rail at base masonry flue and metal flue cap



Curving rail at front stair



Rail at front window



Rail at side balcony wraps 2 sides. Also Rail at steps

Treatment: All metal needs to be treated for rust and painted. Rusted elements made need replacement or spot repairs.

Downspouts and Drains

There are metal gutters around the building and downspouts. Most downspouts are in disrepair. The downspouts are loose from building and need to be repaired or replaced and attached appropriately to building.



Gutters are around building and are under repair with new downspouts



Gutters need repair and refinishing



Gutters are located around building and in conflict with old electrical wiring.



Front porch area has gutters and downspout needs re-routing

Treatment: Repair discontinuous gutters and replace downspouts as needed. Reattach gutters and downspouts to building. Prep and provide paint finish

Hardware

Hardware in general is not original and suited more for security. Hardware on doors toward back of property appear to have older hardware that may be refurbished. Window hardware is missing in places and needs to be refurbished.



Hardware at ground floor front door.



Upper floor door and new hardware



Door hardware at side porch



Some doors will need new hardware



Hardware at rear unit



Operable window hardware

Treatment: Repair and replace door hardware as necessary. Finishes should be consistent. Repair or replace window hardware with matching as needed.

Exterior Lights

There is little evidence of original porch and exterior lights. There are a number of locations with electrical connections for outlets for outdoor lighting. The light fixtures should be generally consistent in style and appropriate to the building especially at the front and side porches.



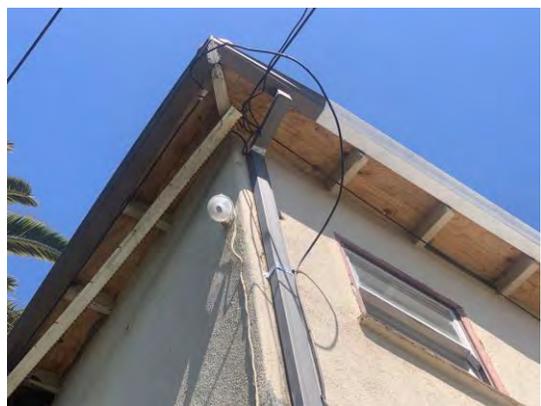
Front porch light should be compatible



Side porch also needs appropriate fixture



Outlet available for rear lighting



Security lights should be appropriately located

Treatment: Provide appropriate exterior lighting that enhances building and adds security. Additional lights if desired to be discreetly located. New fixtures including LED lights should be compatible with the historic character of the residence.

Electrical

Electrical system is outdated and requires significant re-wiring especially for reconstructed lower unit at back of front building. Electrical service is overhead from Fourth Street and interferes with the building appearance and safety.



Existing electrical is overhead from Fourth Street and alongside of building



The overhead electrical creates dangerous conditions



New electrical service will be below grade



New electrical is provided to lower unit

Treatment: Review electrical service and replace unsafe wiring as needed. Provide new site service below grade and remove overhead exposed wiring as much as possible.

Plumbing

The plumbing system needs to be upgraded. Much of the piping is old and requires replacement. An upgrade bathroom also needs improved connections. The wood structure and exterior wood features are most vulnerable to water so it is important that plumbing system is maintained.



New service is being provided



Exterior plumbing also needs to be refurbished



New plumbing and sewer are being installed for building



New hot water supply also provided

Treatment: Much of the plumbing needs new piping. The refurbished bathroom also needs new service. Plumbing failure can cause considerable damage. There should be regular maintenance and repair of system. Water leaks should be repaired immediately.

Mechanical

The mechanical system serves to help maintain climate for long term preservation of features. Heating system needs improvement



New gas connection for building ed



Gas distribution is under improvement

Treatment: Mechanical system is important to maintain temperature and humidity for long term preservation. Systems should be reviewed, maintained and adjusted as needed. Gas shut off for safety.

SUMMARY OF REPAIR / MAINTENANCE WORK

Site Work

Treatment: Maintain walks, review damaged for repair or replacement with matching materials.

Landscape

Treatment: Maintain plantings away from building and irrigation pointed away from plaster. Maintain drainage. The front yard landscape will need ongoing maintenance to avoid damage to the structure. The roof will need to be occasionally cleared of palm fronds

Foundations / Structural

Treatment: Provide new and upgraded footings as needed. Provide additional exterior moisture protection to prevent deterioration,

Front and Side Entry Porch

Treatment: Maintain finishes and continuity of paving. Repair cracks in paving. See also recommendations for treatment of metal railings, windows, entry doors and lights

Rear Building Entry Stairs and porch covering

Treatment: Repair railings compatible to original. Paint and protect wood finishes of rail and steps

Wood Doors and Windows

Treatment: All windows and doors need significant rehabilitation with treatment for rotted areas including surface prep and paint. Doors are to be refurbished

Plaster Finish

Treatment: Damaged and altered areas of plaster to be re-installed. New plaster finish to match existing. Final finish is paint.

Clay Tile Roof

Treatment: Areas of broken tile need repair and replacement. Small decorative areas such as porch roofs and decorative chimney were damaged and need replacement.

Wood Eaves

Treatment: Wood eaves including exposed roof joist and beams need to be maintained and painted on a regular cycle. The exposed ends of the roof joists and projecting beams are particularly vulnerable to deterioration from moisture,

Metal Rails

Treatment: All metal needs to be treated for rust and painted. Rusted elements made need replacement or spot repairs.

Downspouts and Drains

Treatment: Repair discontinuous gutters and replace downspouts as needed. Reattach gutters and downspouts to building. Prep and provide paint finish

Hardware

Treatment: Repair and replace door hardware as necessary. Finishes should be consistent. Repair or replace window hardware with matching as needed.

Exterior Lights

Treatment: Provide appropriate exterior lighting that enhances building and adds security. Additional lights if desired to be discreetly located New fixtures including LED lights should be compatible with the historic character of the residence.

Electrical

Treatment: Review electrical service and replace unsafe wiring as needed. Provide new site service below grade and remove overhead exposed wiring as much as possible.

Plumbing

Treatment: Much of the plumbing requires new piping and fixtures. The refurbished bathroom also needs new service. Plumbing failure can cause considerable damage. There should be regular maintenance and repair of system. Water leaks should be repaired immediately.

Mechanical

Treatment: Mechanical system is important to maintain temperature and humidity for long term preservation. Systems should be reviewed, maintained and adjusted as needed. Gas shut off for safety.

MILLS ACT MAINTENANCE PLAN
2518 Fourth Street, Santa Monica

Initial rehabilitation work for move-in

Feature	Location	Condition	Recommended Treatment Rehabilitation per Secr of Ints Stds.	Maintenance Schedule	Move in work Cost
EXTERIOR					
Sitework	Driveway, entry walk	Poor	Provide new drive, repair walks and retaining walls	2020	\$ 38,000.00
Landscape	Front and side yard	Poor	Provide new compatible landscape clear of plaster façade	2020	\$ 10,000.00
Foundations/Structural	Footings and associated framing	Poor	Provide new footings at rear of main bldg Repair damaged framing	2020	\$ 270,000.00
Front & Side Entry Porch and Stairs	Front and side entries - front building	Fair	Repair damaged steps and railings	2020	\$ 11,000.00
Rear building stairs	Rear building	Poor	Repair and refurbish steps and handrails	2020	\$ 3,000.00
Wood doors and windows	Throughout both buildings	Poor	Refurbish existing throughout. Replace as needed to match original	2020	\$ 35,000.00
Plaster finish	All facades	Poor	Provide areas of new plaster at existing damaged plaster and following repairs and paint	2020	\$ 30,000.00
Clay Tile Roof	Front building and partial at rear building	Poor	Repair and reattach loose tiles. Replace tiles as needed	2020	\$ 24,000.00
Projecting Eaves	Around building and upper porch	Fair	Prep and refinish	2020	\$ 10,000.00
Metal Rails	Front and side porches and stairs	Poor	Refurbish and refinish	2020	\$ 11,000.00

MILLS ACT MAINTENANCE PLAN
2518 Fourth Street, Santa Monica

Initial rehabilitation work for move-in

Feature	Location	Condition	Recommended Treatment Rehabilitation per Secr of Ints Stds.	Maintenance Schedule	Move in work Cost
EXTERIOR					
Downspouts & drains	Perimeter	Poor	Repair gutters, new downspouts and attachments	2020	\$ 7,500.00
Hardware	Entire house	Poor / missing	Provide new compatible throughout	2020	\$ 1,000.00
Exterior lights	Front porch, site and rear building	Poor/mixed/missing	Provide addl locations and new compatible fixtures	2020	\$ 2,000.00

SYSTEMS

System	Location	Condition	Recommended Treatment	Maintenance Schedule	Move in work Cost
Electrical	Poor - Main service and througout	Poor	Provide all new wiring	2020	\$ 60,000.00
Plumbing	Throughout	Poor	Provide new supply and waste system	2020	\$ 70,000.00
Heating	All units	Poor	Provide functional heating system	2020	\$ 7,000.00

ADMINISTRATIVE

Permits			City of Santa Monica	2020	\$ 5,000.00
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TOTAL 583,500.00

MILLS ACT MAINTENANCE PLAN
2518 Fourth Street, Santa Monica

Feature	Location	Condition	Recommended Treatment Rehabilitation per Secr of Ints Stds.	Maintenance Schedule	Estimated Budget	Total 10 years (Est. Budgets)
EXTERIOR						
Sitework	Driveway	Good	Maintain, clean surfaces for safety at porches and drive	annual	\$ 1,500.00	\$ 15,000.00
Landscape	Front and side yard	Good	Trim landscape adjacent to house Check for irrigation near residence Review impact of neighboring tree	annual	\$ 2,500.00	\$ 25,000.00
Foundations/Structural	Footings	Good	Review for cracking	5 years	\$ 3,750.00	\$ 7,500.00
Front & Side Entry Porch and Stairs	Front and side entries - front building	Good	Maintain paving	3 years	\$ 3,000.00	\$ 9,000.00
Rear building stairs	Rear building	Good	Maintain wood stairs and rails	5 years	\$ 4,000.00	\$ 8,000.00
Wood doors and windows	Throughout	Good	Maintain finishes, operating condition	3 years	\$ 6,000.00	\$ 18,000.00
Plaster finish	All facades	Good	Regular cycle of patch, prep and paint	5 years	\$ 20,000.00	\$ 40,000.00
Clay Tile Roof	Front entry porch and stairs	Good	Inspect for loose tile, maintain	5 years	\$ 1,000.00	\$ 2,000.00
Projecting Eaves	Wood overhang and projecting deco wood eaves	Good	Maintain and paint projecting eaves	5 years	\$ 8,000.00	\$ 16,000.00
Metal Rails	Front and side porches and stairs	Good	Maintain repairs and paint	5 years	\$ 5,000.00	\$ 10,000.00

MILLS ACT MAINTENANCE PLAN
2518 Fourth Street, Santa Monica

Feature	Location	Condition	Recommended Treatment Rehabilitation per Secr of Ints Stds.	Maintenance Schedule	Estimated Budget	Total 10 years
EXTERIOR						
Downspouts & drains	Guters and downspouts	Good	Keep drains clear, flush lines	3 years	\$ 1,500.00	\$ 5,000.00
Hardware	Entire house	Good	New hardware to be maintained, maintain weather seal	2 years	\$ 450.00	\$ 2,250.00
Exterior lights	Front porch	Good	Review exterior lighting for security & safety.	2 years	\$ 700.00	\$ 3,500.00

SYSTEMS						
System	Location	Condition	Recommended Treatment	Maintenance Schedule	Estimated Cost	
Electrical	Servie to both buildings	Good	Maintain electrical, review service	3 years	\$ 5,000.00	\$ 15,000.00
Plumbing	Throughout	Good	Maintain plumbing, fix all damaged elements immediately	3 years	\$ 7,000.00	\$ 21,000.00
Heating	All units	Good	Maintain for building climate	2 years	\$ 6,000.00	\$ 30,000.00

TOTAL **\$ 227,250.00**

FINANCIAL ANALYSIS FOR MILLS ACT CONTRACT AT (ADDRESS): 2518 Fourth Street, Santa Monica 90405

REVENUES		Current
1) Monthly Rental Income	3%	\$ 13,447.
2) Annual Rental Income		\$161,364.

ANNUAL EXPENSES		
Gen. Expenses: 25% SFD, Others 30%		
Vacancy loss	3%	\$0
8) Total Expenses		\$0
(Sum Lines 8-9)		

NET OPERTING INCOME		\$0
(Line 2 Minus 8)		

CAPITALIZATION RATE		
9) Interest Component	5.5%	
10) Historic Property Risk	4%	
(2%, or 4% for SFD)		
11) Property Tax Component	1%	
12) Amortization Component	0.5%	
13) Capitalization Rate	11%	
(Sum Line 9 - 12)		

TAXES		
14) Mills Act Assessment		\$0
(NOI/ Line 13)		
15) Tax Under Mills Act		\$0
(Line 14 X .01035146)		
16) Current Tax		\$25,774.
17) Tax Savings		
(Line 16 - Line 15)		
18) Annual Costs to City		\$0
(Line 17 X 16%)		

RECORDED AT THE REQUEST OF
CHICAGO TITLE COMPANY

Recording Requested By:

When recorded mail document to:

LIVE XYZ LP
2800 Olympic Blvd, Floor 1
Santa Monica, CA 90404

1171224 END JW

APN:4287-008-023

Above Space for Recorder's Use Only

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

"The grantors and the grantees in this conveyance are
comprised of the same parties who continue to hold the same
proportionate interest in the property, R & T 11925(d)."

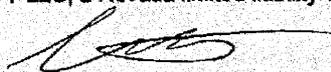
Documentary Transfer Tax is \$0.00

FOR A FULL VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, XYZ Rent 14 LLC, a California limited liability company, hereby GRANT(s) to LIVE XYZ LP, a California limited partnership, all of its right, title and interest in and to that certain real property in the City of Santa Monica, County of Los Angeles, State of California as more particularly described as:

SEE EXHIBIT "A" ATTACHED HERETO

GRANTOR: XYZ Rent 14 LLC, a California limited liability company
by The Great State LLC, a California limited liability company, its Manager
by 7 LLC, a Nevada limited liability company, its Manager

Dated: 12/30/2019


by Grant Carpenter, Manager of 7 LLC

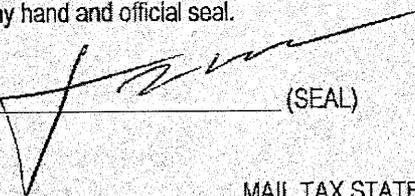
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

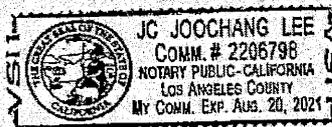
STATE OF CALIFORNIA }
COUNTY OF Los Angeles } SS

On 12/30/2019 before me, Jo Soochang Lee a Notary Public, personally appeared Grant Carpenter who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity (ies), and that by his/her/their signatures(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

SIGNATURE  (SEAL)



This page is part of your document - DO NOT DISCARD



20200208274



Pages:
0003

Recorded/Filed in Official Records
Recorder's Office, Los Angeles County,
California

02/21/20 AT 08:00AM

FEES:	55.00
TAXES:	0.00
OTHER:	0.00
SB2:	75.00
PAID:	130.00

PCOR SURCHARGE \$20.00



LEADSHEET



202002210280039

00017909908



010537946

SEQ:
01

SECURE - 8:00AM



THIS FORM IS NOT TO BE DUPLICATED

E08_200220_7409246

RECORDED AT THE REQUEST OF
CHICAGO TITLE COMPANY

Recording Requested By:

When recorded mail document to:

LIVE XYZ LP
2800 Olympic Blvd, Floor 1
Santa Monica, CA 90404

11712324 END JW

APN:4287-008-023

Above Space for Recorder's Use Only

GRANT DEED

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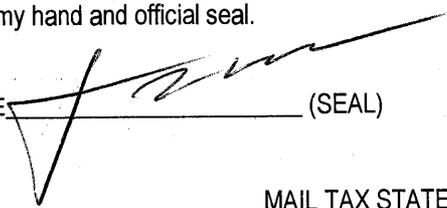
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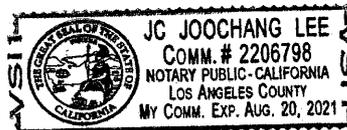
STATE OF CALIFORNIA)
COUNTY OF Los Angeles } SS

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I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

SIGNATURE  (SEAL)



MAIL TAX STATEMENT TO ADDRESS AS SHOWN ABOVE

EXHIBIT "A"

The land referred to is situated in the County of Los Angeles, City of Santa Monica, State of California, and is described as follows:

That part of Lot 8 of Vawter's Subdivision of Blocks 6, 7, 8, 9, 10, 11, 12 and 13 of the Lucas Tract, in the City of Santa Monica, County of Los Angeles, State of California, as per map recorded in Book 6 Page 217 of Miscellaneous Records, in the office of the County Recorder of said county, described as follows:

Beginning at the most northerly corner of said lot; thence southeasterly along the northeasterly line thereof 50 feet; thence southwesterly parallel with the northwesterly line of said lot 155 feet; thence northwesterly parallel with the northeasterly line of said lot, 50 feet to the northwesterly line thereof; thence northeasterly along said last mentioned line, 155 feet to the point of beginning.

Except the northeasterly 12 feet thereof.

APN: 4287-008-023

ANNUAL SECURED PROPERTY TAX BILL

CITIES, COUNTY, SCHOOLS AND ALL OTHER TAXING AGENCIES IN LOS ANGELES COUNTY

SECURED PROPERTY TAX FOR FISCAL YEAR JULY 1, 2019 TO JUNE 30, 2020

KEITH KNOX, ACTING TREASURER AND TAX COLLECTOR

FOR ASSISTANCE CALL 1(213) 974-2111 OR 1(888) 807-2111, ON THE WEB AT propertytax.lacounty.gov

ASSESSOR'S ID. NO. YR SEQ CK

4287 008 023 19 000 29

PROPERTY IDENTIFICATION

ASSESSOR'S ID. NO.: 4287 008 023 19 000

OWNER OF RECORD AS OF JANUARY 1, 2019
SAME AS BELOW

MAILING ADDRESS

0234259-0234259 8NGL 004 1234-- 829066

XYZ RENT 14 LLC
2800 OLYMPIC BLVD UNIT 100
SANTA MONICA CA 90404-4101



DETAIL OF TAXES DUE FOR

AGENCY	AGENCY PHONE NO.	RATE	AMOUNT
GENERAL TAX LEVY ALL AGENCIES		1.000000	\$ 20,418.00
VOTED INDEBTEDNESS			
CITY-SANTA MONIC		.002743	\$ 56.00
METRO WATER DIST		.003500	71.46
COMMNTY COLLEGE		.078829	1,609.53
UNIFIED SCHOOLS		.093440	1,907.86
DIRECT ASSESSMENTS			
FLOOD CONTROL	(626) 458-5165		\$ 63.53
HEALTH LIC FEES	(626) 430-5628		355.00
SMMUSD-MEASURE R	(310) 450-8338		420.75
SM CLN BEACH TAX	(310) 458-8223		237.48
SMSTORMH2O FEE	(310) 458-8223		79.26
TRAUMA/EMERG SRV	(866) 587-2862		157.60
RPOSD MEASURE A	(833) 265-2600		59.47
SAFE CLEAN WATER	(833) 275-7297		127.21
LA WEST MOSQ AB	(310) 915-7370		10.93

ELECTRONIC FUND TRANSFER (EFT) NUMBER

ID#:19 4287 008 023 1 YEAR:19 SEQUENCE:000 9
PIN: XBFNQC

SPECIAL INFORMATION



PROPERTY LOCATION AND/OR PROPERTY DESCRIPTION

2518 4TH ST SANTA MONI
VAWTERS SUB OF BLKS 6, 7, 8, 9, 10, 11,
12 AND 13 LUCAS TRACT NW 50 FT OF SW
143 FT OF NE 155 FT OF
LOT 8

TOTAL TAXES DUE

FIRST INSTALLMENT TAXES DUE NOV. 1, 2019 **\$25,574.08**
SECOND INSTALLMENT TAXES DUE FEB. 1, 2020 **\$12,797.65**
\$12,776.43

VALUATION INFORMATION

ROLL YEAR 19-20	CURRENT ASSESSED VALUE	TAXABLE VALUE
LAND	1,836,000	1,836,000
IMPROVEMENTS	204,000	204,000
PERS PROP	1,800	1,800

TOTAL 2,041,800
LESS EXEMPTION:

NET TAXABLE VALUE 2,041,800

ASSESSOR'S REGIONAL OFFICE

REGION #07 INDEX:62000030 TRA:08604
WEST DISTRICT OFFICE
6120 BRISTOL PARKWAY
CULVER CITY CA 90230
(310)665-5300

ACCT. NO.: PRINT NO.: 473693 BILL ID.:

ANY RETURNED PAYMENT MAY BE SUBJECT TO A FEE UP TO \$50.00.

DETACH AND MAIL THIS STUB WITH YOUR 2ND INSTALLMENT PAYMENT

DO NOT INCLUDE NOTES WITH YOUR PAYMENT
DO NOT STAPLE, TAPE OR CLIP PAYMENT STUB OR CHECK

ANNUAL 2019

XYZ RENT 14 LLC
2800 OLYMPIC BLVD UNIT 100
SANTA MONICA CA 90404-4101

ASSESSOR'S ID. NO. YR SEQ CK PK
4287 008 023 19 000 29 2

2ND INSTALLMENT DUE INDICATE AMOUNT PAID

PAYMENT DUE 02/01/20 **\$12,776.43**
IF NOT RECEIVED OR POSTMARKED BY 04/10/20
REMIT AMOUNT OF \$14,064.07

FOR MAILING ADDRESS CHANGE
PLEASE MARK BOX BELOW AND
COMPLETE FORM ON REVERSE SIDE
OF THIS PAYMENT COUPON.

MAKE PAYMENT PAYABLE TO:
Please write the ASSESSOR'S ID. NO.
on the lower left corner of your payment.

09223

LOS ANGELES COUNTY TAX COLLECTOR
P.O. BOX 54018
LOS ANGELES, CA 90054-0018

20019000942870080230001277643000140640722320410



**CERTIFICATE OF APPROPRIATENESS
FINDINGS AND DETERMINATION OF THE
LANDMARKS COMMISSION SECRETARY**

PROJECT INFORMATION

CASE NO.: 19ENT-0443
ADDRESS: 2518 4th Street
APPLICANT: Berta Negan (XYZ Rent 14, LLC)
PROPERTY OWNER: XYZ Rent 14, LLC
REQUEST: Repair, replacement, and restoration of existing windows with new wood double-hung windows, roof repair and partial replacement of roof tiles, and new entry doors of the subject multi-unit residential building(s), a designated Structure of Merit and contributing property located within the 4th Street Corner Historic District.

 X **APPROVED**

 DENIED

Date of Decision: December 18, 2019

Effective Date of Action: December 27, 2019

Expiration Date of Permit: June 27, 2021

FINDINGS

1. The proposed work is within the scope of modifications that may be approved by

the Landmarks Commission Secretary pursuant to the Landmarks Commission Resolution No. 14-002, Section 2.11). Action includes the repair and replacement of windows, roof material, and doors that will not detrimentally affect any character-defining features of the historic building.

2. The proposed project would not detrimentally change, destroy, or adversely affect any exterior feature of the historic building upon which such work is to be performed. That the proposed scope of work involves the repair, replacement, and restoration of both the front and rear buildings' windows. The existing double-hung wood windows will be repaired or replaced in-kind as needed, and the existing non-original windows consisting of aluminum slider and jalousie windows will be replaced/restored with new double-hung wood windows (all painted dark brown). Additionally, the existing double-barrrel clay tile roof tiles on both buildings will be repaired and damaged tiles replaced in-kind. The front entry doors of each residential unit will be replaced with wood doors consistent with the Spanish Colonial Revival style door and stained dark brown. The proposed scope of work includes both the primary residence and the rear detached building, and will be completed in a sensitive and appropriate manner in accordance with the Secretary of the Interior's Standards (Rehabilitation) for the Treatment of Historic Properties.

CONDITIONS

1. This approval is for the scope of work involving the repair, and in-kind replacement and restoration of the existing windows to double-hung wood windows, the repair and in-kind replacement of the double barrrel clay tile roof material, and the replacement of the entry doors as shown on the approved plans which is on file in the City Planning Division, except as amended by any conditions contained herein. Significant changes to the project design that are within the Commission's purview shall require review and approval by the Landmarks Commission. Minor changes may be approved administratively pursuant to all applicable guidelines and shall be subject to staff's approval and consistent with the findings of fact contained herein.
2. This Certificate of Appropriateness shall be in full force and effect from and after the date of the rendering of this decision. Pursuant to Landmarks Ordinance Section 9.56.170(h), this approval shall expire within 18 months if the authorized work is not commenced. Should the applicant be unable to comply with this restriction, an extension may be granted pursuant to Section 9.56.250 for an additional 180 days maximum. The applicant must request such an extension prior to expiration of this permit. After that time, the applicant will be required to return to the Commission for approval. In addition, this Certificate of Appropriateness shall expire if the authorized work is suspended for a 180-day period after being commenced.
3. This decision may be appealed by properly filing with the Director of Planning a Notice of Appeal on a form furnished by the Planning Department. Such notice

shall be filed within a ten (10) day time period commencing from the date of the determination.

4. All required Planning and Building Permit approvals shall be obtained. Project plans shall be subject to complete Code Compliance review when the building plans are submitted for plan check and shall comply with all applicable provisions of Article IX of the Municipal Code and all other pertinent ordinances and General Plan policies of the City of Santa Monica prior to building permit issuance.

Certificate of Appropriateness (19ENT-0443):

Determination by: Steve Mizokami Date: December 16, 2019
Steve Mizokami
Landmarks Commission Secretary

ELECTRICAL SPECIFICATION

A. GENERAL:

1. SCOPE:
PROVIDE LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR COMPLETE INSTALLATION IN FULL CONFORMITY WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

2. WORK INCLUDED:

A. COMPLETE ELECTRICAL WORK PER COMPLETE SET OF CONSTRUCTION DOCUMENTS AND ELECTRICAL DRAWINGS. PROVIDE ALL LABOR AND MATERIALS UNLESS SPECIFICALLY NOTED OTHERWISE.

B. COMPLETE WIRING SYSTEM INCLUDING CONDUIT, WIRE, FITTINGS, BOXES, CIRCUIT BREAKERS, ETC. FOR NEW OR RELOCATED ELECTRICAL EQUIPMENT.

C. FLASHING OF CONDUITS THROUGH THE ROOF.

D. CUTTING AND PATCHING; INCLUDING ALL OPENING AND DRILLING REQUIRED TO INSTALL THE ELECTRICAL WORK.

E. CONNECTIONS OF ALL ELECTRICAL EQUIPMENT , AIR CONDITIONING UNITS, FANS, PUMPS, ETC. AND THEIR CONTROLS CONDUITS AND/OR WIRINGS INTERCONNECTIONS AS SHOWN ON ELECTRICAL, PLUMBING, AND EQUIPMENT SUPPLIERS DRAWINGS.

F. PROVIDE ALL NECESSARY FLEXIBLE CONDUITS, CONNECTORS, CORDS AND RECEPTACLE CAPS THAT MAY BE REQUIRED FOR THE PROPER INSTALLATION OF ELECTRICAL EQUIPMENT.

G. TESTING OF ALL ELECTRICALLY OPERATED EQUIPMENTS AND WIRING SYSTEM.

3. CODES AND REGULATIONS:
ALL WORK SHALL CONFORM TO:
2016 CALIFORNIA ELECTRICAL CODE WITH ADOPTED PORTIONS OF 2014 NATIONAL ELECTRICAL CODE, 2016 BUILDING CODE, 2016 MECHANICAL CODE , 2016 NATIONAL FIRE ALARM CODE (NFPA 72), 2016 CALIFORNIA GREEN CODE AND 2016 TITLE 24 CALIFORNIA STATE ENERGY REGULATIONS WHICH WAS EFFECTIVE JAN 1, 2017.

4. PERMITS:
OBTAIN AND PAY FOR ALL NECESSARY CONSTRUCTION PERMITS AND INSPECTION FEES.

5. COORDINATION:
COORDINATE ALL WORK WITH OTHER TRADES. OBTAIN ALL DRAWINGS THAT WILL REQUIRE COORDINATION AND PROVIDE ALL ELECTRICAL CONNECTION REQUIRED WHETHER SHOWN ON ELECTRICAL DRAWINGS OR NOT. ELECTRICAL EQUIPMENT LOCATIONS INDICATED ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS OF ALL ELECTRICAL OUTLETS, FIXTURES AND EQUIPMENT SHALL BE VERIFIED ON THE JOB FROM EXISTING CONDITIONS AND/OR APPROVED SHOP DRAWINGS.

6. AS BUILT:
PROVIDE REPRODUCIBLE RECORD DRAWINGS TO THE OWNER WITH ALL CHANGES NOTED THEREON AT THE COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL BE SIGNED AND DATED BY CONTRACTOR.

7. GUARANTEE:
IN ADDITION TO OTHER GUARANTEE REQUIRED ALL MATERIALS AND EQUIPMENT PROVIDED AND INSTALLED UNDER THIS DIVISION OF SPECIFICATION SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO DEFECTIVE MATERIALS OR FAULY WORKMANSHIP, THE CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS TO CORRECT THE TROUBLE WITHOUT ANY COST TO THE OWNER.

B. MATERIALS AND INSTALLATION

ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST RULES OF THE GOVERNING ELECTRICAL CODES. THE INSTALLATIONS SHALL MEET THE LATEST INDUSTRY STANDARDS OF WORKMANSHIP.

ALL ELECTRICAL EQUIPMENT SHALL BE APPROVED BY SANTA MONICA CITY ELECTRICAL TEST LAB. ALL MATERIALS AND EQUIPMENT SHALL BE NEW , UNLESS SPECIFICALLY NOTED OTHERWISE. ALL MATERIALS AND EQUIPMENTS SHALL BE LISTED BY A CITY OF SANTA MONICA RECOGNIZED THIRD PARTY ELECTRICAL TESTING LABORATORY OR LISTED BY "UL".

1. CONDUITS AND FITTINGS:
CONDUIT SHALL BE RIGID STEEL, EMT, FLEXIBLE STEEL, OR LIQUID TIGHT FLEXIBLE METALLIC TYPE WHERE PERMITTED BY GOVERNING CODES AND AS NOTED PER FOLLOWING, UNLESS SPECIFICALLY NOTED OTHERWISE:

A. GALVANIZED RIGID STEEL CONDUIT: IN ALL AREAS SUBJECT TO PHYSICAL DAMAGE; IN ALL CLASSIFIED HAZARDOUS LOCATIONS; FOR ALL EXPOSED CONDUIT RUNS IN GARAGE LEVEL; AND FOR ALL CONDUITS LARGER THAN 3" SIZE.

B. ELECTRICAL METALLIC TUBING (EMT) WITH COMPRESSION WATER-TIGHT FITTINGS: FOR BRANCH CIRCUIT WIRING IN WALLS, CEILING AND RAISED FLOORS.

C. ALUMINUM FLEXIBLE METALLIC CONDUIT WITH GROUND WIRE: IN DRY LOCATIONS ONLY IN CONCEALED WALL AND T-BAR CEILING AND WITH TWO GROUNDING WIRES IN THE PATIENT AREAS.

D. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT: FOR ALL BRANCH CIRCUIT WIRING INSTALLED IN COMPUTER ROOM RAISED FLOORS; (PROVIDE A SEPARATE EQUIPMENT GROUND WIRE "E.G."); AND FOR ALL SHORT CONNECTIONS (LESS THAN 72") IN WET OR MOIST AREAS AND RAISED FLOORS.

E. NON METALLIC PVC RIGID CONDUIT: FOR UNDERGROUND INSTALLATIONS AND IN DUCT BANKS IN ACCORDANCE WITH GOVERNING CODES. RISERS SHALL BE RIGID STEEL CONDUIT. PROVIDE PULL WIRE FOR ALL EMPTY CONDUITS.

F. METAL CLAD (MC) CABLE: TYPE MC CABLE SHALL CONSIST OF A CORRUGATED SEAMLESS ALUMINUM TUBE EQUAL TO COLEMAN CABLE SYSTEMS, INC. "CORRA/CLAD" ENCLOSING ONE OR MORE THHN CONDUCTORS, OR BE OF THE INTERLOCKING JACKET TYPE WITH BLUE STRIPE TO MATCH THE WALL SYSTEM. CABLE SHALL BE SUPPORTED AT NOT MORE THAN SIX-FOOT INTERVALS, AND ALL FITTINGS SHALL BE IDENTIFIED FOR USE WITH SAID CABLE. CABLE SHALL NOT BE USED FOR SERVICE ENTRANCE. ALL CONDUIT, OUTLET BOXES, JUNCTION BOXES AND PULL BOXES, ETC., SHALL BE INSTALLED SO AS NOT TO INTERFERE WITH ANY PIPING, FIXTURE OR EQUIPMENT. EXPOSED CONDUITS SHALL BE GROUPED IN NEAT PARALLEL LINES, PROPERLY SUPPORTED, FOLLOWING THE LINE OF THE BUILDING STRUCTURE AS CLOSELY AS POSSIBLE. CONDUIT BUSHINGS SHALL BE INSTALLED ON THE END OF EVERY CONDUIT RUN IN OUTLET BOXES, PANELBOARDS, SWITCHBOARDS OR SWITCHBOARDS. FURNISH AND INSTALL APPLETON OR CROUSE-HINDS FITTINGS, SPECIAL DEVICES AND MATERIALS WHICH MAY BE REQUIRED FOR THE PROPER INSTALLATION OF THE CONDUIT SYSTEM.

2. OUTLET BOXES:
OUTLET BOXES FOR CONCEALED WORK SHALL BE ONE-PIECE PRESSED STEEL KNOCK-OUT TYPE WITH ZINC OR CADMIUM COATING. BOXES SHALL NOT BE SMALLER THAN 4 INCHES SQUARE BY 2-1/8 INCHES DEEP, AND SHALL BE SIZED AS REQUIRED BY N.E.C., PROVIDE EXTENSION RINGS, PLASTER RINGS, AND COVERS NECESSARY FOR FLUSH FINISH.

3. CONDUCTORS:
SINGLE CONDUCTOR, COPPER WIRE WITH NEC 600 VOLT INSULATION SHALL BE USED FOR GENERAL WIRING IN CONDUIT UNLESS OTHERWISE NOTED. TYPE OF INSULATION TO BE THHN OR THWN. MINIMUM SIZE FOR USE IN LIGHTING AND POWER BRANCH CIRCUITS SHALL BE 12-AWG. #8 OR LARGER CONDUCTORS SHALL BE STRANDED. ALL WIRE SHALL BE DELIVERED TO THE JOB-SITE IN UNBROKEN PACKAGES, AND EACH PACKAGE SHALL BEAR U.L. AND MANUFACTURER'S LABELS, SHOWING THE INSULATION TYPE, AWG SIZE, MAXIMUM ALLOWABLE VOLTAGE.

ALL CONDUIT AND FEEDER WIRE SHALL BE CONTINUOUS FROM SWITCH TO TERMINAL OR FARTHEST OUTLET. NO JOINT SHALL BE MADE EXCEPT IN PULL, JUNCTION BOXES, OR IN PANELS OR SWITCHBOARDS.

THOROUGHLY CLEAN OUT ALL CONDUIT AND WIREWAYS AND SEE THAT ALL PARTS ARE PERFECTLY DRY BEFORE PULLING ANY WIRE. USE NO LUBRICATION EXCEPT CRC WIRE PULLING COMPOUND, IDEAL YELLOW #77 OR MINERALIC #100 PULL-IN COMPOUND. A MECHANICAL WIRE PULLER MAY BE USED WHERE REQUIRED.

JOINTS IN WIRES SMALLER THAN NO. 6 AWG SHALL BE MADE WITH IDEAL #451, #452, #453 OR 455 WIRE CONNECTORS, OR SCOTCHLOK TYPE "R", "Y", OR "B" CONNECTORS. JOINTS IN WIRES NO. 6 AWG AND LARGER SHALL BE MADE WITH BURNDY "HYDENT" COMPRESSION TYPE CONNECTORS, OR OTHER APPROVED SIMILAR COMPRESSION TYPE COPPER LUGS.

CONNECTION TO SWITCH OR BUSBAR LUGS SHALL BE MADE WITH BURNDY "HYDENT" OR SIMILAR 2-HOLE COMPRESSION TYPE COPPER LUGS FOR ALL WIRES NO. 6 AWG OR LARGER.

4. DISCONNECT SWITCHES:
PROVIDE MOTOR RATED HEAVY DUTY DISCONNECT SWITCHES AS SHOWN OR AS NECESSARY, WITH PADLOCKING PROVISIONS.

5. DEVICES AND DEVICE PLATES:
ALL RECEPTACLES, COVER PLATES, LIGHT SWITCHES, MOTION SENSOR SWITCHES, SHALL BE BY LEVITON DECORA SERIES AND WHITE. ALL GENERAL USE RECEPTACLE SHALL BE RATED 20A-125V GROUNDING TYPE.

6. SWITCHBOARDS AND PANELBOARD:
PROVIDE SWITCHBOARDS AND PANELBOARDS AND CIRCUIT BREAKERS AS SPECIFIED AND SHOWN ON DRAWINGS.

7. MOTOR CONTROL DEVICES AND A/C CONTROLS CONNECTIONS:
INSTALL MOTOR CONTROL DEVICES AND THERMOSTATS PROVIDED BY OTHERS. PROVIDE AND INSTALL DISCONNECT SWITCHES AS REQUIRED. MAKE ALL REQUIRED CONNECTIONS INCLUDING WIRING OF MOTORS. PROVIDE CONDUITS AND LINE VOLTAGE OR LOW VOLTAGE WIRING FOR AIR CONDITIONING EQUIPMENT CONTROLS WHERE REQUIRED.

8. LIGHTING FIXTURES:
PROVIDE LIGHTING FIXTURES AS SHOWN ON THE DRAWINGS, UNLESS OTHERWISE NOTED. EXACT LOCATION OF LIGHTING FIXTURES SHALL BE VERIFIED WITH THE JOB SITE CONDITIONS.

9. FUSES:
FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.

10. GROUNDING METHOD:
ALL BRANCH CIRCUITS SERVING PATIENT AREA AREAS SHALL BE PROVIDED WITH A GROUND PATH FOR FAULT CURRENT BY INSTALLATION IN A METAL RACEWAY SYSTEM, OR A CABLE HAVING A METALLIC ARMOR OR SHEATH ASSEMBLY. THE METAL RACEWAY SYSTEM, OR METALLIC CABLE ARMOR, OR SHEATH ASSEMBLY SHALL ITSELF QUALIFY AS AN EQUIPMENT GROUNDING RETURN PATH IN ACCORDANCE WITH 250.118.

THE GROUNDING TERMINALS OF ALL RECEPTACLES AND ALL NON-CURRENT CARRYING CONDUCTIVE SURFACES IN PATIENT CARE AREAS SHALL BE GROUNDING BY AN INSULATED COPPER CONDUCTOR. PER SECTION 517.13(B).

11. TELEPHONE AND SIGNAL CONDUITS:
PROVIDE EMPTY CONDUITS WITH PULL WIRES FOR TEL. AND OTHER SIGNAL SYSTEMS WHERE SHOWN AND/OR REQUIRED. OBTAIN THE TEL. COMPANY AND OTHER SIGNAL SYSTEM REQUIREMENTS.

C. EXECUTION

1. EQUIPMENT:
PROVIDE WIRING AND CONNECTIONS BETWEEN SERVICE EQUIPMENT, TRANSFORMERS, PANELBOARDS, LIGHTS, SWITCHES, RECEPTACLES MOTORS AND EQUIPMENT WHERE APPLICABLE.

2. GROUNDING:
MAKE GOOD CONNECTIONS AT ALL PANEL BOXES, OUTLET BOXES AND JUNCTIONS OR PULL BOXES TO THE CONDUIT SYSTEM. USE APPROPRIATE BONDING MATERIALS. PERMANENTLY AND EFFECTIVELY GROUND ALL CONDUITS, FIXTURES, MOTORS, AND OTHER EQUIPMENT AS REQUIRED BY CODES. FLEXIBLE METAL CONDUIT SYSTEM SHALL HAVE A GREEN GROUND WIRE INSTALLED, SIZED AS REQUIRED BY CODES. SERVICE NEUTRALS AND TRANSFORMER NEUTRALS SHALL BE GROUNDING AS INDICATED AND/OR AS REQUIRED BY CODES.

3. TAGGING OF CONDUCTORS:
BRANCH CIRCUITS SHALL BE LEFT TAGGED IN THE PANELBOARDS, IN GUTTERS AND IN JUNCTION BOXES.

4. CUTTING AND PATCHING:
DO CUTTING AND PATCHING OF THE CONSTRUCTION WORK, EXISTING WALLS, CEILINGS, FLOORS, PAVEMENTS, ETC. AS REQUIRED FOR THE PROPER INSTALLATION OF ELECTRICAL WORK. PATCHING SHALL BE OF SAME MATERIAL, WORKMANSHIP, AND FINISH AS EXISTING AND MATCHING SURROUNDING WORK TO THE SATISFACTION OF THE ARCHITECT.

5. DEMOLISHEN OF EXISTING ELECTRICAL WORK:
REMOVE ALL EXISTING ELECTRICAL EQUIPMENTS AND RELATED WIRING NOT SHOWN ON THE DRAWINGS AS EXISTING. REMOVE ALL CONDUITS WITHIN DEMOLISHED WALLS. WIRING SHALL BE REMOVED FROM THE SOURCE OF SUPPLY TILL DEMOLISHED ELECTRICAL EQUIPMENTS.

6. CLEANING:
ALL PARTS OF ELECTRICAL SYSTEM AND EQUIPMENT SHALL BE LEFT CLEAN AND UNDAMAGED.

7. TESTS:
THE CONTRACTOR SHALL FURNISH ALL NECESSARY INSTRUMENTS AND EQUIPMENT REQUIRED FOR MAKING TESTS AND SHALL MAKE TEST OF ALL WIRING FOR SHORTS, OPEN CIRCUITS, GROUNDS, ETC., AND SHALL IMMEDIATELY CORRECT ANY DETECTIVE WORK. WHEN THE ENTIRE INSTALLATION HAS BEEN COMPLETED AND ALL LIGHTING FIXTURES INSTALLED, TEST OUT ALL CIRCUITS AND SWITCHING, AND DEMONSTRATE THAT THE OPERATION OF THE SYSTEM IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

8. WORK CLEARANCES:
NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.

9. BRANCH CIRCUIT DISCONNECT SWITCH:
CONDUCTORS OF A MULTI-WIRE BRANCH CIRCUIT SHALL ORIGINATE FROM THE SAME PANELBOARD. THE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES [210.4, 240.15(6)(1)].

GENERAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE OF THE PROJECT AND THOROUGHLY FAMILIARIZE HIMSELF WITH THE WORKING CONDITIONS AND THE EXACT NATURE AND EXTEND OF THE WORK TO BE DONE. ACCOUNT ANY SPECIAL OR UNUSUAL FEATURES BEFORE COMMENCING THIS JOB.

2. EXACT LOCATIONS OF ALL EQUIPMENT SHALL BE VERIFIED FROM ALL OUTLET LOCATIONS SHALL BE COORDINATED WITH ARCHITECTURAL ELEVATIONS PRIOR TO INSTALLATION

3. ALL RECESSED LIGHT FIXTURES LOCATED IN A SUSPENDED CEILING SHALL BE SUPPORTED DIRECTLY FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE WITH A MINIMUM OF FOUR 12 GAGE WIRES.

4. SURFACE MOUNTED FLUORESCENT FIXTURES ON DRYWALL OR PLASTER CEILING SHALL BE MOUNTED WITH TWO 3/8" RODS ON EACH SIDE OF 4' OF FIXTURE LENGTH, UP THROUGH CEILING AND BOLTED TO 1-1/2" CHANNELS. ATTACH CHANNELS TO MAIN CHANNELS OF CEILING SYSTEM OR CONCRETE SLAB. SAME REQUIREMENTS FOR PENDANT FIXTURES SHALL APPLY.

5. ALL RECESSED LIGHTING FIXTURES AND DEVICE MOUNTED IN FIRE RATED CEILING SHALL BE ENCLOSED WITH AN APPROVED ENCLOSURE CARRYING THE SAME FIRE RATINGS AS THE CEILING.

6. ALL SURFACE MOUNTED LIGHTING FIXTURES SHALL BE APPROVED FOR DIRECT MOUNTING ON LOW DENSITY COMBUSTIBLE CEILING.

7. ALL ELECTRICAL EQUIPMENT OUTDOORS SHALL BE WEATHERPROOF.

8. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE INSTRUCTIONS FOR COMPLETE ELECTRICAL JOB. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BIDDING THE JOB.

9. THE CONTRACTOR SHALL EXAMINE THE CONTRACT PLANS IN ORDER TO LOGICALLY LOCATE WORK IN COORDINATION WITH CONSTRUCTION SUCH AS CABINETS, BEAMS, FURRING, DOOR SWINGS, ETC..

10. THE CONDUITS SHALL BE CLEAR OF WATER, DERBIES, AND OTHER FOREIGN MATERIALS PRIOR TO PULLING CABLES.

11. CONDUITS WHICH ARE INSTALLED AT THIS TIME AND LEFT EMPTY FOR FUTURE USE, INCLUDING TELEPHONE AND INTERCOMMUNICATION SYSTEM, SHALL HAVE MIN. #12 GALVANIZED PULL WIRE LEFT IN PLACE SYSTEM, FOR FUTURE.

12. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PHASE ROTATION OF MOTORS FEEDERS AND MAKE NECESSARY CHANGES TO AVOID PHASE REVERSALS.

13. ALL PANELS SHALL HAVE HINGED DOORS. HOUSE PANELS SHALL HAVE LOCKABLE DOORS. INSTALL A TYPEWRITTEN DIRECTORY IN ALL PANELS.

14. BRANCH CIRCUITS IN INSULATED WALLS AND ATTICS SHALL BE DERATED PER N.E.C. CODE, ARTICLE 310.

15. ALL WIRING SYSTEM SHALL BE INSTALLED IN RACEWAYS APPROVED BY APPLICABLE CODES.

16. THERMOSTATS SHALL BE MOUNTED ON 4"SQ.-1/2" DEEP J-BOX.

17. ALL LIGHTING FIXTURES AND FLUORESCENT BALLASTS SHALL COMPLY WITH THE REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24.

18. SEE SINGLE LINE DIAGRAM FOR CONDUIT AND CONDUCTOR SIZES TO PANELS, TRANSFORMERS, MOTOR CONTROL CENTERS, MECHANICAL EQUIPMENT, ETC. FEEDERS TO PANELS MAY NOT BE SHOWN ON PLAN DRAWINGS, BUT ARE A PART OF THIS CONTRACT.

ELECTRICAL SYMBOL LIST

	LIGHTING FIXTURE, SURFACE MOUNTED, INSTALLED ON CEILING.
	LIGHTING FIXTURE, SURFACE MOUNTED, INSTALLED ON WALL.
	LIGHTING FIXTURE, RECESSED MOUNTED, INSTALLED IN T-BAR ON CEILING. 'A' DENOTES TYPE. SEE FIXTURE SCHEDULE FOR DETAIL.
	SHADED FIXTURE INDICATES IT IS INSTALLED W/ EMERGENCY BATTERY PACK 'A1' DENOTES TYPE. SEE FIXTURE SCHEDULE FOR DETAIL.
	SINGLE RECEPTACLE, NEMA 5-15R, WALL MOUNTED AT +18" (+40" ON COUNTER) A.F.F., U.O.N.
	SINGLE RECEPTACLE, NEMA 5-15R, GROUND FAULT CIRCUIT INTERRUPTER WALL MOUNTED AT +18" (+40" ON COUNTER) A.F.F., U.O.N.
	DUPLEX RECEPTACLE, NEMA 5-15R, WALL MOUNTED AT +18" (+40" ON COUNTER) A.F.F., U.O.N.
	DOUBLE DUPLEX RECEPTACLE, NEMA 5-15R, WALL MOUNTED AT +18" (+40" ON COUNTER) A.F.F., U.O.N.
	DUPLEX RECEPTACLE, NEMA 5-15R, GROUND FAULT CIRCUIT INTERRUPTER WALL MOUNTED AT +18" (+40" ON COUNTER) A.F.F., U.O.N.
	SPECIAL PURPOSE RECEPTACLE, NEMA TYPE, VOLTAGE, AND AMPERAGE AS INDICATED, WALL MOUNTED, INSTALLED AT +15" A.F.F. (U.O.N.)
	DUPLEX RECEPTACLE CEILING MOUNTED A.F.F., U.O.N. ON CONTROLLED CIRCUIT, LABELED AS "CONTROLLED".
	DOUBLE DUPLEX RECEPTACLE WITH FLOOR OUTLET AND SERVICE FITTING PER SPECIFICATION
	DUPLEX RECEPTACLE, NEMA 5-15R, WALL MOUNTED AT +18" CONTROL BY OCCUPANCY SENSOR TO BE LABELED AS "CONTROL"
	SWITCH, TOGGLE, SPST, WALL MOUNTED AT +48" MAXIMUM A.F.F., U.O.N.
	SWITCH, WALL MOUNTED AT +48" MAXIMUM A.F.F., U.O.N., SUBSCRIPT INDICATES CONTROLLING SWITCH LEG. SUPERSCRIPT INDICATES FOLLOWING: 2-DIMMER SWITCH 3-THREE WAY 4-FOUR WAY WP-WEATHERPROOF MT-MOMENTARY MP-MOTOR RATED, WEATHERPROOF SWITCH OC-OCCUPANCY SENSOR VS-VACANCY SENSOR, MANUAL ON AUTOMATIC OFF
	BY-PASS TIMER SWITCH RATED 0-2 HR. MOUNT AT 48 "AFF. PROVIDE AND INSTALL 1/2"X-2#12 FROM SWITCH TO TIMER CONTROL PANEL AT ELECTRICAL ROOM.

ELECTRICAL SYMBOL LIST

	FUSED DISCONNECT SWITCH, HP RATED, FUSE SIZE AS INDICATED AND/OR DETERMINED BY EQUIPMENT MANUFACTURER. FUSE TYPE TO BE CURRENT LIMITING TYPE, NEMA CLASS RK5, U.O.N.
	DISCONNECT SWITCH, HP RATED, NON-FUSED.
	COMBINATION MAGNETIC MOTOR STARTER/ DISCONNECT SWITCH, NEMA SIZE AS INDICATED.
	JUNCTION BOX, SIZE PER N.E.C., CEILING MOUNTED.
	FLOOR MOUNTED JUNCTION BOX, SIZE PER N.E.C..
	JUNCTION BOX, SIZED PER N.E.C., FLUSH MOUNTED ON WALL AT +18" A.F.F. OR AS NOTED.
	FAN - PROVIDE UNIT AS SIZED BY DIVISION 15, U.O.N. AND PROVIDE CONNECTION.
	ELECTRICAL PANEL, SURFACE MOUNTED.
	ELECTRICAL PANEL, FLUSH MOUNTED.
	DISTRIBUTION SWITCHBOARD. SURFACE MOUNTED.
	CONDUIT RUN CONCEALED IN WALL OR CEILING SPACE OR EXPOSED.
	CONDUIT CONCEALED UNDERGROUND, OR IN FLOOR SLAB.
	CONDUIT INSTALLED IN RAISED ACCESS FLOOR SPACE.
	HOMERUN TO PANEL "A"- CIRCUIT NUMBERS 1,3,5.
	CONDUIT WITH #12 WIRES, U.O.N.. HATCH LINES INDICATE NUMBER OF WIRES, NO HATCH LINE INDICATE 1/2" -2#12. CONDUIT FILL SHALL BE PER FOLLOWING: (0-4) #12 OR (0-2) #10 1/2"C (5-10) #12 OR (3-4) #10 3/4"C
	G - INDICATE GROUND WIRE G* - INDICATE DOUBLE GROUND WIRE
	CONDUIT STUBBED OUT. CAP AND MARK.
	CONDUIT TURNED UP.
	CONDUIT TURNED DOWN.
	OUTLET BOX WITH 2 POSITION FACEPLATES, 1 DATA, 1 TELEPHONE, WALL MOUNTED AT +15" A.F.F. (U.O.N.) CONTRACTOR SHALL PROVIDE AND INSTALL 1"C.O. WITH PULL-CORD TO ACCESSIBLE CEILING SPACE . CABLE FOR DATA/TEL SHALL BE INSTALLED BY DATA/TEL CONTRACTOR.
	T.V. OUTLET, WALL MOUNTED AT +18" A.F.F. U.O.N., CONTRACTOR SHALL PROVIDE AND INSTALL 1"C.O. WITH PULL-CORD TO ACCESSIBLE CEILING SPACE . CABLE FOR TV OR SATELLITE FEED SHALL BE INSTALLED BY TELEVISION CONTRACTOR.

ABBREVIATIONS

A/C	AMPERES	L.V.	LOW VOLTAGE
A.F.F.	AIR CONDITIONER	M.C.	MECHANICAL CONTRACTOR
A.I.C.	ABOVE FINISHED FLOOR	M.H.	METAL HALIDE
NEC	AMPERES, INTERRUPTING CURRENT	MOM.	MOMENTARY
C.L.F.	CONDUIT	NEC	NATIONAL ELECTRICAL CODE
C.O.	CALIFORNIA ELECTRICAL CODE	N.I.C.	NOT INCLUDED IN THE CONTRACT
CON.	CURRENT LIMITING FUSE	P	POLES
CU	CONDUIT ONLY	P.B.O.	PROVIDED BY OTHERS
DIST.	CONTINUOUS	PRM.	PRIMARY
E.C.	COPPER	RECES.	RECESSED
ELEV.	DISTRIBUTION	REF.	REFERENCE
EM.	ELECTRICAL CONTRACTOR	SEC.	SECONDARY
ENC.	ELEVATOR	S	SWITCH
E.S.	EMERGENCY	SYS.	SYSTEM
EX.	ENCLOSURE	TEL.	TELEPHONE
F.C.	ENERGY SAVING	T.C.	TIME CLOCK
FLUOR.	EXISTING	TR.	TRIP
FU.	FAN COIL	TV	TELEVISION
G.C.	FLUORESCENT	TY.P.	TYPICAL
G.F.I.	FUSE	U.G.	UNDERGROUND
GRD.	GENERAL CONTRACTOR	UPS	UNINTERRUPTABLE POWER SUPPLY
H.I.D.	GROUND FAULT INTERRUPTER	U.O.N.	UNLESS OTHERWISE NOTED
H.V.	GROUND	V	VOLTS
INST.	HIGH INTENSITY DISCHARGE	W.P.	WEATHERPROOF
INCAN.	EXISTING	XFMR	TRANSFORMER
	FAN COIL		
	FLUORESCENT		
	FUSE		
	GENERAL CONTRACTOR		
	GROUND FAULT INTERRUPTER		
	GROUND		
	HIGH INTENSITY DISCHARGE		
	EXISTING		
	FAN COIL		
	FLUORESCENT		
	FUSE		
	GENERAL CONTRACTOR		
	GROUND FAULT INTERRUPTER		
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	HIGH INTENSITY DISCHARGE		
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	GROUND		
	HIGH INTENSITY DISCHARGE		
	EXISTING		
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	GENERAL CONTRACTOR		
	GROUND FAULT INTERRUPTER		
	GROUND		
	HIGH INTENSITY DISCHARGE		
	EXISTING		
	FAN COIL		
	FLUORESCENT		
	FUSE		
	GENERAL CONTRACT		



19BLD-2891
08/20/19

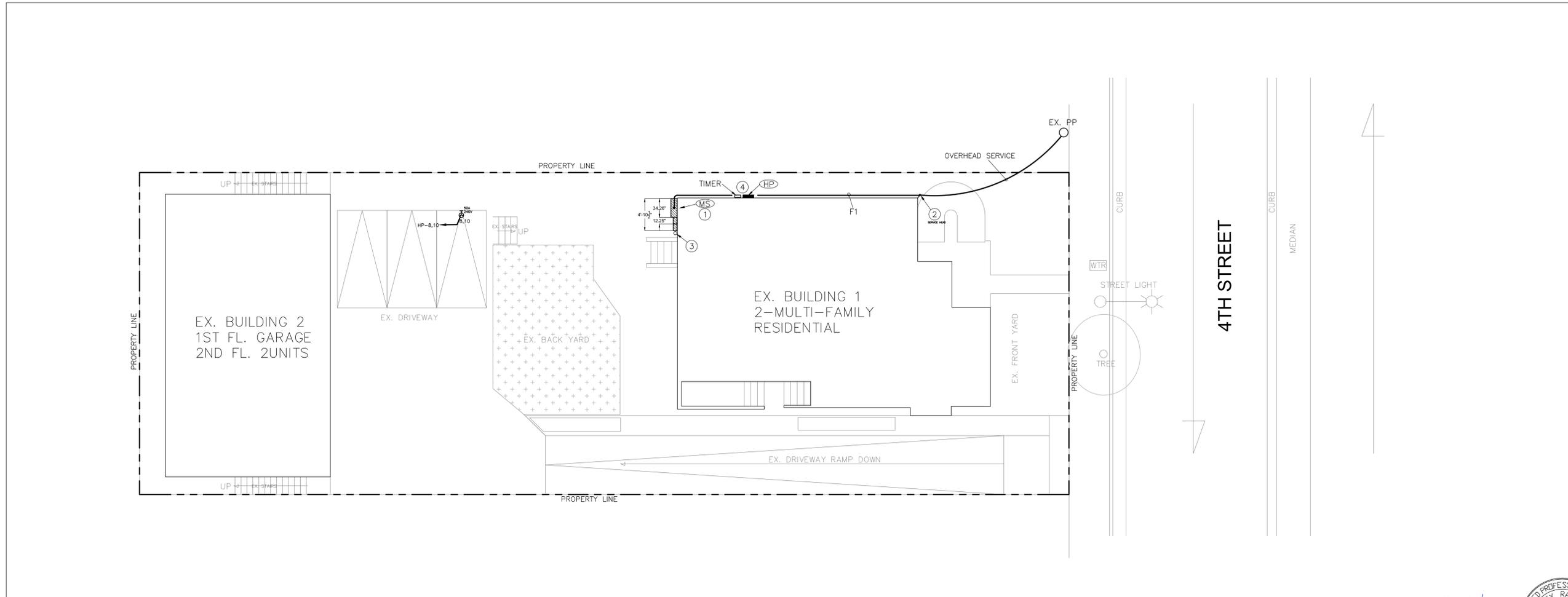
REFERENCED NOTES:

- ① NEW ELECTRICAL MAIN SERVICE 400A 1PHASE 3WIRE 120/240V.
- ② A WEATHER-TIGHT FITTING ATTACHED TO THE END OF THE SERVICE RUN TO PREVENT WATER FROM ENTERING THE PIPE.
- ③ 2" C.O. TO ROOF FOR FUTURE SOLAR PANEL INSTALLATION.
- ④ ASTRODIAL TIMER AND ELECTRICAL PANEL "HP" VERIFY EXACT LOCATION.

PLAN NOTES:

1- SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ELECTRICAL DEVICES BEFORE ROUGH IN.

REVISIONS	BY



VOLUNTARY STRUCTURAL MODIFICATION
2518 4TH STREET,
SANTA MONICA, CA 90405

SHEET TITLE:
ELECTRICAL SITE PLAN

Date	8-1-2019
Scale	AS NOTED
Drawn	VL
Checked	FR
Job	2019-F15
Sheet	E1.1



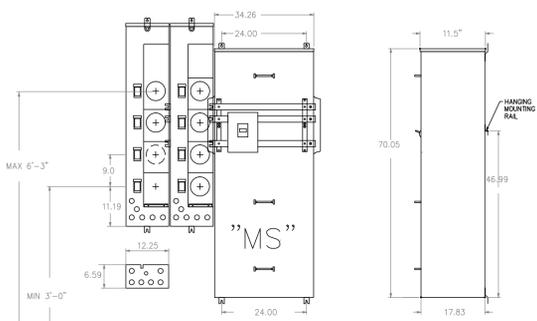
ELECTRICAL SITE PLAN
SCALE: 1/8"=1'-0"

Ferey Robot



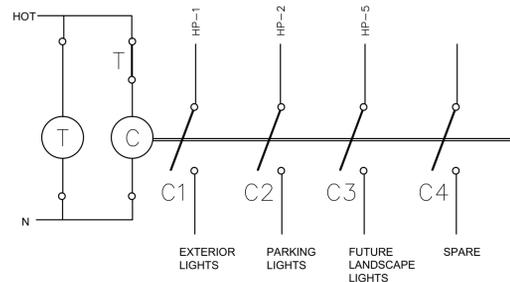
F&A
 FERREY & ASSOCIATES, INC.
 CONSULTING MECHANICAL & ELECTRICAL ENGINEERS
 18340 VENTURA BLVD., #225 TEL: (818)757-1171
 TARZANA, CA 91356 FAX: (818)757-0112

PLOT DATE: 08.14.2019



ELEVATION "MS"

SCALE: 1/2"=1'-0"



ASTRODIAL TIMER

NOTE:

THE ASTRODIAL TIMER SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION. THE EVIDENCE OF THIS COMPLIANCE SHALL BE PROVIDED.

EXISTING PANEL SCHEDULE "P1" & "P2" FOR BUILDING 2									
BUS=80A 120/240 VOLTS 1PHASE, 3 WIRE									
MAIN BREAKER=60A									
CR. NO.	CB AMP.	POLE	DESCRIPTION	LITES	RECEP.	MSC.	VA L-1	VA L-2	
A 1	20	1	EX. GENERAL LIGHTING				413		
A 3	20	1	EX. BATHROOM RECEPT			1FAN	428	413	
A 5	20	1	EX. GENERAL LIGHTING						
A 7	20	1	EX. GENERAL LIGHTING				0	413	
A 9	20	1	SPARE				0	0	
A 11	20	1	SPARE				0	0	
A 13	20	1	SPARE				0	0	
A 15	20	1	EX. SMALL APPLIANCES				1500	1500	
A 17	20	1	EX. SMALL APPLIANCES				1500	0	
A 19	20	1	SPARE				0	0	
B 21	20	2	EX. HP (1.5 TON)				1176	1176	
B 23	-	-	-				-	-	
C 2	20	1	EX. COM. SD & CO			1	100	1200	
A 4	20	1	EX. DISHWASHER		1		1300	1500	
A 6	20	1	EX. MICROWAVE OVEN+HND		1	1HOOD	1300	1500	
A 8	20	1	EX. WASHER		1		900	0	
A 10	20	1	EX. DRYER		1		900	0	
A 12	20	1	EX. SPARE				0	0	
A 14	20	1	SPARE				0	0	
A 16	15	2	EX. FC				516	516	
A 18	-	-	-				516	0	
A 20	20	1	EX. GARBAGE DISPOSAL		1		0	1000	
A 22	20	1	SPARE				0	0	
A 24	20	1	SPARE				0	0	
TOTAL CONNECTED WATTS							6332	7717	
SINGLE PHASE 120/240 VOLTS							VA	VA	

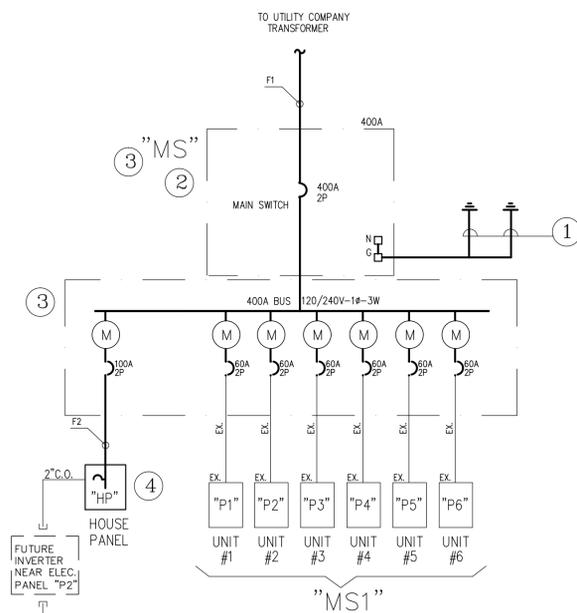
LOAD DEMAND CALCULATION			
LIGHTING 3 W/S.F.	550 S.F.	1650 VA	
SMALL APPLIANCES	2 CIR.	3000 VA	
LAUNDRY	1	1500 VA	
TOTAL		6150 VA	
FRST 3000 W AT 100%		3000 VA	
REMAINDER AT 35%		1103 VA	
COM. SD & CO	1	100 VA	
GARBAGE DISPOSAL @ 100%	1	1000 VA	
DISHWASHER @ 100%	1	1200 VA	
MICROWAVE OVEN @ 100%	1	1200 VA	
DRYER @ 100%	1	900 VA	
KITCHEN HOOD @ 100%	1	100 VA	
FANS @ 100%	1	15 VA	
HP @ 125%	1	2940 VA	
FC	1	1032 VA	
TOTAL DEMAND WATTS		12590 VA	
TOTAL DEMAND AMPERAGE @ 120/240V, 1PHASE		52 AMPS	

- A- PROVIDE ARC FAULT PROTECTION CIRCUIT BREAKER.
- B- DELAY OR INVERSE TIME CIRCUIT BREAKER.
- C- PROVIDE LOCK ON DEVICES ON THESE CIRCUITS.

EXISTING PANEL SCHEDULE "P3", "P4", "P5" AND "P6" FOR BUILDING 1									
BUS=80A 120/240 VOLTS 1PHASE, 3 WIRE									
MAIN BREAKER=60A									
CR. NO.	CB AMP.	POLE	DESCRIPTION	LITES	RECEP.	MSC.	VA L-1	VA L-2	
A 1	20	1	EX. GENERAL LIGHTING				491	491	
A 3	20	1	EX. BATHROOM RECEPT			1FAN	506	491	
A 5	20	1	EX. GENERAL LIGHTING						
A 7	20	1	EX. GENERAL LIGHTING				0	491	
A 9	20	1	SPARE				0	0	
A 11	20	1	SPARE				0	0	
A 13	20	1	SPARE				0	0	
A 15	20	1	EX. SMALL APPLIANCES				1500	1500	
A 17	20	1	EX. SMALL APPLIANCES				1500	0	
A 19	20	1	SPARE				0	0	
B 21	25	2	EX. HP (2 TON)				1620	1620	
B 23	-	-	-				-	-	
C 2	20	1	EX. COM. SD & CO			1	100	1200	
A 4	20	1	EX. DISHWASHER		1		1300	1500	
A 6	20	1	EX. MICROWAVE OVEN+HND		1	1HOOD	1300	1500	
A 8	20	1	EX. WASHER		1		900	0	
A 10	20	1	EX. DRYER		1		900	0	
A 12	20	1	EX. SPARE				0	0	
A 14	20	1	SPARE				0	0	
A 16	15	2	EX. FC				516	516	
A 18	-	-	-				516	0	
A 20	20	1	EX. GARBAGE DISPOSAL		1		0	1000	
A 22	20	1	SPARE				0	0	
A 24	20	1	SPARE				0	0	
TOTAL CONNECTED WATTS							6934	8319	
SINGLE PHASE 120/240 VOLTS							VA	VA	

LOAD DEMAND CALCULATION			
LIGHTING 3 W/S.F.	655 S.F.	1965 VA	
SMALL APPLIANCES	2 CIR.	3000 VA	
LAUNDRY	1	1500 VA	
TOTAL		6465 VA	
FRST 3000 W AT 100%		3000 VA	
REMAINDER AT 35%		1213 VA	
COM. SD & CO	1	100 VA	
GARBAGE DISPOSAL @ 100%	1	1000 VA	
DISHWASHER @ 100%	1	1200 VA	
MICROWAVE OVEN @ 100%	1	1200 VA	
DRYER @ 100%	1	900 VA	
KITCHEN HOOD @ 100%	1	100 VA	
FANS @ 100%	1	15 VA	
HP @ 125%	1	4050 VA	
FC	1	1032 VA	
TOTAL DEMAND WATTS		13810 VA	
TOTAL DEMAND AMPERAGE @ 120/240V, 1PHASE		58 AMPS	

- A- PROVIDE ARC FAULT PROTECTION CIRCUIT BREAKER.
- B- DELAY OR INVERSE TIME CIRCUIT BREAKER.
- C- PROVIDE LOCK ON DEVICES ON THESE CIRCUITS.



LOCATION	SITE PLAN	PANEL SURFACE	HP MOUNTING	MAIN CIRCUIT BREAKER									
				100A	BUS								
120/240	1 PHASE 3 WIRE	100A	100A	100A	100A								
LOAD DESCRIPTION	WATTAGE	L T S	R E S	M C S	CB S Z P	CKT NO	PHASE	CB L	R T S	M C S	WATTAGE	LOAD DESCRIPTION	
EX. EXTERIOR LIGHTS	200				20	1	1	X	2	20	1	4	EX. PARKING LIGHTING
EX. RECEPTACLES-EXTERIOR	360				20	1	3	X	4	20	1	4	EX. SPRINKLER CONTROLLER
EX. FUTURE LANDSCAPE LIGHT	100				20	1	5	X	6	20	1	0	SPARE
SPARE	0				20	1	7	X	8	50	2	4800	VEHICLE CHARGER RECEPTACLE
SOLAR	0				11		X	12	20	1	0	0	SPARE
-----	0				13	X		14	20	1	0	0	SPARE
CONTINUOUS LOAD				5200	4800	VA							
NON-CONTINUOUS LOAD				100	460	VA							
ADJUSTED TOTAL				6600	6460	VA							
				TOTAL ADJUSTED		13	KVA						
				TOTAL ADJUSTED		54	AMPS						

1 PROVIDE ASTRODIAL TIME CLOCK



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BUILDINGS LOAD CALCULATION					
UNIT	UNIT	AREA	TYPE	QTY	SUBTOTAL
UNDEVELOPED BTH	2	550			1100 SQ. FT.
UNDEVELOPED BTH	4	655			2620 SQ. FT.
TOTAL RESIDENTIAL AREA	6				3720 SQ. FT.
LOAD CALCULATION "MS1"					
LIGHTING 3 W/S.F.	3720	S.F.	3 W/S.F.		11160 VA
SMALL APPLIANCES	12	CIR.	1500 W/CIR.		18000 VA
LAUNDRY WASHER	6	UNITS	1500 W/EA		9000 VA
GARBAGE DISPOSAL	6	UNITS	1000 W/EA		6000 VA
DISH WASHER	6	UNITS	1200 W/EA		7200 VA
MONO OXIDE SMOKE DETECTOR	6	UNITS	100 W/EA		600 VA
KITCHEN HOOD	6	UNITS	100 W/EA		600 VA
DRYER (GAS)	6	UNITS	900 W/EA		5400 VA
MICROWAVE OVEN	6	UNITS	1200 W/EA		7200 VA
FANS	2	UNITS	15 W/EA		30 VA
HP (1.5 TON)	2	UNITS	2254 W/EA		4508 VA
HP (2 TON)	4	UNITS	3105 W/EA		12420 VA
FC	6	UNITS	989 W/EA		5934 VA
ELECTRICAL RANGE	6	UNITS	8000 W/EA		48000 VA
TOTAL CONNECTED WATTS					136112 VA
44% DEMAND FACTOR APPLIED					
TOTAL DEMAND WATTS					59889 VA
TOTAL DEMAND AMPERAGE @ 120/240V, 1PHASE, 3W					250 AMPS

TOTAL SERVICE LOAD CALCULATION "MS"	
BUILDING UNIT LOADS	250 AMPS
PANEL "HP"	54 AMPS
TOTAL 120/240, 1 PHASE	304 AMPS
INSTALL 400A, 1PHASE, 120/240V SERVICE	

REFERENCED NOTES:

- 1 1" - 1#3/0 COPPER GROUND WIRE; CONNECT TO UFER GROUND AND COLD WATER METAL PIPE. BOND ALL METALLIC GAS AND WATER PIPING FOR CONTINUITY AND INSTALL THE COLD WATER GROUND AND UFER GROUND PER NATIONAL ELECTRICAL CODE REQUIREMENTS AND AS INDICATED ABOVE.
- 2 MAIN SWITCHBOARD, SQUIRE "D", EZM SERIES OR EQUAL, SINGLE PHASE, 120/240V, 400A, OVERHEAD TYPE.
- 3 THE SWITCHBOARD AND ELECTRICAL PANEL SHALL BE BRACED FOR MIN. 48,000 A. ALL CIRCUIT BREAKERS IN THIS SWITCHBOARD SHALL BE FULLY RATED AND U.L. LISTED FOR AN INTERRUPTING RATING OF MIN. 48,000 AMPS.
- 4 THE PANEL BOARD SHALL BE BRACED FOR MIN. 28,000A. ALL CIRCUIT BREAKERS IN THIS PANEL SHALL BE FULLY RATED AND U.L. LISTED FOR AN INTERRUPTING RATING OF MIN. 28,000 AMPS.

PLAN NOTES:

- 1 - SEE FEEDER SCHEDULE ON THIS SHEET FOR SIZE OF UNIT FEEDERS, CIRCUIT BREAKERS, AND ALSO VOLTAGE DROPS.
- 2 - THE FEEDER LENGTH SHOW ON THE FEEDER SCHEDULE IS APPROXIMATE FOR THE VOLTAGE DROP CALCULATION, DON'T USE THEM FOR BID PURPOSE.

13.0 Short-Circuit Current

Where state and/or local building inspection agencies require that customers install service equipment with overcurrent protective devices with a short circuit rating equal to or not less than the available short-circuit current at its supply terminal, the customer should obtain from SCE, the Company's contribution to short-circuit currents at the customer's service entrance.

The Company's contribution to short-circuit currents, at the customer's service entrance, will be as follows for the applicable type of service to be rendered.

13.1 10,000 A and Below (100-400 Maximum Amperes Self-Contained Type Meter Panels)

The Company's contribution to the available short-circuit current at the service entrance will not exceed 10,000 A for single-family dwellings, duplexes, or individually metered mobile homes that use self-contained type Company meters.

Temporary service, when served from a single-phase 120/240 V transformer, will not exceed 10,000 A. Self-contained 300/400 A (Class 320) type meter panels are not acceptable for temporary service.

13.2 Greater than 10,000 A—Multi-Family Residential (Three or More Grouped Meters), Commercial, and Industrial

Phase	Service Voltage	Service Entrance Ampacities	Utilites Contribution to Fault Current will Not Exceed
Single	120/240	600 or less	42,000
Three	120/208 or 240	800 or less	42,000
Three	480	1,200 or less	30,000

13.3 Exceptional Cases

When the application of the above fault current limitation appears too restrictive for new installations, the customer may request the utility to provide the available fault currents for a specific case and location.

All new installations with service voltage or service entrance ampacities larger than those stated above will be handled as individual cases, and the Company will provide the available fault duty for each installation.

14.0 Electric and Magnetic Fields

Electric and magnetic fields are also known as "electromagnetic fields" or "EMF." Electric and magnetic fields are a natural result of electricity. Whenever an electric charge or current is present, either natural or man-made, electric and magnetic fields occur. Electric power distribution facilities generate both electric and magnetic fields.

14.1 Electric Fields

Electric fields result when voltage is present. The strength "E" of electric fields is represented by "volts per meter." As the distance increases from the source, the electric field strength decreases rapidly.

EFFECTIVE DATE: 4-29-2018

APPROVED: [Signature]

General Information: ESR-1

Electrical Service Requirements: SCE Public 4

Page: 1-27

REVISIONS	BY

VOLUNTARY STRUCTURAL MODIFICATION
 2518 4TH STREET,
 SANTA MONICA, CA 90405

SHEET TITLE:
ELECTRICAL SINGLE LINE DIAGRAM & PANEL SCHEDULE

Date: 8-1-2019

Scale: AS NOTED

Drawn: VL

Checked: FR

Job: 2019-F15

Sheet: **E3.1**

ELECTRICAL SINGLE LINE DIAGRAM & PANEL SCHEDULE

PLOT DATE: 08.14.2019

F&A
 FEREY & ASSOCIATES, INC.
 CONSULTING MECHANICAL & ELECTRICAL ENGINEERS
 18340 VENTURA BLVD., #225 TEL: (818)757-1171
 TARZANA, CA 91356 FAX: (818)757-0112



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

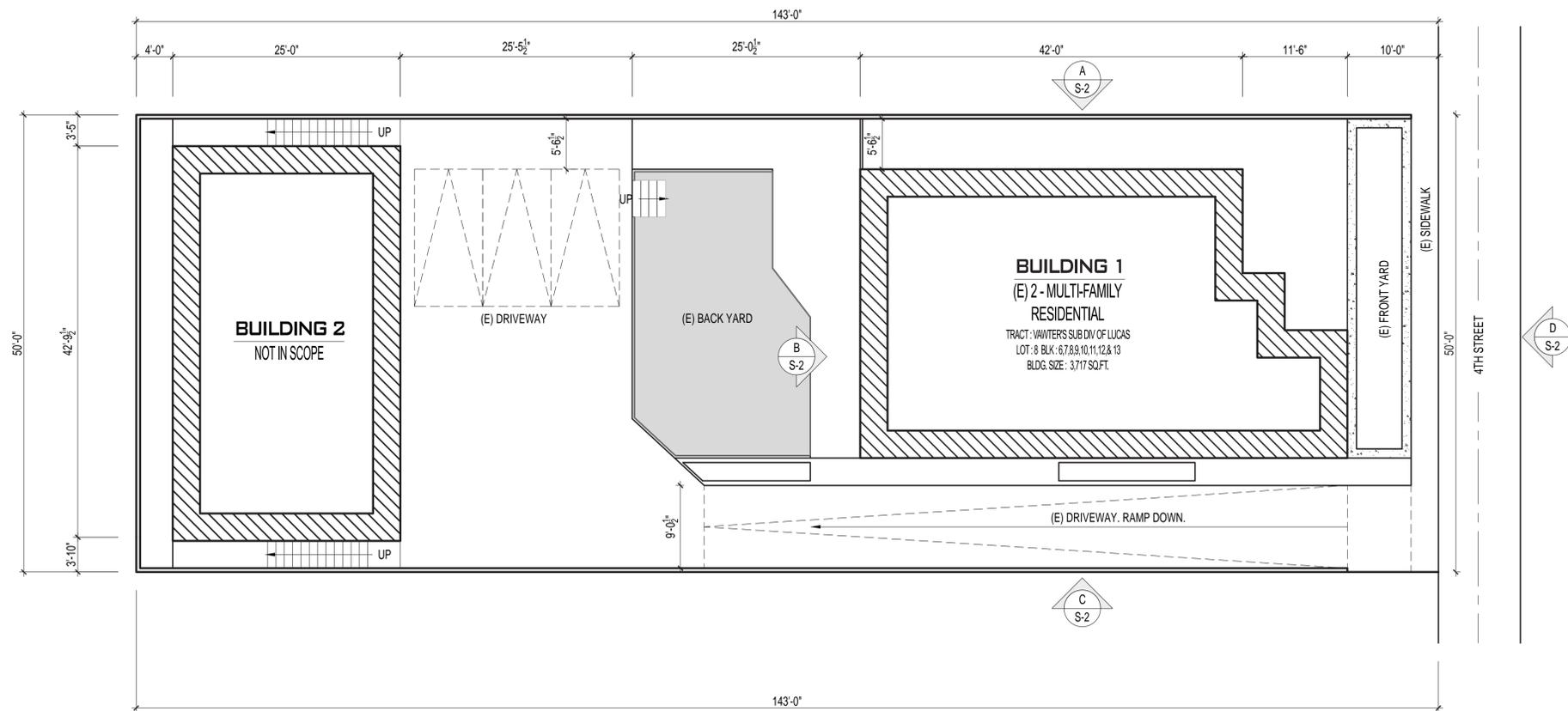
WINDOW PROPOSAL
2158 4TH STREET
SANTA MONICA, CA 90405

XYZ RENT 14 LLC

SITE PLAN

DATE: 10-26-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE: 1/8" = 1'
REVISION #1:
REVISION #2:
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.1



NOTE: WINDOWS NOT TO SCALE



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
WINDOW PROPOSAL
2516 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
NORTH ELEVATION

DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE: 1/4" = 1'
REVISION #1: 11-06-19
REVISION #2: 11-30-19
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.2



NOTE: WINDOWS NOT TO SCALE



ELEVATION D



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
WINDOW PROPOSAL
2516 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
EAST ELEVATION

DATE: 11-30-19
 DRAWN BY: AARON D.
 CHECKED BY:
 SCALE: 1/4" = 1'
 REVISION #1: 11-06-19
 REVISION #2: 11-30-19
 REVISION #3:
 REVISION #4:
 REVISION #5:
 SHEET NUMBER:

NOTE: WINDOWS NOT TO SCALE



ELEVATION A



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
WINDOW PROPOSAL
2516 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
SOUTH ELEVATION

DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE: 1/4" = 1'
REVISION #1: 11-06-19
REVISION #2: 11-30-19
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.4

NOTE: WINDOWS NOT TO SCALE



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
WINDOW PROPOSAL
2516 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
WEST ELEVATION

DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE: 1/4" = 1'
REVISION #1: 11-06-19
REVISION #2: 11-30-19
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.5



ELEVATION (B)

NOTE: WINDOWS NOT TO SCALE



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
WINDOW PROPOSAL
2516 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
PERSPECTIVE VIEW / BLD. 2

DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE:
REVISION #1: 11-06-19
REVISION #2: 11-30-19
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.6



NOTE: DO NOT HAVE WINDOW
IMAGES OF 228, 229, 230 & 231. UNIT
IN USE BY CURRENT TENANT

PROPOSED WINDOW SCHEDULE - BASEMENT

MARK	FLOOR	TYPE	WIDTH	HEIGHT	DESCRIPTION
001, 002	BSMT	J	3'-3"	3'-4"	DOUBLE-HUNG WOODEN WINDOW
003	BSMT	K	4'-0"	3'-3"	DOUBLE-HUNG WOODEN WINDOW
004	BSMT	L	6'-9"	2'-6"	PICTURE WINDOW
005	BSMT	M	2'-1"	2'-2"	DOUBLE-HUNG WOODEN WINDOW

PROPOSED WINDOW SCHEDULE - 1ST FLOOR

MARK	FLOOR	TYPE	WIDTH	HEIGHT	DESCRIPTION
102, 103, 105, 106, 107, 108, 111, 112	1ST	A	3'-0"	4'-0"	DOUBLE-HUNG WOODEN WINDOW
101, 116	1ST	B	4'-0"	5'-0"	DOUBLE-HUNG WOODEN WINDOW
104	1ST	C	5'-0"	5'-10"	PICTURE WOODEN WINDOW
109, 110	1ST	D	2'-6"	3'-0"	DOUBLE-HUNG WOODEN WINDOW
113, 114, 115	1ST	E	3'-0"	4'-5"	DOUBLE-HUNG WOODEN WINDOW

PROPOSED WINDOW SCHEDULE - 2ND FLOOR

MARK	FLOOR	TYPE	WIDTH	HEIGHT	DESCRIPTION
203, 206, 207, 214, 215, 216, 217, 219	2ND	A	3'-0"	4'-0"	DOUBLE-HUNG WOODEN WINDOW
205	2ND	D	2'-6"	3'-0"	DOUBLE-HUNG WOODEN WINDOW
208, 209, 210, 211, 212	2ND	E	3'-0"	4'-5"	DOUBLE-HUNG WOODEN WINDOW
201, 202	2ND	F	4'-0"	4'-0"	DOUBLE-HUNG WOODEN WINDOW
204	2ND	G	4'-4"	3'-0"	DOUBLE-HUNG WOODEN WINDOW
213	2ND	H	2'-1"	3'-0"	DOUBLE-HUNG WOODEN WINDOW
218	2ND	I	5'-0"	5'-10"	PICTURE WINDOW WITH ARCHED TOP

PROPOSED WINDOW SCHEDULE - BUILDING 2

MARK	FLOOR	TYPE	WIDTH	HEIGHT	DESCRIPTION
220, 221, 222, 227, 228, 229	BLDG 2	A	3'-0"	4'-0"	DOUBLE-HUNG WOODEN WINDOW
223, 226	BLDG 2	H	2'-1"	3'-0"	DOUBLE-HUNG WOODEN WINDOW

NOTE:

- ALL WINDOWS THAT WILL BE REPLACED WILL NOT CHANGE DIMENSION SIZE



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

WINDOW SCHEDULE
2158 4TH STREET
SANTA MONICA, CA 90405

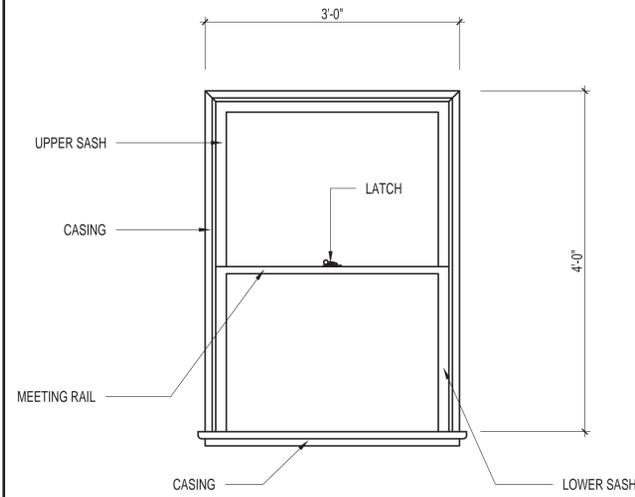
PROJECT TITLE:

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
WINDOW SCHEDULE/DETAILS

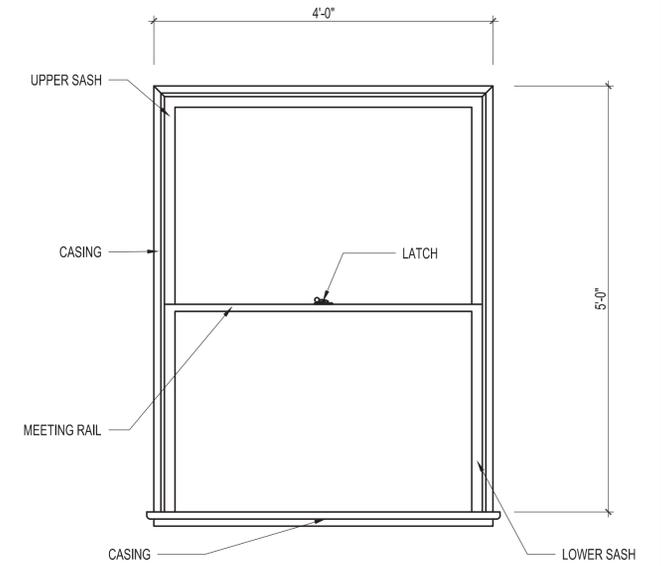
DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE: AS NOTED
REVISION #1: 11-06-19
REVISION #2: 11-30-19
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.7



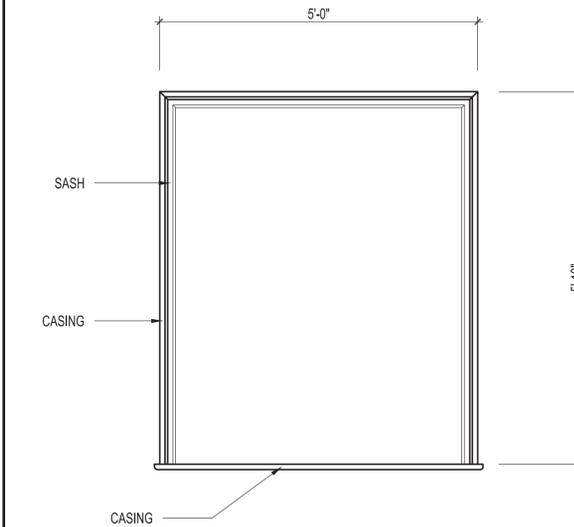
TYPE - A

SCALE: 1" = 1"



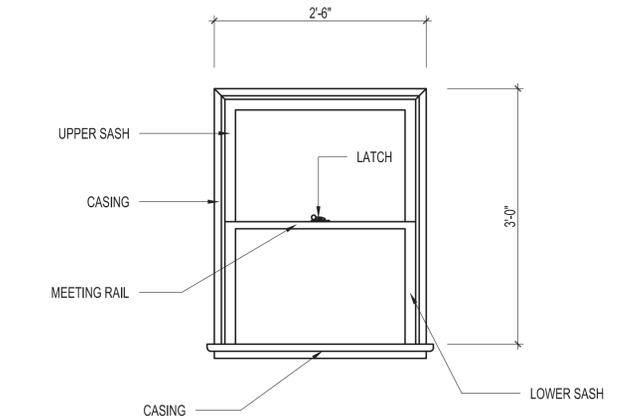
TYPE - B

SCALE: 1" = 1"



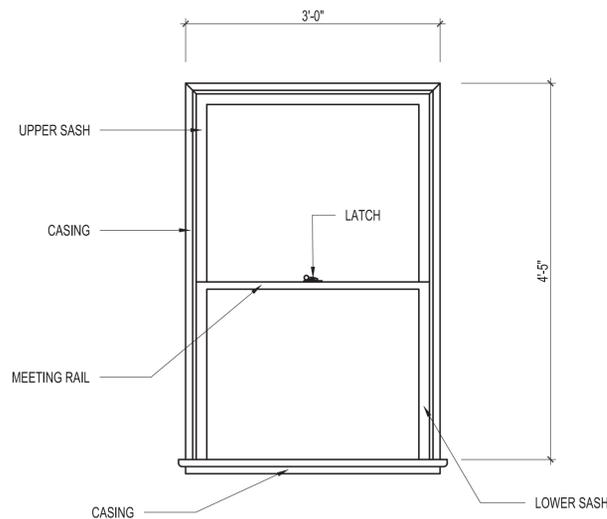
TYPE - C

SCALE: 3/4" = 1"



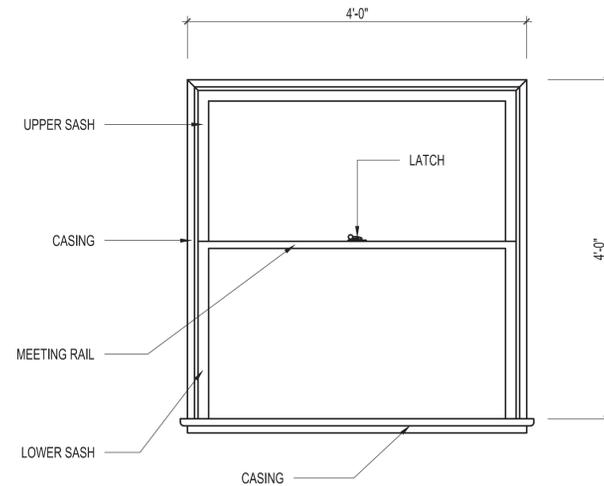
TYPE - D

SCALE: 1" = 1"



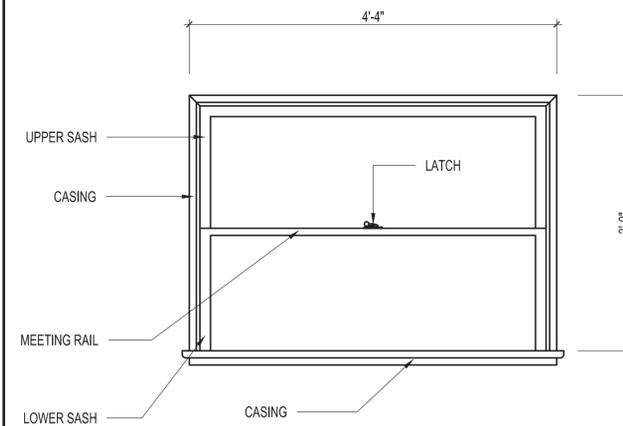
TYPE - E

SCALE: 1" = 1"



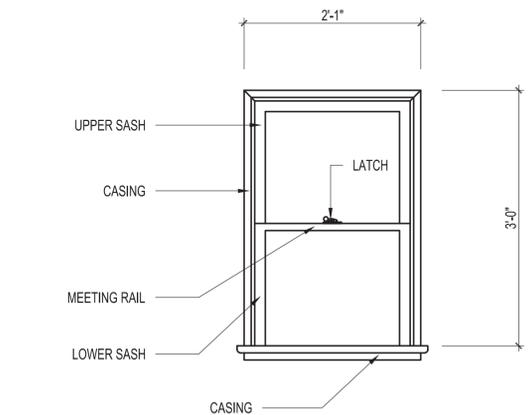
TYPE - F

SCALE: 1" = 1"



TYPE - G

SCALE: 1" = 1"



TYPE - H

SCALE: 1" = 1"



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

WINDOW PROPOSAL
2158 4TH STREET
SANTA MONICA, CA 90405

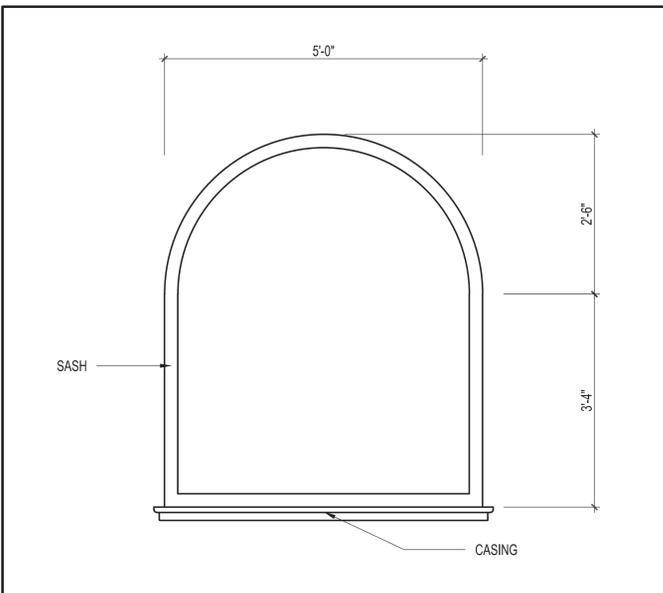
PROJECT TITLE:

CLIENT NAME:

SHEET NAME:

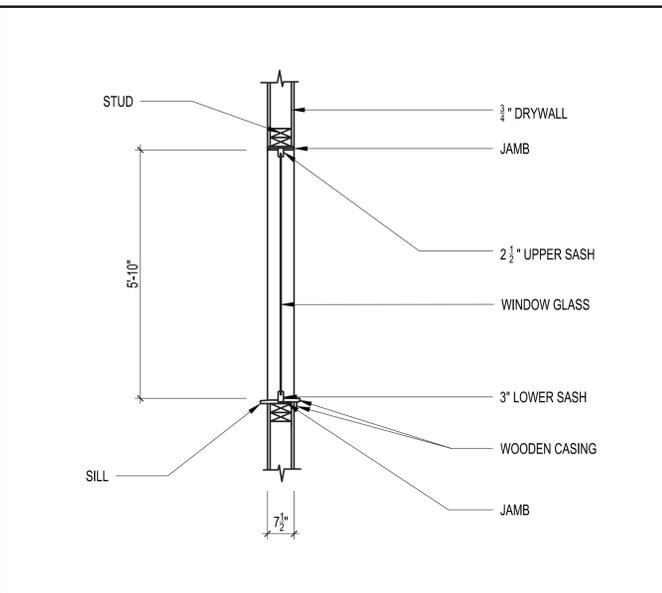
DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE: AS NOTED
REVISION #1: 11-06-19
REVISION #2:
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.8



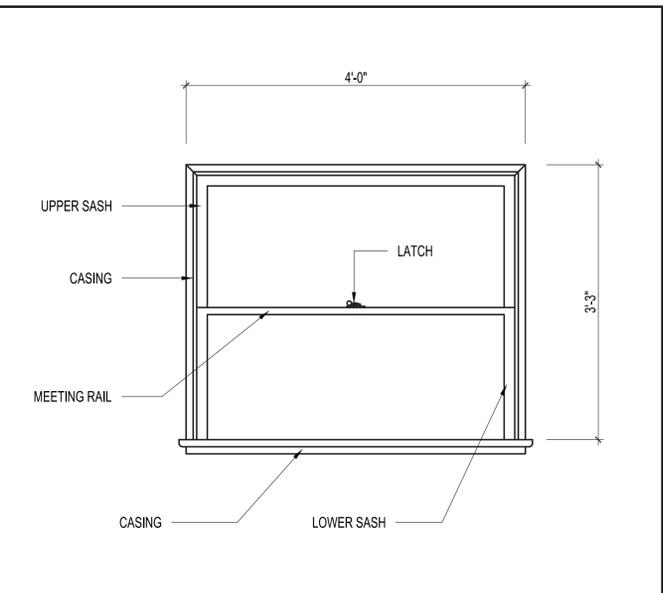
TYPE - I

SCALE: 3/4" = 1"



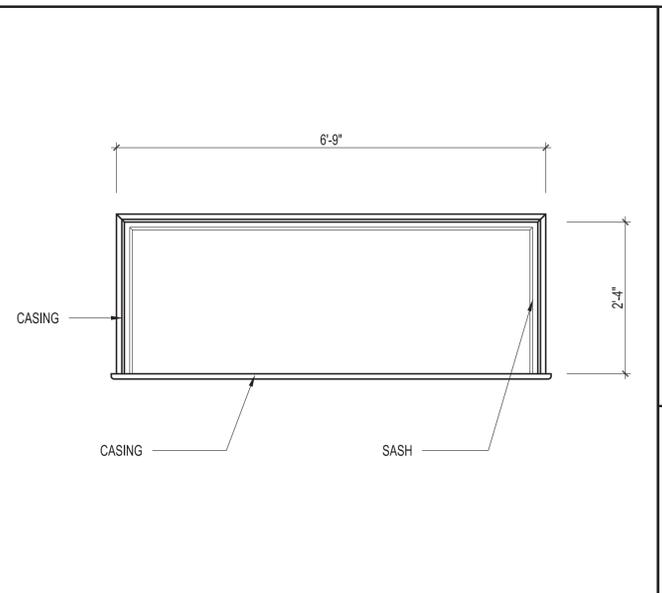
TYPE-I SECTION

SCALE: 1/2" = 1"



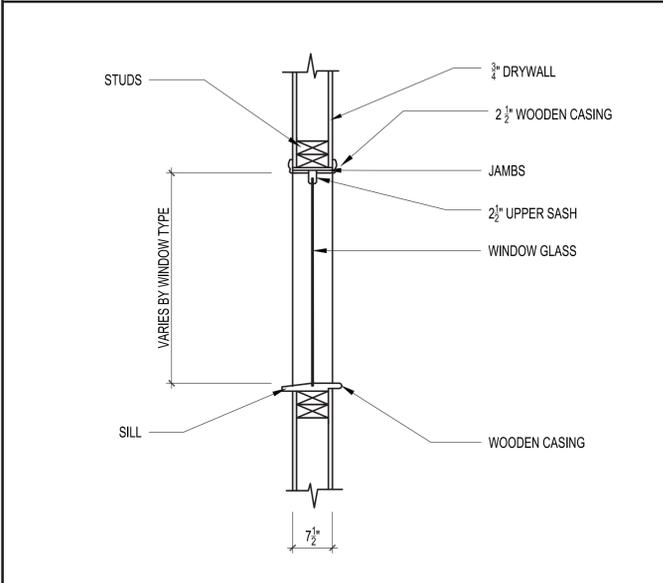
TYPE - K

SCALE: 1" = 1"



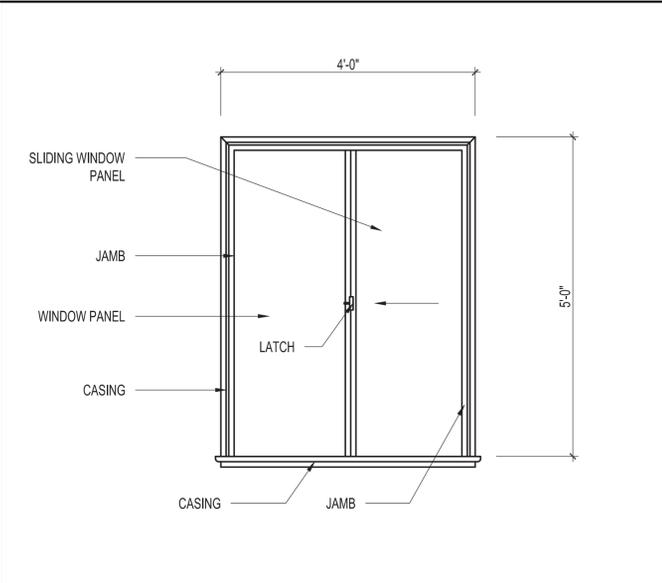
TYPE - L

SCALE: 3/4" = 1"



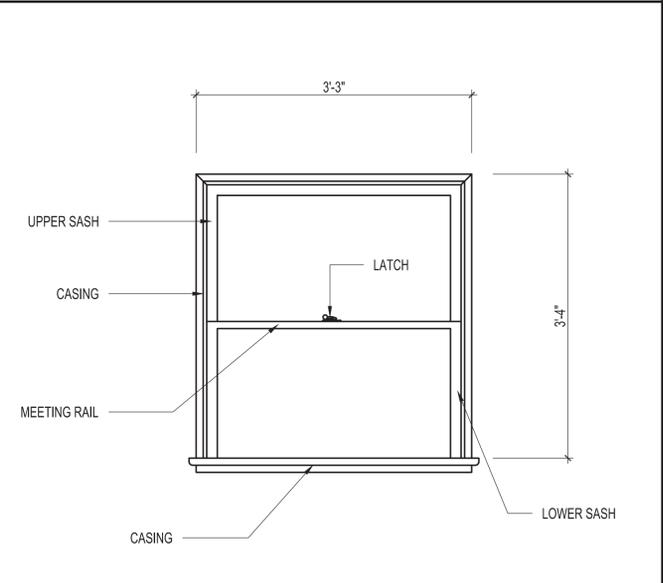
TYPE - C & L SECTION

SCALE: 3/4" = 1"



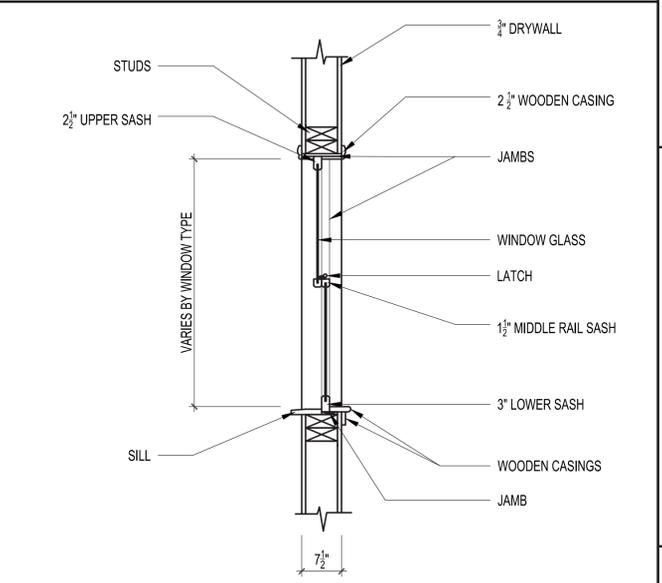
EXISTING SLIDING WINDOW

SCALE: 1" = 1"



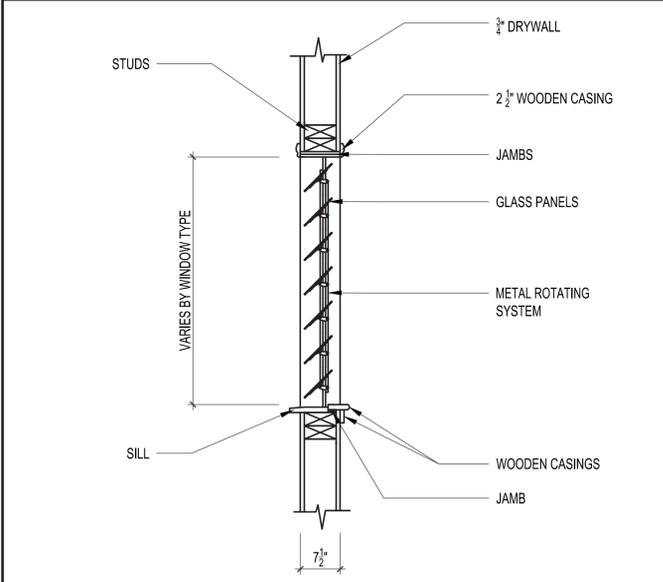
TYPE - J

SCALE: 1" = 1"



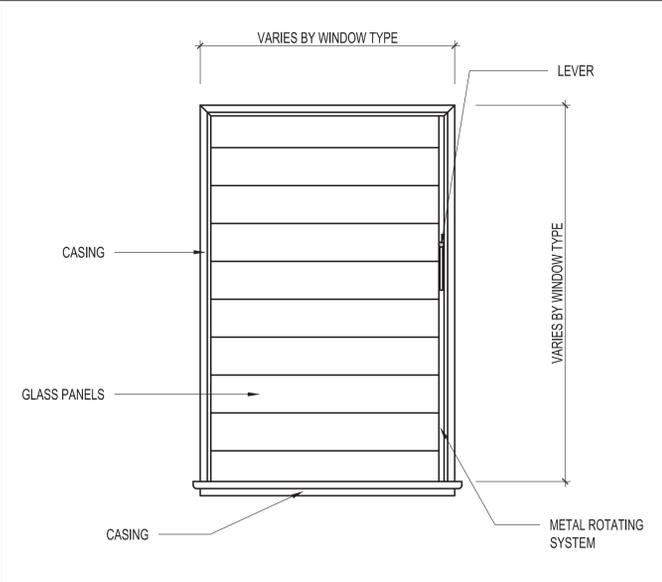
DOUBLE HUNG EXISTING & PROPOSED

SCALE: 3/4" = 1"



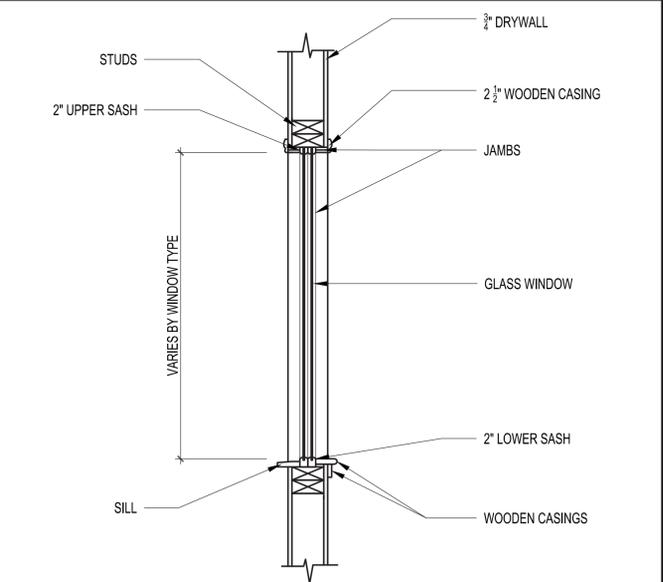
EXG. GLASS WINDOW SHUTTERS SECT.

SCALE: 3/4" = 1"



EXG. GLASS WINDOW SHUTTERS ELEV.

SCALE: 1" = 1"



EXG. TWO PANEL SLIDER ELEV.

SCALE: 3/4" = 1"



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
WINDOW PROPOSAL
2158 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

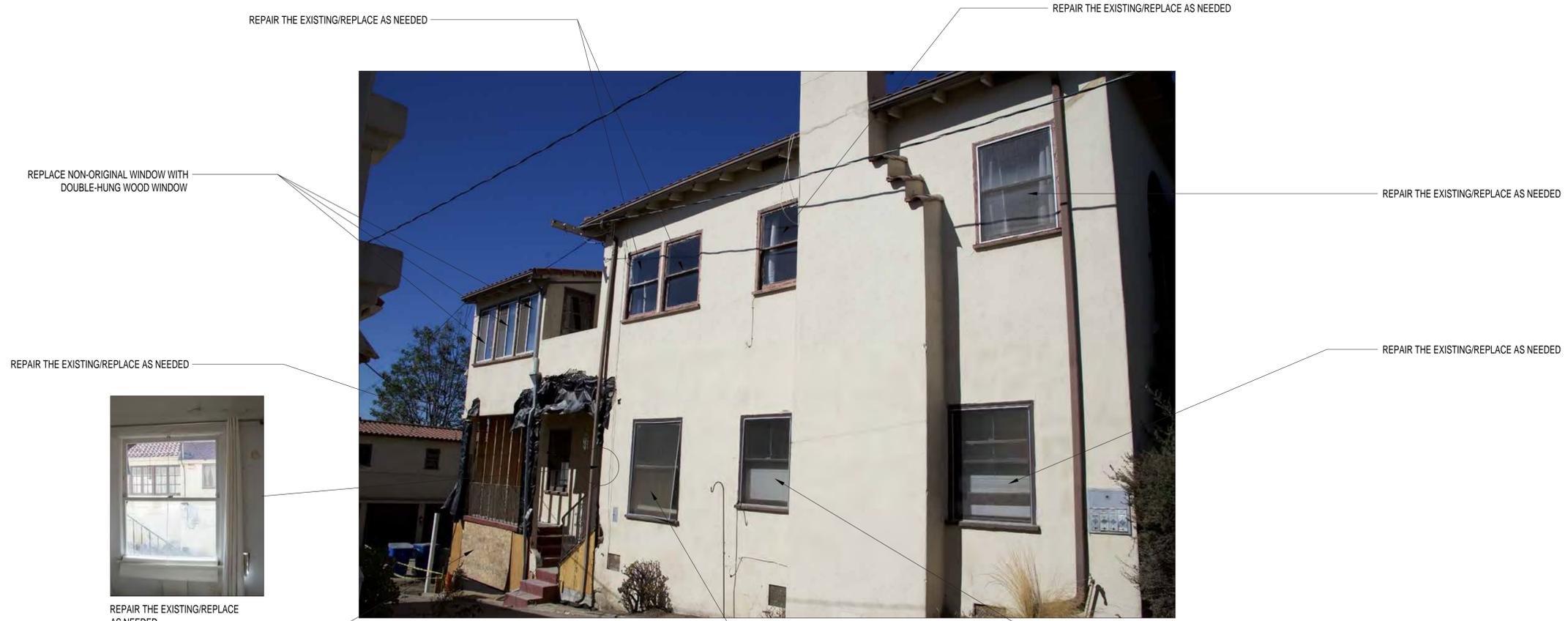
SHEET NAME:
NEW WINDOW PROPOSALS

DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE:
REVISION #1: 11-06-19
REVISION #2: 11-30-19
REVISION #3: 12-07-19
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.9



WEST ELEVATION



NORTH ELEVATION



REPLACE THE EXISTING WINDOW WITH THE IN-KIND DOUBLE HUNG WOOD WINDOW

REPAIR THE EXISTING/REPLACE AS NEEDED

REPLACE THE EXISTING WINDOW WITH THE IN-KIND DOUBLE HUNG WOOD WINDOW

SOUTH ELEVATION

REPAIR THE EXISTING/REPLACE AS NEEDED

REPLACE THE EXISTING WINDOW WITH THE IN-KIND DOUBLE HUNG WOOD WINDOW

REPAIR THE EXISTING/REPLACE AS NEEDED

REPAIR THE EXISTING/REPLACE AS NEEDED

REPLACE THE EXISTING WINDOW WITH THE IN-KIND DOUBLE HUNG WOOD WINDOW

REPAIR THE EXISTING/REPLACE AS NEEDED

INSERT NEW DOUBLE-HUNG WOOD WINDOW



REPAIR THE EXISTING/REPLACE AS NEEDED

EAST ELEVATION



EAST ELEVATION



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
WINDOW PROPOSAL
2158 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
NEW WINDOW PROPOSALS

DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE:
REVISION #1: 11-06-19
REVISION #2: 11-30-19
REVISION #3: 12-07-19
REVISION #4:
REVISION #5:
SHEET NUMBER:



REPAIR THE EXISTING/REPLACE AS NEEDED



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
WINDOW PROPOSAL
2158 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
NEW WINDOW PROPOSALS

DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE:
REVISION #1: 11-06-19
REVISION #2: 11-30-19
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.11

Window Quote / Order Form

PO# Nigari
page 1 of 2

Sent By: Norm

Date Needed By: _____ Date Faxed: 10-16-17 Order: _____ Quote:

Unit: FullBound(no sill) Std. Frame(sill) Bald(no casing) Jamb _____ Sill Horn _____ Sill thick _____

Door: Single Double Dutch Barn Sliding Panels # _____ Sidelites # _____

Sash: Double Hung (Both) Top Only / Btm Only Single Casemt Double Casemt Slider Picture

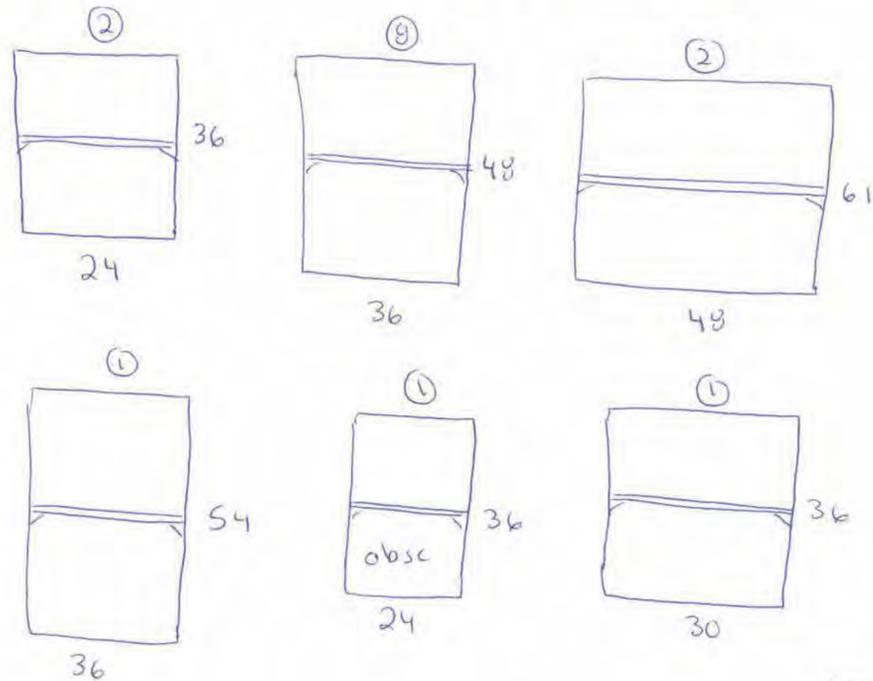
Swing options (Inside view for all) Swing: IN / OUT Hinge on: L / R Active 1st (on double): L / R

Stiles/Rails: Left 2 Right 2 Top 2 Bottom 3 Sash Thickness: 1 3/8" 1 1/4"

Options: Lugs Y / N Plow for Ropes Beveled Bottom Flat Bottom Doug Fir Stain Grade Paint Grade

Grids: Y / N Thickness: 1/4" 3/8" 1/2" Interior Style - Ogee Ovolo W/S: Y / N Color: _____

Glass: Annealed / Lami / DG / LowE / Temp'd / Obscure Glazing: Putty / Putty Pro / Other _____



QTY: 15

Rev: 2.22.19

Window Quote / Order Form

PO# Nigari
page 2 of 2

Sent By: Norm

Date Needed By: _____ Date Faxed: 10-16-19 Order: _____ Quote:

Unit: FullBound(no sill) Std. Frame(sill) Bald(no casing) Jamb _____ Sill Horn _____ Sill thick _____

Door: Single Double Dutch Barn Sliding Panels # _____ Sidelites # _____

Sash: Double Hung (Both) Top Only / Btm Only Single Casemt Double Casemt Slider Picture

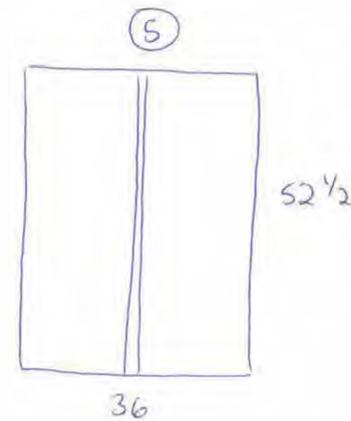
Swing options (Inside view for all) Swing: IN / OUT Hinge on: L / R Active 1st (on double): L / R

Stiles/Rails: Left 2 Right 2 Top 2 Bottom 3 Sash Thickness: 1 3/8" 1 1/4"

Options: Lugs Y / N Plow for Ropes Beveled Bottom Flat Bottom Doug Fir Stain Grade Paint Grade

Grids: Y / N Thickness: 1/4" 3/8" 1/2" Interior Style - Ogee Ovolo W/S: Y / N Color: _____

Glass: Annealed / Lami / DG / LowE / Temp'd / Obscure Glazing: Putty / Putty Pro / Other _____



QTY: 5

Rev: 2.22.19



ENTRY DOOR ON NORTH ELEVATION



ENTRY DOOR ON FIRST LEVEL OF EAST ELEVATION



ENTRY DOOR ON NORTH SIDE OF BUILDING
NOTE: NOT SHOWN ON ELEVATION



ENTRY DOOR ON SECOND LEVEL OF EAST ELEVATION



NOTE: ALL ENTRY DOORS IN FRONT BUILDING WILL BE REPLACED WITH A SPANISH COLONIAL REVIVAL DOOR



4493 RAYBURN ST,
WESTLAKE VILLAGE,
CA 91362

PROJECT TITLE:
DOOR PROPOSAL
2158 4TH STREET
SANTA MONICA, CA 90405

CLIENT NAME:
XYZ RENT 14 LLC

SHEET NAME:
ENTRY DOOR

DATE: 11-30-19
DRAWN BY: AARON D.
CHECKED BY:
SCALE:
REVISION #1:
REVISION #2:
REVISION #3:
REVISION #4:
REVISION #5:
SHEET NUMBER:

A.14