

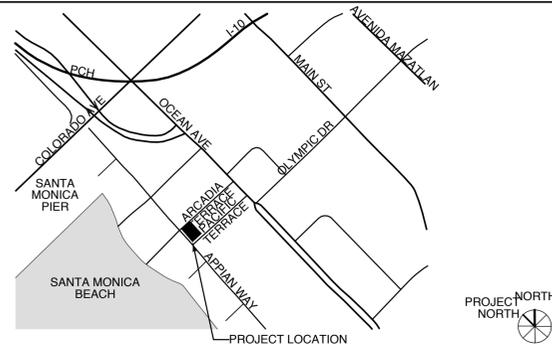


1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS

Ralph Mechur Architects
 3400 Airport Ave., Suite #5
 Santa Monica, CA 90405
 310.398.2940
 310.398.2950
 www.rmechurarchitects.com

VICINITY MAP



3D VIEW



SHEET INDEX

ARCHITECTURAL DRAWINGS

- A0.0 COVER
- A0.1 PROJECT INFORMATION
- A0.2 PROJECT INFORMATION
- A0.3 CONTEXT PLAN
- A0.4 SITE PHOTOS
- A0.5 CONTEXT ELEVATIONS
- A0.6 CONTEXT ELEVATIONS
- A0.7 CONTEXT ELEVATIONS
- A0.8 AERIAL AXONOMETRIC CONTEXT
- A0.9 CONTEXT PLAN

SURVEY

- A1.0 SITE PLAN
- A2.0 PROPOSED GARAGE PLAN
- A2.1 PROPOSED FIRST FLOOR PLAN
- A2.2 PROPOSED SECOND FLOOR PLAN
- A2.3 PROPOSED THIRD FLOOR PLAN
- A2.4 PROPOSED MEZZANINE PLAN
- A2.5 PROPOSED ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A3.3 EXTERIOR ELEVATIONS
- A4.0 BUILDING SECTIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS

ARCHITECTURAL SYMBOLS

	DETAIL		SECURITY OPENING
	BUILDING SECTION		ACCESSIBLE PATH OF TRAVEL
	WALL SECTION		PAY PHONE
	INTERIOR ELEVATION		FENCE
	EXTERIOR ELEVATION		DRINKING FOUNTAIN
	ELEVATION MARK		EXIT SIGN
	NOTE		ALIGN FINISHES
	WINDOW MARK		FLOOR MATERIAL CHANGE REFER TO FINISH SCHEDULE
	DOOR MARK		SMOKE DETECTOR
	WALL TYPE		FIRE EXTINGUISHER
	WORK POINT		

ABBREVIATIONS

PROJECT TEAM

SCOPE

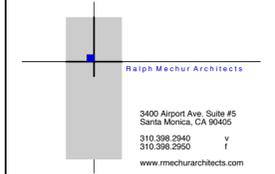
ABV ABOVE	AFF ABOVE FINISHED FLOOR	ACT ACOUSTICAL TILE	ADD ADDENDUM	ADH ADHESIVE	ADJ ADJACENT	A/C AIR CONDITIONING	ALT ALTERNATE	ALUM ALUMINUM	AB ANCHOR BOLT	ANOD ANODIZED	ARCH ARCHITECT (URAL)	AD AREA DRAIN	ASPH ASPHALT	BSMT BASEMENT	BEL BELOW	BET BETWEEN	BLK BLOCK	BLKG BLOCKING	BD BOARD	BS BOTH SIDES	BW BOTH WAYS	BOT BOTTOM	BLDG BUILDING	CPT CARPET (ED)	CSMT CASEMENT	CLG CEILING	CEM CEMENT	CM CENTIMETER	CT CERAMIC TILE	CIR CIRCLE	CIRC CIRCUMFERENCE	CLR CLEAR (ANCE)	COL COLUMN	CONC CONCRETE	CMU CONCRETE MASONRY UNIT	CONT CONTINUOUS OR CONTINUE	CONTR CONTRACT (OR)	CJT CONTROL JOINT	CORR CORRUGATED	CTR CENTER	C CENTERLINE	CRS COURSE (S)	DTL DETAIL	DIAG DIAGONAL	DIAM DIAMETER	DIM DIMENSION	DR DOOR	DS DOWNSPOUT	D DRAIN	DWG DRAWING	DF DRINKING FOUNTAIN	E ELEC ELECTRIC (AL)	EL ELEVATION	ELEV ELEVATOR	EMER EMERGENCY	EQ EQUAL	(E) EXISTING	EXP EXPOSED	EXT EXTERIOR	FOF FACE OF FINISH	FOS FACE OF STUD	FIN FINISH (ED)	FFE FINISHED FLOOR ELEVATION	FE FIRE EXTINGUISHER	FLR FLOOR (ING)	FD FLOOR DRAIN	GA GAGE, GAUGE	GV GALVANIZED	GL GLASS, GLAZING	GLB GLASS BLOCK	GO GRAB BAR	GD GRADE, GRADING	GYP BD GYPSUM BOARD	HDW HARDWARE	HWD HARDWOOD	HVAC HEATING / VENTILATION / AIR-CONDITIONING	HD HEAVY-DUTY	HT HEIGHT	HOR HORIZONTAL	HB HOSE BIBB	INS INSULATE (D) (ING)	INT INTERIOR	LAM LAMINATE (D)	LAV LAVATORY	L LENGTH	MFR MANUFACTURER	MAS MASONRY	MO MASONRY OPENING	MAX MAXIMUM	MECH MECHANIC (AL)	MIN MINIMUM	MISC MISCELLANEOUS	NAT NATURAL	NOM NOMINAL	N NORTH	NIC NOT IN CONTRACT	NTS NOT TO SCALE	OC ON CENTER (S)	OPG OPENING	OPP OPPOSITE	OD OUTSIDE DIAMETER	OA OVERALL	PLAM PLASTIC LAMINATE	P PROPERTY LINE	PWD PLYWOOD	PT POINT	PTD PAINTED	PVC POLY VINYL CHLORIDE	PL PROPERTY LINE	QT QUARRY TILE	RAD RADIUS	REF REFERENCE	R RISER	RD ROOF DRAIN	RM ROOM	RO ROUGH OPENING	SHT SHEET	SIM SIMILAR	S SOUTH	SPEC SPECIFICATION (S)	SQ SQUARE	SS STAINLESS STEEL	STD STANDARD	STL STEEL	STR STRUCTURAL	SYM SYMMETRY (ICAL)	TEL TELEPHONE	TV TELEVISION	THK THICK (NESS)	TOL TOLERANCE	T&G TONGUE & GROOVE	TSL TOP OF SLAB	TW TOP OF WALL	T TREAD	TYP TYPICAL	VERT VERTICAL	VCT VINYL COMPOSITION TILE	WC WATER CLOSET	WWF WATER PROOFING	W WELDED WIRE FABRIC	W WEST	W WIDTH	WIN WINDOW	WO WITHOUT	WD WOOD
-----------	--------------------------	---------------------	--------------	--------------	--------------	----------------------	---------------	---------------	----------------	---------------	-----------------------	---------------	--------------	---------------	-----------	-------------	-----------	---------------	----------	---------------	--------------	------------	---------------	-----------------	---------------	-------------	------------	---------------	-----------------	------------	--------------------	------------------	------------	---------------	---------------------------	-----------------------------	---------------------	-------------------	-----------------	------------	--------------	----------------	------------	---------------	---------------	---------------	---------	--------------	---------	-------------	----------------------	----------------------	--------------	---------------	----------------	----------	--------------	-------------	--------------	--------------------	------------------	-----------------	------------------------------	----------------------	-----------------	----------------	----------------	---------------	-------------------	-----------------	-------------	-------------------	---------------------	--------------	--------------	---	---------------	-----------	----------------	--------------	------------------------	--------------	------------------	--------------	----------	------------------	-------------	--------------------	-------------	--------------------	-------------	--------------------	-------------	-------------	---------	---------------------	------------------	------------------	-------------	--------------	---------------------	------------	-----------------------	-----------------	-------------	----------	-------------	-------------------------	------------------	----------------	------------	---------------	---------	---------------	---------	------------------	-----------	-------------	---------	------------------------	-----------	--------------------	--------------	-----------	----------------	---------------------	---------------	---------------	------------------	---------------	---------------------	-----------------	----------------	---------	-------------	---------------	----------------------------	-----------------	--------------------	----------------------	--------	---------	------------	------------	---------

CLIENT:	SHYLE, LP 1551 15TH STREET SANTA MONICA, CA 90404 CONTACT: MICHAEL RAHIMI 563.458.2002 T
ARCHITECT:	RALPH MECHUR ARCHITECTS 3400 AIRPORT AVENUE, SUITE #5 SANTA MONICA, CA 90405 CONTACT: RALPH MECHUR/ DONNA D'AGOSTINI 310.398.2940 T 310.398.2950 F
SURVEYOR:	JACK LITTLE COMPANY INC. 17620 SHERMAN WAY SUITE 218 VAN NUYS, CA 91406 818.342.3277 T 818.344.5787 F
LANDSCAPE ARCHITECT:	GAUDET DESIGN GROUP 2109 STONER AVE. LOS ANGELES, CA 90025 310.828.4908 T
STRUCTURAL ENGINEER:	THORNTON TOMASETTI, INC. 707 WILSHIRE BOULEVARD, SUITE 450 LOS ANGELES, CA 90017

2 UNIT CONDOMINIUM PROJECT WITH FULL SUBTERRANEAN PARKING AND ROOFTOP DECK

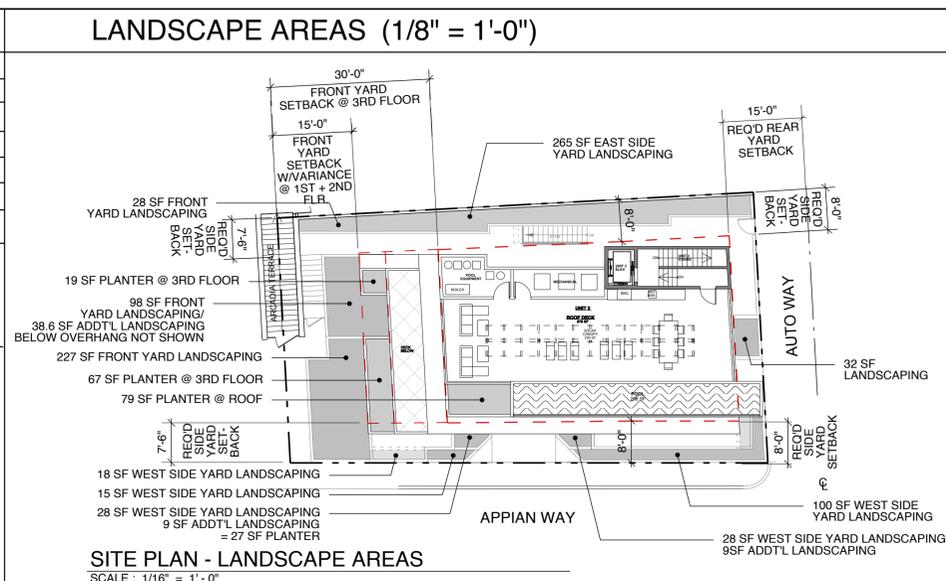
1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS

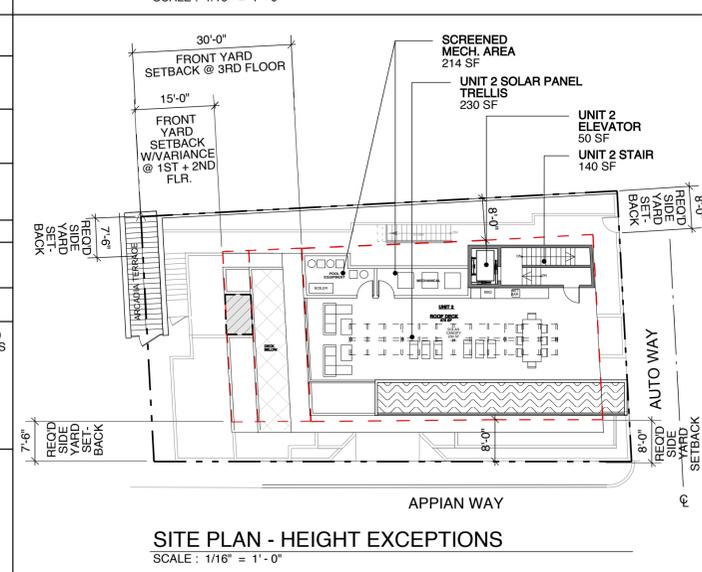
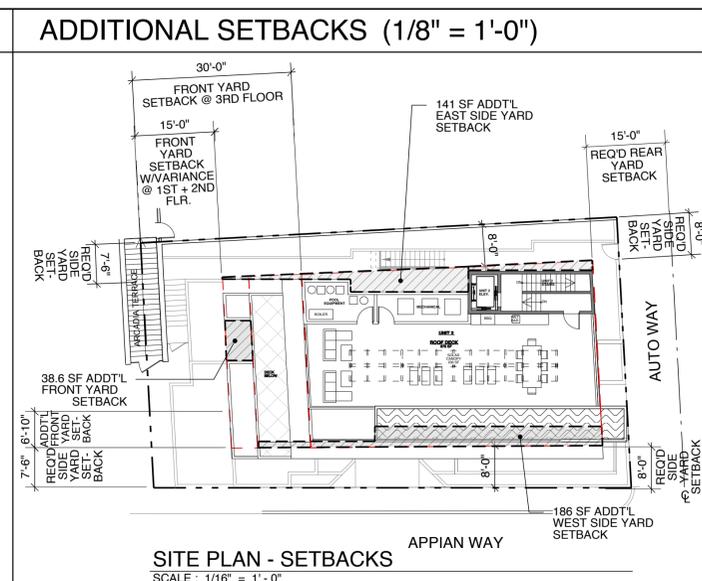


3400 Airport Ave. Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
rmechurarchitects.com

CATEGORY	MUNICIPAL CODE	PROPOSED PROJECT
PERMITTED USE	MULTI-UNIT STRUCTURE (SMMC 9.04.08.06.020)	2-UNIT CONDOMINIUM
ZONE		R3
DEV. REVIEW PERMIT THRESHOLD	TIER 2	DEVELOPMENT REVIEW PERMIT REQUIRED
UNIT DENSITY	1,250 SF OR 5 UNITS, WHICHEVER LESS	2 UNITS
MINIMUM PARCEL SIZE	5,000 SF	4,414 SF EXISTING
NUMBER OF STORIES	3- STORIES	3-STORIES
HEIGHT OF BUILDING	MAX. HT. SHALL NOT EXCEED 40'-0" SUBJECT TO FOLLOWING CRITERIA:	PROJECT HEIGHT = 40'-0" ABOVE ANG
DAYLIGHT PLANE	NO PORTION > 35' SHALL ENCROACH INTO A DAYLIGHT PLANE STARTING AT 35' ABOVE THE FRONT SETBACK LINE AND SLOPING UPWARD AT A 45-DEGREE ANGLE TOWARD THE REAR OF THE PARCEL. THE 35' HT. MEASUREMENT SHALL BE TAKEN FROM THE SAME REFERENCE GRADE AS DETERMINED FOR THE SUBJECT SITE PURSUANT TO SECTION 9.04.050	NO PORTION OF BUILDING ENCROACHES INTO DAYLIGHT PLANE
HEIGHT EXCEPTIONS	EXCEPTIONS: STRUCTURE MAX. VERT. PROJ. ABOVE HT. % TOTAL ROOF SF SUNSHADES, TRELLISES, LANDSCAPING 10' 25% ELEVATOR SHAFTS 18' 15% STAIRWELLS 14' 25% MECH. ROOMS/ENCLOSURES 12' 25% MECH. EQUIP./SCREENING 12' 30% TOTAL NOT TO EXCEED 30% TOTAL ROOF SF = 2,189 SF X .30 = 656.7 SF	ELEVATOR SHAFT 10'-0" ABOVE 40' 50 SF / 2,189 SF = 2.3% < 25% (COMPLIES) STAIRWELL 10'-0" ABOVE 40' 140 SF / 2,189 SF = 6.4% < 25% (COMPLIES) MECHANICAL EQUIP. 3'-6" ABOVE 40' 214 SF / 2,189 SF = 9.8% < 25% (COMPLIES) TOTAL 404 SF 2,189 SF = 18.5% (COMPLIES)
PHOTOVOLTAIC ENERGY SYSTEMS		230 SF
AVERAGE NATURAL GRADE	AVERAGE NATURAL GRADE IS THE AVERAGE ELEVATION OF THE GROUND LEVEL OF THE PARCEL SURFACE AS MEASURED AT THE INTERSECTION OF THE MINIMUM REAR AND FRONT SETBACK LINES WITH THE MINIMUM SIDE SETBACK LINES OF THE PARCEL.	AVERAGE NATURAL GRADE POINTS: 30.70 + 29.76 + 28.80 + 24.83 = 114.09 / 4 = 28.52 ANG
FIRST FINISHED FLOOR	FIRST FINISHED FLOOR CAN BE NO MORE THAN 3'-0" ABOVE AVERAGE NATURAL GRADE	FIRST FINISHED FLOOR 31.52 (3' ABOVE 28.52 ANG)
MAXIMUM PARCEL COVERAGE	FIRST FLOOR 50% X 4,414 SF = 2,207 SF SECOND FLOOR (90% OF 1ST FLOOR) = 1,986 SF THIRD FLOOR (90% OF 1ST FLOOR) = 1,986 SF TOTAL AREA ALLOWED 6,179 SF	1ST FLOOR 1,930 GSF 2ND FLOOR 1,946 GSF 3RD FLOOR TOTAL 1,898 GSF 3RD FLOOR MEZZANINE 400 GSF TOTAL AREA PROPOSED 5,774 GSF
MINIMUM OUTDOOR LIVING AREA TABLE 9.11.030	60 SF X 2 UNITS MINIMUM PRIVATE SPACE = 120 SF 150 SF X 2 UNITS TOTAL (PRIVATE, COMMON) = 300 SF PRIVATE OUTDOOR LIVING AREA ON GROUND LEVEL SHALL BE NO LESS THAN 10' X 4' DEEP PRIVATE OUTDOOR LIVING AREA ABOVE GROUND LEVEL SHALL BE NO LESS THAN 6' X 4' DEEP ROOF DECKS SHALL BE NO LESS THAN 15'-0" X 15'-0"	PATIOS COMPLIANT TO 9.11.030: UNIT 1 PATIOS 110 SF + 99 SF + 66 SF = 275 SF UNIT 2 PATIOS 298 SF + 624 SF + 875 = 1,797 SF TOTAL 2,072 > 120 PRIVATE SPACE > 300 SF TOTAL OPEN SPACE UNIT 2 ROOF DECK 875 SF (INCLUDED IN UNIT 2 TOTAL)
HEIGHT OF WALLS, FENCES	42" MAXIMUM IN FRONT YARD (SMMC 9.04.10.02.080(A)(1)) 8'-0" MAXIMUM IN SIDE & REAR YARDS (SMMC 9.04.10.02.080(B)(2))	REAR YARD: 6'-0" PROPERTY WALL PROPOSED
SETBACKS	REQUIRED SETBACKS: FRONT YARD 30' @ ARCADIA TERRACE FROM CENTERLINE SIDE YARD 16" W/ PARCEL WIDTH < 50' NO LESS THAN 4'; NO GREATER THAN 10' 8' W/ PARCEL WIDTH > 50' REAR YARD 15' TO C.L. OF ALLEY	PROVIDED SETBACKS: FRONT YARD 15' SIDE YARD 5 X 46.5' = 7.5' 8' @ 50' PARCEL WIDTH REAR YARD 15' TO C.L. OF ALLEY
ADDITIONAL SETBACKS	ADDITIONAL SETBACKS REQUIRED FRONT: ADDITIONAL 5' SETBACK BEYOND THE MIN. FRONT YARD SETBACK REQUIRED FOR > 25% OF THE WIDTH OF THE FRONT FACADE. FRONT FACADE = 30'-9" X .25 = 7.69' X 5' = 38.95 SF REQUIRED THE COVERED PORTION OF ALL STORIES ABOVE THE SECOND STORY IN ANY MULTI-UNIT STRUCTURE SHALL BE SET BACK AN AVERAGE OF 10' FROM THE SECOND FLOOR FRONT FACADE. SIDE: ADDITIONAL 2' AVERAGE SETBACK FROM THE MIN. REQ. SHALL BE PROVIDED AT EACH STORY = 70.17 SF X 2 = 140.34 SF SETBACKS SHALL BE OPEN TO THE SKY EXCEPT FOR PERMITTED ARCHITECTURAL PROJECTIONS. (9.04.10.02.180)	ADDITIONAL SETBACKS (OPEN TO SKY) PROVIDED FRONT: 7'-10" X 5'-0" = 38.6 SF 3RD FLOOR ADDITIONAL SETBACK 15' WEST SIDE: 1ST FLOOR 186 SF 2ND FLOOR 186 SF 3RD FLOOR 186 SF TOTAL 558 SF EAST SIDE: 1ST FLOOR 141 SF 2ND FLOOR 141 SF 3RD FLOOR 141 SF TOTAL 423 SF
PROJECTIONS INTO YARDS	FRONT YARD 6'-0" STREET SIDE YD 6' INTERIOR SIDE YD NO LIMIT REAR YARD 6'-0"	FRONT YARD 0'-0" STREET SIDE YD N/A INTERIOR SIDE YD NO LIMIT REAR YARD 0'-0"
PATIOS NOT COVERED BY A ROOF OR CANOPY AND THAT MAY BE RAISED ABOVE THE LEVEL OF THE ADJ. GRADE BUT DO NOT EXTEND MORE THAN 3'-0" ABOVE THE ANG		
BALCONIES THAT ARE OPEN UNENCLOSED ON AT LEAST 2 SIDES	30" 30" 0'-0" 4'-0"	0" 30" 0'-0" 0'-0"
ALLOCATION OF ALLOWABLE PARCEL COVERAGE AREA	THE ALLOCATION OF ALLOWABLE PARCEL COVERAGE AREA SHALL BE DISTRIBUTED TO PROVIDE A CLEAR DELINEATION BETWEEN INDIVIDUAL UNITS. (9.04.08.06.070)	UNITS ARE DIFFENTIATED THROUGH THE DISPOSITION OF BALCONIES, SURFACE MATERIALS AND BUILDING HEIGHT.
COURTYARD	PARCEL WIDTH >= 99' SHALL PROVIDE COURTYARD CENTERED ON LOT.	PARCEL WIDTH DOES NOT EXCEED 99'
PARKING ACCESS	ALLEY ACCESS IS REQUIRED WHEN ALLEY EXISTS, WITH EXCEPTIONS PER SEC. 0.04.10.08.080.	NO EXISTING ALLEY ADJACENT TO SITE



CATEGORY	MUNICIPAL CODE	PROPOSED PROJECT
PARKING SPACE NUMBER	2 COVERED SPACES / UNIT + 1 GUEST/5 UNITS 2 UNITS X 2 = 4 TENANT 2/5 = 0 GUEST TOTAL REQ'D 4 SPACES	4 SPACES PROVIDED
PARKING SPACE TYPE	STANDARD = 2 PER UNIT COMPACT = NONE REQ'D ACCESSIBLE = NONE REQ'D TOTAL = 4	RESIDENTIAL 4 STANDARD
BICYCLE PARKING	SHORT TERM 10% OF LONG TERM, MIN. 2 SPACES PER PROJECT (SMMC 9.28.140) LONG TERM 1 SPACE PER BEDROOM (INCL. STUDIOS)	SHORT TERM 2 LONG TERM 6 (6 BEDROOMS TOTAL)
TRASH AREA	DESIGNATED AREA REQUIRED 9.21.130	TRASH AREA IN GARAGE
MECHANICAL EQUIPMENT SCREENING	MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED TO THE HT. OF EQUIP. FROM A HORIZONTAL PLANE.	LOCATED ON ROOF BEHIND AND BELOW MAX. HT. OF PARAPET ROOF SCREENING.
FRONT YARD LANDSCAPING	MIN. 50% OF SETBACK REQUIRED (SMMC 9.16.080) 703 SF X 50% = 351 SF	28 SF + 98 SF + 227 SF = 353 SF (50.2%)
SIDE YARD LANDSCAPING	MIN. 50% OF SIDE YARD SETBACK REQ'D (SMMC 9.04.10.02.170(A)(1)) ONE SIDE ADJACENT TO STREETS: VISIBLE PORTIONS NOT USED FOR DRIVEWAYS OR WALKS SHALL BE DESIGNATED LANDSCAPING TOTAL SIDE YARD SETBACK = (7.5' X 70') (W/ FRONT YARD SETBACK VARIANCE) = 525 SF X .5 = 262.5 SF REQ'D	WEST SIDE YARD 18 SF + 15 SF + 28 SF + 28 SF + 100 SF = 189 SF PROVIDED / 525 SF = 26% (SIDE NOT COUNTED TOWARDS ONE SIDE YARD LANDSCAPING) EAST SIDE YARD = 265 SF PROVIDED / 525 SF = 50.5%
TOTAL LANDSCAPING	25% OF TOTAL PARCEL AREA TO BE LANDSCAPED .25 X 4,414 SF = 1,103.5 SF REQ'D	@ GRADE 28 SF + 98 SF + 38.6 SF + 227 SF + 18 SF + 15 SF + 37 SF + 37 SF + 100 SF + 32 SF + 265 SF = 892.6 SF (20.2% OF REQ'D) @ 3RD FLOOR 19 SF + 79 SF = 98 SF (2.2% OF REQ'D) @ ROOF 67 SF SF (1.5% OF REQ'D) TOTAL 1057.6 SF / 4,414 SF = 23.9%
PEDESTRIAN ACCESS	STREET-FACING PEDESTRIAN ENTRIES SHALL NOT BE LOCATED BELOW GRADE, NO EXCAVATION TO ACCESS ENTRY	NO PEDESTRIAN ACCESS BELOW GRADE ON STREET-FACING SIDE
UNEXCAVATED FRONT YARD	50% MIN. REQ'D W/ PARCEL WIDTH >= 50' (SMMC 9.21.190)	N/A: (FRONT YARD PARCEL WIDTH = 46.5' < 50')
UNEXCAVATED SIDE YARD	>50% SIDE YARD SETBACK WHEN PARCEL WIDTH >50' AND SIDE YARD ABUTS RES. DISTRICT 200 SF X 50% = 100 SF	EAST SIDE YARD = 101 SF UNEXCAVATED
SUBTERRANEAN GARAGE	MAY BE CONSTRUCTED AND MAINTAINED IN ANY REQUIRED YARD AREA EXCEPT IN THE REQUIRED UNEXCAVATED AREAS. (SMMC 9.04.10.08.200(B))	FRONT YARD: N/A: (FRONT YARD PARCEL WIDTH = 46.5' < 50') SIDE YARDS: NOT PROPOSED WITHIN UNEXCAVATED AREA
AFFORDABLE HOUSING OBLIGATION	MUST PROVIDE 3 DEED RESTRICTED AFFORDABLE UNITS ON-SITE OR PAY IN LIEU OF FEE OF \$11.01 / SF PRIOR TO C OF O. (SMMC 9.58)	OWNER WILL PAY THE AFFORDABLE HOUSING FEE PRIOR TO C OF O AND AT THE RATE THE FEE IS PAID TO THE CITY PER (SMMC 9.58.070) AND PREVIOUSLY APPROVED STOA 12 FEBRUARY 2008
HISTORIC RESOURCES INVENTORY	EXISTING STRUCTURES OVER 40 YEARS OLD SHALL BE EVALUATED FOR THEIR POTENTIAL AS HISTORIC RESOURCES. (SMMC 9.04.08)	THE SUBJECT PROPERTY IS NOT LISTED IN THE HISTORIC RESOURCES INVENTORY. OWNER TO FILE FOR DEMO PERMIT.
COMMUNITY BENEFITS TRANSPORTATION IMPACT FEE	TIER 2 PROJECTS SHALL PAY ADD'TL TRANSP. IMPACT FEE, 14% ABOVE BASE FEE REQ. BY SMMC 9.86. FOR THAT PORTION OF THE ABOVE MAX. TIER 1 ALLOWABLE FLOOR AREA	
COMMUNITY BENEFITS OPEN SPACE	TIER 2 PROJECTS SHALL EITHER PAY OPEN SPACE FEE, 14% ABOVE BASE FEE REQ. FOR THAT PORTION OF THE ABOVE MAX. TIER 1 ALLOWABLE FLOOR AREA, OR PROVIDE 7,500 SF OF USABLE SPACE IN COMPLIANCE W/ 9.23.030 (C)	
COMMUNITY BENEFITS TRANSPORTATION DEMAND MANAGEMENT	TIER 2 PROJECTS SHALL INCLUDE ADD'TL MEASURES TO S.S.:	
LIGHTING	1. AISLES, PASSAGEWAYS TO BE ILLUMINATED W/ .25 FC MIN. 2. SHIELDED TO PREVENT OBTUSIVE GLARE 3. MAY NOT ILLUMINATE ADJ. PROPERTIES IN EXCESS OF .5 FC 4. MAX. EXTERIOR LIGHTING HT. = 16'	
SOLAR ENERGY SYSTEMS	VISIBILITY: 1. SHALL NOT BE VISIBLE FROM PUBLIC R.O.W. ADJACENT TO FRONT PROPERTY LINE 2. SHALL BE INSTALLED WHERE LEAST VISIBLE FROM ABUTTING STREETS, UNLESS SIGNIFICANTLY DECREASES ENERGY PRODUCTION HEIGHT: 5' ABOVE ROOF SURFACE SETBACK: SOLAR ENERGY EQUIP. EXCLUDING COLLECTORS MAY BE INSTALLED W/IN SIDE AND REAR YARD SETBACK, BUT NO CLOSER THAN 2' TO PROPERTY LINE	

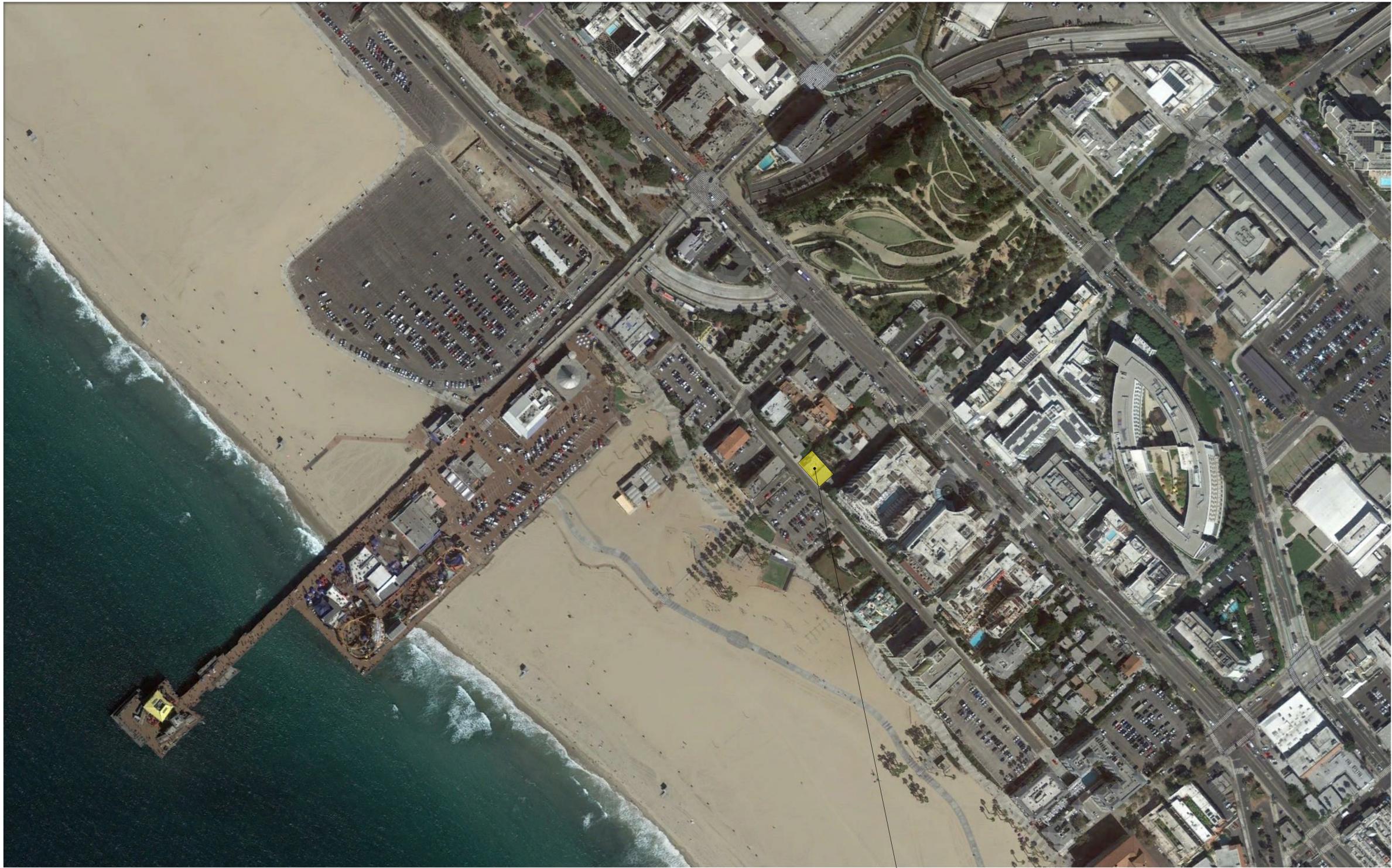


PARCEL COVERAGE		
ADDRESS: 1665 APPIAN WAY		
PROPOSED DEVELOPMENT: 2-UNIT CONDOMINIUM OVER SUBTERRANEAN PARKING.		
LEGAL DESCRIPTION CARL F. SCHADER SEASIDE TERRACE LOT 43 CITY OF SANTA MONICA		
ZONE	R3	
PARKING REQUIRED: 2 UNITS X 2 SPACES	4 SPACES REQ.	
PARKING PROVIDED	4 SPACES	
NET AREAS	4,414 NSF	
GARAGE	2,961 SF	
UNIT 1 (3 BDRM / 3 1/2 BATH)	2,200 NSF	
UNIT 2 (2 BDRM / 2 1/2 BATH + MEZZANINE)	2,561.5 NSF	
TOTAL 2 UNITS	4761.5 NSF	
ALLOWABLE LOT COVERAGE		
TOTAL LOT AREA = 4,414 SF		
FLOOR	ALLOWABLE	PROPOSED
FIRST FLOOR	2,207 GSF (.5 X 4,414)	1,930 GSF
SECOND FLOOR	1,986 GSF (.5 X 4,414 = 2,207 X .9)	1,946 GSF
THIRD FLOOR	1,986 GSF (.5 X 4,414 = 2,207 X .9)	1,498 GSF
MEZZANINE		400 GSF
THIRD FLOOR TOTAL		1,898 GSF
TOTAL	6,179 GSF	5,774 GF

**1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT**

REVISIONS

Ralph Mechur Architects
3400 Airport Ave. Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
www.rmechurarchitects.com



1665 APPIAN WAY



CONTEXT SITE AERIAL VIEW
SCALE: NTS

D1

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS

Ralph Mechur Architects
 3400 Airport Ave., Suite #5
 Santa Monica, CA 90405
 310.398.2940
 310.398.2950
 www.rmechurarchitects.com



1 EAST ELEVATION ADJACENT PROPERTY EAST - 1661 APPIAN WAY



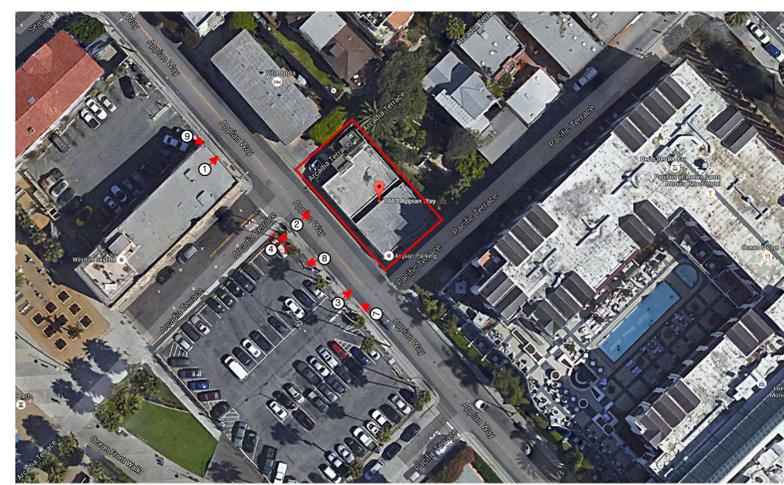
2 EAST ELEVATION - 1665 APPIAN WAY



3 EAST ELEVATION ADJACENT PROPERTY WEST - 1700 OCEAN AVE.



4 APPIAN WAY EAST STREET VIEW



5 AERIAL VIEW AND SITE PHOTO KEY



6 APPIAN WAY NORTH EAST STREET VIEW



7 APPIAN WAY SOUTH EAST STREET VIEW

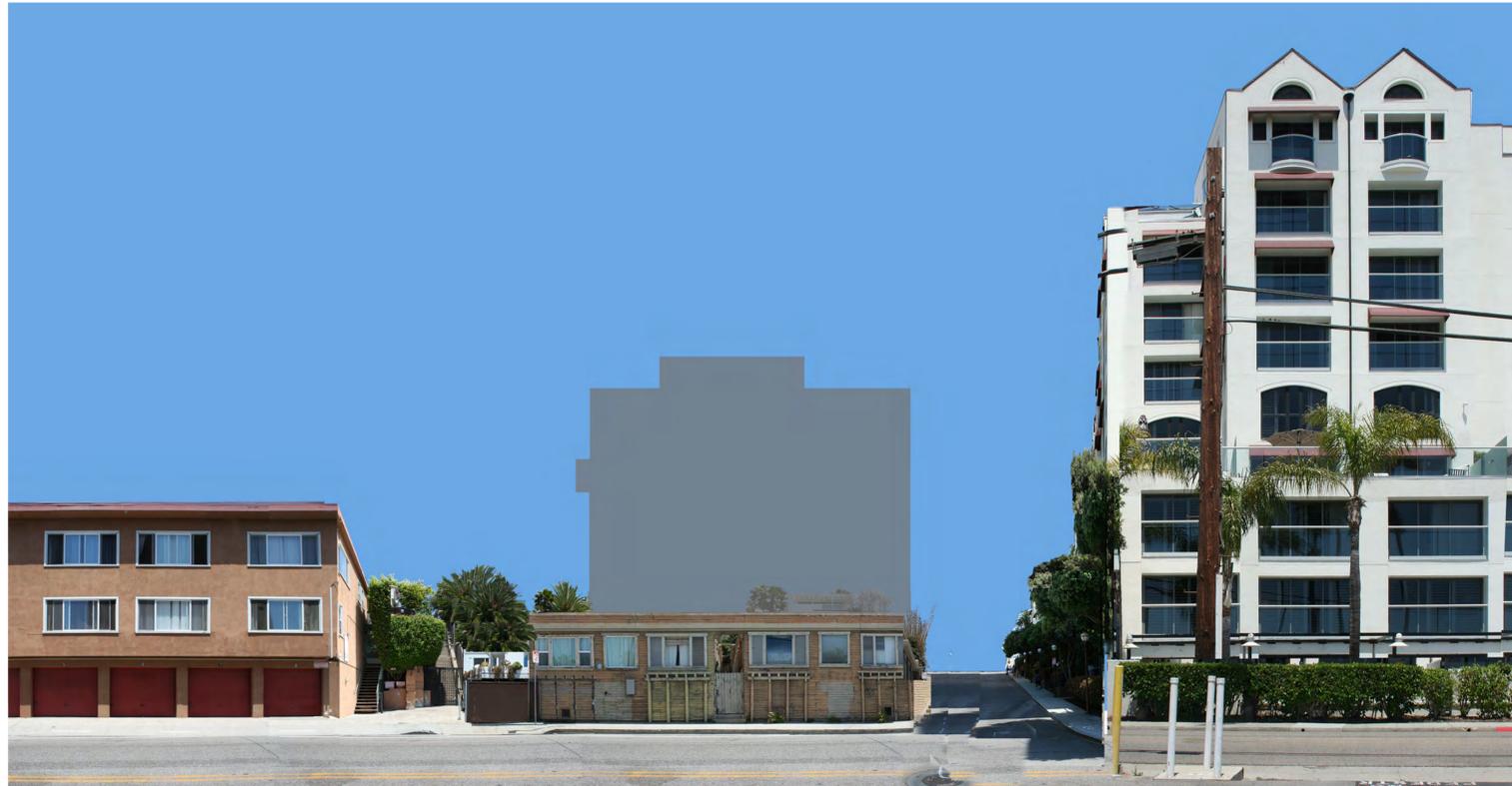


8 APPIAN WAY SOUTH WEST STREET VIEW

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS

Ralph Mechor Architects
3400 Airport Ave, Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2956
www.rmechurarchitects.com



EXISTING WEST CONTEXT ELEVATION (B1)



PROPOSED WEST CONTEXT ELEVATION (D1)

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS



Ralph Mechur Architects
3400 Airport Ave., Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
www.rmechurarchitects.com



EXISTING SOUTH CONTEXT ELEVATION (B1)



PROPOSED SOUTH CONTEXT ELEVATION (D1)

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS





PROPOSED EAST CONTEXT ELEVATION (B1)



PROPOSED NORTH CONTEXT ELEVATION (D1)

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS





1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS

Ralph Mechur Architects
3400 Airport Ave., Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
www.rmechurarchitects.com

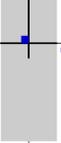
 AERIAL AXONOMETRIC CONTEXT
SCALE: NTS

D1



1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

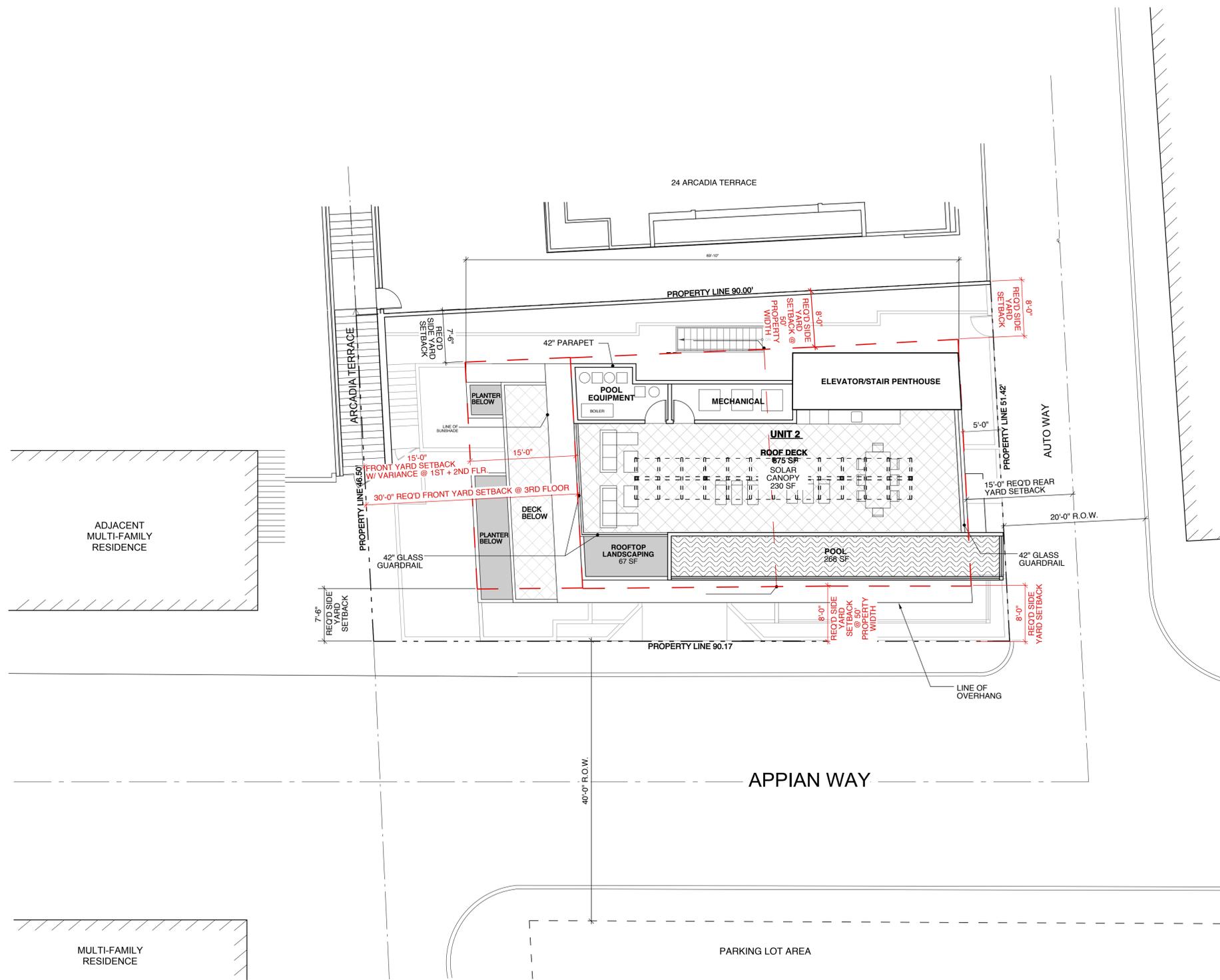
REVISIONS



 Ralph Mechur Architects
 3400 Airport Ave. Suite #5
 Santa Monica, CA 90405
 310.398.2940
 310.398.2950
 www.rmechurarchitects.com


CONTEXT PLAN
 SCALE: 1" = 30'-0"

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT



SITE PLAN
SCALE: 1/8" = 1' - 0"

D1

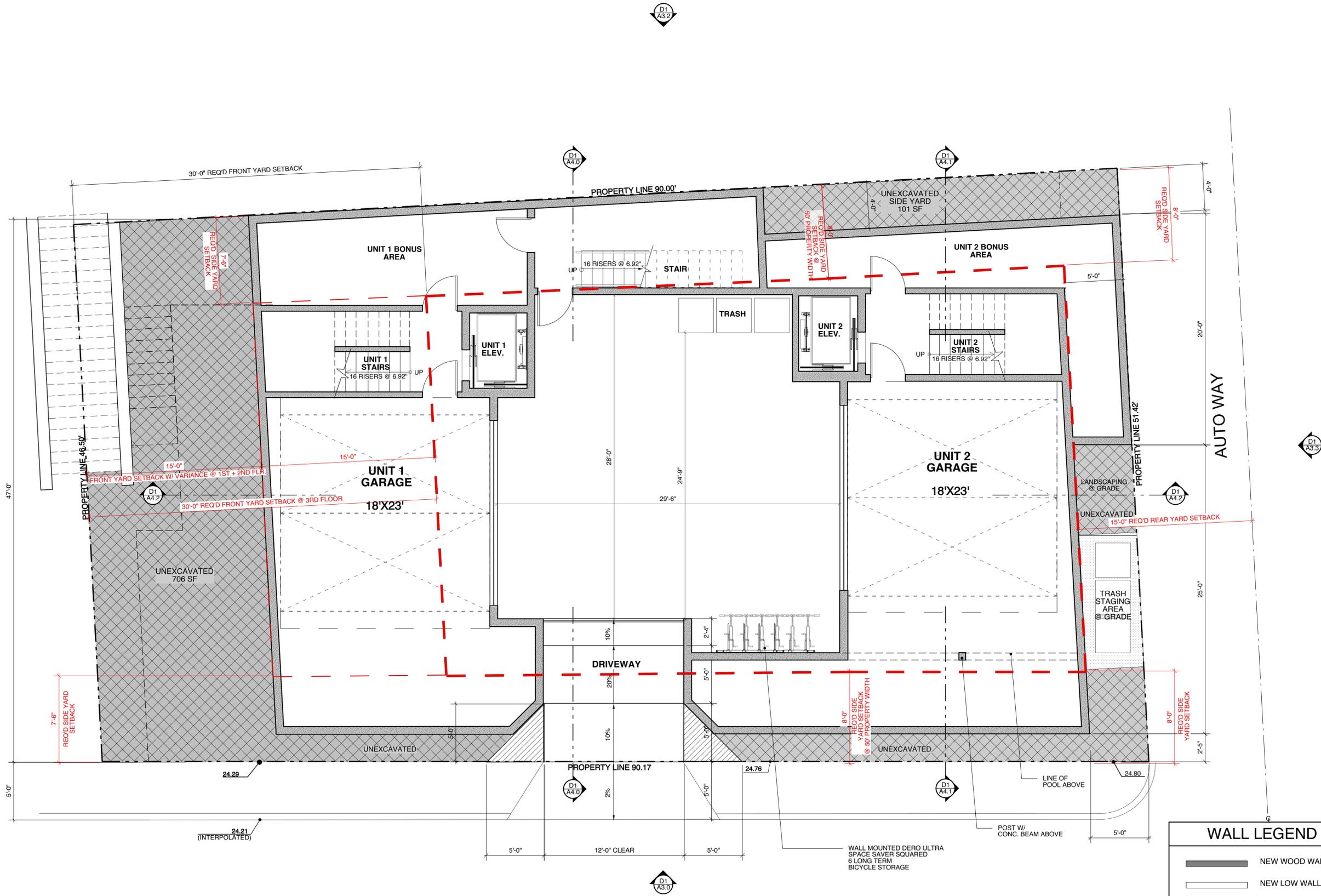
AVERAGE NATURAL GRADE CALCULATION
$30.70 + 29.76 + 28.80 + 24.83 = 114.09 / 4 = 28.52 \text{ ANG}$

REVISIONS

Ralph Mechur Architects

3400 Airport Ave. Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
www.rmechurarchitects.com

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

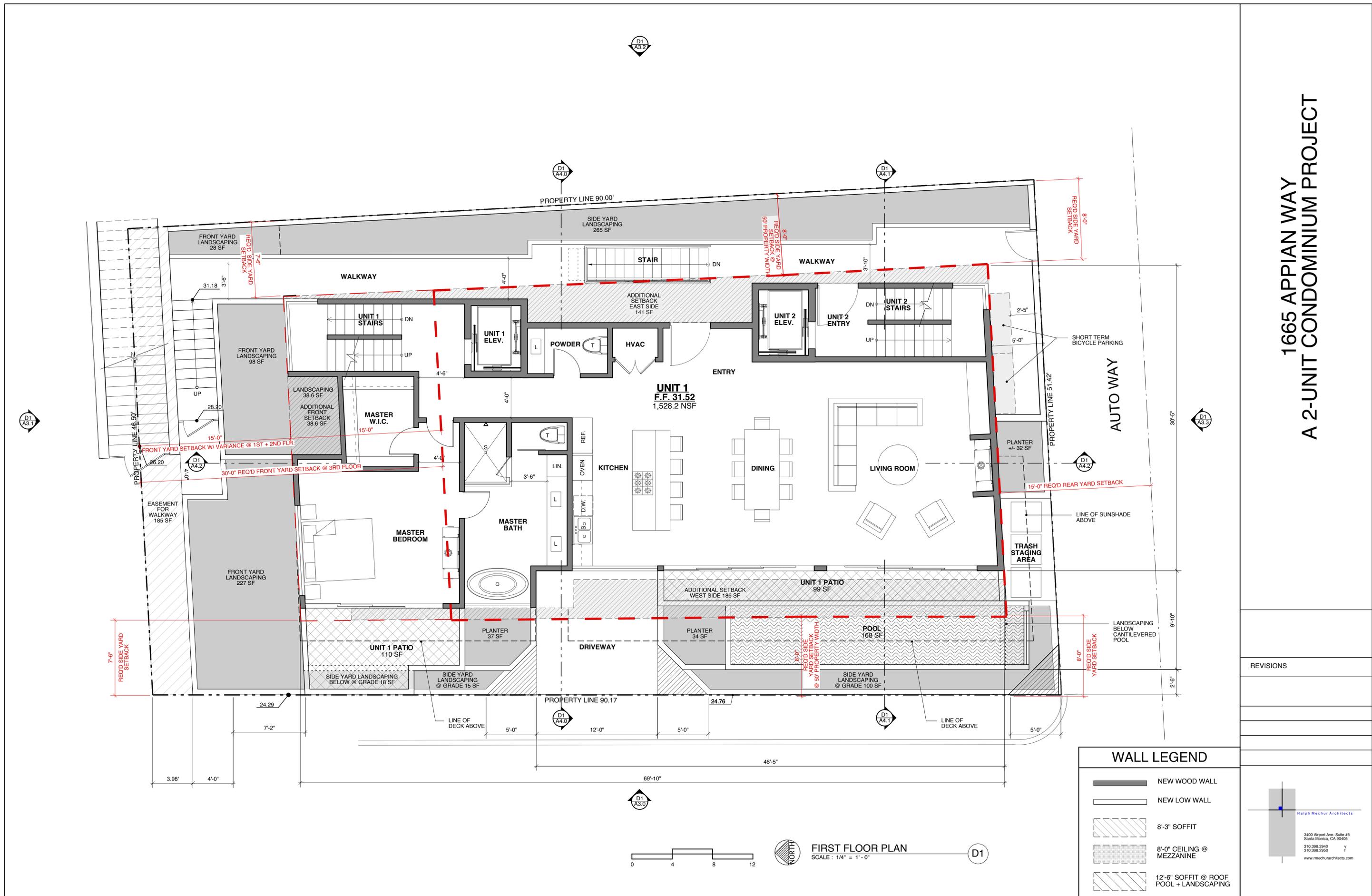


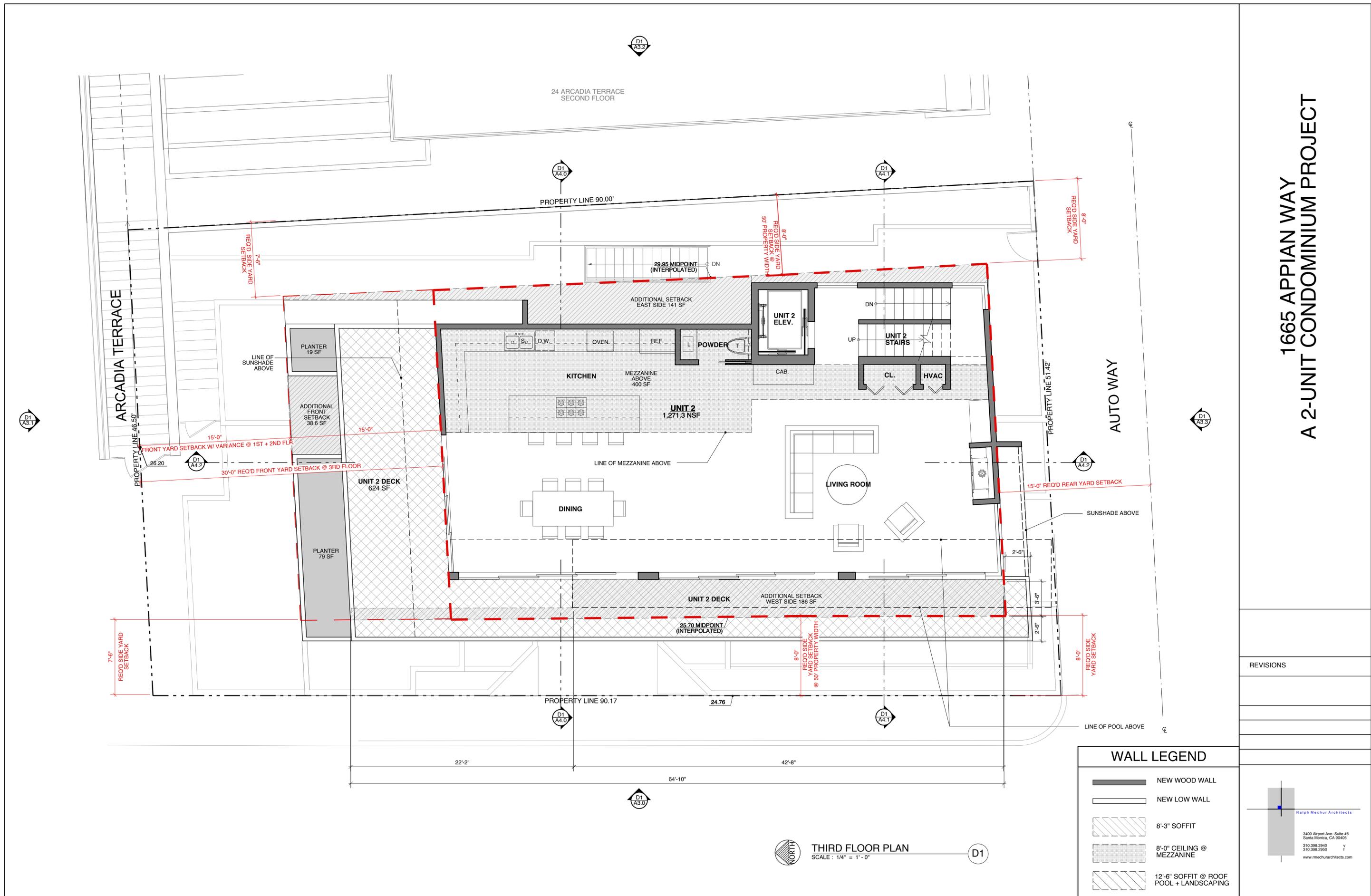
WALL LEGEND	
	NEW WOOD WALL
	NEW LOW WALL
	8'-3" SOFFIT
	8'-0" CEILING @ MEZZANINE
	12'-6" SOFFIT @ ROOF POOL + LANDSCAPING

GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0" D1

REVISIONS

Ralph Mechur Architects
3400 Airport Ave., Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
www.rmechurarchitects.com



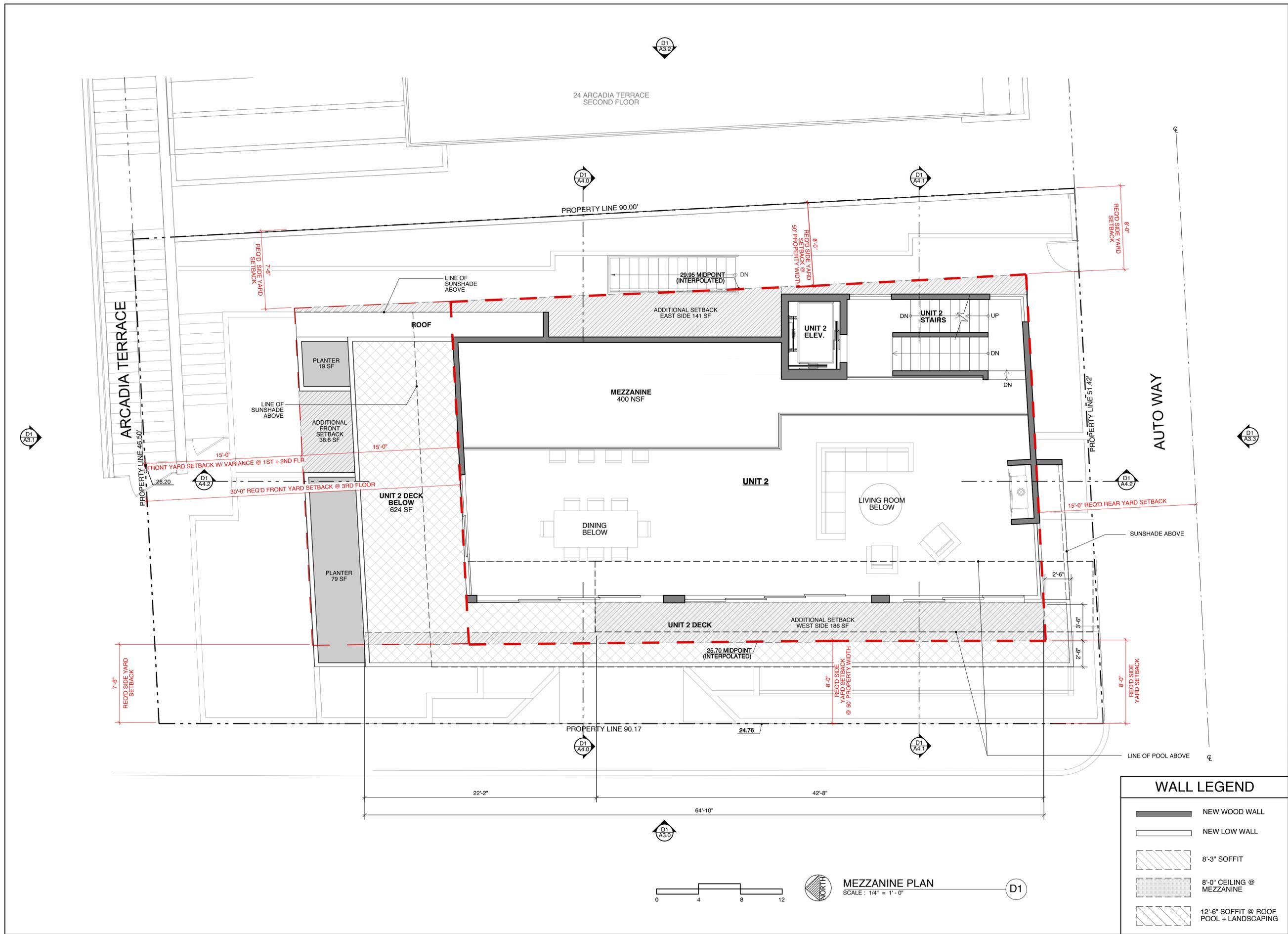


1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS

WALL LEGEND	
	NEW WOOD WALL
	NEW LOW WALL
	8'-3" SOFFIT
	8'-0" CEILING @ MEZZANINE
	12'-6" SOFFIT @ ROOF POOL + LANDSCAPING

Ralph Mechur Architects
 3400 Airport Ave., Suite #5
 Santa Monica, CA 90405
 310.398.2940
 310.398.2950
 www.rmechurarchitects.com



1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

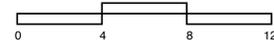
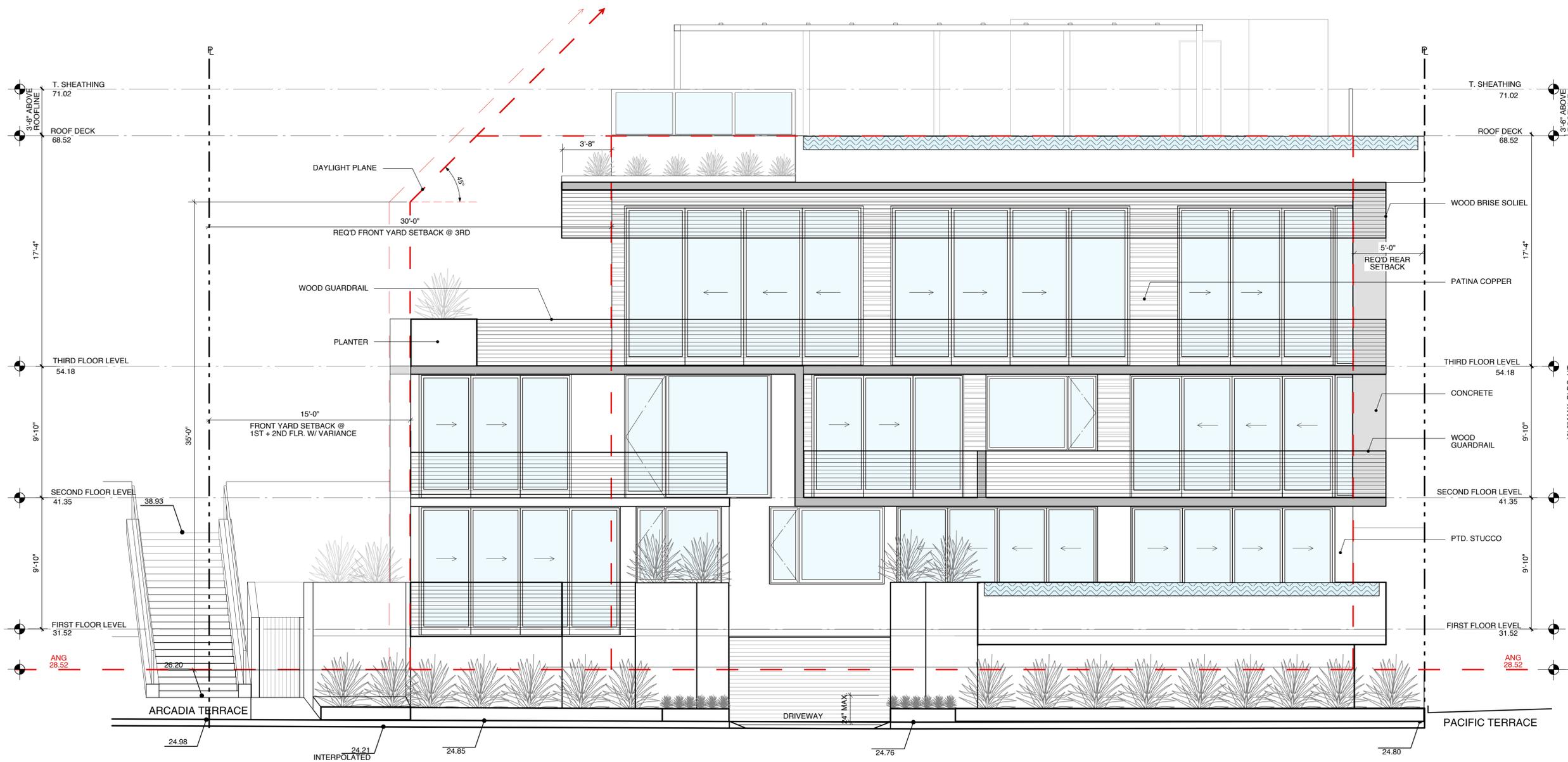
REVISIONS

WALL LEGEND	
	NEW WOOD WALL
	NEW LOW WALL
	8'-3" SOFFIT
	8'-0" CEILING @ MEZZANINE
	12'-6" SOFFIT @ ROOF POOL + LANDSCAPING

Ralph Mechur Architects
 3400 Airport Ave. Suite #5
 Santa Monica, CA 90405
 310.398.2940
 310.398.2950
 www.rmechurarchitects.com

MEZZANINE PLAN
 SCALE: 1/4" = 1'-0"
D1

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

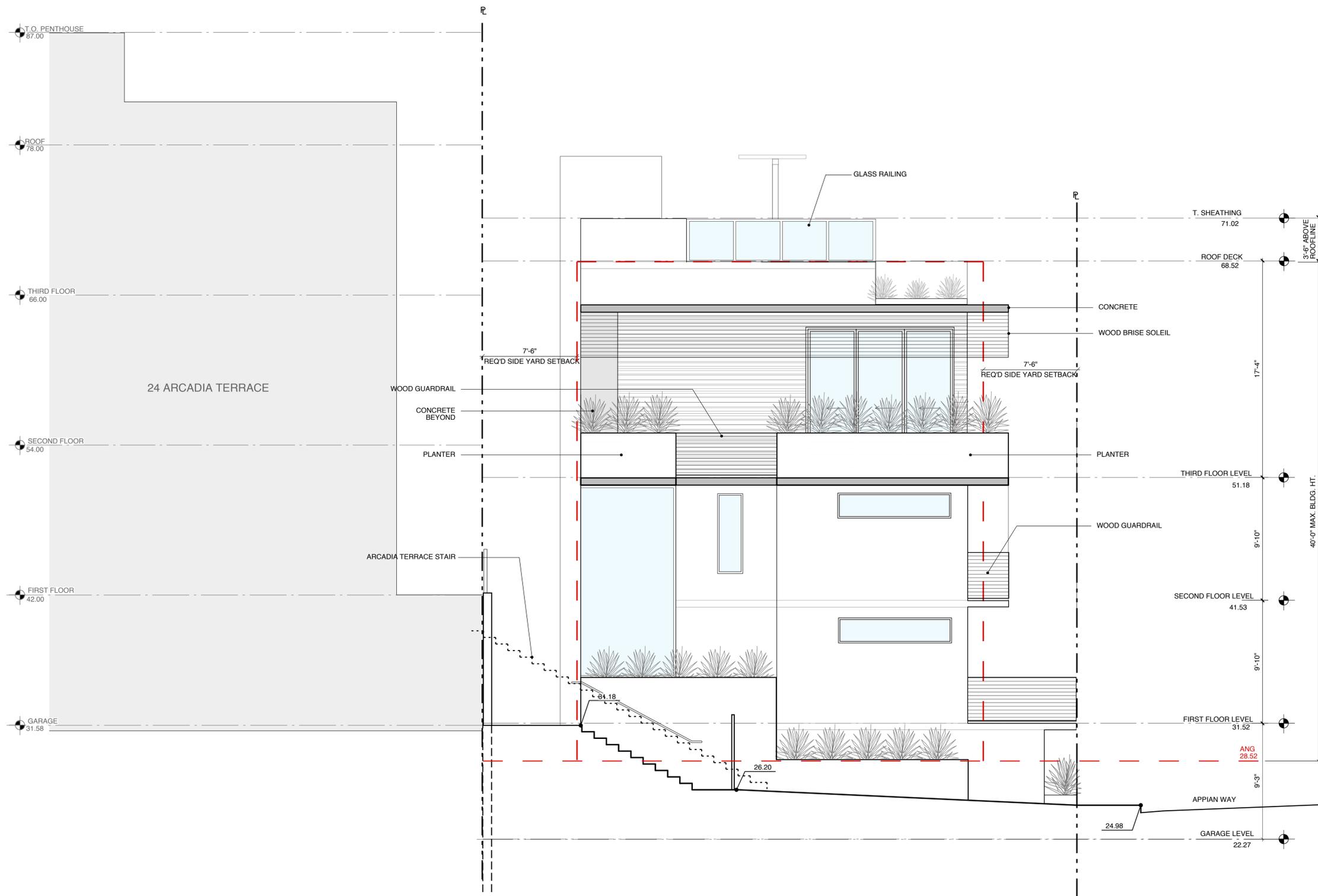


PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

D1

REVISIONS





PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

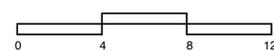
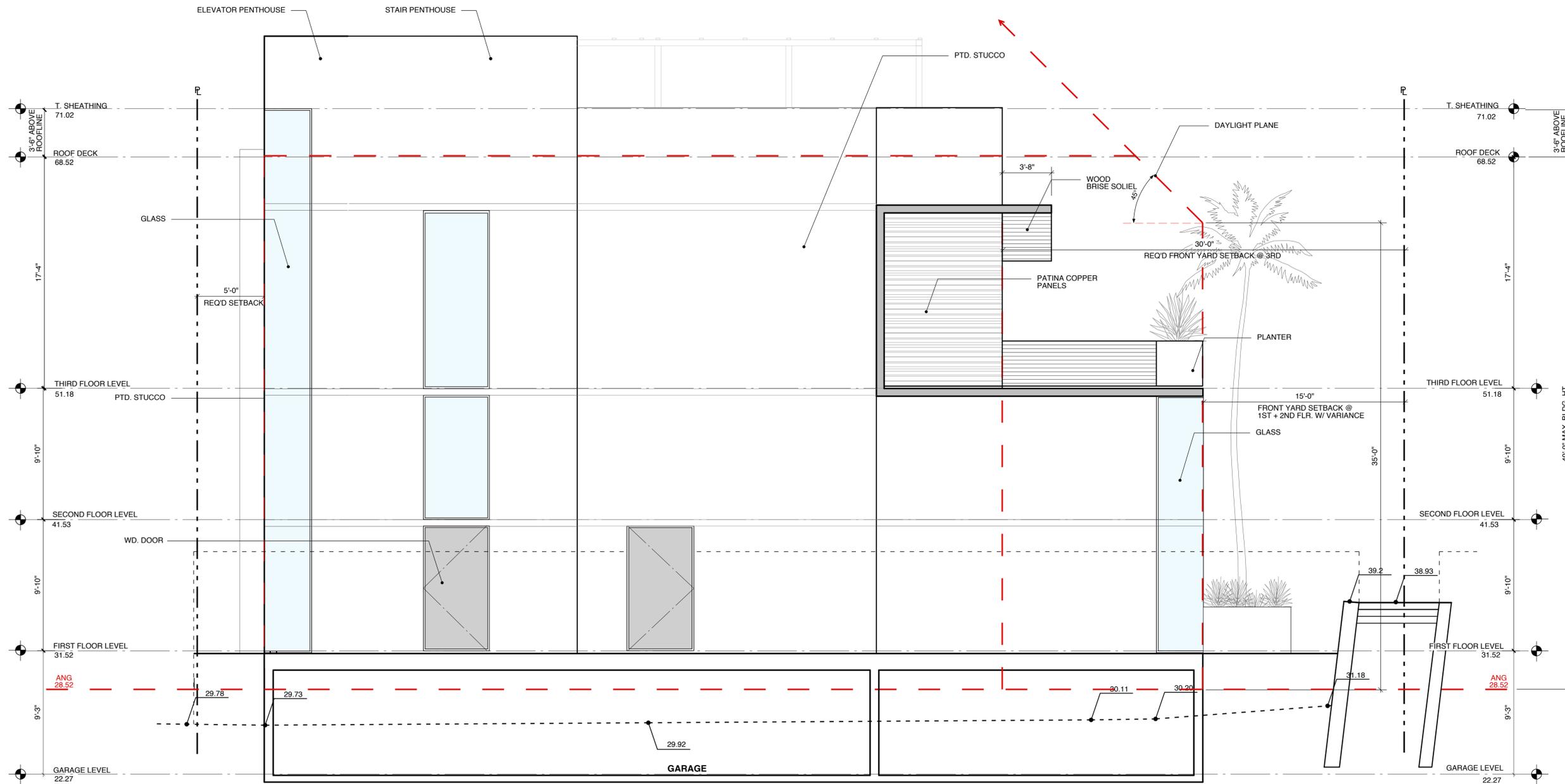
D1

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS

Ralph Mechur Architects
3400 Airport Ave., Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
www.rmechurarchitects.com

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

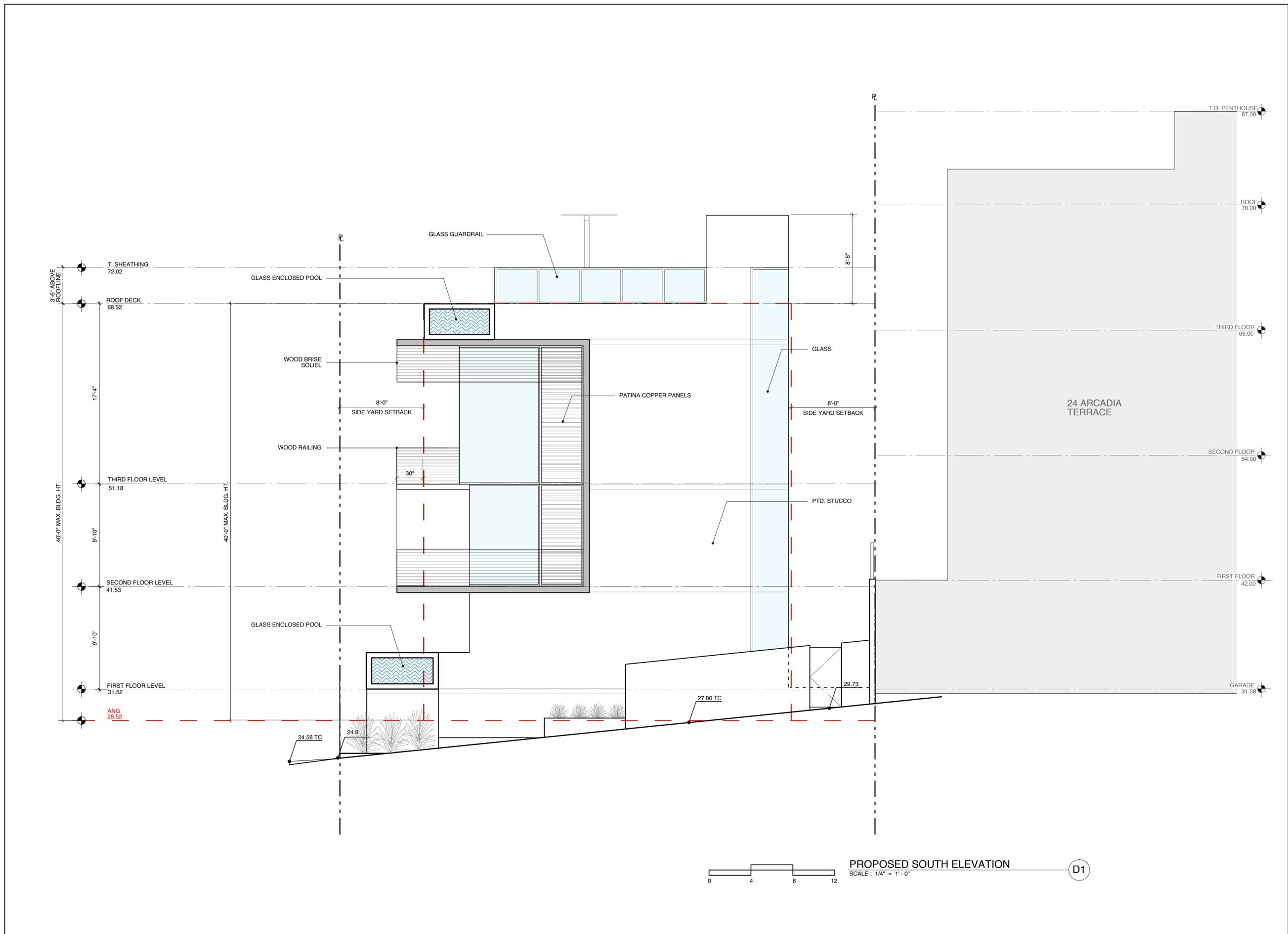


PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

D1

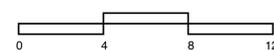
REVISIONS

Ralph Mechur Architects
3400 Airport Ave., Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
www.rmechurarchitects.com

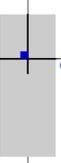


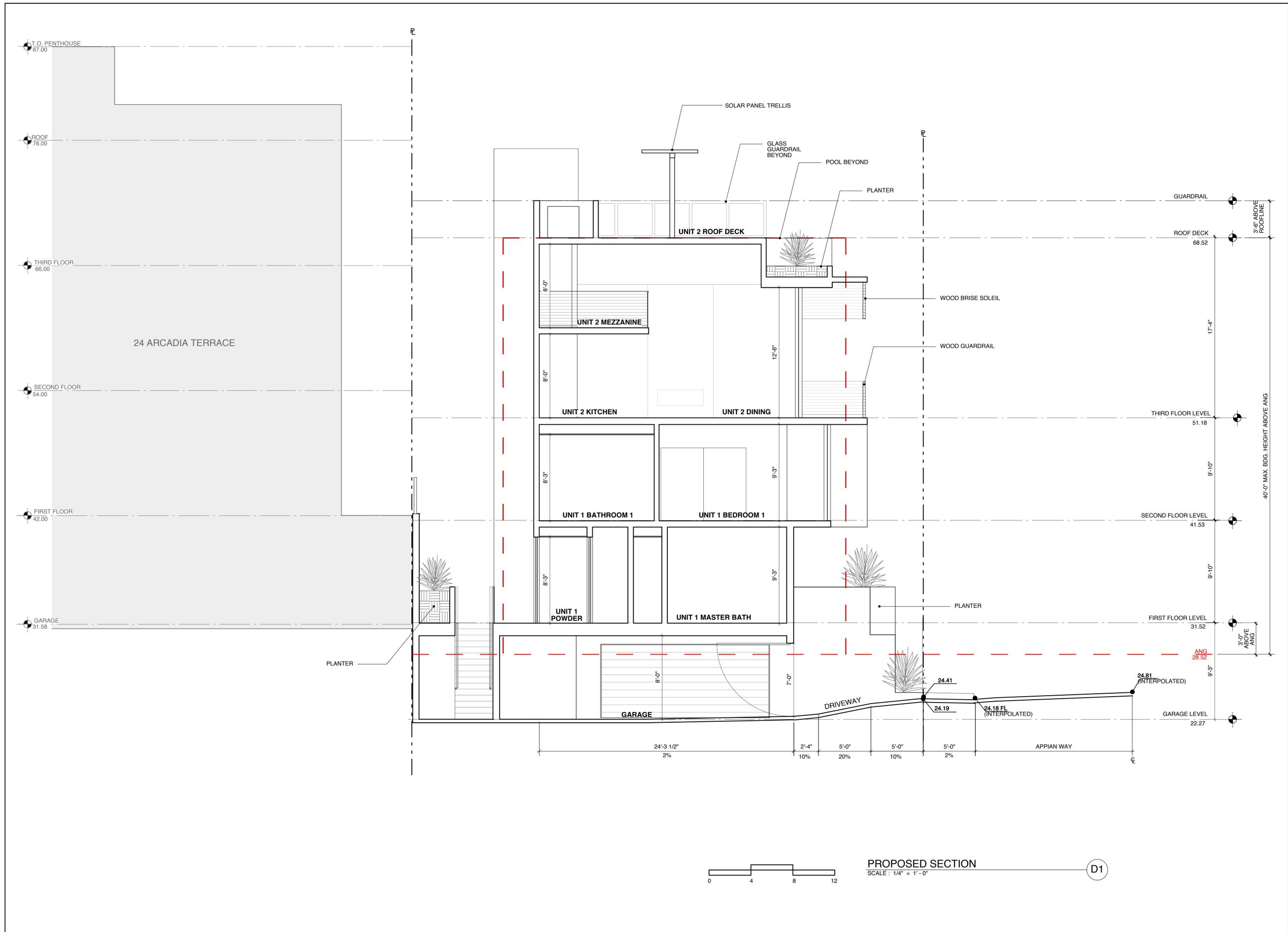
1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT

REVISIONS



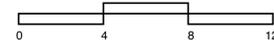
PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
D1


Ralph Mechur Architects
3400 Airport Ave., Suite #5
 Santa Monica, CA 90405
 310.398.2949
 310.398.2950
 www.rmechurarchitects.com



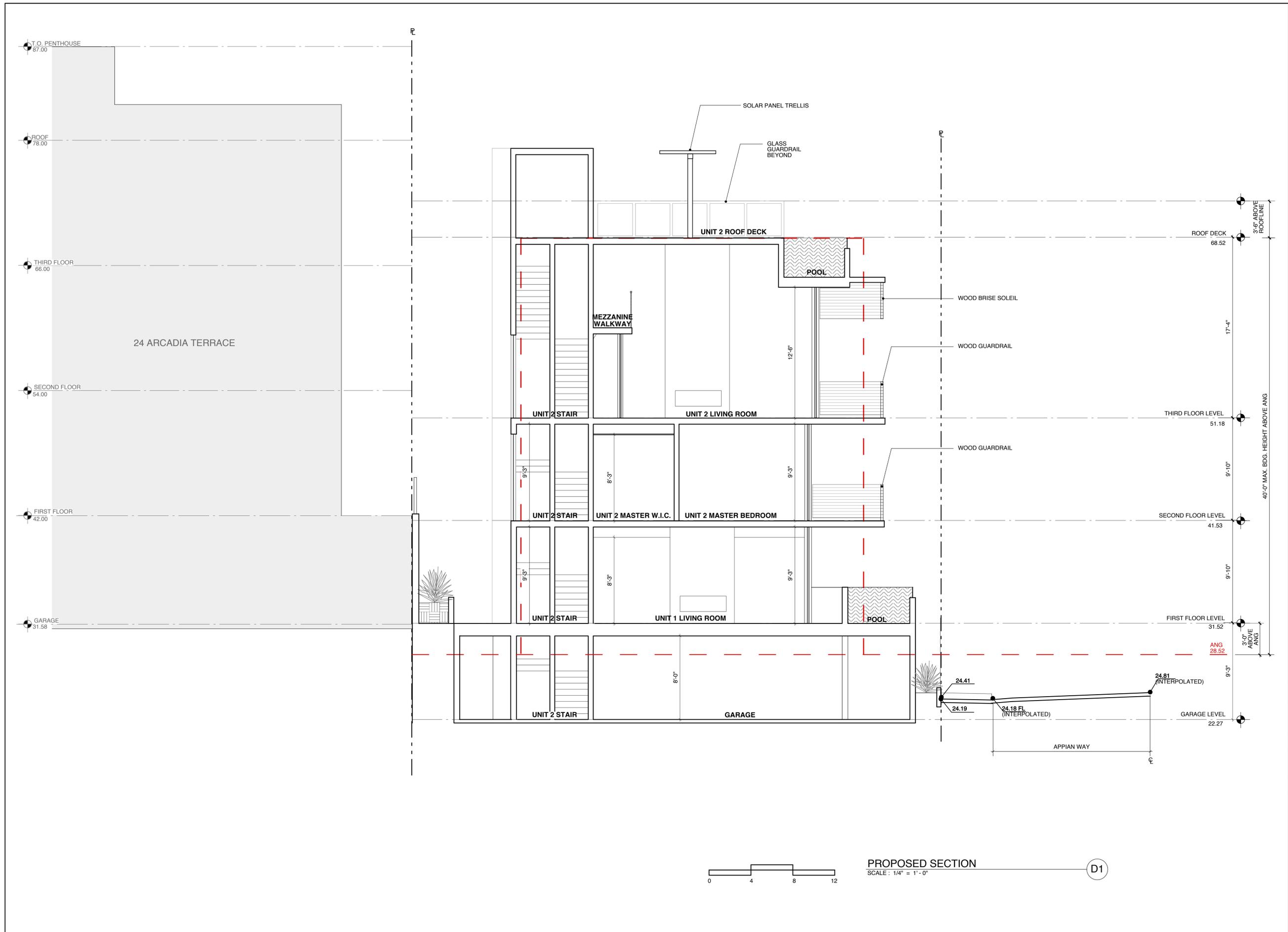
1665 APPIAN WAY
 A 2-UNIT CONDOMINIUM PROJECT

REVISIONS



PROPOSED SECTION
 SCALE: 1/4" = 1'-0"
D1

Ralph Mechur Architects
 3400 Airport Ave, Suite #5
 Santa Monica, CA 90405
 310.398.2940
 310.398.2950
 www.rmechurarchitects.com

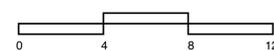


1665 APPIAN WAY
 A 2-UNIT CONDOMINIUM PROJECT

REVISIONS

Ralph Mechur Architects

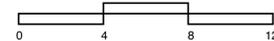
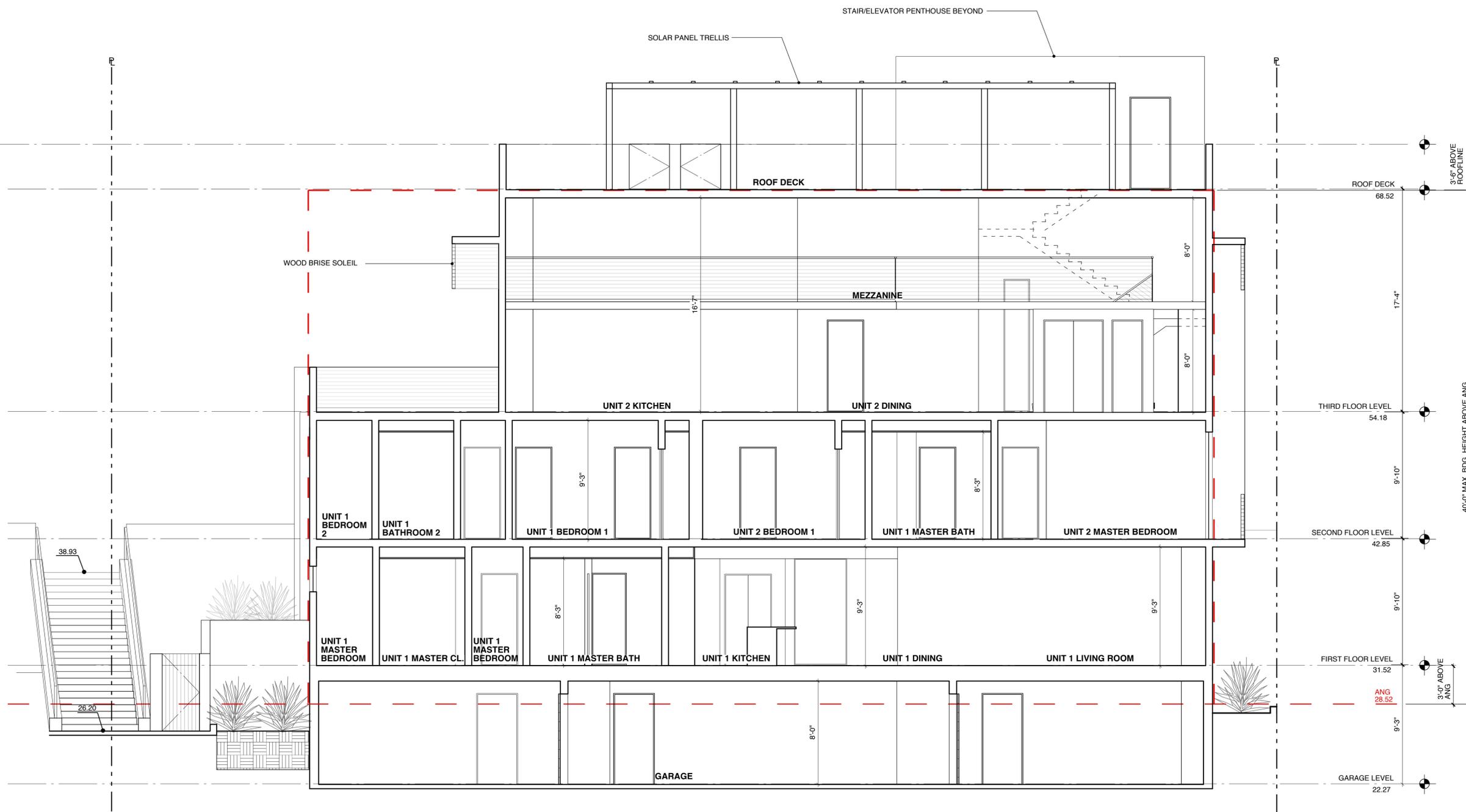
3400 Airport Ave., Suite #5
 Santa Monica, CA 90405
 310.398.2940
 310.398.2950
 www.rmechurarchitects.com



PROPOSED SECTION
 SCALE: 1/4" = 1'-0"

D1

1665 APPIAN WAY
A 2-UNIT CONDOMINIUM PROJECT



PROPOSED SECTION
SCALE: 1/4" = 1'-0"

D1

REVISIONS

Ralph Mechur Architects
3400 Airport Ave. Suite #5
Santa Monica, CA 90405
310.398.2940
310.398.2950
www.rmechurarchitects.com