



1650 EUCLID

1650 EUCLID ST SANTA MONICA, CA 90404

ARB PRELIMINARY

10/01/2020

SCOPE DESCRIPTION

Euclid 1650 is a ground up 3-story creative office building over two levels of subgrade parking, located in the Industrial Conservation zoning district between Colorado Avenue and Olympic Boulevard in Santa Monica. The proposed building is lifted above the street on a podium and provides 39,380 SF (maximum FAR, Tier II) of floor area, divided over the two wings of the building. A variety of interior space allows for multiple tenant configurations, providing for future flexibility. Below grade, there will be two levels of parking (approximately 20,000 SF each) which may utilize parking stackers to optimize the parking within the space of the project site.





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DESIGN TEAM:



GLOTMAN · SIMPSON
CONSULTING ENGINEERS

ama consulting
engineers, p.c.

CONTEXT STUDIES

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ALLOWABLE ENVELOPE

OUTDOOR SPACE

- ENVELOPE BASED ON SANTA MONICA MUNICIPAL CODE, DEVELOPMENT STANDARDS 09.131.030

PROPOSED ENVELOPE

SENSITIVITY TO ADJACENT PROPERTY AND STREET

- PUSH FACADE BACK FROM ADJACENT PROPERTY AND STREET TO REDUCE SCALE
- BREAK UP MASSING AT EUCLID STREET FRONTAGE

CARVE OUT CENTRAL COURTYARD AND FRONT FORE COURT

- ALLOW FOR AMPLE AIR AND LIGHT THROUGHOUT SITE
- PROVIDE EXTERIOR GATHERING SPACES AT THE GROUND LEVEL
- VISUAL CONNECTION THROUGH SITE FROM EUCLID STREET TO 12TH COURT

CONNECTION BETWEEN BUILDING MASSES

- PHYSICAL CONNECTION FOR BUILDING CIRCULATION
- DEFINE FAÇADE AT FORE COURT WITH FOCAL POINT 'JEWEL BOX' STRUCTURE AT UPPER LEVELS

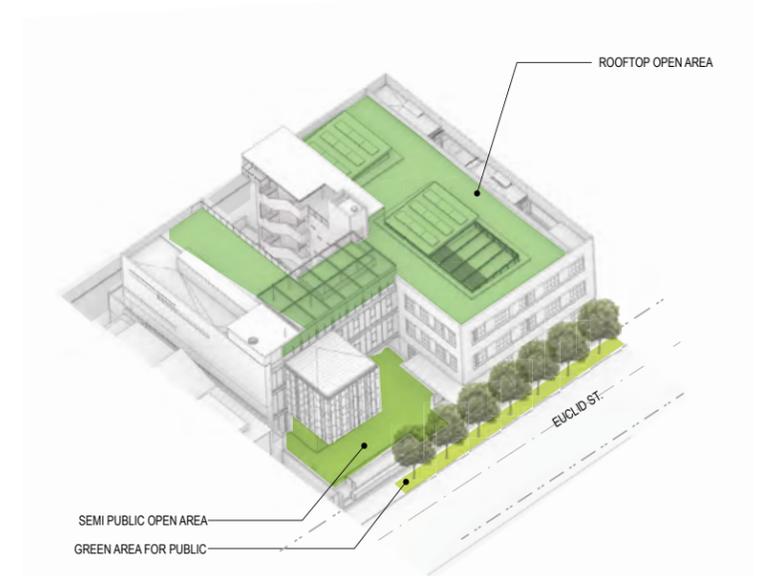
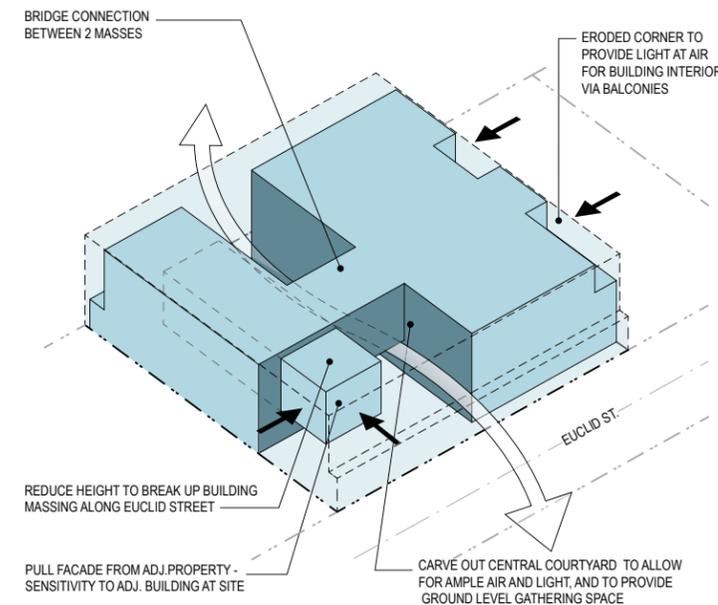
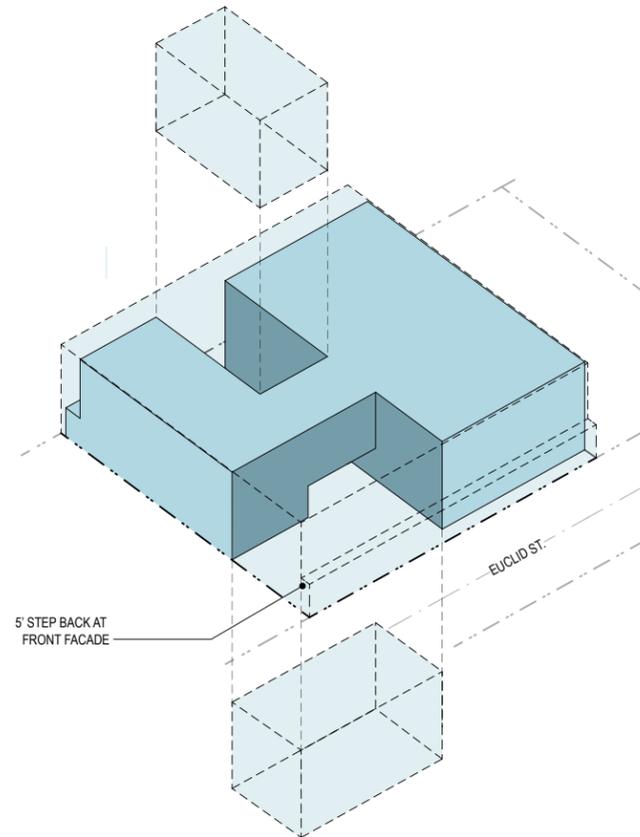
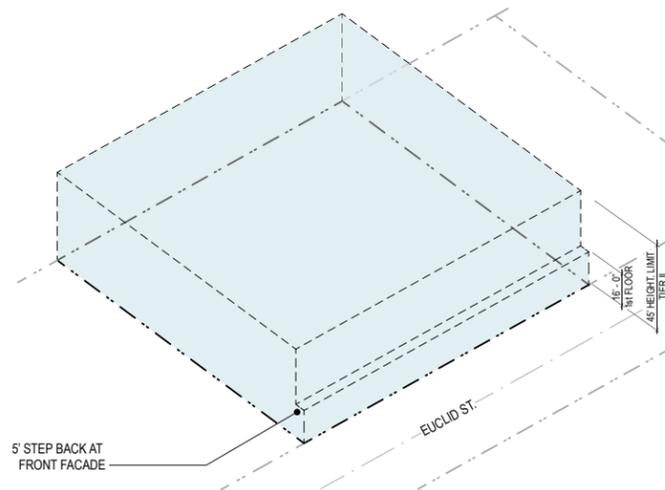
PROPERTY LINE SIDE WALLS

- PROVIDE LIGHT AND AIR FOR BUILDING INTERIORS VIA BALCONIES ALONG PROPERTY LINE

MEANINGFUL OUTDOOR SPACE

OUTDOOR SPACE

- CURATED EXTERIOR EXPERIENCE WITH LANDSCAPE FOCUS
- MAXIMIZE OPEN SPACE THROUGHOUT PROPERTY BY PROVIDING AMPLE LANDSCAPING AND USABLE SPACE
- PROVIDES BOTH ON-SITE AND OFF-SITE LANDSCAPE IMPROVEMENTS



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DESIGN TEAM:



BUILDING MASSING

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ARCHITECTURE



CUSTOM STEEL STOREFRONT



STEEL WINDOW/ GLAZING



WOOD SOFFIT



STEEL RAILING



STEEL CONSTRUCTION

AUTHENTIC

The landscape design for 1650 Euclid aligns itself with the preliminary vision for the building by focusing on a rich material palette and a suite of design details that are *of Santa Monica*. Hardscape, furnishing and planting concepts are inspired by the sublime local beach and mountain landscapes and display gardens, evoking an unmistakable legacy of color, texture, and vibrancy.

HABITAT

Santa Monica is among the most desirable places in the world to live and work. The landscape is scaled and shaped to blur the lines between inside and outside. It leverages views, prevailing winds, and shade to create outdoor comfort and spectacle, and it prioritizes flexibility and ephemerality to accommodate changing needs in the future.



LANDSCAPE



CONCRETE BENCH



WOOD GATE



SCRATCH STUCCO



BRASS WINDOW HARDWARE



STEEL PLANTER



BOARDFORM CONCRETE



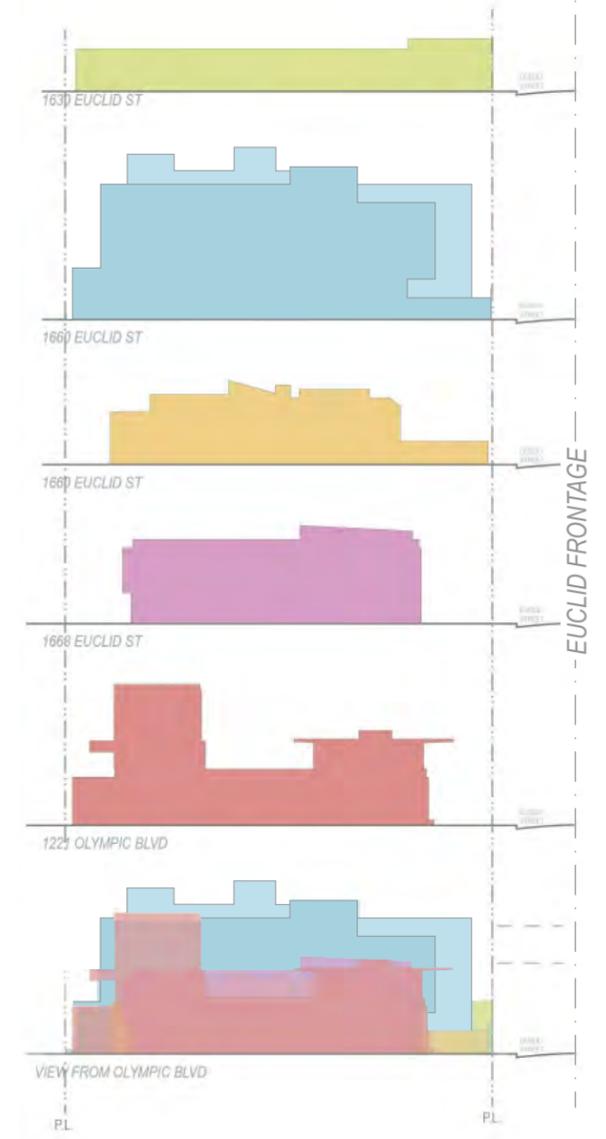
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DESIGN TEAM:



BUILDING MATERIALS

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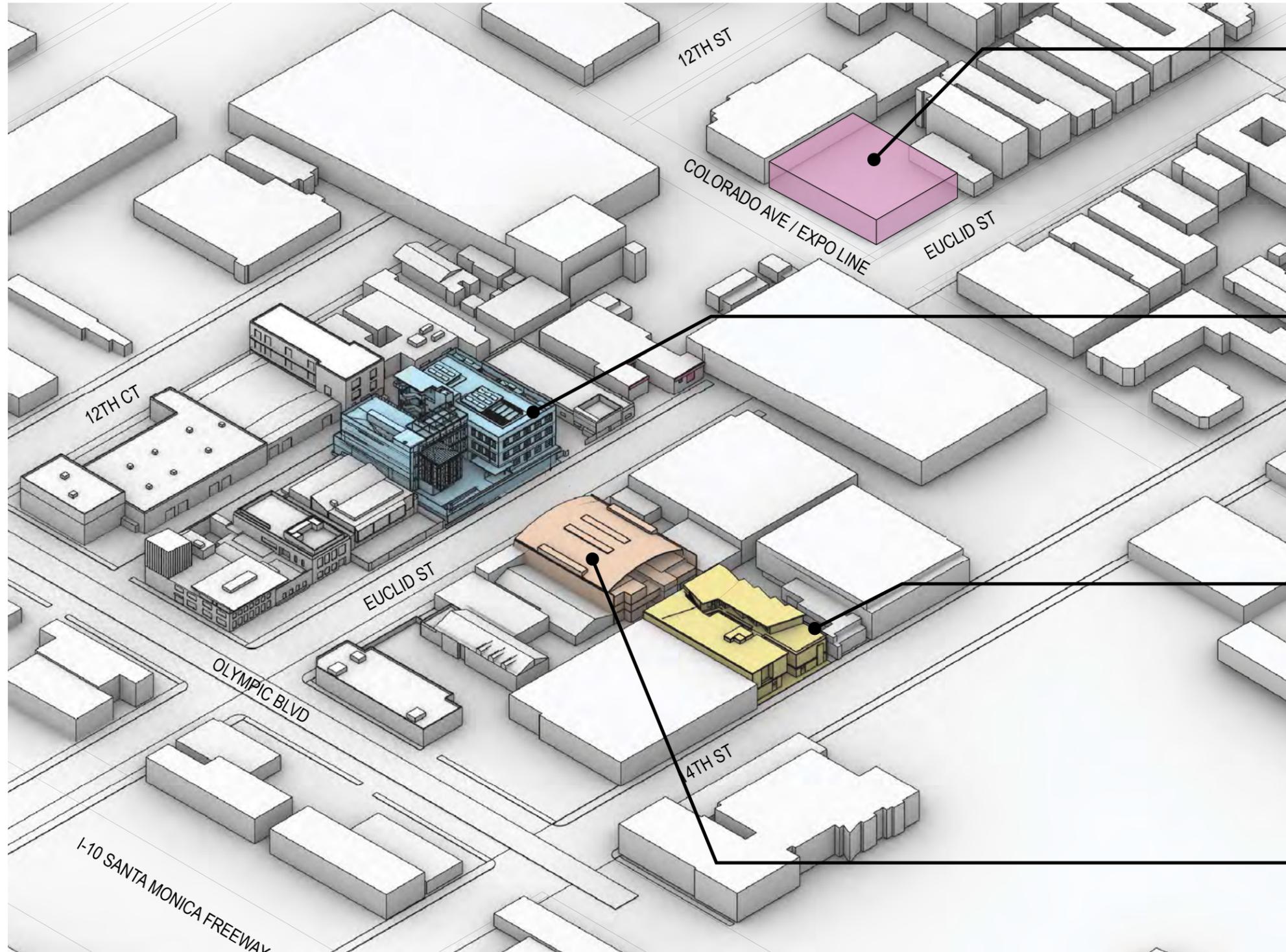
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DESIGN TEAM:  **RAC DESIGN BUILD**  **JAMES CORNER FIELD OPERATIONS**  **GLOTMAN · SIMPSON CONSULTING ENGINEERS**  **ama consulting engineers, p.c.**

NEIGHBORHOOD PROFILE

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1550 EUCLID
BELZBERG



1650 EUCLID
RAC / REDCAR PROPERTIES



1640 14TH STREET
HGA / REDCAR PROPERTIES



1645 EUCLID
HLW / NATIONAL TYPEWRITER PROPERTIES

NEIGHBORHOOD CONTEXT

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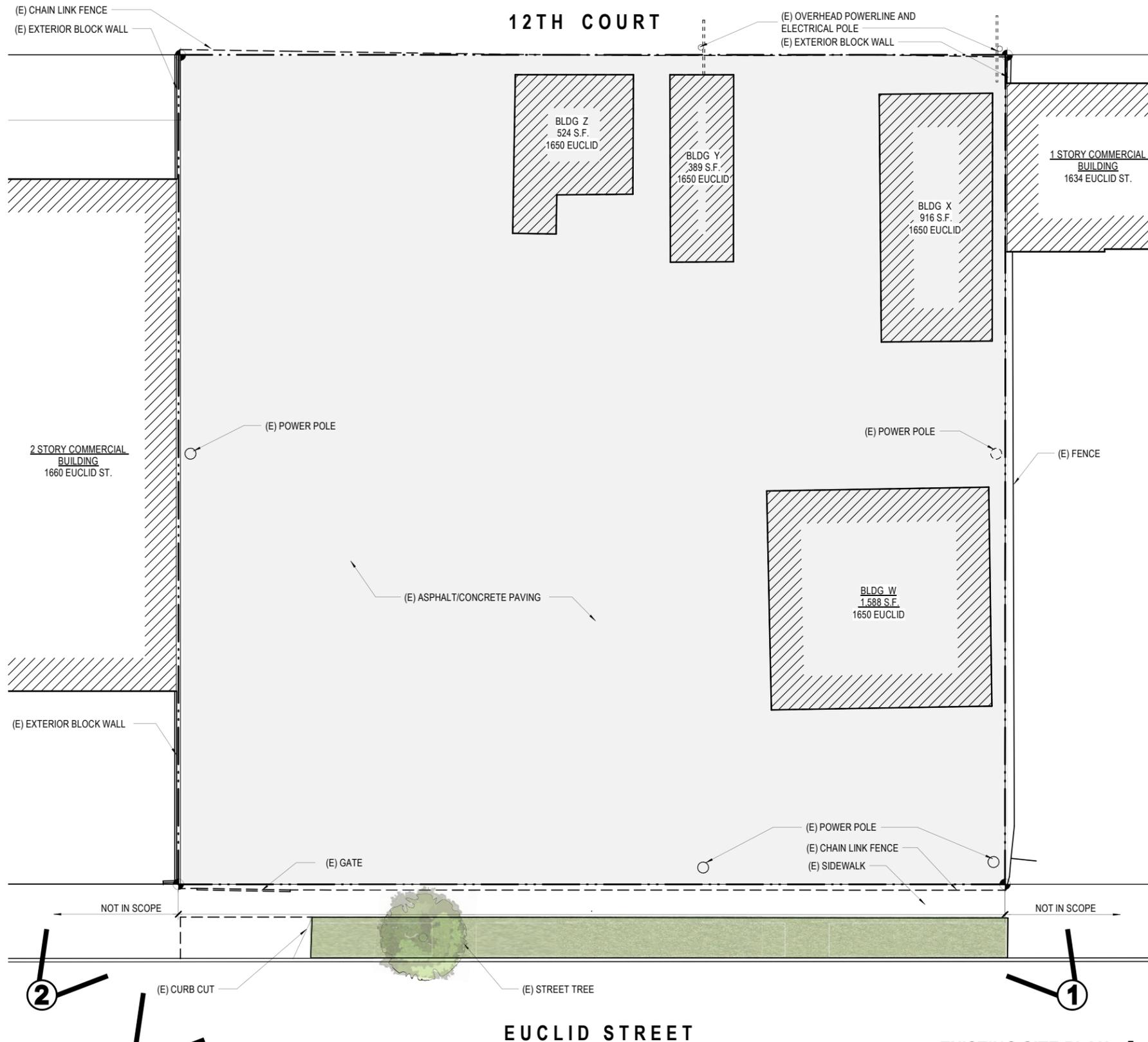
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DESIGN TEAM:





VIEW ③



VIEW ②



VIEW ①

EXISTING SITE PLAN 1

3/64" = 1' - 0"



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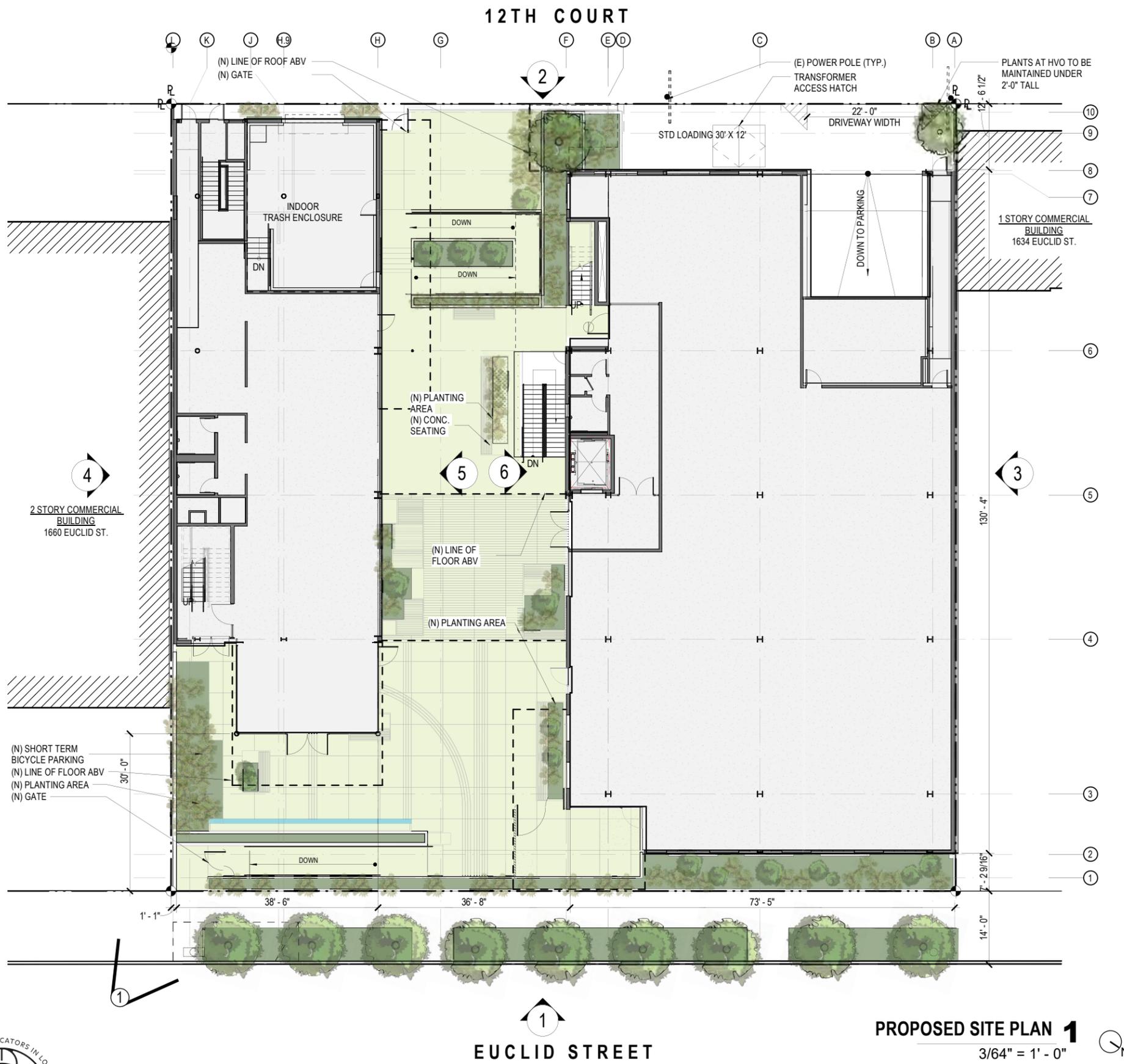
DESIGN TEAM:



EXISTING SITE PLAN

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ARCHITECTURE



PROPOSED SITE FEATURES

SENSITIVITY TO NEIGHBORHOOD SCALE

- ACKNOWLEDGEMENT OF EXISTING LOT TIE OF 3 PARCELS
- REDUCED BUILDING MASSING AND INCREASED SETBACK DISTANCES

EXTERIOR ENVIRONMENT

- BUFFER TRANSITION BETWEEN STREET AND BUILDING

RECONFIGURED SITE ACCESS

- NEW SUBTERRANEAN PARKING SEPARATES VEHICULAR TRAFFIC TO SITE FROM PEDESTRIAN ACCESS



VIEW ①

SITE / GROUND FLOOR PLAN

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DESIGN TEAM:

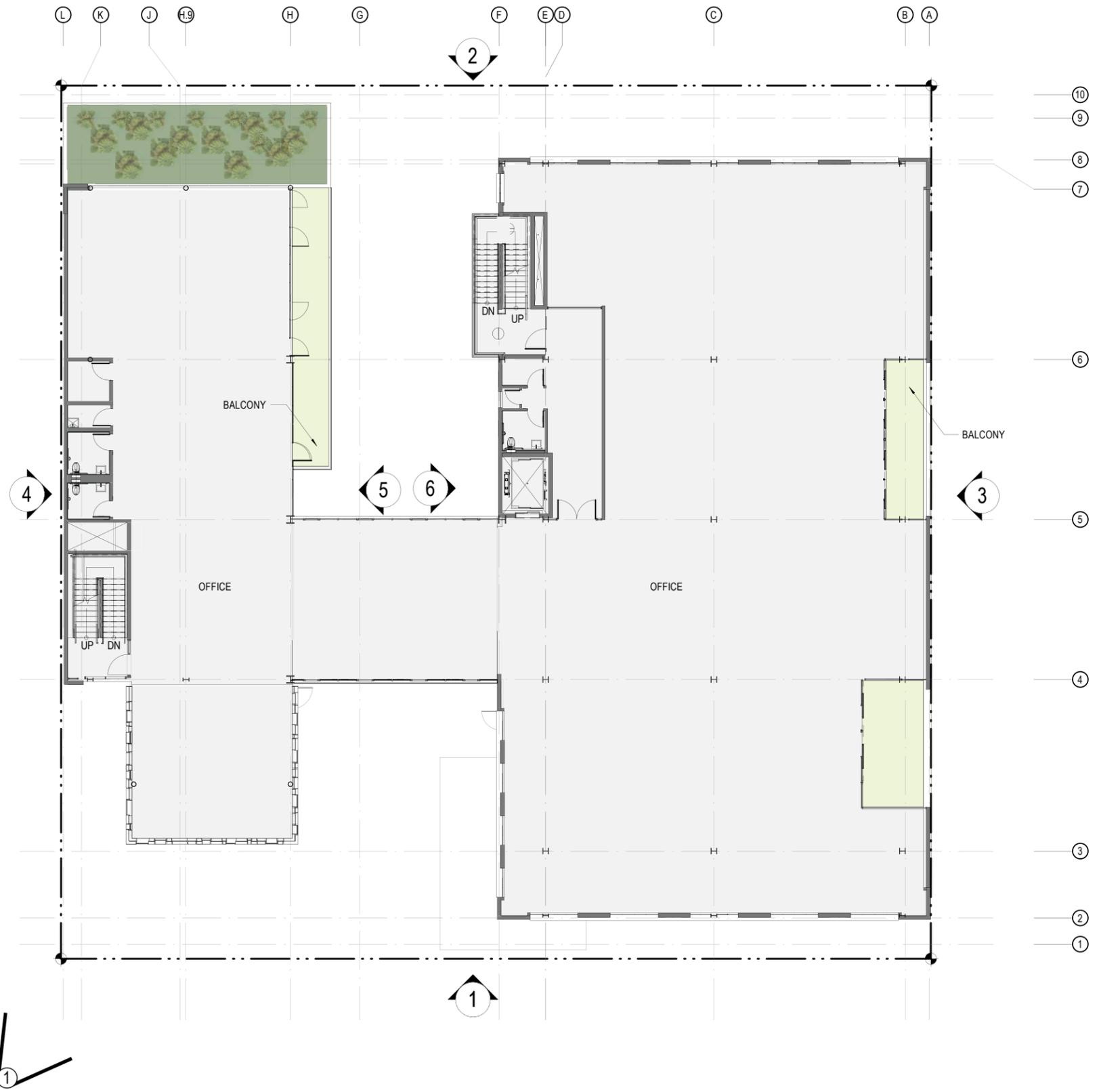


PROPOSED SITE PLAN 1

3/64" = 1' - 0"



EUCLID STREET



PROPOSED BUILDING FEATURES

EXTERIOR BALCONIES

- CONNECTION BETWEEN INTERIOR AND EXTERIOR
- DIRECT ACCESS TO LIGHT AND AIR



VIEW ①

PROPOSED SECOND FLOOR PLAN 1

3/64" = 1' - 0"



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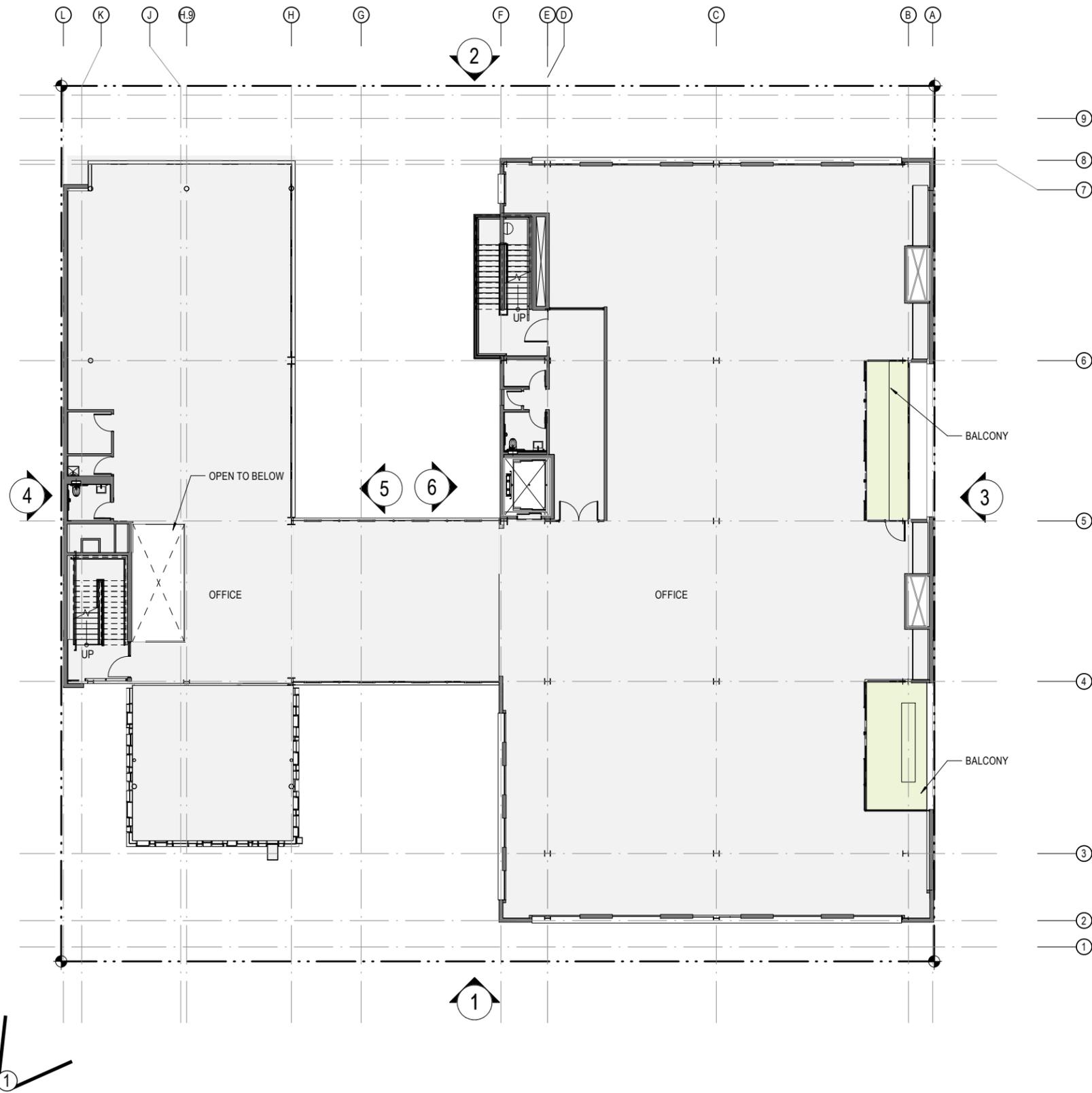
DESIGN TEAM:



BUILDING PLANS

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ARCHITECTURE



PROPOSED THIRD FLOOR PLAN 1

3/64" = 1' - 0"



PROPOSED BUILDING FEATURES

EXTERIOR BALCONIES

- CONNECTION BETWEEN INTERIOR AND EXTERIOR
- DIRECT ACCESS TO LIGHT AND AIR



VIEW ①

BUILDING PLANS

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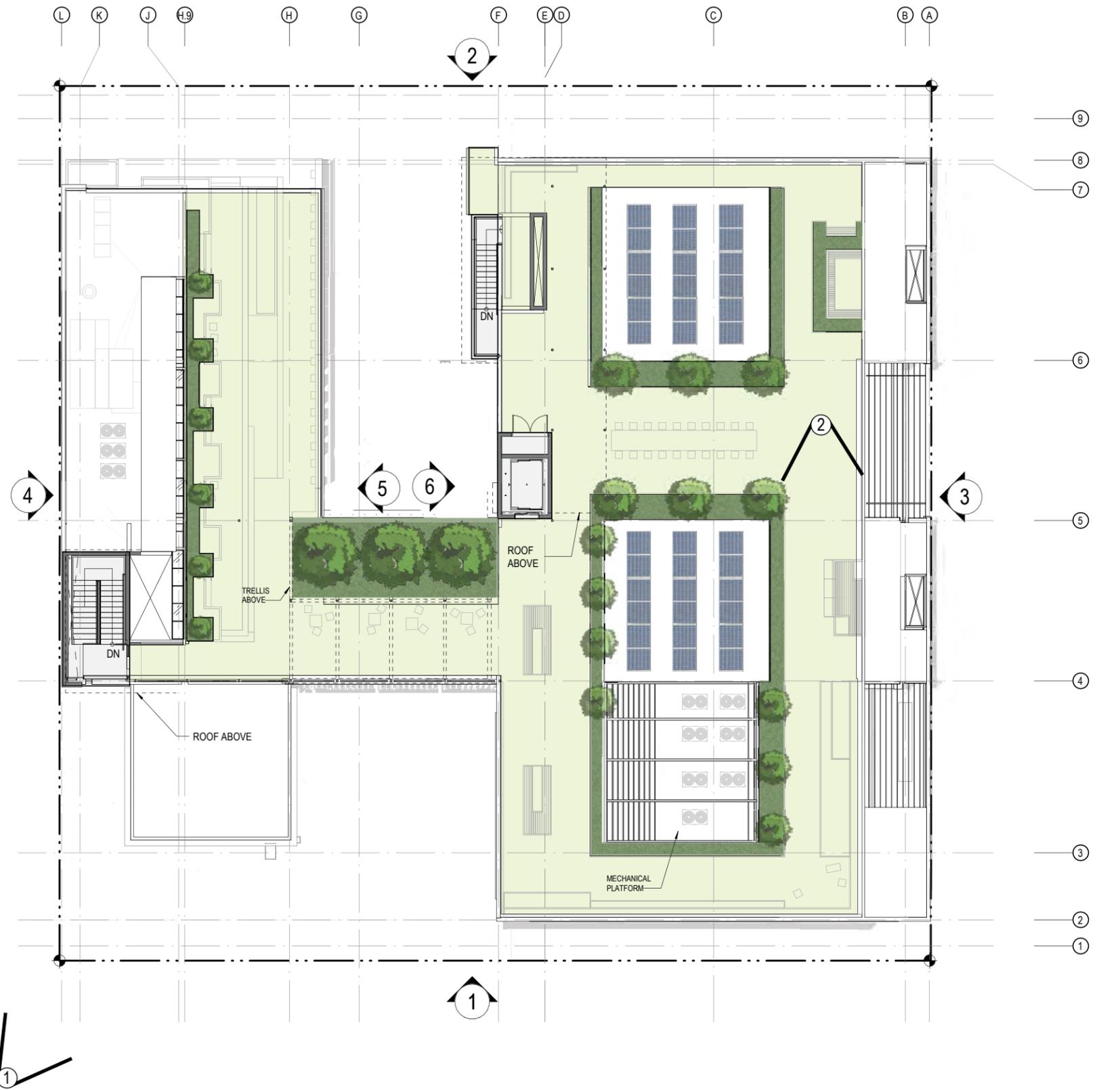
ARCHITECTURE



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DESIGN TEAM:





ROOF FEATURES

ROOF GARDEN

- LANDSCAPING AND DECK AREA TO PROVIDE USABLE OUTDOOR SPACE FOR BUILDING

CLERESTORY WINDOWS AND SKYLIGHTS

- BRING NATURAL LIGHT INTO BUILDING



VIEW ②



VIEW ①

PROPOSED ROOF DECK PLAN 1

3/64" = 1' - 0"



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CONSULTING ENGINEERS

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BUILDING PLANS

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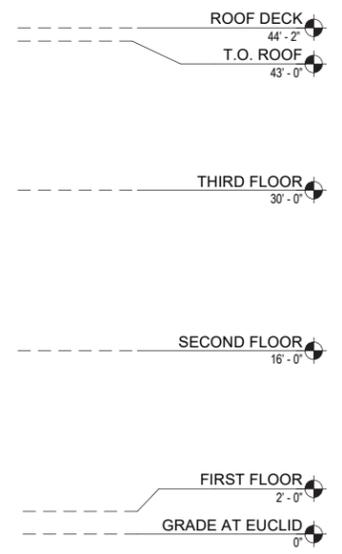
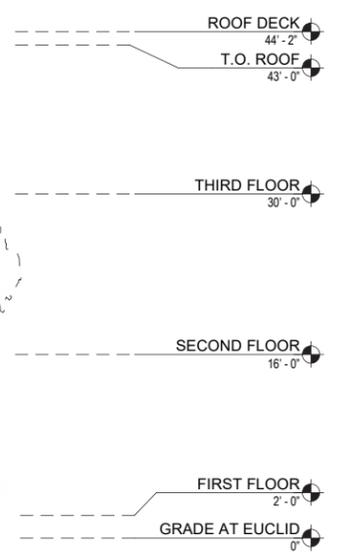
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PROPOSED EAST ELEVATION **2**
1/16" = 1' - 0"



PROPOSED WEST ELEVATION **1**
1/16" = 1' - 0"



PACHYCEREUS MARGINATUS ⑤



STEEL WINDOWS ④



SCRATCH COAT STUCCO ③



RAKED STUCCO ②



WOOD GATE ①



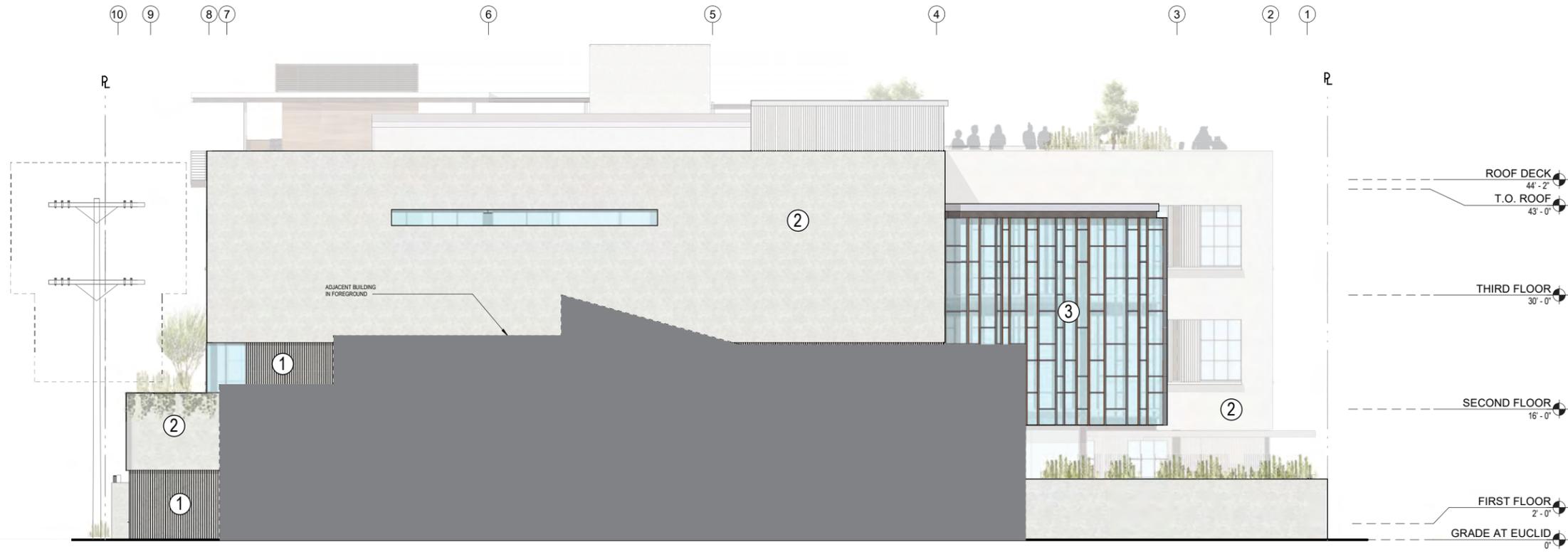
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BUILDING ELEVATIONS

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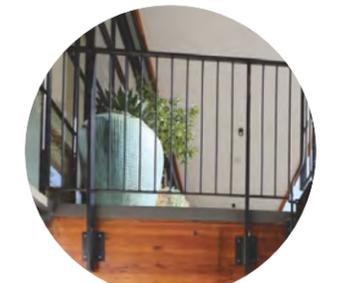
ARCHITECTURE



PROPOSED SOUTH ELEVATION **4**
1/16" = 1' - 0"



PACHYCEREUS MARGINATUS ⑤



STEEL RAILING ④



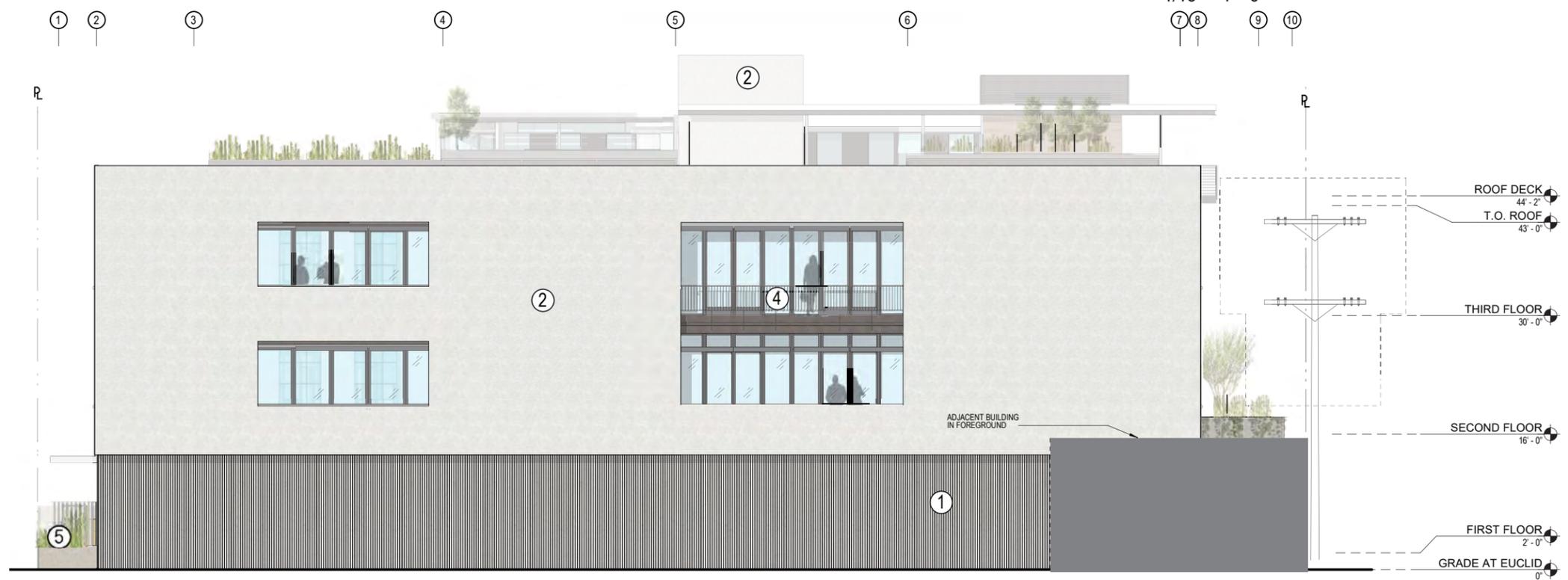
CUSTOM STEEL STOREFRONT ③



SCRATCH COAT STUCCO ②



RAKED STUCCO ①



PROPOSED NORTH ELEVATION **3**
1/16" = 1' - 0"

BUILDING ELEVATIONS

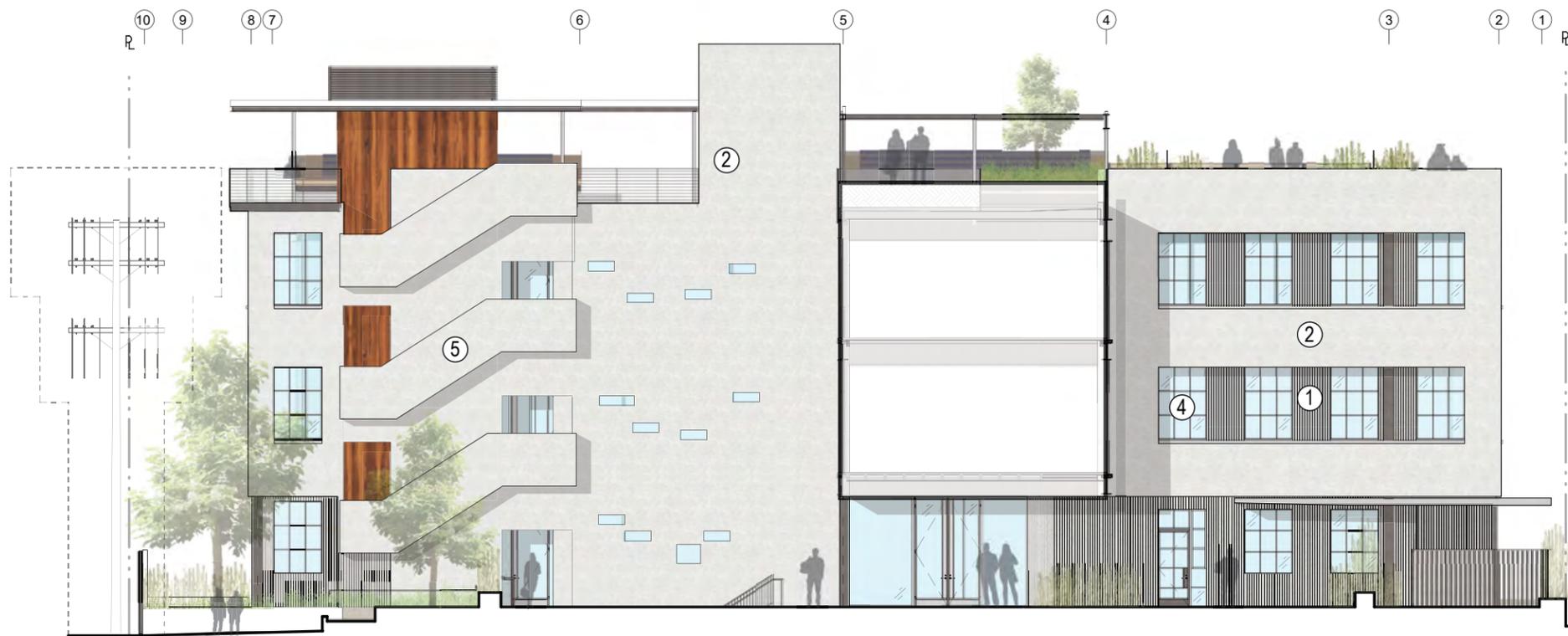
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PROPOSED SOUTH ELEVATION **4**

1/16" = 1' - 0"

- ROOF DECK 44'-2"
- T.O. ROOF 43'-0"
- THIRD FLOOR 30'-0"
- SECOND FLOOR 16'-0"
- FIRST FLOOR 2'-0"
- GRADE AT EUCLID 0"



PROPOSED COURTYARD ELEVATION **5**

1/16" = 1' - 0"

- ROOF DECK 44'-2"
- T.O. ROOF 43'-0"
- THIRD FLOOR 30'-0"
- SECOND FLOOR 16'-0"
- FIRST FLOOR 2'-0"
- GRADE AT EUCLID 0"



CUSTOM STAIRCASE ⑤



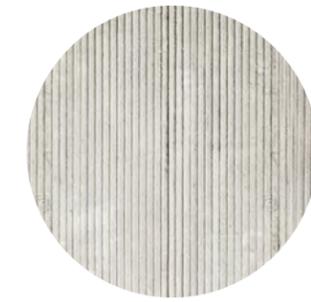
STEEL WINDOWS ④



CUSTOM STEEL STOREFRONT ③



SCRATCH COAT STUCCO ②



RAKED STUCCO ①



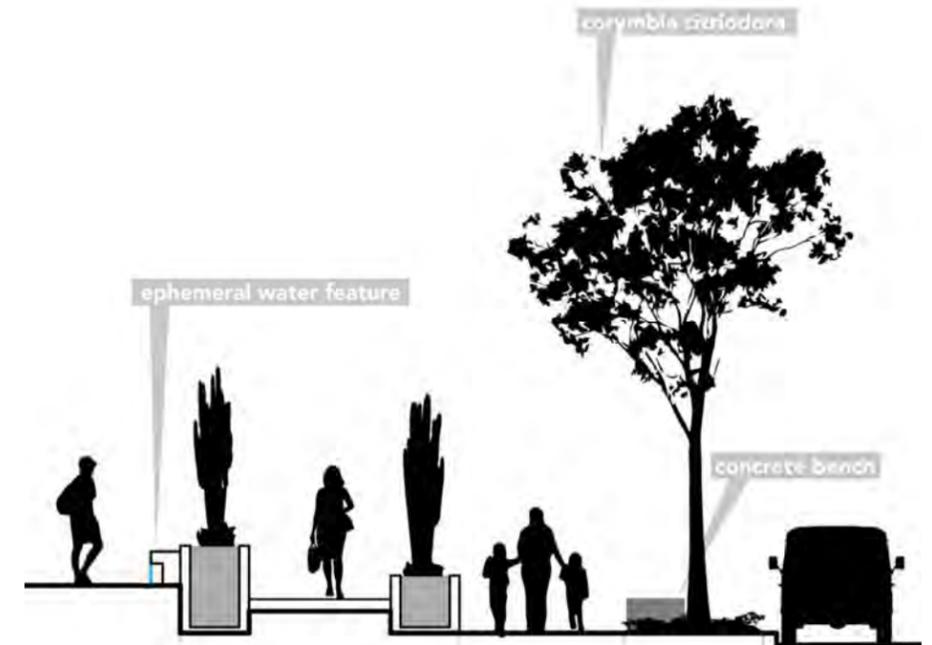
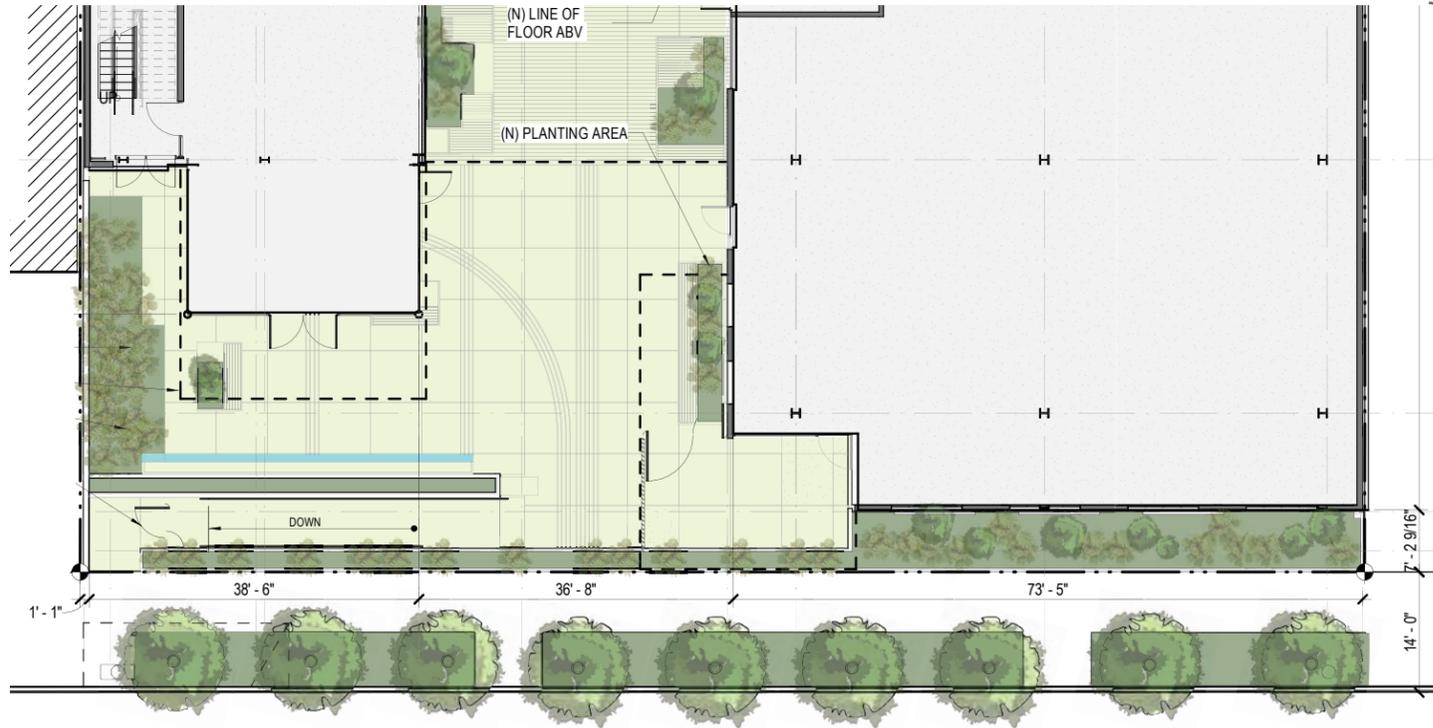
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BUILDING ELEVATIONS

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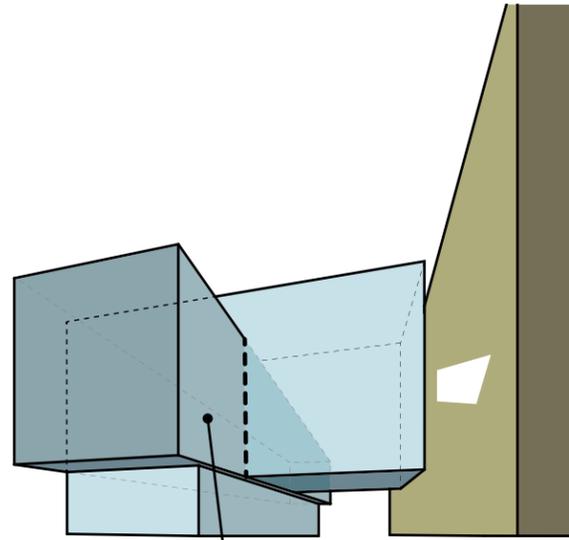
DESIGN TEAM:



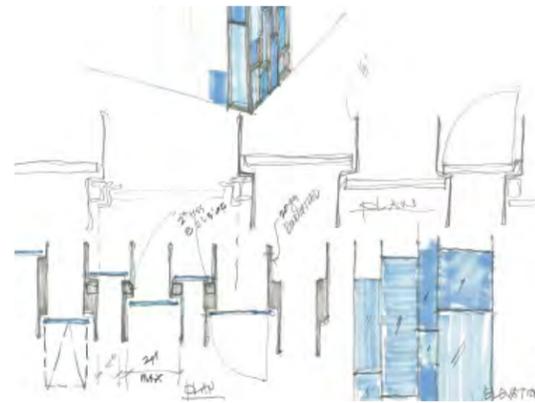
EUCLID PUBLIC GARDEN

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ARCHITECTURE



L SHAPED BUILDING WITH TREEHOUSE POP-OUT CREATES A SPECIAL MOMENT WITHIN SPACE



ORIGINAL CONCEPT SKETCH



PROPOSED EAST ELEVATION 1
1/8" = 1'-0"



OPERABLE WINDOW ④



CUSTOM STEEL STOREFRONT ③



SCRATCH STUCCO ②



STEEL WINDOWS ①



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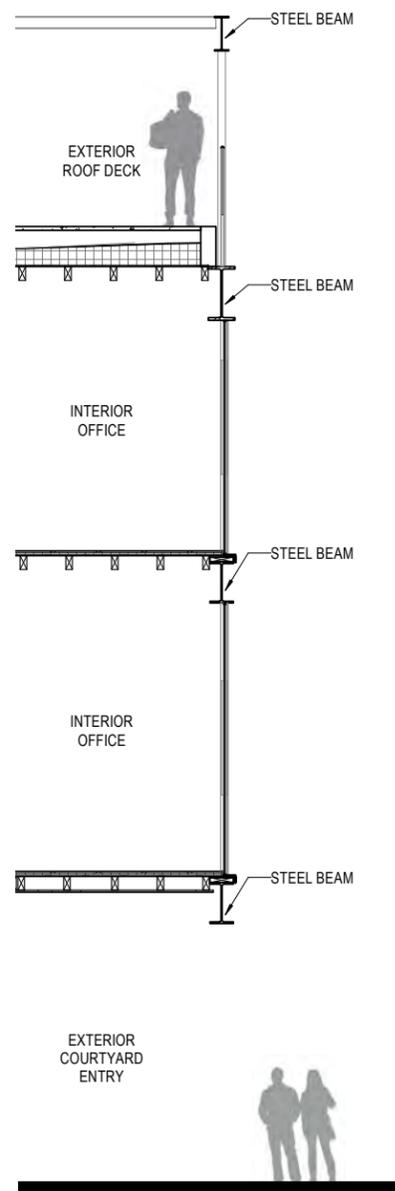
DESIGN TEAM:



FORECOURT DESIGN ELEMENTS

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SECTION 2
1/8" = 1'-0"



PROPOSED EAST ELEVATION 1
1/8" = 1'-0"



PACHYCEREUS MARGINATUS ④



RAKED STUCCO ③



SCRATCH STUCCO ②



CUSTOM STEELWOOD WINDOWS ①



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DESIGN TEAM:

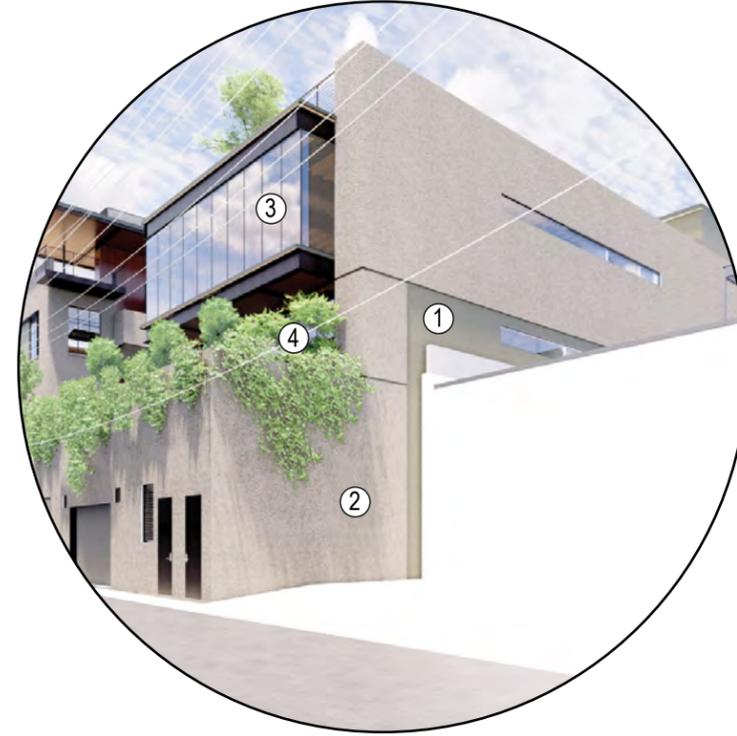


SECONDARY FRONTAGE

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ARCHITECTURE

ALLEY



WALNUT WOOD ⑤



PACHYCEREUS MARGINATUS ④



STEEL WINDOWS ③



SCRATCH STUCCO ②



RAKED STUCCO ①

EUCLID



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LOT LINE WALLS

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ARCHITECTURE





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DESIGN TEAM:



RENDERINGS

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DESIGN TEAM:



JAMES
CORNER
FIELD
OPERATIONS



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CONSULTING ENGINEERS

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RENDERINGS

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EXISTING STREET TREES



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LANDSCAPE CONTEXT

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LANDSCAPE



HARDSCAPE:
ORGANIZED MINERALS

SOFTSCAPE:
LIVING CARPET



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DESIGN TEAM:



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LANDSCAPE



MINERAL TAPESTRY



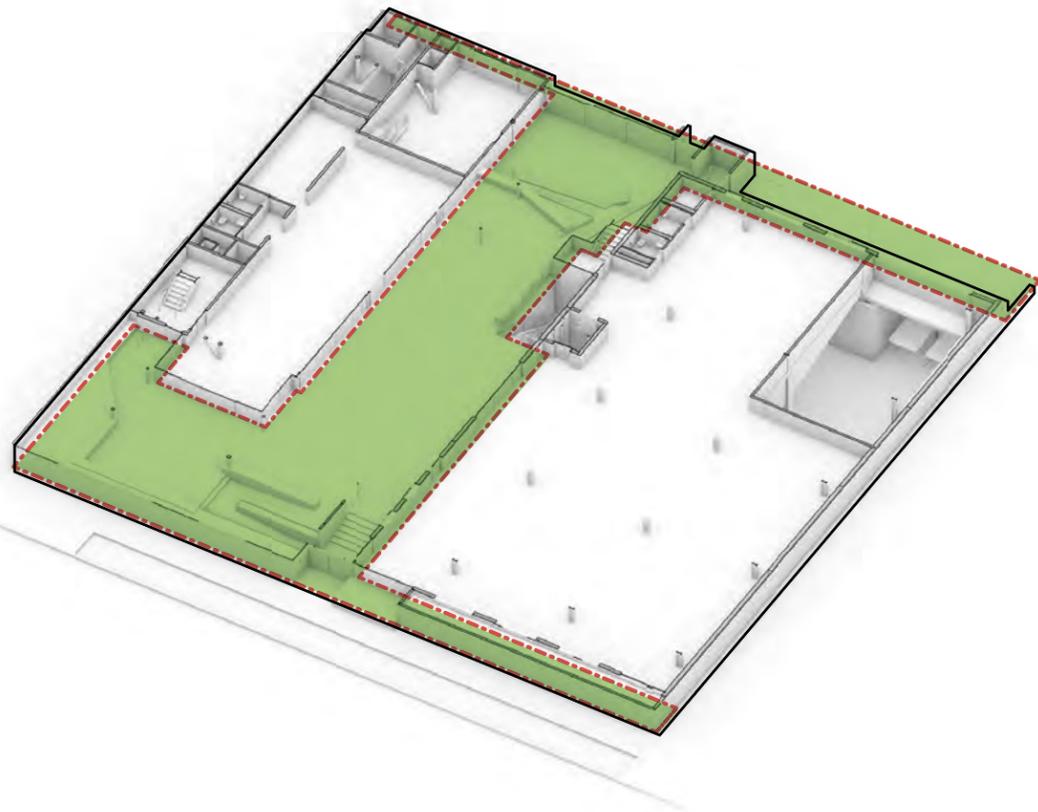
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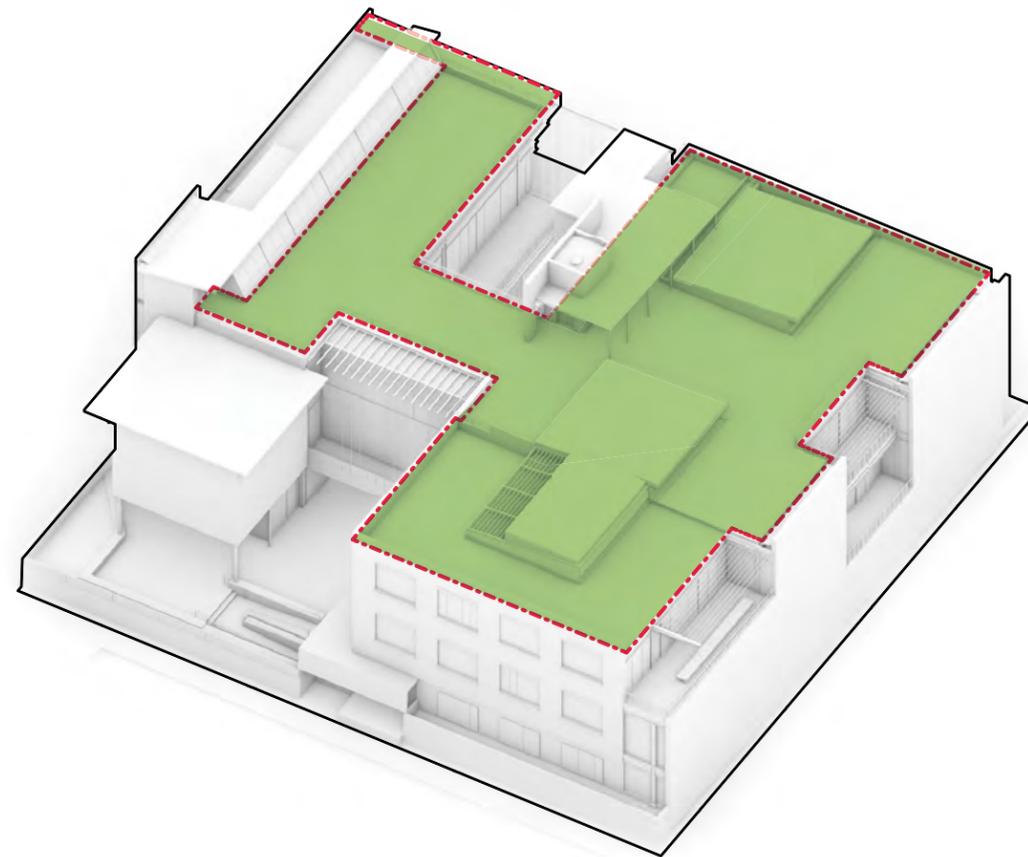


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LANDSCAPE



THE GROUND FLOOR | 8,200 SQFT



THE ROOF TERRACE | 8,900 SQFT

PRIMARY OUTDOOR SPACES



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OPERATIONS



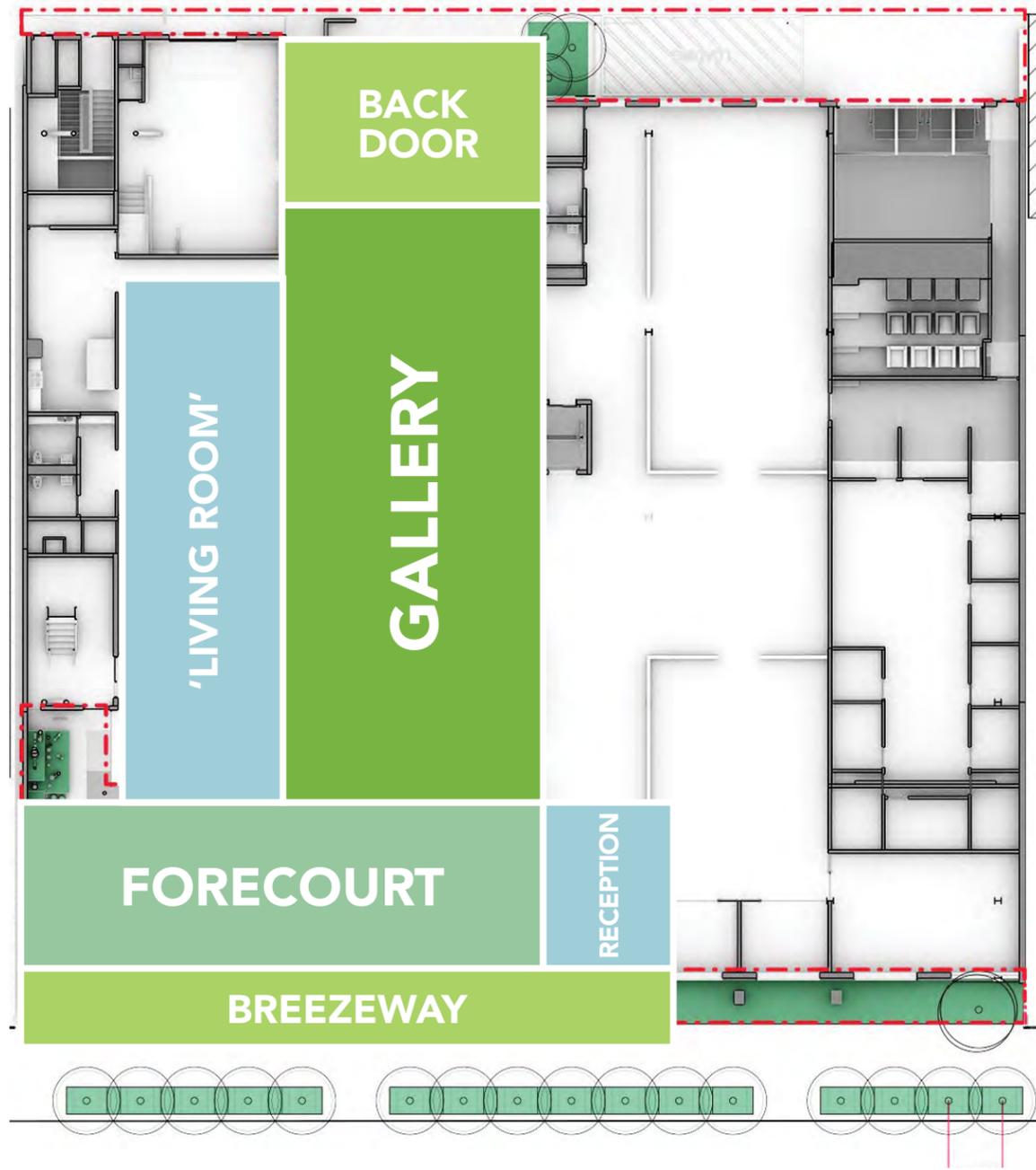
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LANDSCAPE

INTENT



PLAN



0' 20' 40' 60'



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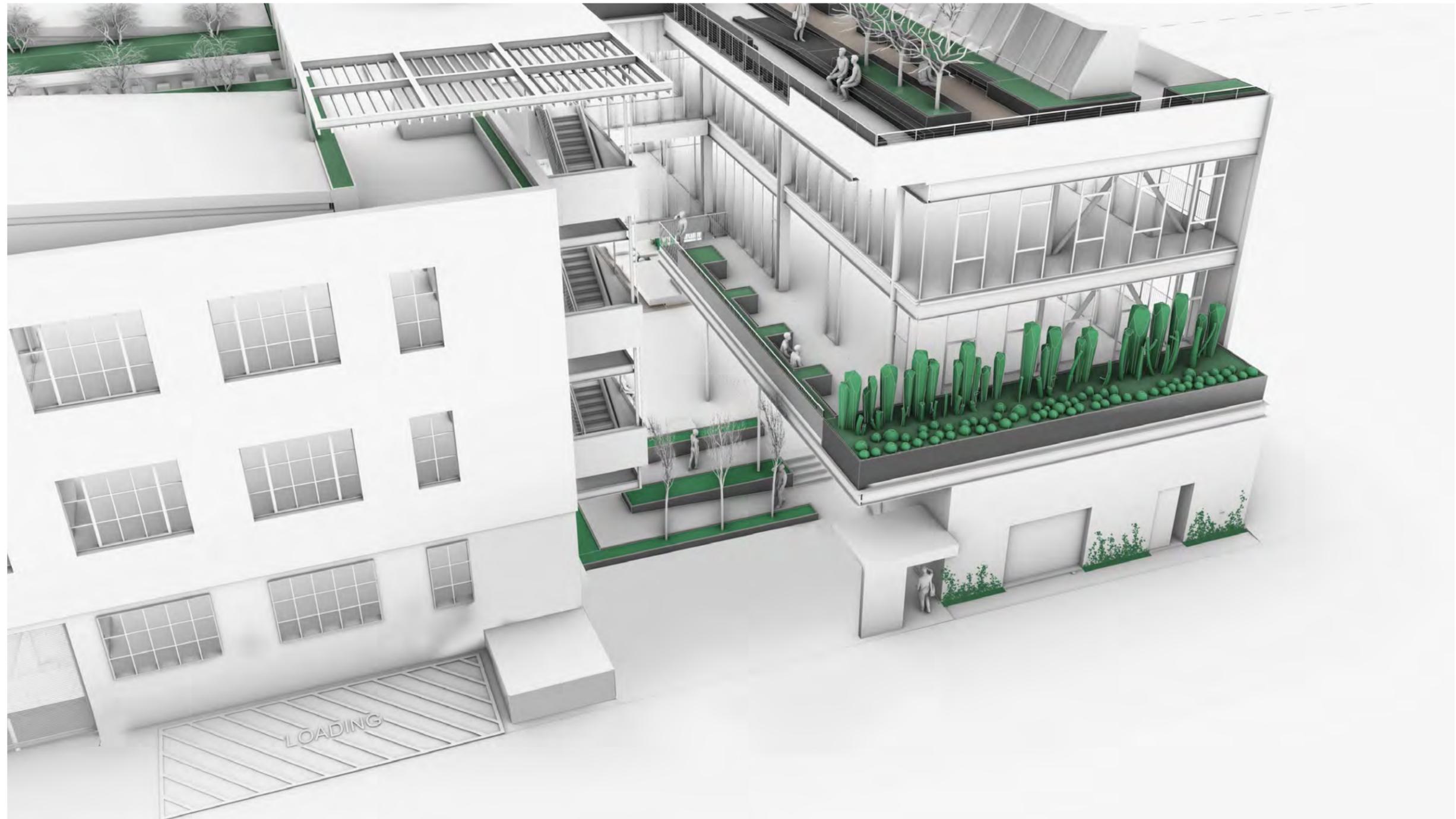
DESIGN TEAM:



GROUND FLOOR LANDSCAPE PLAN

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LANDSCAPE



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DESIGN TEAM:



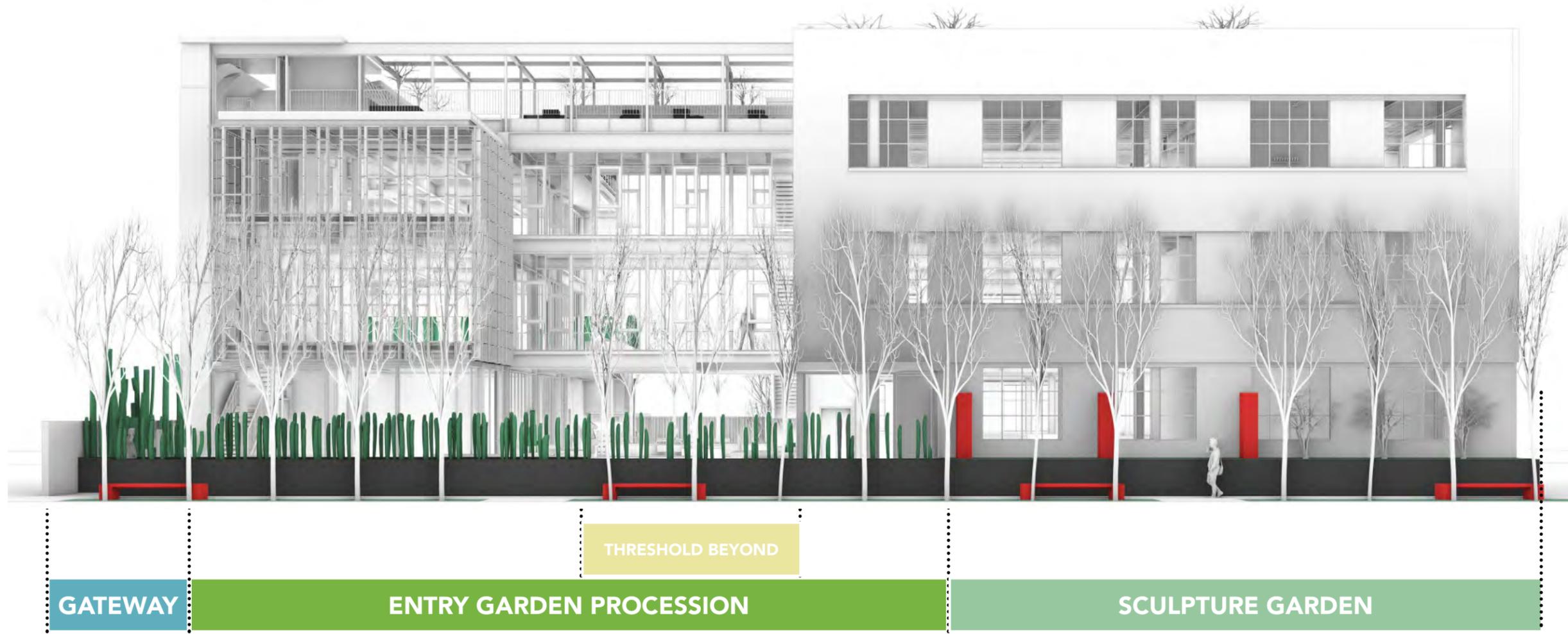
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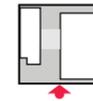
ALLEY FACADE

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LANDSCAPE



ENTRY EXPERIENCE | 5 YEAR



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EUCLID FRONTAGE

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LANDSCAPE



EUCLID STREETScape | CORYMBIA CITRIODORA



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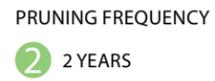
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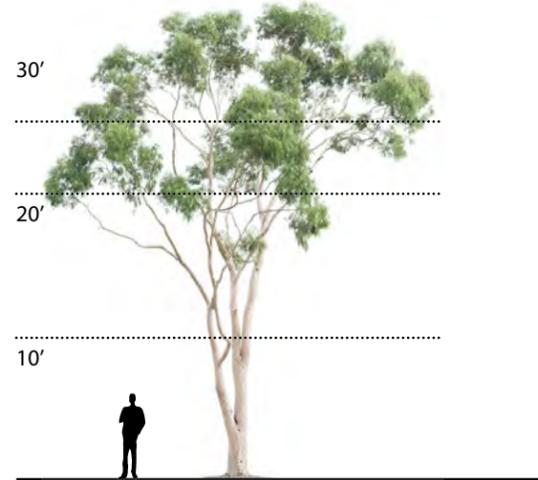
STREET TREES

Lemon-Scented Gum

Corymbia citriodora



A tall, fast growing, skyline species with smooth white bark, and a slender habit. Lemon-Scented Gum performs well when grouped in clusters, and it has shown little susceptibility to bark beetles or species of lerp psyllid.*



HABIT (5 YEARS AFTER INSTALLATION @ 84" BOX)
 *Source: Landscape Plants for California Gardens by Bob Perry

1650 JAMES
 EUCLID CORNER
 SANTA FIELD
 MONICA OPERATIONS



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STREET TREES

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LANDSCAPE



SIDEWALK UNDERSTORY



SIDEWALK UNDERSTORY | SEASONAL SPECTACLE



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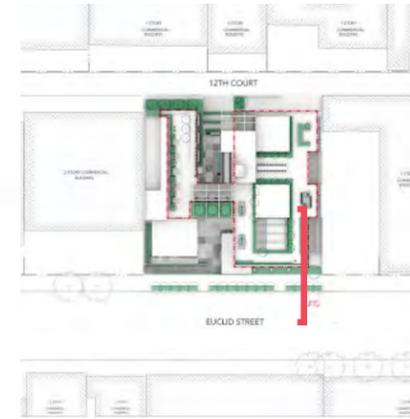
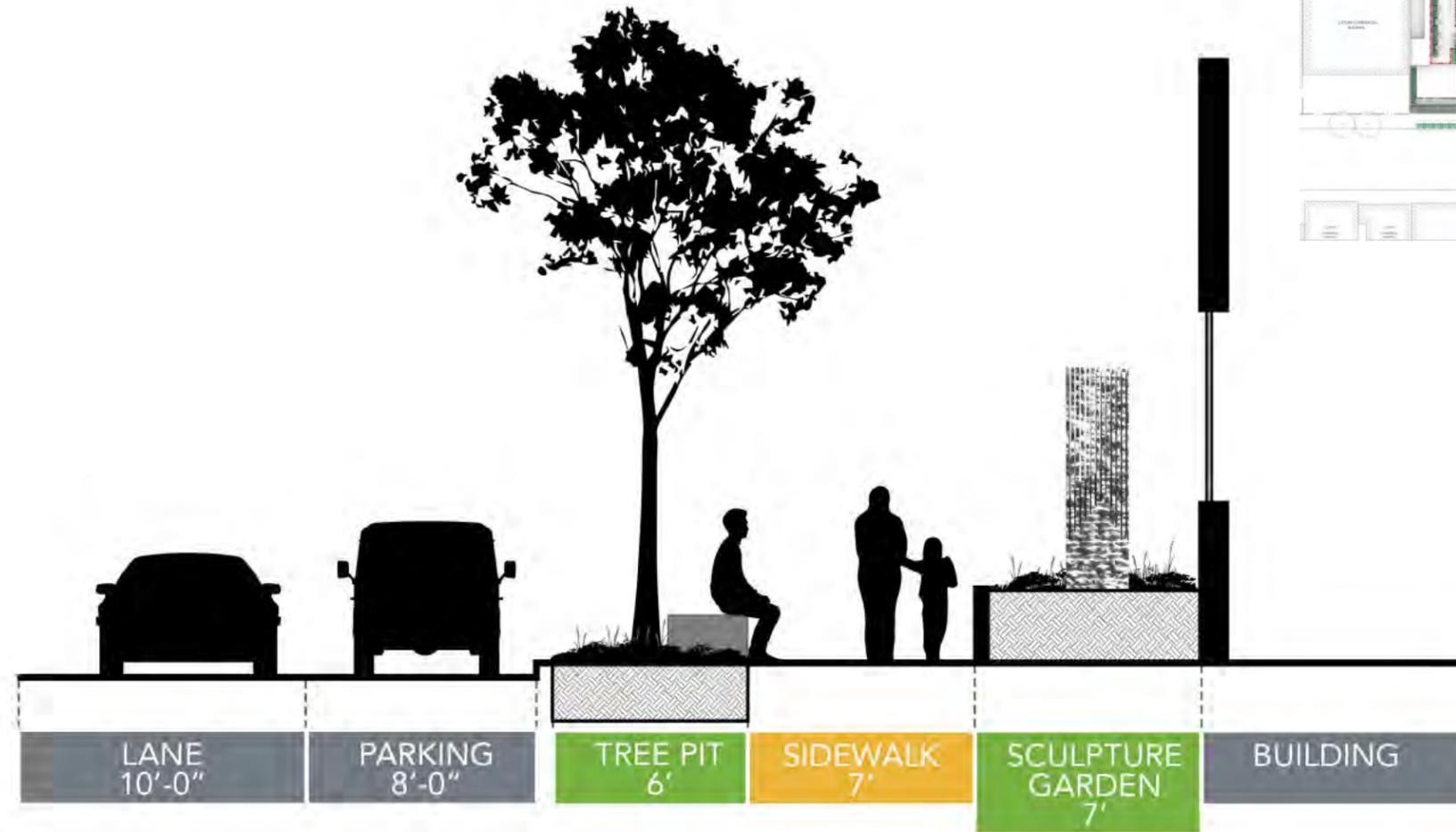
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STREET TREES

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LANDSCAPE



EUCLID STREETScape CROSS-SECTION



1650 JAMES
EUCLID CORNER
SANTA FIELD
MONICA OPERATIONS



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DESIGN TEAM:

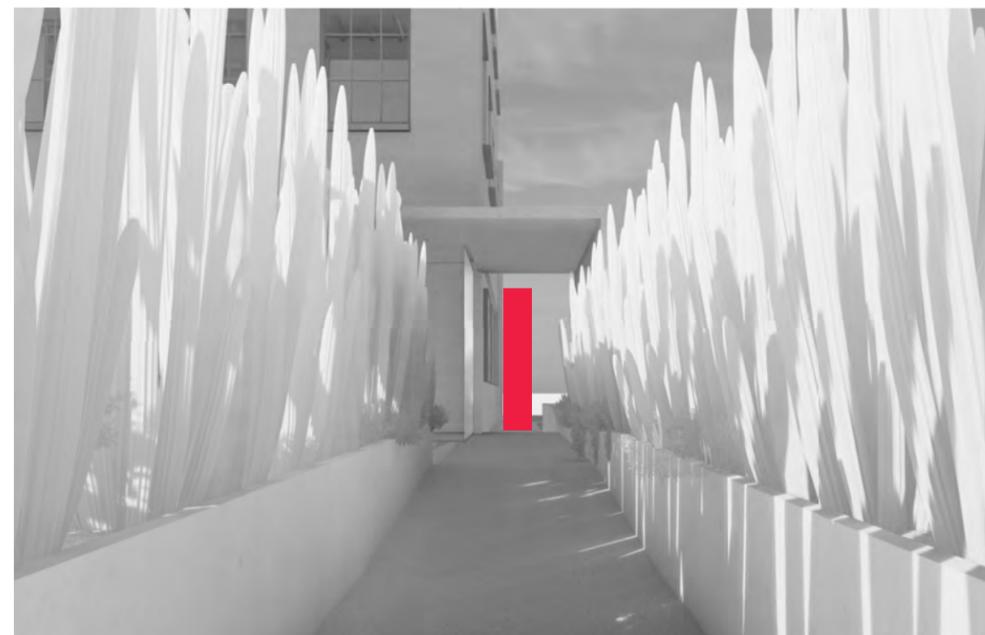


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LANDSCAPE



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GARDEN ENTRY

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FENCE POST CACTUS | VISUAL POROSITY



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LANDSCAPE



VIEW OF FORECOURT



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LANDSCAPE



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VIEW OF GALLERY



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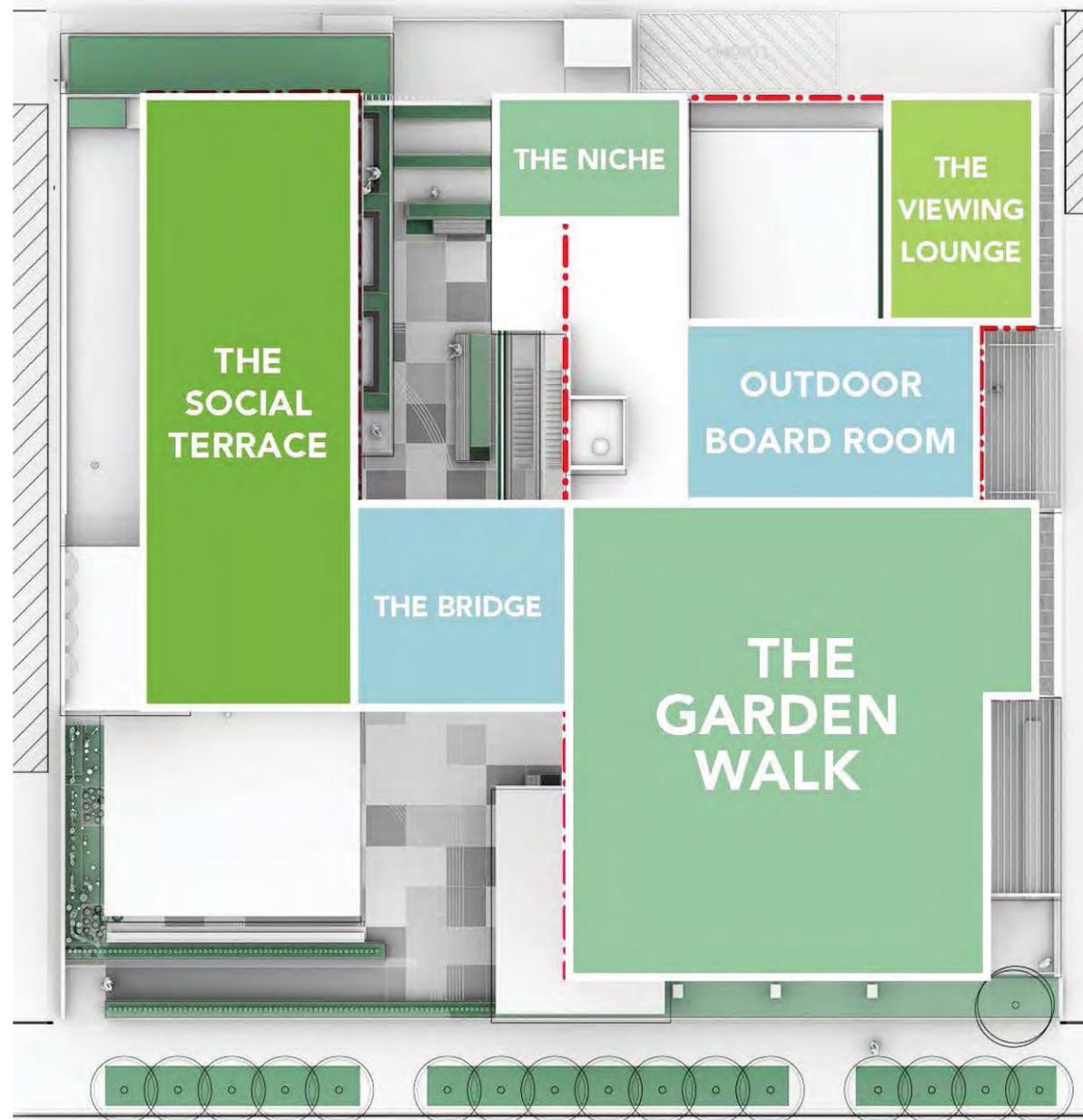
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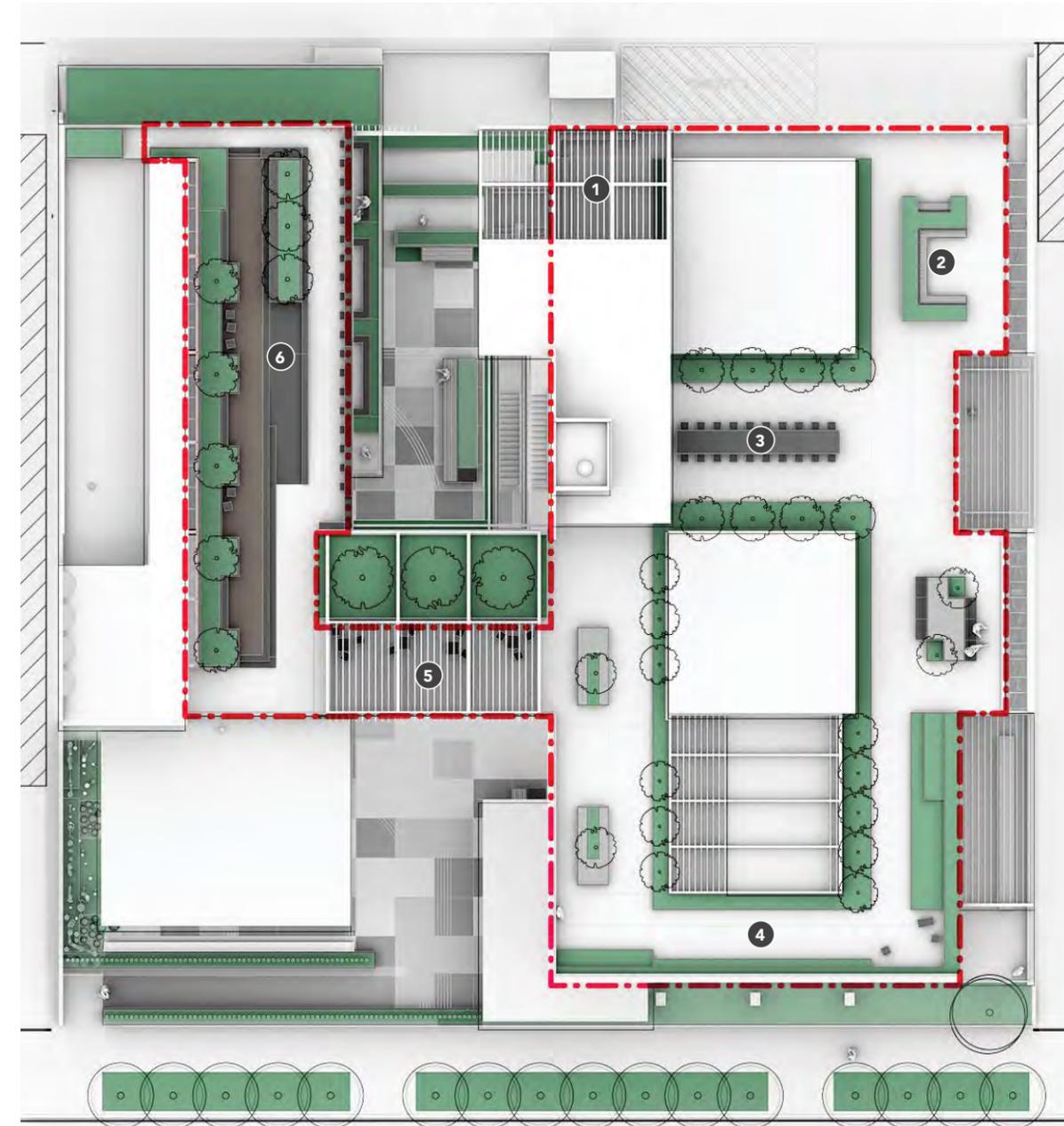
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LANDSCAPE

INTENT



PLAN



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ROOF LANDSCAPE PLAN

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LANDSCAPE



THE BOARD ROOM



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LANDSCAPE



THE OUTDOOR BOARD ROOM



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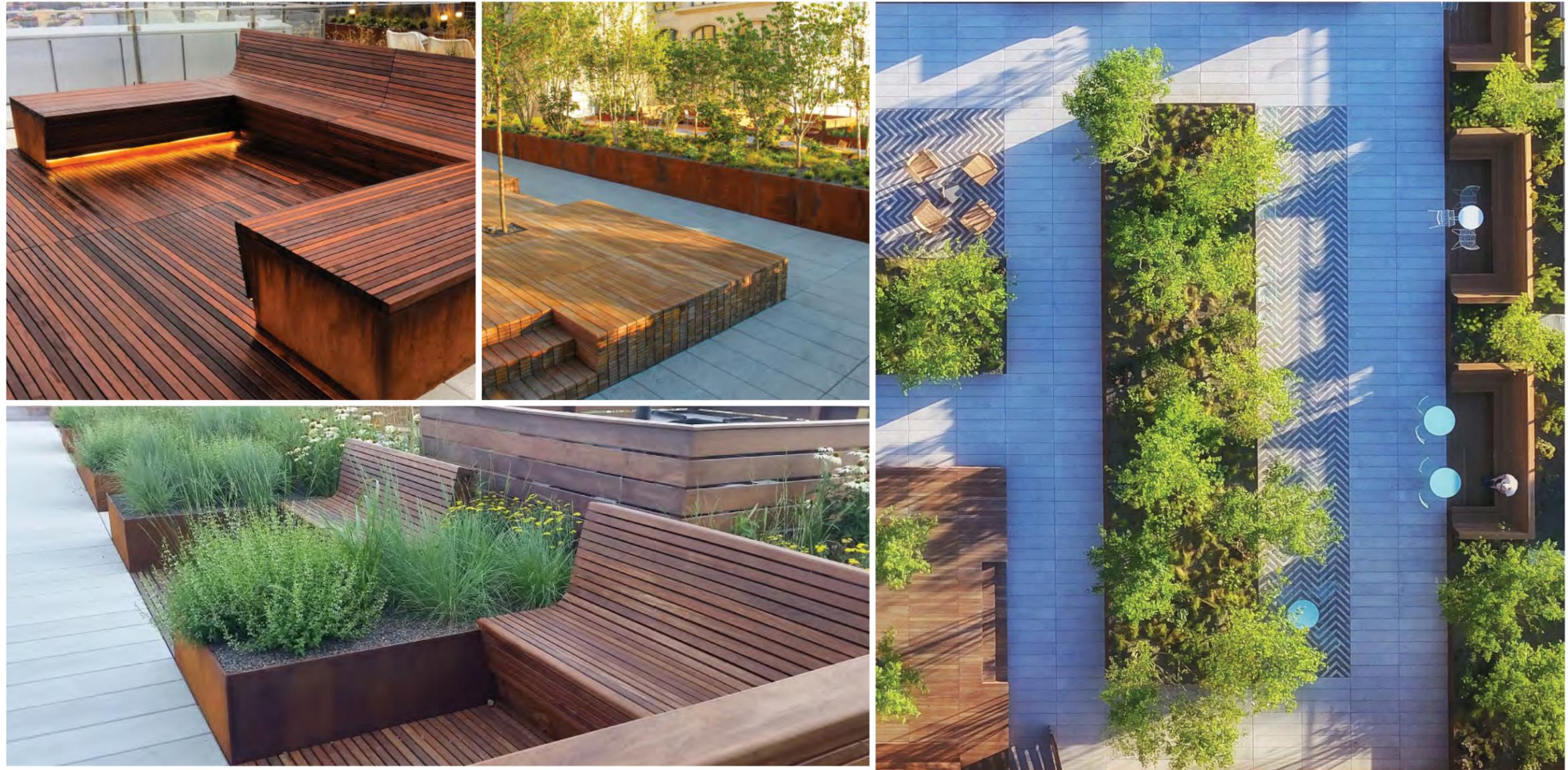


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LANDSCAPE



THE VIEWING LOUNGE / PLANTER BENCHES



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LANDSCAPE



THE GARDEN WALK



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CORNER
FIELD
OPERATIONS

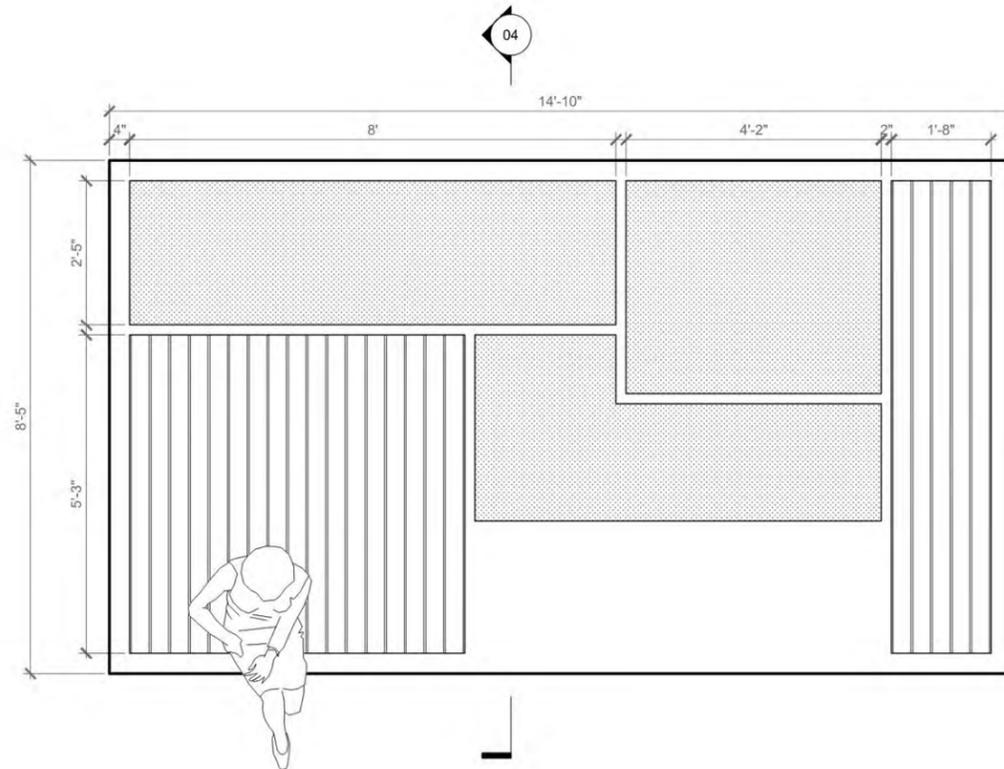


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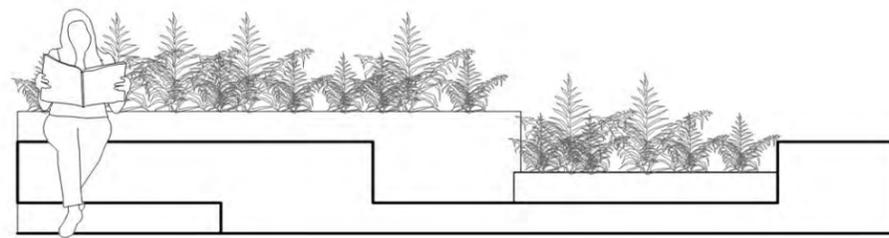
LANDSCAPE



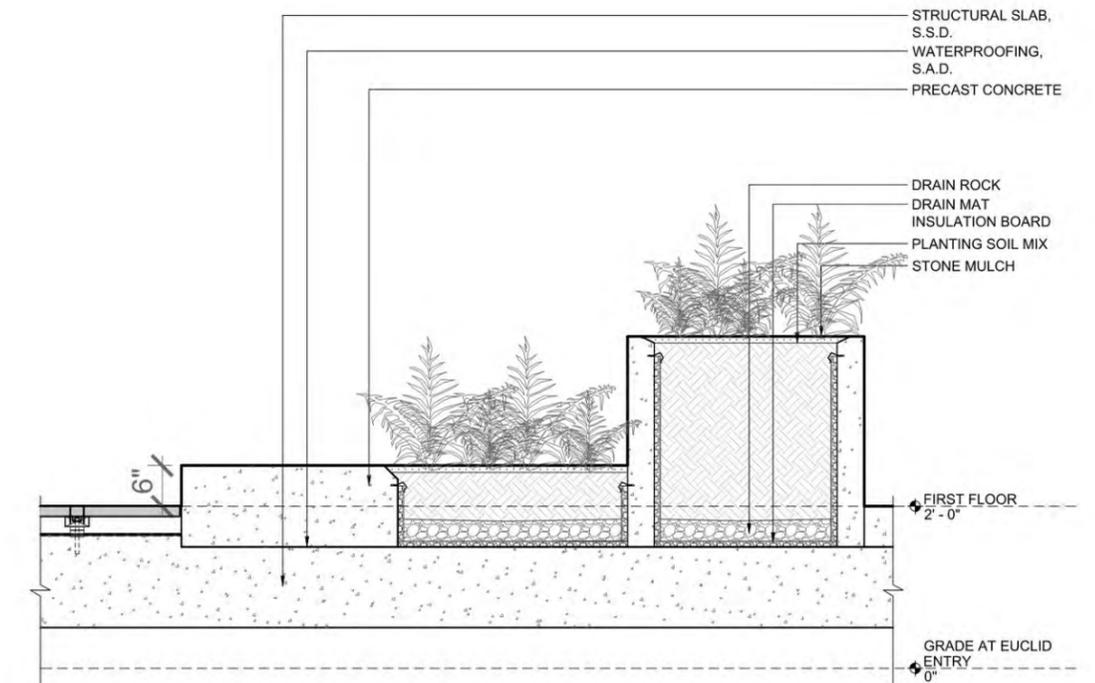
01 PLANTER BENCH F-02
PLAN SCALE: 3/4" = 1'-0"



02 PLANTER BENCH F-02
AXON SCALE: NTS



03 PLANTER BENCH F-02
ELEVATION SCALE: 3/4" = 1'-0"



04 PLANTER BENCH F-02
CROSS SECTION SCALE: 1" = 1'-0"



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DESIGN TEAM:



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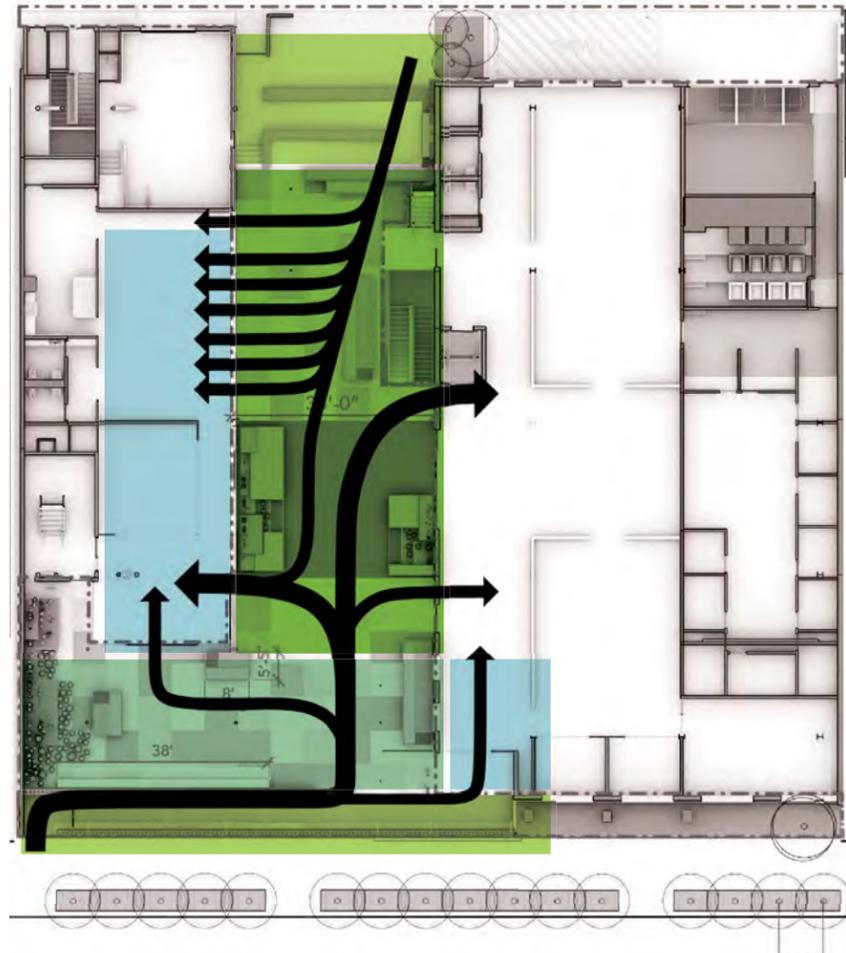


THANK YOU

ARB FLOAT UP SUBMISSION PACKAGE PERPARED BY: RAC DESIGN BUILD
PROPERTY OWNER: 1650 EUCLID OWNER LLC, IN AFFILIATE WITH REDCAR PROPERTIES
2341 MICHIGAN AVE. SANTA MONICA, CA 90404



CIRCULATION



1650 EUCLID

DESIGN TEAM:



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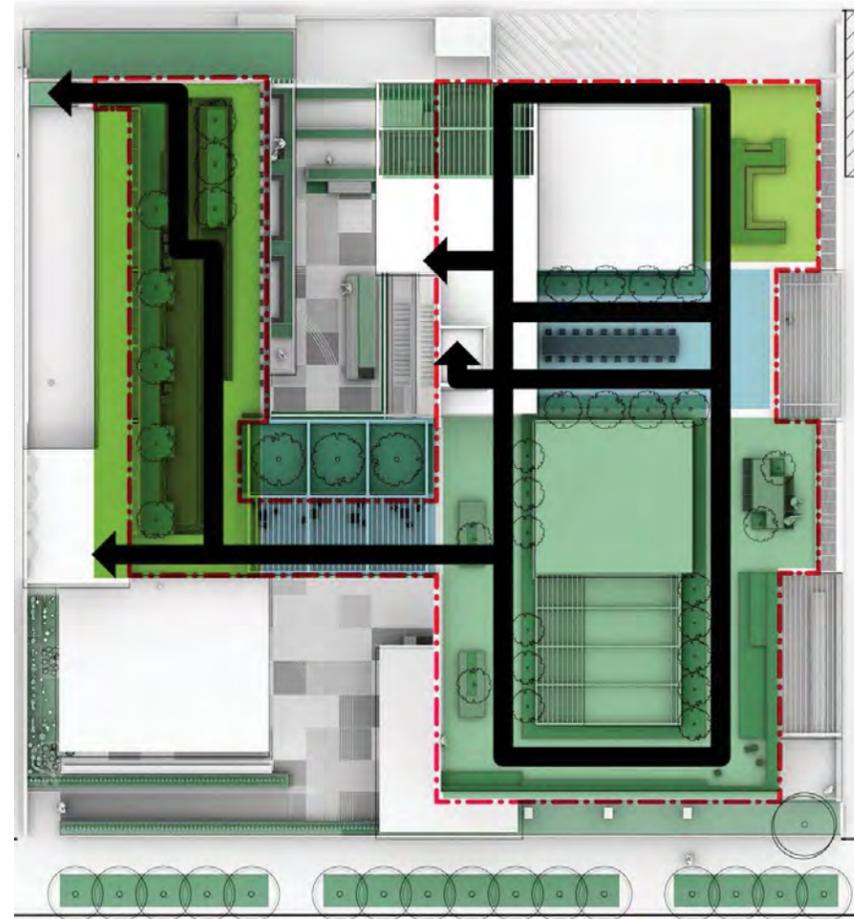
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GROUND FLOOR LANDSCAPE PLAN

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LANDSCAPE

CIRCULATION



1650 EUCLID

DESIGN TEAM:



JAMES
CORNER
FIELD
OPERATIONS



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CONSULTING ENGINEERS

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ROOF LANDSCAPE PLAN

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LANDSCAPE