

ABBREVIATIONS	
L	ANGLE
@	CORNER
Ø	DIAMETER
#	NUMBER / POUND
A.B.	ANCHOR BOLT
A/C	AIR CONDITIONING
AC.	ACOUSTICAL
A.C.T.	ACOUSTICAL TILE
A.D.	AREA DRAIN
ADJ.	ADJACENT
A.F.F.	ABOVE FINISH FLOOR
AGGR.	AGGREGATE
AL.	ALUMINUM
AMP.	AMPERES
ANCH.	ANCHOR
A.P.	ACCESS PANEL
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
ASB.	ASBESTOS
ASPH.	ASPHALT
BD.	BOARD
BTUM.	BITUMINOUS
B.L.D.G.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
BRKT.	BRACKET
BSMT.	BASEMENT
B.T.U.	BRITISH THERMAL UNITS
CAB.	CABINET
C.B.	CATCH BASIN
CEM.	CEMENT
CER.	CERAMIC
C.G.	CORNER GUARD
C.I.	CAST IRON
C.I.P.	CAST-IN-PLACE
C.J.	CEILING JOIST
C.L.	CENTER LINE
CLG.	CEILING
CLKG.	CAULKING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
C.O.	CASED OPENING / CLEAN OUT
COL.	COLUMN
CONN.	CONNECTION
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRIDOR
CTR.	COUNTER
CTR.	CENTER
CTSK.	COUNTERSUNK
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	DISPENSER
DN.	DOWN
D.O.	DOOR OPENING
D.P.	DAMP/PROOFING
DR.	DOOR
DRN.	DRAIN
DS.	DOWNSPOUT
D.S.G.	DOUBLE STRENGTH GLASS
D.S.P.	DRY STANDPIPE
DWG.	DRAWING
DWR.	DRAWER
(E)	EXISTING
EA.	EACH
E.D.F.	ELECTRICAL DRINKING FOUNTAIN
E.J.	EXPANSION JOINT
ELEV.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR / ELEVATION
EMER.	EMERGENCY
ENCL.	ENCLOSURE
E.P.	ELECTRICAL PANELBOARD
E.R.	EXISTING RELIQUATED
EPO	EMERGENCY POWER OFF SWITCH
EQ.	EQUAL
EQT.	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
EXP.	EXPANSION
EXPO.	EXPOSED
EXIST.	EXISTING
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
F.H.	FIRE HYDRANT
F.H.C.	FIRE HOSE CABINET
F.V.C.	FIRE VALVE CABINET
FIN.	FINISH
FLASH.	FLOOR / FLOW LINE
FLUOR.	FLUORESCENT
F.O.B.	FACE OF BRICK
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.G.	FACE OF GLASS
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FRF.	FIREPROOF(ING)
FR.	FRAME
F.S.	FULL SIZE / FLOOR SINK
FT.	FOOT OR FEET
FTG.	FOOTING
FUR.	FURRING
FUT.	FUTURE
FV	FIELD VERIFY
G.	GAS LINE (FUEL GAS)
G.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GND.	GROUND
G.P.H.	GALLONS PER HOUR
G.P.M.	GALLONS PER MINUTE
GR.	GRADE
GYP.	GYPSPUM
GWB.	GYPSPUM WALLBOARD
H.B.	HOSE BIB
H.C.	HOLLOW CORE
H.D.	HEAD / HEAVY DUTY
HDW.	HARDWARE
HDWD.	HARDWOOD
HGT.	HEIGHT
H.M.	HOLLOW METAL
HDRL.	HANDRAIL
HORIZ.	HORIZONTAL
H.P.T.	HIGH POINT
HR.	HOUR
HT.	HEIGHT
H.V.A.C.	HEATING, VENTING AND AIR CONDITIONING
HW.	HOT WATER
INC.	INCORPORATED
I.D.	INSIDE DIAMETER / DIMENSION
IN.	INCH
INCL.	INCLUDE(D)
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT
JAN.	JANITOR
JST.	JOIST
KIT.	KITCHEN
K.P.	KICK-PLATE
KO.	KNOCKOUT
L.	LENGTH
LAB.	LABORATORY
LAM.	LAMINATE
LAV.	LAVATORY
LBS.	POUNDS
L.F.	LINEAR FEET
L.P.T.	LOW POINT
LT.	LIGHT
MATL.	MATERIAL
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
M.E.	MECHANICAL
MEMB.	MEMBRANE
MFG.	MANUFACTURER
M.H.	MAN HOLE
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
M.L.D.G.	MOULDING
M.O.	MASONRY OPENING
M.S.	MOTION SENSOR
MTD.	MOUNTED
MTL.	METAL
MUL.	MULLION
(N)	NEW
N	NORTH
N.G.	NATURAL GRADE
N.I.C.	NOT IN CONTRACT
NO. / #	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
OA.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFF.	OFFICE
O.H.	OPPOSITE HAND
OPNG.	OPENING
OPP.	OPPOSITE
OVHD.	OVERHEAD
PART'L	PARTIAL
PAV.	PAVING
P.C.	PRECAST CONCRETE
PROJ.	PROJECT
PL.	PLATE
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PLBG.	PLUMBING
PLR.	PAIR
POL.	POLISHED
PRCST.	PRECAST
PT.	POINT
Q.T.	QUARRY TILE
R.	RISER
RAD.	RADIUS
R.B.	RESILIENT BASE
REG.	REGULAR
R.O.D.	ROOF DRAIN
REF.	REFERENCE
REFR.	REFRIGERATOR
REINF.	REINFORCED
REQ.	REQUIRED
RESIL.	RESILIENT
REVISION	REVISION
RFV.	REFLECTED
REGISTER	REGISTER
RMTR.	ROOM
R.O.	ROUGH OPENING
RWD.	REDWOOD
RWL.	RAINWATER LEADER
S.	SOUTH
S4S	SMOOTH 4 SIDES
SAN.	SANITARY
S.C.	SOLID CORE
SCHED.	SCHEDULE
S.D.	SMOKE DETECTOR
SECT.	SECTION
SF	SQUARE FOOT
SHR.	SHOWER
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.M.S.	STEEL MACHINE SCREWS
S.O.V.	SHUT OFF VALVE
SPEC.	SPECIFICATION
SPKR.	SPEAKER
SQ.	SQUARE
S.S.K.	SERVICE SINK
STA.	STATION
STD.	STANDARD
S.S.	STAINLESS STEEL
STL.	STEEL
STOR.	STORAGE
STR.	STRUCTURAL
SUBCAT.	SUBCATEGORY
SUPP.	SUPPORT
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
T.	THERMOSTAT
T.I.	TENANT IMPROVEMENT
T.B.	TOWEL BAR
T.C.	TOP OF CONCRETE
T.D.	TOP OF DECK
TEL.	TELEPHONE
TEM.	TEMPERED
TER.	TERAZZO
T&G	TONGUE AND GROOVE
THK.	THICK
T.O.	TOP OF
T.O.P.	TOP OF PAVEMENT / TOP OF PARAPET
T.P.D.	TOILET PAPER DISPENSER
TRAN.	TRANSFORMER
TREAD.	TREAD
T.S.	TOP OF SLAB / TOP OF STEEL
T.S.S.	TOP OF STRUCTURAL SLAB
TV.	TELEVISION
T.W.	TOP OF WALL
TYP.	TYPICAL
UNF.	UNFINISHED
UNO.	UNLESS NOTED OTHERWISE
UR.	URINAL
U.T.R.	UP THROUGH ROOF
V	VENT / VOLT
VCP	VITRIFIED CLAY PIPE
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
VEST.	VESTIBULE
V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
V.T.R.	VENT THROUGH ROOF
V.G.	VERTICAL GRAIN
W.	WEST
W	WITH
W.C.	WATER CLOSET
WOOD	WOOD
W.I.C.	WOODWORK INSTITUTE OF CA
W/O	WITHOUT
W/P.	WATERPROOF
WSCT.	WAINSCOT
WT.	WEIGHT

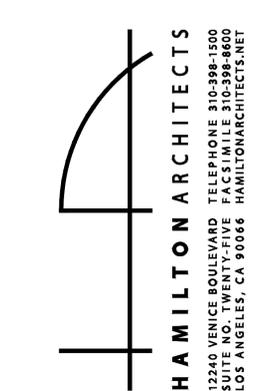
FILL LEGEND	
	CONCRETE
	METAL
	FINISH GRADE
	NATURAL GRADE
	ACOUSTIC TILE
	BRICK VENEER OR MASONRY
	CERAMIC TILE (LARGE SCALE)
	GRAVEL
	GYPSPUM WALLBOARD
	INSULATION BATT
	INSULATION, RIGID, SEMI-RIGID
	MASONRY
	PLASTER
	PLASTER W/LATH (LARGE SCALE)
	PLYWOOD
	SAND
	STONE
	WOOD, FINISH
	WOOD, CONTINUOUS
	WOOD, BLOCKING

SYMBOLS LEGEND	
	DOOR TAG, SEE SCHEDULE
	WINDOW TAG, SEE SCHEDULE
	ARCHITECTURAL KEYNOTE TAG
	EQUIPMENT / FIXTURE TAG, SEE SCHEDULE
	REVISION TAG
	GENERAL FINISH TAG
	WALL FINISH TAG
	FLOOR FINISH TAG
	CEILING HEIGHT TAG
	ELEVATION DATUM / POINT OF CONNECTION
	DETAIL #
	ELEVATION #
	MULTIPLE ELEVATION MARKER
	SECTION MARKER
	SLAB ELEVATION CHANGE
	DRAWING #
	SHEET #
	MATCH LINE (SHADED PORTION IS SIDE CONSIDERED)
	HOSE BIBB

WINDOW SCHEDULE															
WINDOW TYPE	WIDTH	HEIGHT	SILL HEIGHT	FRAME MATERIAL	INTERIOR TRIM MATERIAL	EXTERIOR TRIM MATERIAL	FRAME FINISH	TRIM FINISH	OPERATION	MANUFACTURER	MODEL	REMARKS			
A	9'-0"	8'-6"	1'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	FIXED	FLEETWOOD	2000 SERIES				
B	4'-0"	8'-6"	1'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	FIXED	FLEETWOOD	2000 SERIES				
C	4'-0"	7'-0"	3'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	FIXED	FLEETWOOD	2000 SERIES				
D	8'-0"	4'-0"	3'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	FIXED / CASEMENT	FLEETWOOD	2000 SERIES				
E	2'-0"	4'-0"	3'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	CASEMENT	FLEETWOOD	2000 SERIES				
F	10'-0"	1'-6"	3'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	FIXED	FLEETWOOD	2000 SERIES				
G	2'-6"	4'-0"	3'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	CASEMENT	FLEETWOOD	2000 SERIES				
H	9'-0"	4'-0"	3'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	FIXED	FLEETWOOD	2000 SERIES				
I	6'-0"	1'-6"	5'-6"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	AWNING	FLEETWOOD	2000 SERIES				
J	2'-6"	1'-6"	5'-6"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	AWNING	FLEETWOOD	2000 SERIES				
K	3'-6"	1'-6"	5'-6"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	AWNING	FLEETWOOD	2000 SERIES				
L	2'-9"	4'-0"	3'-0"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	CASEMENT	FLEETWOOD	2000 SERIES				
M	8'-0"	6'-0"	7'-6"	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	N/A	FIXED	FLEETWOOD	2000 SERIES				
N	22'-6"	14'-6"	0'-0"	AL	NONE	NONE	DARK BRONZE AB-7 ANODIZE	N/A	FIXED	ARCADIA	TC670				
O	VARIES - SEE PLAN	8'-0"	0'-0"	AL	NONE	NONE	DARK BRONZE AB-7 ANODIZE	N/A	FIXED	ARCADIA	AFG451T				

DOOR SCHEDULE															
DOOR MARK	WIDTH	HEIGHT	THICKNESS	INTERIOR / EXTERIOR	PANEL MATERIAL	FRAME MATERIAL	INTERIOR TRIM	EXTERIOR TRIM	FINISH	TYPE	OPERATION	MANUFACTURER	MODEL	HARDWARE	REMARKS
1	9'-0"	8'-0"	2 1/4"	EXTERIOR	AL	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	GLASS PANEL	OUTSWING	FLEETWOOD	3500 SERIES	LOCKING	3'-6" WIDE DOOR PANEL WITH 2'-9" WIDE SIDELITES
2	3'-0"	7'-0"	2 1/4"	EXTERIOR	AL	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	GLASS PANEL	OUTSWING	FLEETWOOD	3500 SERIES	LOCKING	
3	18'-0"	8'-0"	-	EXTERIOR	STL	STL	NONE	NONE	PTD	ROLL-UP	OVERHEAD	BY OWNER	BY OWNER	-	ELECTRIC ROLL-UP DOOR WITH EXTERIOR KEYPAD
4	6'-0"	13'-6"	2 1/4"	EXTERIOR	AL	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	GLASS PANEL	INSWING	FLEETWOOD	3500 SERIES	LOCKING	3'-6" WIDE DOOR PANEL WITH 2'-6" WIDE SIDELITE, 7'-0" TALL DOOR PANEL WITH 6'-6" TALL TRANSOM.
5	10'-11"	8'-0"	2 1/4"	EXTERIOR	AL	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	GLASS PANEL	XXO MULTISLIDE	FLEETWOOD	1070 SERIES	LOCKING	
6	10'-0"	7'-0"	2 1/4"	EXTERIOR	AL	AL	NONE	NONE	CLASS I DARK BRONZE ANODIZE	GLASS PANEL	XXO MULTISLIDE	FLEETWOOD	1070 SERIES	LOCKING	
7	3'-0"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	LOCKING	
8	3'-0"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	LOCKING	
9	2'-2"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	LOCKING	
10	2'-8"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	PRIVACY	
11	10'-0"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	GLASS PANEL	XX MULTISLIDE	BY OWNER	BY OWNER	PRIVACY	
12	3'-0"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	PRIVACY	
13	2'-8"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	PASSAGE	
14	2'-4"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	PASSAGE	
15	2'-8"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	PRIVACY	
16	2'-8"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	PRIVACY	
17	2'-8"	7'-0"	1 3/4"	INTERIOR	WD	WD	NONE	N/A	PTD	FLUSH PANEL	SWING	BY OWNER	BY OWNER	PASSAGE	

CONCEPTUAL EXTERIOR LIGHT FIXTURE SCHEDULE							
FIXTURE MARK	DESCRIPTION	MAKE	MODEL	WATTAGE / LUMENS	COLOR TEMPERATURE	QUANTITY	NOTES
F-01	SCONCE	JUNIPER	RAIL OUTDOOR - 60"	21W 1417 LM	3000K	2	
F-02	FACADE - EXTERIOR LINEAR ACCENT	CALI	ALS50T	6 w/ff 720 lm/ff	3000K	116 LF	
F-02	PATIO AREA DOWN LIGHT - LINEAR	CALI	ALS50T	6 w/ff 720 lm/ff	3000K	53 LF	
F-03	RECESSED DOWN LIGHT	JUNO	2LED - 600	8W 600 LM	2700K	34	
F-04	ILLUMINATED HANDRAIL	CALI	LLED8000	1.5 w/ff 152 lm/ff	3000K	43 LF	GROUND TO SECOND FLOOR ENTRY & 3RD FLOOR TERRACE TO ROOF TERRACE
F-05	RECESSED STEP LIGHT	SISTEMALUX	GHOST	5 w/ff 121 lm/ff	3000K	2	CONTINUOUS LINEAR - (1) 3'-4" & (1) 6'-8" LONG
F-06	FACADE - IN-GRADE UP LIGHT	WAC	5031	12W 505 LM	2700K	14	
F-07	IN-GRADE LINEAR PLANTER WALL ACCENT	CALI	LLED 8200-CR	4 w/ff 432 lm/ff	2700K	2	CONTINUOUS LINEAR - (1) 10'-0" & (1) 12'-0" LONG
F-08	IN-FLOOR FACADE WASH AT BALCONY	BOLD	UC6-4-FULL CUTOFF	9 w/ff 550 lm/ff	3000K	2	
F-09	PATH INDICATOR LIGHTS AT ROOF TERRACE	WAC	2091-30	4W 5LM	3000K	13	





16



17



18



19



20



21



22



HAMILTON ARCHITECTS
 12240 VENICE BOULEVARD TELEPHONE 310-398-1500
 SUITE NO. TWENTY-FIVE FACSIMILE 310-398-8600
 LOS ANGELES, CA 90066 HAMILTONARCHITECTS.NET



PROJECT:
 LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
 ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

**NEIGHBORHOOD
 CONTEXT
 PHOTOS**

Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH

A0.6



23



24



25



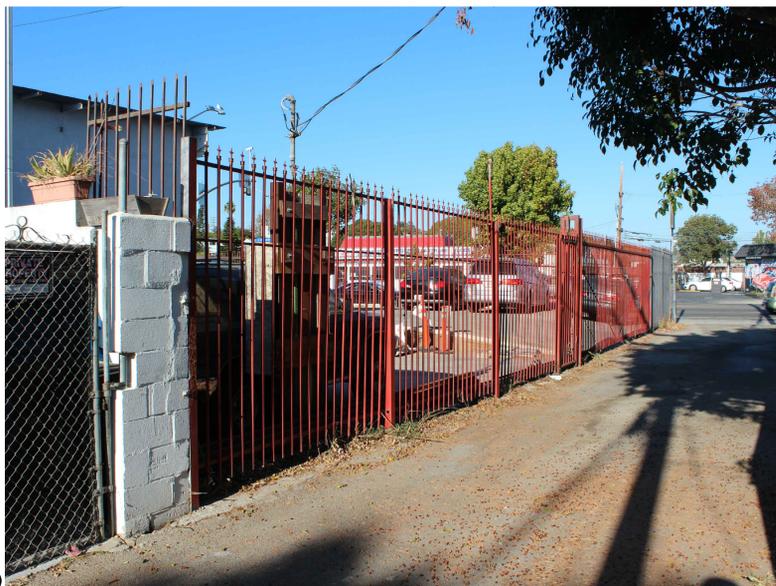
26



27



28



29



HAMILTON ARCHITECTS
 12240 VENICE BOULEVARD TELEPHONE 310-398-1500
 SUITE NO. TWENTY-FIVE FACSIMILE 310-398-8600
 LOS ANGELES, CA 90066 HAMILTONARCHITECTS.NET



PROJECT:

LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:

ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

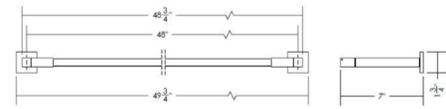
**NEIGHBORHOOD
 CONTEXT
 PHOTOS**

Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH

A0.7



JUNIPER

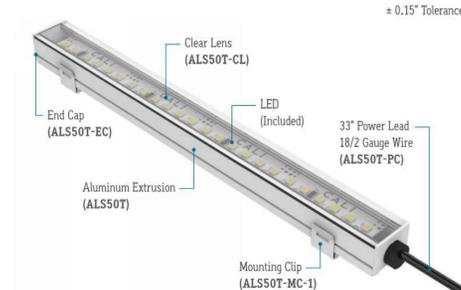


Sconce
by Juniper Model #Rail Outdoor Lighting System - 60"
21W | 1417 LM | 3000K

F-01

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA

CALI CALIFORNIA ACCENT LIGHTING INC ± 0.15" Tolerance

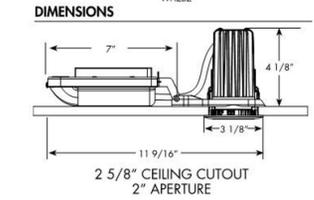


Facade Linear Accents
by CALI Model #ALS50T
6 w/lf | 720 lm/lf | 3000K

F-02

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA

2LEDTRIM G2 DC



Recessed Down Light
by JUNO Model #2LED - 600
8W | 600 LM | 2700K

F-03

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA

LENS AND SINGLE LIGHT



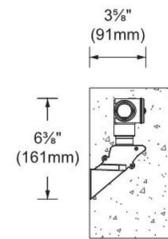
LED8000 lightstrip is field-cuttable every 2" for easy installation without rigorous requirements.



Illuminated Handrail
by CALI Model #LLED8000
1.5 w/lf | 152 lm/lf | 2700K

F-04

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA



Recessed Step Light @ Patio
by SISTEMALUX Model Ghost
5 w/lf | 121 lm/lf | 3000K

F-05

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA

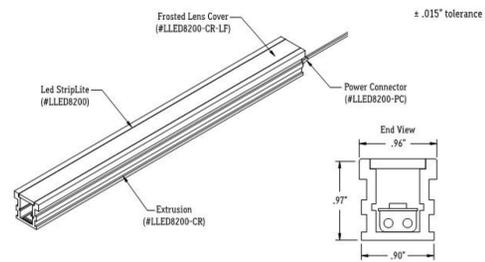
3" INGROUND 12V 5031



In-grade up light @ ground level facade
by WAC Model #5031-27
12W | 505 LM | 2700K

F-06

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA



In-ground linear accent @ Planter
by CALI Model #LLED 8200-CR
4 w/lf | 432 lm/lf | 2700K

F-07

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA



In-floor Facade Wash @ Balcony
by Bold Model #UC6 - 4' - full cutoff
9 w/lf | 550 lm/lf | 3000K

F-08

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA

Pathway Indicator Lights @ Roof Terrace
by WAC Model #2091-30
4W | 5 LM | 3000K

F-09

PENUMBRA ARCHITECTURAL LIGHTING
3280 LINCOLN - ARB | SANTA MONICA, CA



PROJECT:
LINCOLN MIXED USE
3280 LINCOLN BLVD
SANTA MONICA, CA 90405

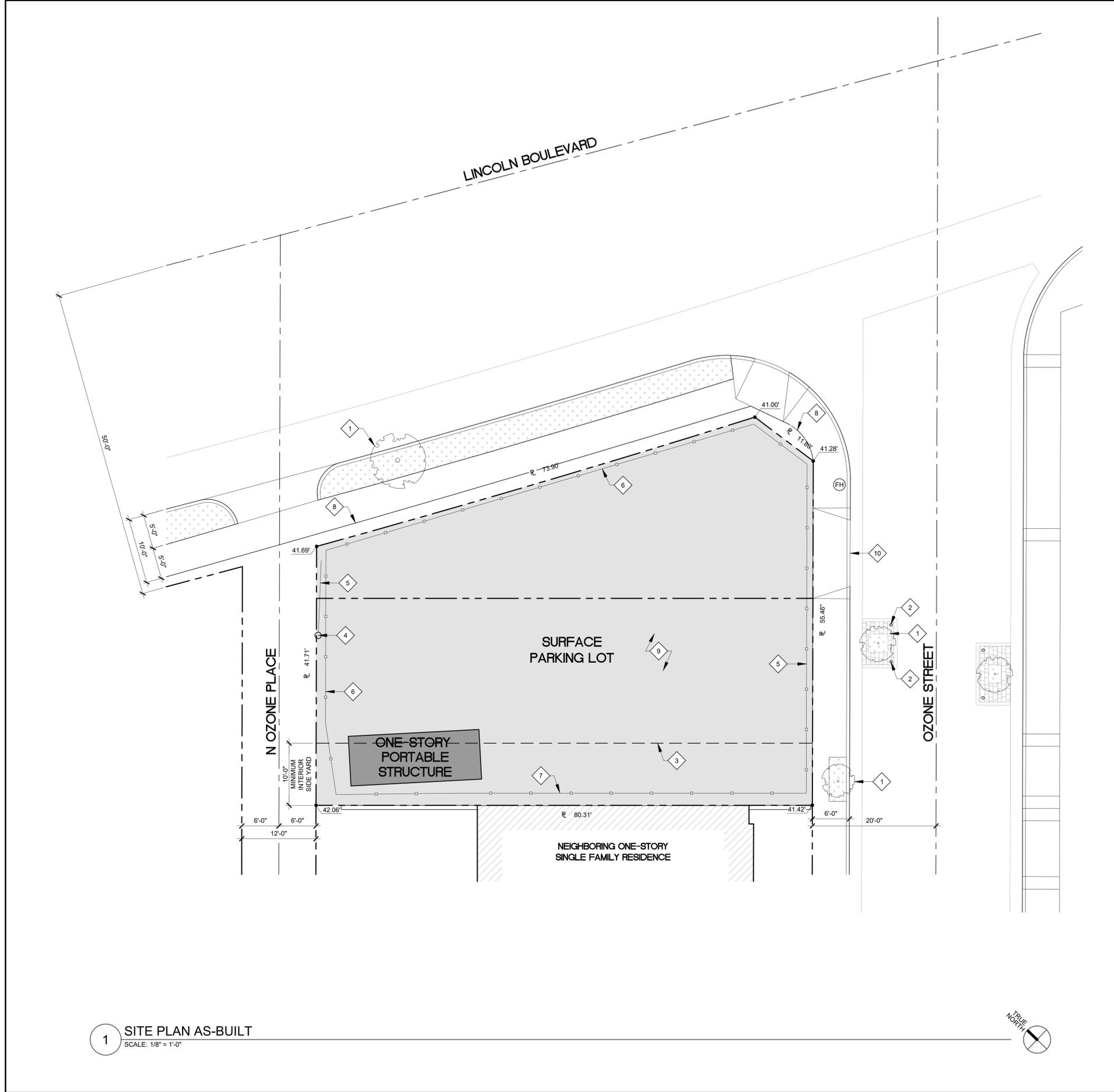
NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
ANTON & TESSA GOSS
10910 LONG BEACH BOULEVARD
STE 103-430
LYNWOOD, CA 90262

CONCEPTUAL LIGHT FIXTURE PRODUCT INFORMATION

Project: 15036 Drawing Number
Date: 06.05.2017
Drawn by: AMD
Checked by: JPH

A0.10



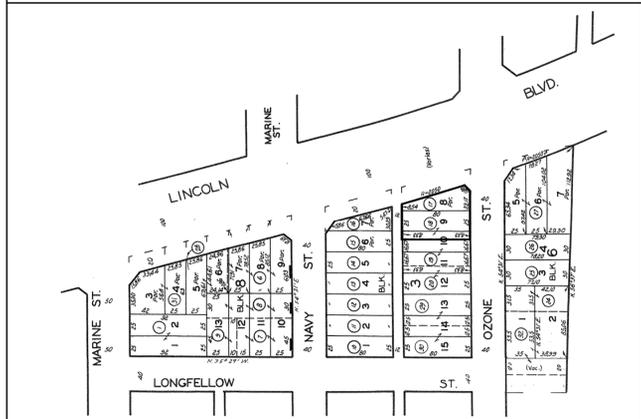
KEYNOTES

- 1 STREET TREE WITHIN THE PUBLIC RIGHT-OF-WAY
- 2 TRAFFIC BOLLARD WITHIN THE PUBLIC RIGHT-OF-WAY
- 3 LINE OF MINIMUM INTERIOR SIDE YARD SETBACK
- 4 UTILITY POLE
- 5 UTILITY POLE GUY WIRE
- 6 OPEN STEEL FENCE / GATE
- 7 WOOD AND CORRUGATED SHEET METAL FENCE
- 8 EDGE OF SIDEWALK
- 9 ASPHALTIC CONCRETE PARKING LOT SURFACE
- 10 10'-7" WIDE CURB CUT AND DRIVEWAY APRON

AERIAL PHOTO

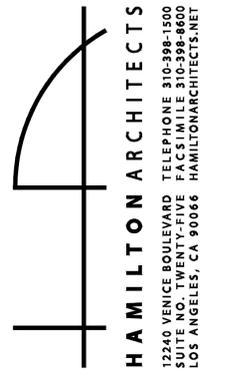


ASSESSOR'S MAP



LEGEND

- LANDSCAPED AREA
- FIRE HYDRANT



PROJECT:
 LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
 ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

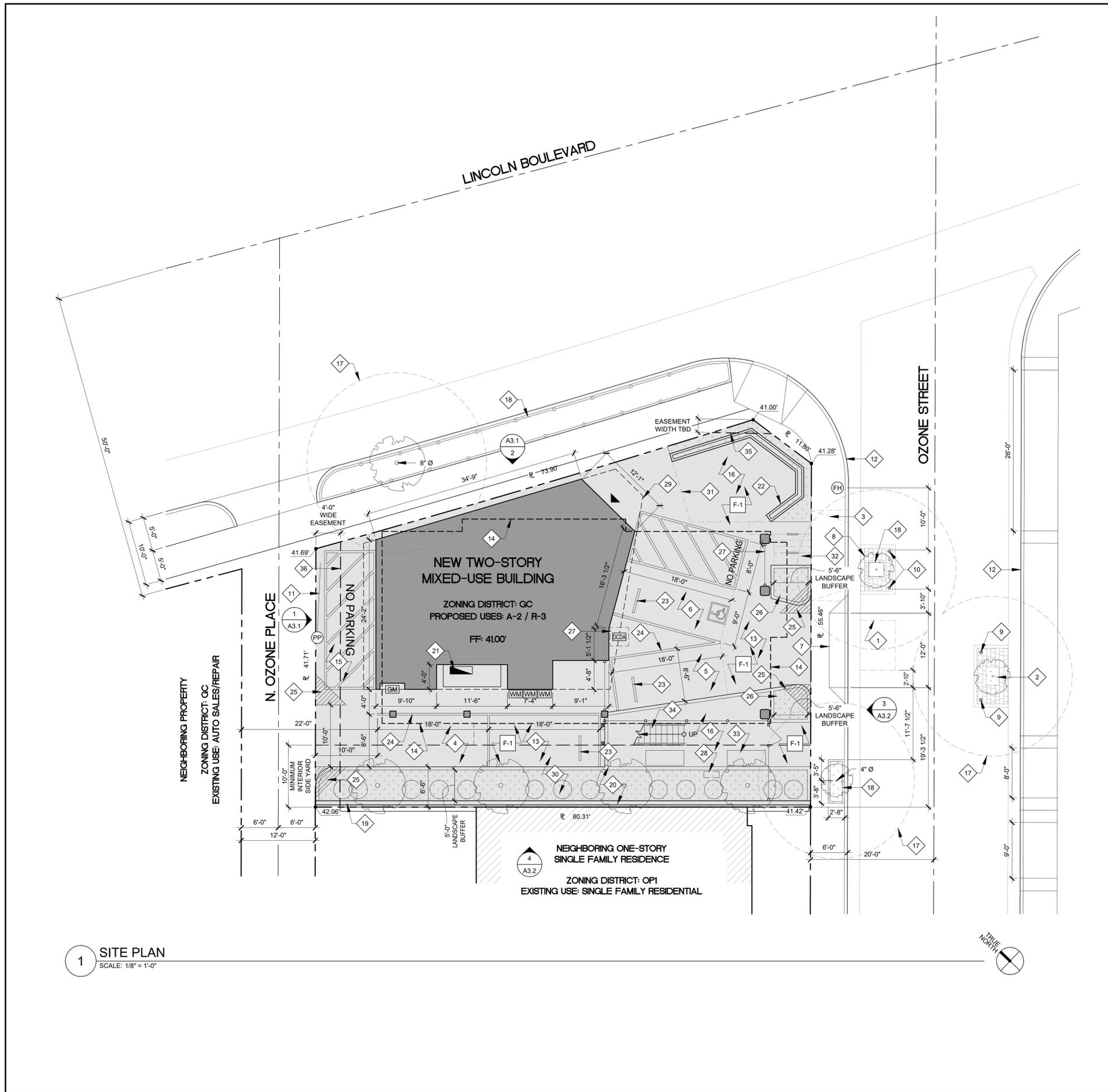
SITE PLAN AS-BUILT

Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH

A1.1

1 SITE PLAN AS-BUILT
 SCALE: 1/8" = 1'-0"





KEYNOTES

- 1 EXISTING STREET TREE WELL WITHIN THE PUBLIC RIGHT-OF-WAY TO BE REMOVED
- 2 EXISTING STREET TREE WELL WITHIN THE PUBLIC RIGHT-OF-WAY TO REMAIN.
- 3 EXISTING CURB CUT WILL BE REMOVED AND REPLACED WITH FULL-HEIGHT CURB, GUTTER PARKWAY AND SIDEWALK PER CITY STANDARDS.
- 4 TWO STANDARD TANDEM PARKING STALLS FOR RESIDENTIAL UNIT
- 5 ONE STANDARD STALL FOR COMMERCIAL UNIT
- 6 ONE HANDICAP STALL FOR COMMERCIAL UNIT
- 7 NEW 12'-0" WIDE DRIVEWAY APRON, TO BE CONSTRUCTED IN COMPLIANCE WITH CITY OF SANTA MONICA STANDARD PLAN NO. SM 5.
- 8 RELOCATED TREE WELL WITHIN THE PUBLIC RIGHT-OF-WAY.
- 9 EXISTING TRAFFIC BOLLARD WITHIN THE PUBLIC RIGHT-OF-WAY TO REMAIN
- 10 NEW TRAFFIC BOLLARD AT RELOCATED TREE WELL WITHIN PUBLIC RIGHT-OF-WAY.
- 11 EXISTING UTILITY POLE GUY WIRE TO REMAIN
- 12 FACE OF CURB
- 13 ASPHALTIC CONCRETE PARKING LOT SURFACE
- 14 OUTLINE OF BUILDING ABOVE
- 15 CAST-IN-PLACE CONCRETE SLAB FOR REFUSE & RECYCLING REMOVAL. PROVIDE NO PARKING TEXT AND 4" STRIPING ON SLAB.
- 16 CAST-IN-PLACE CONCRETE SLAB
- 17 BOUNDARY OF STREET TREE CRITICAL ROOT ZONE. COORDINATE ALL OFF-SITE IMPROVEMENTS WITHIN THE TPZ WITH THE COMMUNITY FORESTERS OFFICE. NO CONSTRUCTION MATERIALS OR ACTIVITIES ALLOWED IN THIS AREA. PRUNING OF CITY TREES TO PROVIDE CLEARANCE FOR CONSTRUCTION ACTIVITIES SHALL ONLY BE DONE BY CITY OF SANTA MONICA FOREST OPERATIONS.
- 18 TEMPORARY 6'-0" TALL CHAIN LINK FENCE WITH IN-GROUND POSTS, PROVIDED FOR THE DURATION OF CONSTRUCTION. A SIGN SHALL BE POSTED ON THE FENCE STATING: "TREE PROTECTION ZONE - KEEP OUT".
- 19 NEW 8'-0" TALL CONCRETE MASONRY UNIT WALL WITH CEMENT PLASTER FINISH, ALONG PROPERTY LINE OF ADJACENT R-1 ZONE.
- 20 NEW 5'-0" WIDE LANDSCAPE BUFFER ALONG ADJACENT R-1 ZONE, CONSISTING OF A MINIMUM OF ONE 15 GALLON TREE AND THREE SHRUBS PER 20'-0" OF PROPERTY LINE LENGTH. AT LEAST 10 PERCENT OF THE REQUIRED TREES SHALL BE OF 24-INCH BOX SIZE. THE URBAN FORESTER SHALL BE CONSULTED AS TO THE SELECTION OF THESE TREES TO FACILITATE THE TREES' VIABILITY IN THE GIVEN URBAN CONDITIONS AND MICROCLIMATE.
- 21 PROPOSED LOCATION FOR NEW ELECTRICAL SERVICE ENCLOSURE. NEW ELECTRICAL SERVICE TO BE SUPPLIED UNDERGROUND FROM UTILITY POLE.
- 22 1'-4" WIDE x 3'-0" TALL CONCRETE PLANTER
- 23 PRECAST CONCRETE WHEEL STOP
- 24 4" WIDE PARKING STALL STRIPING
- 25 5'-0" x 5'-0" HVO TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS OVER 24" PURSUANT TO SMMC SECTION 9.21.180.
- 26 LANDSCAPED AREA SURROUNDED BY CONCRETE CURB
- 27 PROPOSED LOCATION FOR VERTICALLY-ORIENTED FIRE WATER SERVICE DCDA
- 28 PROPOSED LOCATION FOR DOMESTIC WATER SERVICE BACKFLOW PREVENTION VALVE
- 29 5'-0" DEEP OVERHANG OVER ENTRY DOOR
- 30 ENTIRE INTERIOR SIDE YARD SHALL BE UNEXCAVATED
- 31 OUTLINE OF 198.50 SQ FT OUTDOOR DINING AREA
- 32 FOUR SHORT-TERM BICYCLE PARKING STALLS (TWO DOUBLE-SIDED STEEL RACKS), THREE 2'-0" x 6'-0" STALLS AND ONE 2'-0" x 10'-0" STALL.
- 33 FOUR LONG-TERM BICYCLE PARKING LOCKERS (STACKED)
- 34 EXTERIOR STEEL EXIT STAIR UP TO SINGLE RESIDENTIAL UNIT ABOVE (R-3).
- 35 NEW EASEMENT TO ALLOW FOR DIRECTIONAL CURB RAMP AT STREET INTERSECTION. FINAL SIZE/CONFIGURATION OF EASEMENT TO BE DETERMINED IN COORDINATION WITH CITY'S "LINC" STREET IMPROVEMENTS.
- 36 NEW 4'-0" WIDE EASEMENT TO ALLOW FOR FUTURE ALLEY WIDENING
- 37 PERFORATED METAL SCREEN BETWEEN COLUMNS

LEGEND

- LANDSCAPED AREA
- FIRE HYDRANT
- UTILITY POLE
- PROPOSED GAS METER LOCATION
- PROPOSED ELECTRICAL METER LOCATION
- WALL-MOUNTED TANKLESS WATER HEATER

HAMILTON ARCHITECTS
 12240 VENICE BOULEVARD TELEPHONE 310-398-1500
 SUITE NO. TWENTY-FIVE FACSIMILE 310-398-8600
 LOS ANGELES, CA 90066 HAMILTONARCHITECTS.NET



PROJECT:
 LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

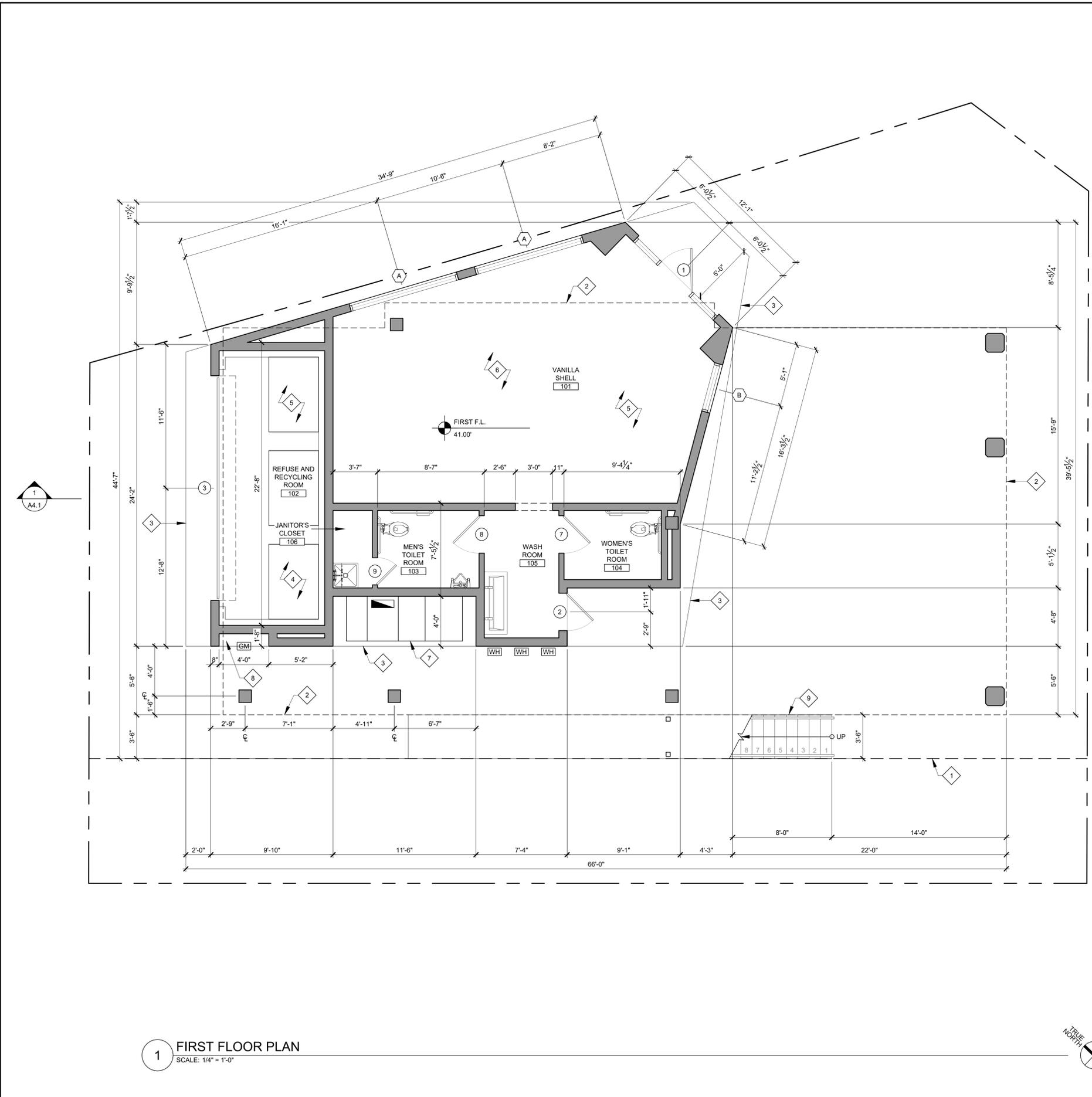
CLIENT:
 ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

SITE PLAN

Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH

A1.2

1 SITE PLAN
 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

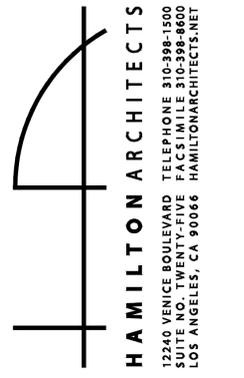
- 1 OUTLINE OF 10'-0" MINIMUM SIDE YARD ALONG NEIGHBORING R-1 ZONE
- 2 OUTLINE OF FLOOR ABOVE
- 3 OUTLINE OF SOFFIT ABOVE
- 4 22'-0" WIDE x 8'-6" DEEP REFUSE AND RECYCLING ROOM, SURROUNDED BY A 6" DEEP x 8" TALL CONCRETE CURB. ROOM MUST BE PROVIDED WITH LIGHTING, VENTILATION AND SANITARY DRAINS.
- 5 CAST-IN-PLACE CONCRETE SLAB-ON-GRADE
- 6 COMMERCIAL (A-2) UNIT (749.5 SQ FT)
- 7 PROPOSED ELECTRICAL METERING EQUIPMENT ENCLOSURE
- 8 PROPOSED GAS METER RECESS
- 9 EXTERIOR STEEL EXIT STAIR UP TO SINGLE RESIDENTIAL UNIT ABOVE (R-3).

MATERIAL / FINISH SCHEDULE

FINISH MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS
F-1	CAST-IN-PLACE CONCRETE	BY OWNER	BY OWNER	WHITE	ROCK SALT	-
F-2	CEMENTITIOUS DECK COATING	WESTCOAT	ALX	CONCRETE GRAY	SAND	-
W-1	PERFORATED ALUMINUM SCREEN	N/A	N/A	MILL FINISH	GLOSSY	3/8" THICK ALUMINUM PANELS
W-2	WEATHERED RECLAIMED SIDING	E&K VINTAGE WOOD	N/A	OAK SAN FRANCISCO 1012	SMOOTH PLANED	-
W-3	7/8" THREE-COAT CEMENT PLASTER	LA HABRA	PERMA-FLEX	WHITE	SMOOTH	-
P-1	DARK BRONZE ANODIZED	N/A	N/A	DARK BRONZE	ANODIZED	FACTORY-APPLIED ANODIZE FINISH FOR EXTERIOR DOORS AND WINDOWS

LEGEND

- NEW WALL
- PROPOSED GAS METER LOCATION
- PROPOSED ELECTRICAL METER LOCATION
- WALL-MOUNTED TANKLESS WATER HEATER



PROJECT:
LINCOLN MIXED USE
3280 LINCOLN BLVD
SANTA MONICA, CA 90405

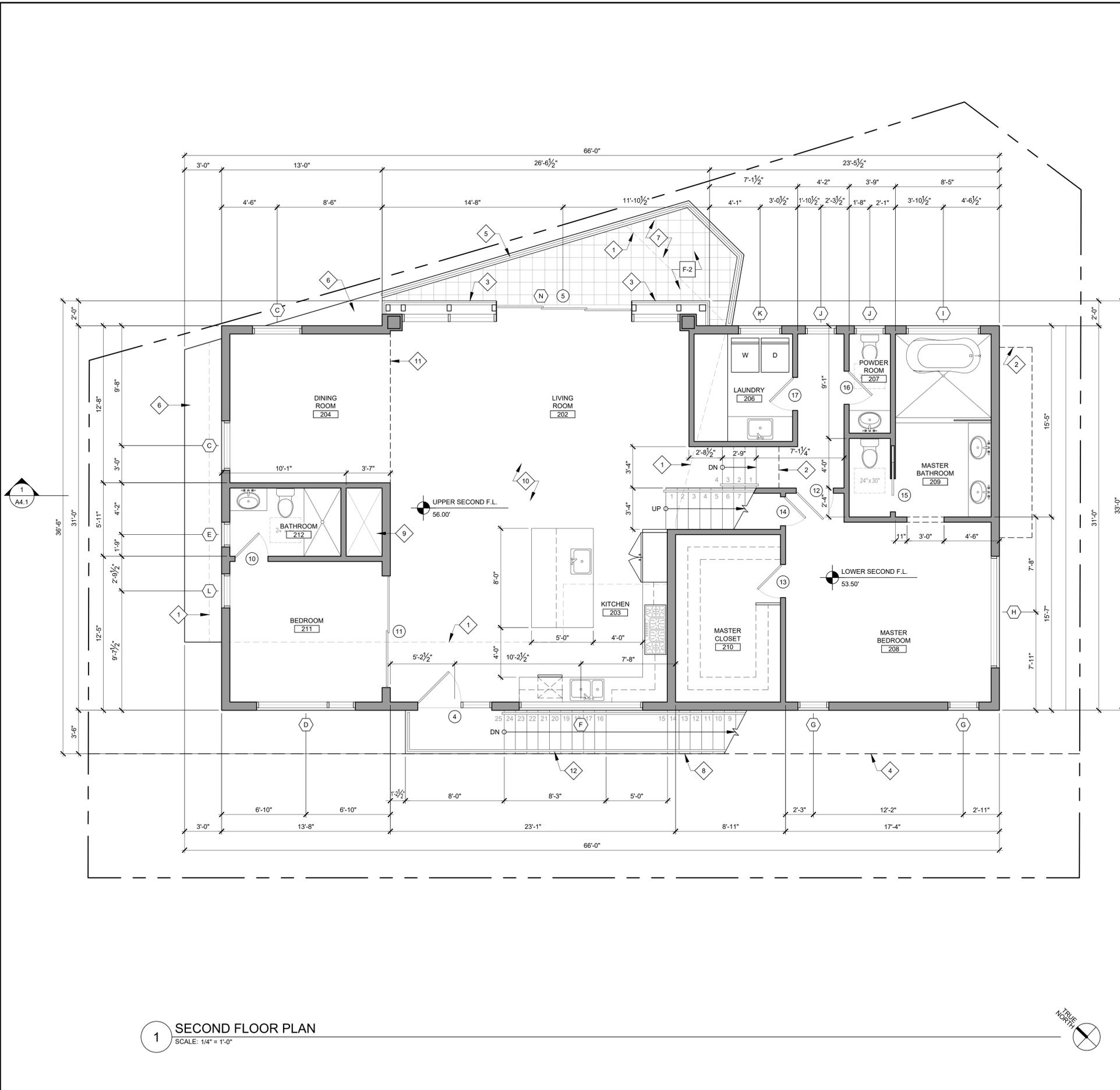
NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
ANTON & TESSA GOSS
10910 LONG BEACH BOULEVARD
STE 103-430
LYNWOOD, CA 90262

FIRST FLOOR PLAN

Project: 15036 Drawing Number
Date: 06.05.2017
Drawn by: AMD
Checked by: JPH

A2.1



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 OUTLINE OF FLOOR BELOW
- 2 OUTLINE OF FLOOR ABOVE
- 3 PERFORATED ALUMINUM SCREEN WITH STEEL SUPPORT STRUCTURE
- 4 10'-0" MINIMUM SIDE YARD ALONG NEIGHBORING R-1 ZONE
- 5 3'-6" TALL GLAZED GUARDRAIL OVER SOLID PARAPET
- 6 GALVANIZED STEEL ROOF FLASHING
- 7 121 SQ FT ROOF DECK WITH STONE TILE FINISH
- 8 EXTERIOR STEEL EXIT STAIR DOWN TO GRADE BELOW.
- 9 MECHANICAL CHASE TO ROOF ABOVE
- 10 875 SQ FT ROOM OPEN TO MEZZANINE ABOVE
- 11 OUTLINE OF ROOF ABOVE
- 12 OPEN GUARDRAIL CONSISTING OF PERFORATED ALUMINUM SHEET OVER STEEL STRUCTURE

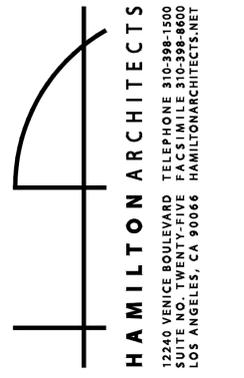
MATERIAL / FINISH SCHEDULE

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

FINISH MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS
F-1	CAST-IN-PLACE CONCRETE	BY OWNER	BY OWNER	WHITE	ROCK SALT	-
F-2	CEMENTITIOUS DECK COATING	WESTCOAT	ALX	CONCRETE GRAY	SAND	-
W-1	PERFORATED ALUMINUM SCREEN	N/A	N/A	MILL FINISH	GLOSSY	3/8" THICK ALUMINUM PANELS
W-2	WEATHERED RECLAIMED SIDING	E&K VINTAGE WOOD	N/A	OAK SAN FRANCISCO 1012	SMOOTH PLANED	-
W-3	7/8" THREE-COAT CEMENT PLASTER	LA HABRA	PERMA-FLEX	WHITE	SMOOTH	-
P-1	DARK BRONZE ANODIZED	N/A	N/A	DARK BRONZE	ANODIZED	FACTORY-APPLIED ANODIZE FINISH FOR EXTERIOR DOORS AND WINDOWS

LEGEND

NEW WALL



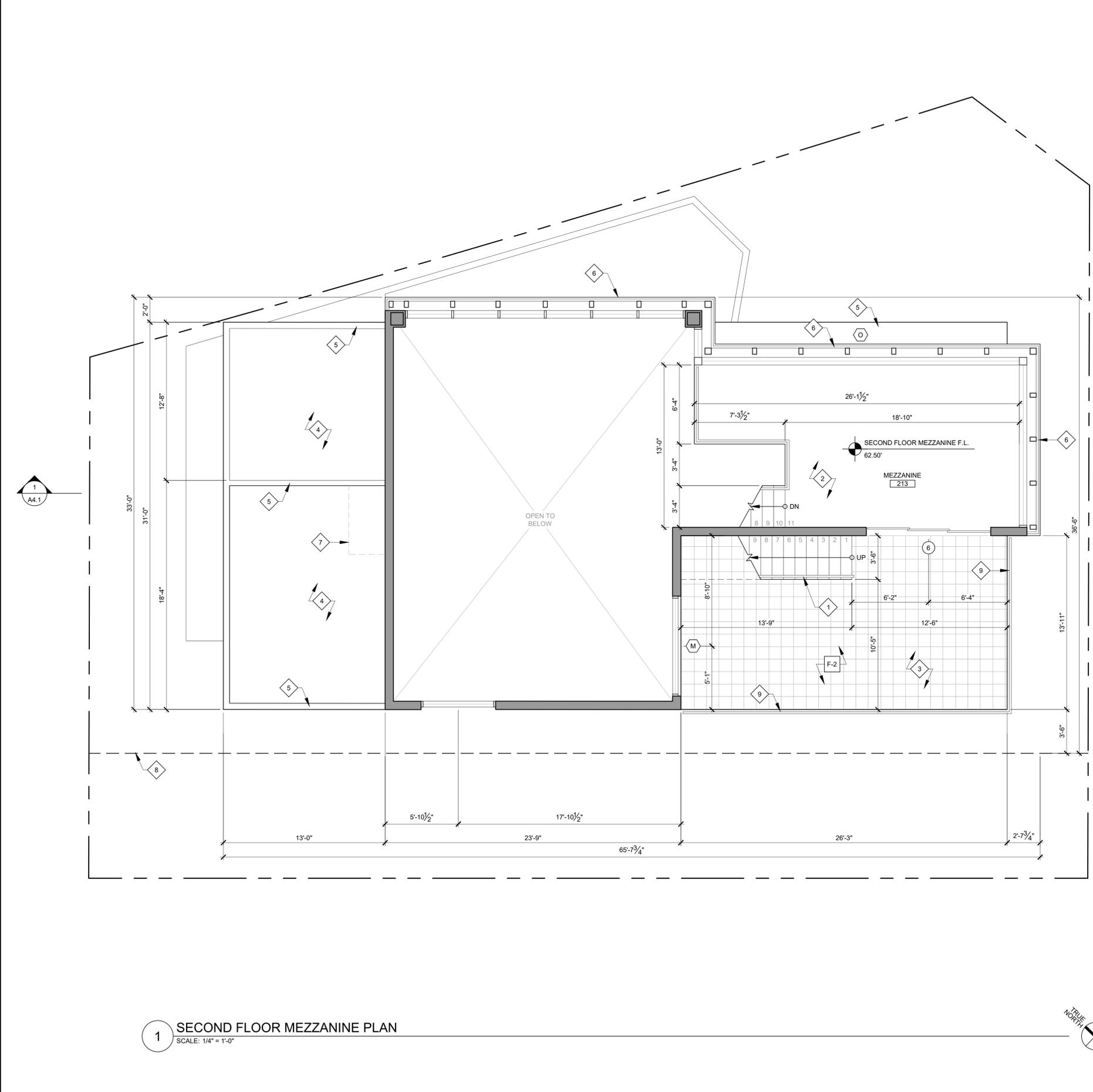
PROJECT:
LINCOLN MIXED USE
3280 LINCOLN BLVD
SANTA MONICA, CA 90405

CLIENT:
ANTON & TESSA GOSS
10910 LONG BEACH BOULEVARD
STE 103-430
LYNWOOD, CA 90262

SECOND FLOOR PLAN

Project: 15036 Drawing Number
Date: 06.05.2017
Drawn by: AMD
Checked by: JPH

A2.2



1 SECOND FLOOR MEZZANINE PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

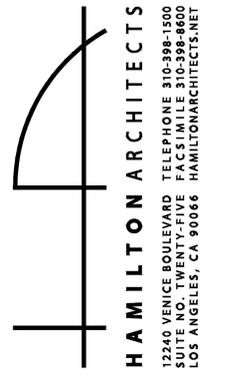
- 1 EXTERIOR STEEL STAIR WITH OPEN GUARDRAIL CONSISTING OF PERFORATED ALUMINUM SHEET OVER STEEL STRUCTURE
- 2 291 SQ FT MEZZANINE OVERLOOKING 875 SQ FT ROOM BELOW
- 3 365 SQ FT ROOF DECK WITH STONE TILE FINISH
- 4 LOW SLOPE ROOF MEMBRANE, WHITE FINISH
- 5 SOLID PARAPET
- 6 PERFORATED ALUMINUM SCREEN WITH STEEL SUPPORT STRUCTURE
- 7 OUTLINE OF MECHANICAL CHASE TO FIRST FLOOR
- 8 10'-0" MINIMUM SIDE YARD ALONG NEIGHBORING R-1 ZONE
- 9 3'-6" TALL OPEN GUARDRAIL CONSISTING OF PERFORATED ALUMINUM SHEET OVER STEEL STRUCTURE

MATERIAL / FINISH SCHEDULE

	FINISH MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS
FLOOR	F-1	CAST-IN-PLACE CONCRETE	BY OWNER	BY OWNER	WHITE	ROCK SALT	-
	F-2	CEMENTITIOUS DECK COATING	WESTCOAT	ALX	CONCRETE GRAY	SAND	-
WALL / SCREEN	W-1	PERFORATED ALUMINUM SCREEN	N/A	N/A	MILL FINISH	GLOSSY	3/8" THICK ALUMINUM PANELS
	W-2	WEATHERED RECLAIMED SIDING	E&K VINTAGE WOOD	N/A	OAK SAN FRANCISCO 1012	SMOOTH PLANED	-
	W-3	7/8" THREE-COAT CEMENT PLASTER	LA HABRA	PERMA-FLEX	WHITE	SMOOTH	-
TRIM	P-1	DARK BRONZE ANODIZED	N/A	N/A	DARK BRONZE	ANODIZED	FACTORY-APPLIED ANODIZE FINISH FOR EXTERIOR DOORS AND WINDOWS

LEGEND

NEW WALL



PROJECT:
LINCOLN MIXED USE
3280 LINCOLN BLVD
SANTA MONICA, CA 90405

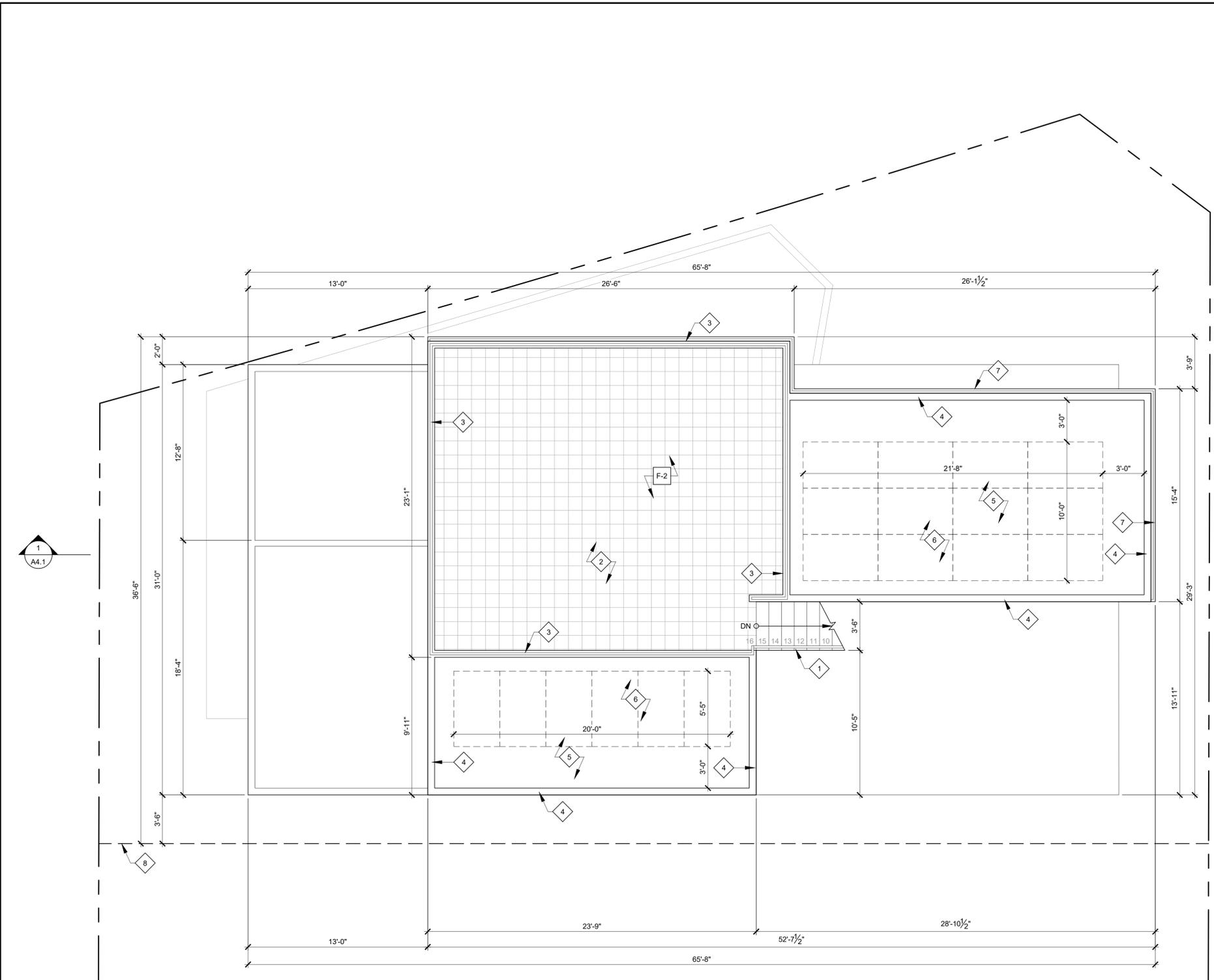
NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
ANTON & TESSA GOSS
10910 LONG BEACH BOULEVARD
STE 103-430
LYNWOOD, CA 90262

SECOND FLOOR MEZZANINE PLAN

Project: 15036 Drawing Number
Date: 06.05.2017
Drawn by: AMD
Checked by: JPH

A2.3



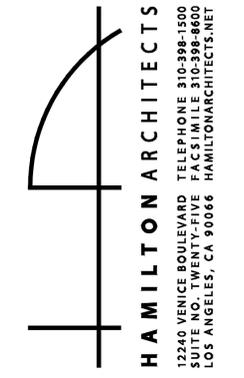
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 EXTERIOR STEEL STAIR WITH OPEN GUARDRAIL CONSISTING OF PERFORATED ALUMINUM SHEET OVER STEEL STRUCTURE
- 2 541 SQ FT ROOF DECK WITH STONE TILE FINISH
- 3 3'-6" TALL OPEN STEEL GUARDRAIL ON TOP OF SOLID PARAPET, WRAPPED WITH PERFORATED ALUMINUM SCREEN OVER STEEL STRUCTURE
- 4 SOLID PARAPET
- 5 LOW SLOPE ROOF MEMBRANE, WHITE FINISH
- 6 OUTLINE OF SOLAR PANEL ARRAY (6.1KW TOTAL SYSTEM SIZE)
- 7 PERFORATED ALUMINUM SCREEN BELOW WITH STEEL SUPPORT STRUCTURE
- 8 10'-0" MINIMUM SIDE YARD ALONG NEIGHBORING R-1 ZONE

MATERIAL / FINISH SCHEDULE

	FINISH MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS
FLOOR	F-1	CAST-IN-PLACE CONCRETE	BY OWNER	BY OWNER	WHITE	ROCK SALT	-
	F-2	CEMENTITIOUS DECK COATING	WESTCOAT	ALX	CONCRETE GRAY	SAND	-
WALL / SCREEN	W-1	PERFORATED ALUMINUM SCREEN	N/A	N/A	MILL FINISH	GLOSSY	3/8" THICK ALUMINUM PANELS
	W-2	WEATHERED RECLAIMED SIDING	E&K VINTAGE WOOD	N/A	OAK SAN FRANCISCO 1012	SMOOTH PLANED	-
	W-3	7/8" THREE-COAT CEMENT PLASTER	LA HABRA	PERMA-FLEX	WHITE	SMOOTH	-
TRIM	P-1	DARK BRONZE ANODIZED	N/A	N/A	DARK BRONZE	ANODIZED	FACTORY-APPLIED ANODIZE FINISH FOR EXTERIOR DOORS AND WINDOWS



PROJECT:
LINCOLN MIXED USE
3280 LINCOLN BLVD
SANTA MONICA, CA 90405

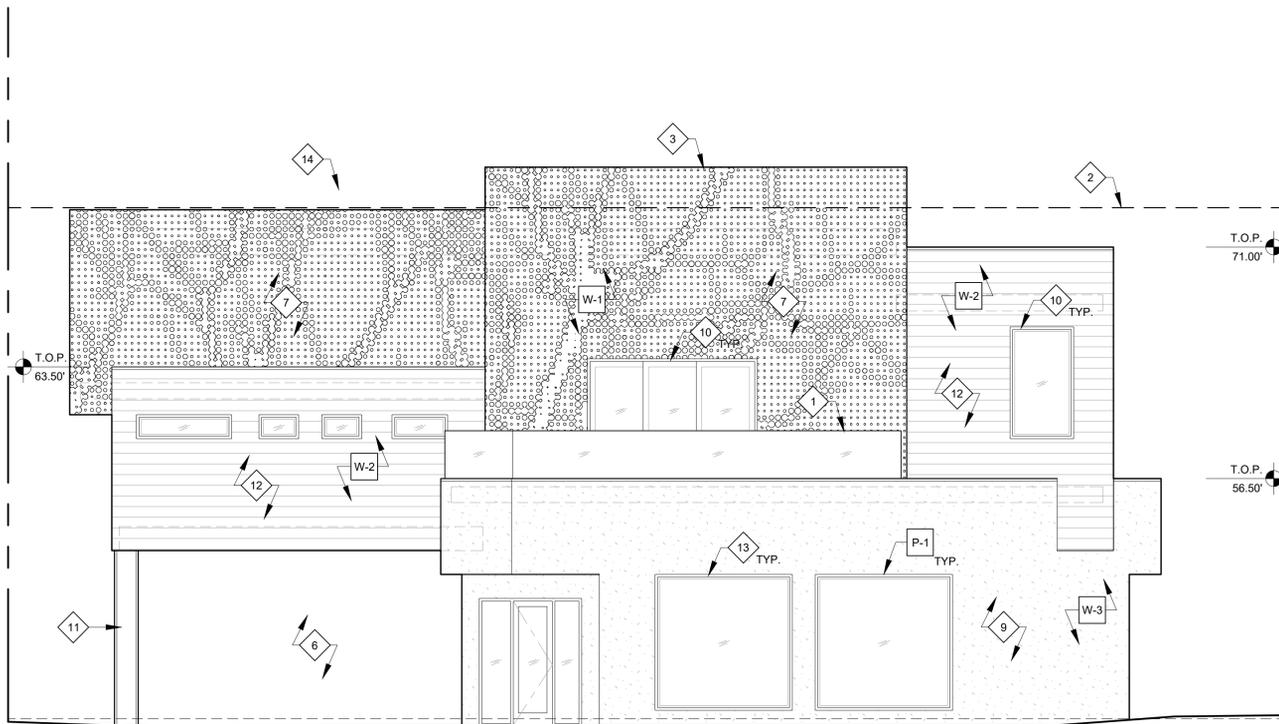
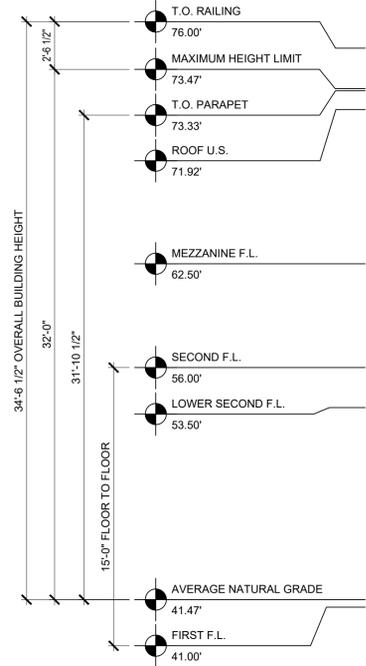
NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
ANTON & TESSA GOSS
10910 LONG BEACH BOULEVARD
STE 103-430
LYNWOOD, CA 90262

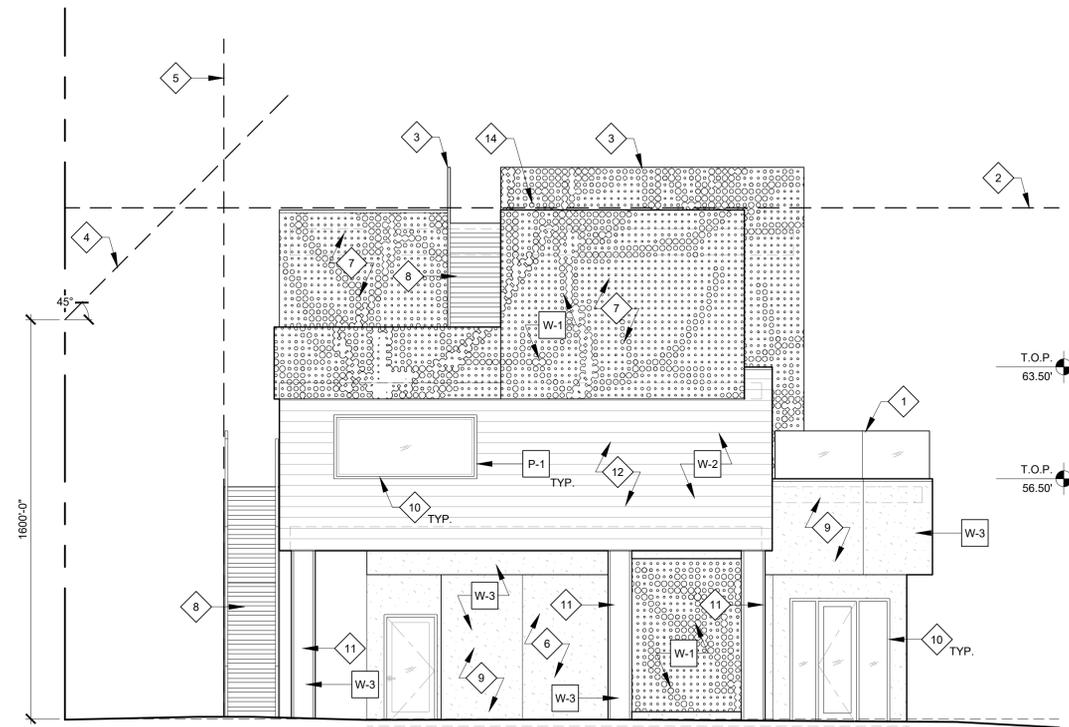
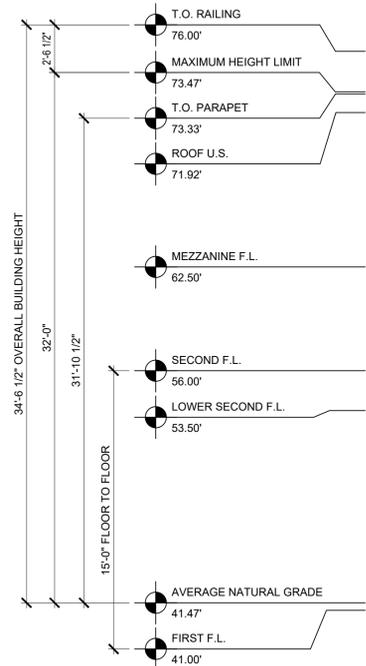
ROOF PLAN

Project: 15036 Drawing Number
Date: 06.05.2017
Drawn by: AMD
Checked by: JPH

A2.8



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



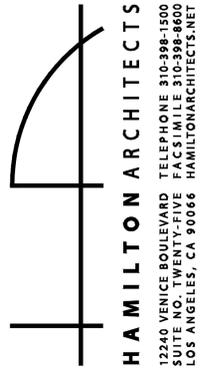
1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

KEYNOTES

- 1 3'-6" TALL GLAZED GUARDRAIL
- 2 OUTLINE OF MAXIMUM ALLOWABLE HEIGHT LIMIT
- 3 3'-6" TALL OPEN GUARDRAIL CONSISTING OF PERFORATED ALUMINUM SHEET OVER STEEL STRUCTURE
- 4 DAYLIGHT PLANE ALONG ADJACENT R-1 ZONE
- 5 10'-0" MINIMUM INTERIOR SIDE YARD SETBACK ALONG ADJACENT R-1 ZONE
- 6 UNENCLOSED GROUND LEVEL PARKING
- 7 PERFORATED ALUMINUM SCREEN WITH STEEL SUPPORT STRUCTURE
- 8 EXTERIOR STEEL STAIR WITH OPEN GUARDRAIL CONSISTING OF PERFORATED ALUMINUM SHEET OVER STEEL STRUCTURE
- 9 SMOOTH, UNPAINTED CEMENT PLASTER
- 10 ALUMINUM DOOR/WINDOW FRAME, ANODIZED
- 11 SMOOTH UNPAINTED CEMENT PLASTER FINISH AROUND STRUCTURAL COLUMN
- 12 RECLAIMED, UNFINISHED OAK SIDING, 10" PLANK WIDTH
- 13 WALL-MOUNTED GAS METERS BEYOND (WITHIN ALCOVE)
- 14 WALL-MOUNTED TANKLESS WATER HEATER
- 15 ELECTRICAL METER SWITCHBOARD IN OUTDOOR ENCLOSURE
- 16 STEEL ROLL-UP DOOR, PAINTED

MATERIAL / FINISH SCHEDULE

	FINISH MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS
FLOOR	F-1	CAST-IN-PLACE CONCRETE	BY OWNER	BY OWNER	WHITE	ROCK SALT	-
	F-2	CEMENTITIOUS DECK COATING	WESTCOAT	ALX	CONCRETE GRAY	SAND	-
WALL / SCREEN	W-1	PERFORATED ALUMINUM SCREEN	N/A	N/A	MILL FINISH	GLOSSY	3/8" THICK ALUMINUM PANELS
	W-2	WEATHERED RECLAIMED SIDING	E&K VINTAGE WOOD	N/A	OAK SAN FRANCISCO 1012	SMOOTH PLANED	-
	W-3	7/8" THREE-COAT CEMENT PLASTER	LA HABRA	PERMA-FLEX	WHITE	SMOOTH	-
TRIM	P-1	DARK BRONZE ANODIZED	N/A	N/A	DARK BRONZE	ANODIZED	FACTORY-APPLIED ANODIZE FINISH FOR EXTERIOR DOORS AND WINDOWS



PROJECT:
LINCOLN MIXED USE
3280 LINCOLN BLVD
SANTA MONICA, CA 90405

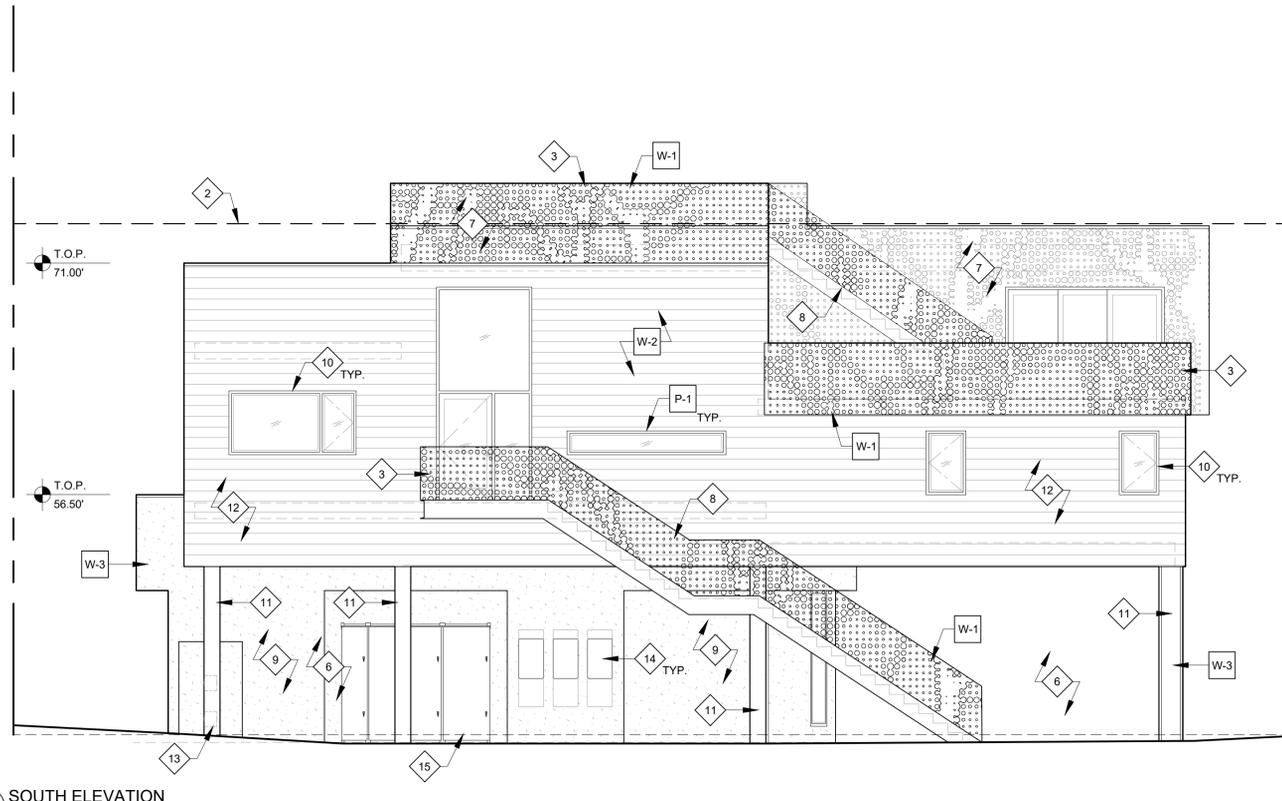
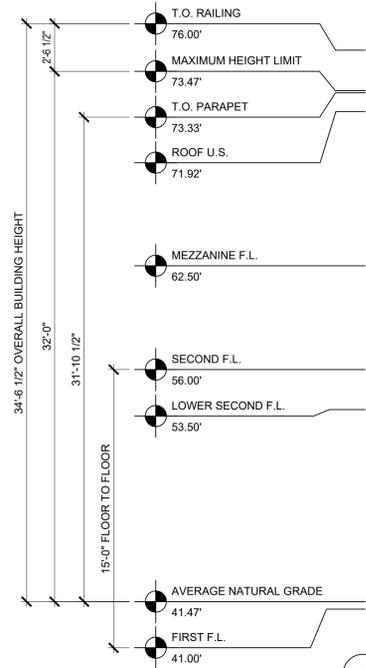
NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
ANTON & TESSA GOSS
10910 LONG BEACH BOULEVARD
STE 103-430
LYNWOOD, CA 90262

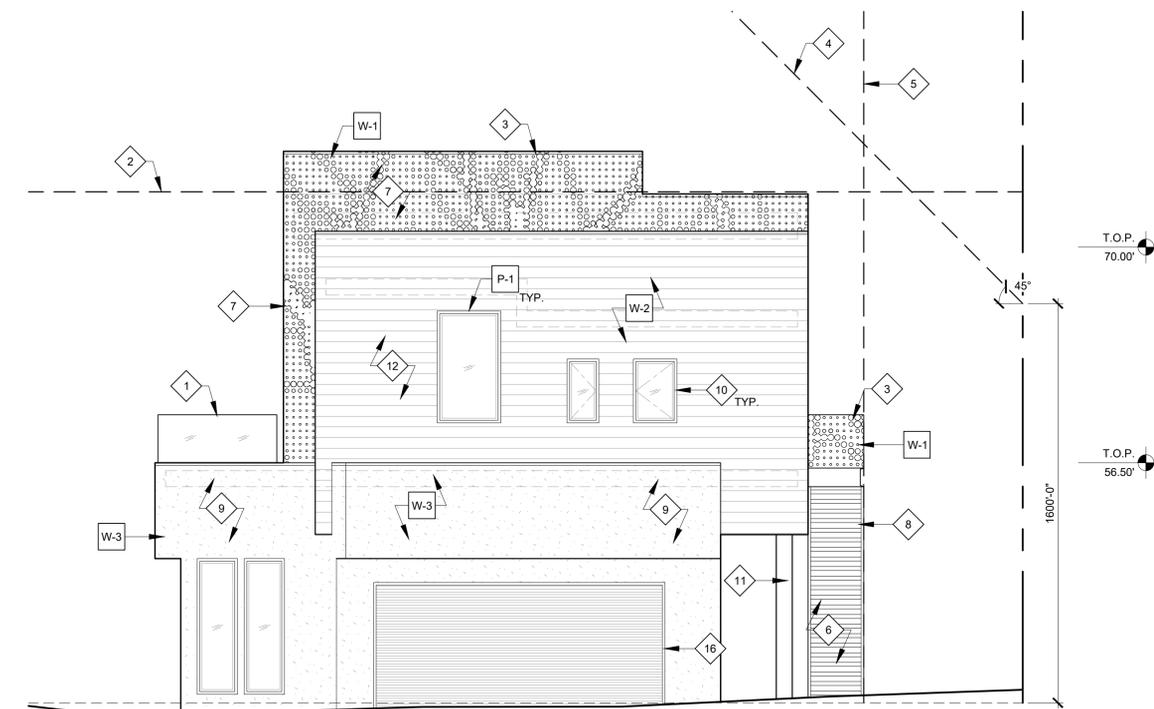
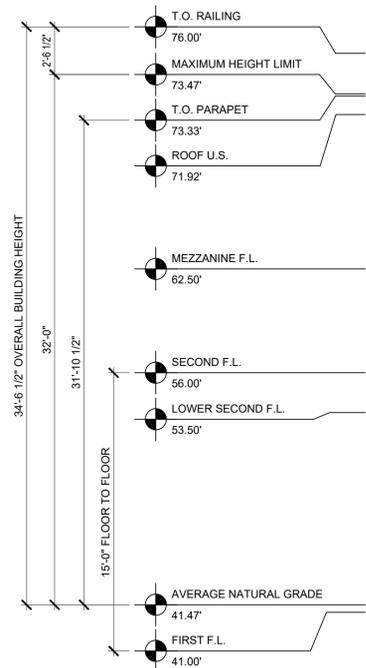
EXTERIOR ELEVATIONS

Project: 15036 Drawing Number
Date: 06.05.2017
Drawn by: AMD
Checked by: JPH

A3.1



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



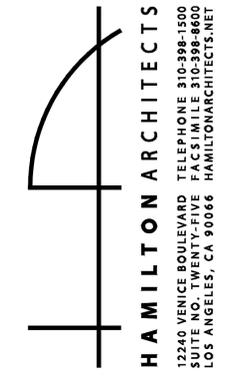
3 WEST ELEVATION
SCALE: 3/16" = 1'-0"

KEYNOTES

- 1 3'-6" TALL GLAZED GUARDRAIL
- 2 OUTLINE OF MAXIMUM ALLOWABLE HEIGHT LIMIT
- 3 3'-6" TALL OPEN GUARDRAIL CONSISTING OF PERFORATED ALUMINUM SHEET OVER STEEL STRUCTURE
- 4 DAYLIGHT PLANE ALONG ADJACENT R-1 ZONE
- 5 10'-0" MINIMUM INTERIOR SIDE YARD SETBACK ALONG ADJACENT R-1 ZONE
- 6 UNENCLOSED GROUND LEVEL PARKING
- 7 PERFORATED ALUMINUM SCREEN WITH STEEL SUPPORT STRUCTURE
- 8 EXTERIOR STEEL STAIR WITH OPEN GUARDRAIL CONSISTING OF PERFORATED ALUMINUM SHEET OVER STEEL STRUCTURE
- 9 SMOOTH, UNPAINTED CEMENT PLASTER
- 10 ALUMINUM DOOR/WINDOW FRAME, ANODIZED
- 11 SMOOTH UNPAINTED CEMENT PLASTER FINISH AROUND STRUCTURAL COLUMN
- 12 RECLAIMED, UNFINISHED OAK SIDING, 10" PLANK WIDTH
- 13 WALL-MOUNTED GAS METERS BEYOND (WITHIN ALCOVE)
- 14 WALL-MOUNTED TANKLESS WATER HEATER
- 15 ELECTRICAL METER SWITCHBOARD IN OUTDOOR ENCLOSURE
- 16 STEEL ROLL-UP DOOR, PAINTED

MATERIAL / FINISH SCHEDULE

	FINISH MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS
FLOOR	F-1	CAST-IN-PLACE CONCRETE	BY OWNER	BY OWNER	WHITE	ROCK SALT	-
	F-2	CEMENTITIOUS DECK COATING	WESTCOAT	ALX	CONCRETE GRAY	SAND	-
WALL / SCREEN	W-1	PERFORATED ALUMINUM SCREEN	N/A	N/A	MILL FINISH	GLOSSY	3/8" THICK ALUMINUM PANELS
	W-2	WEATHERED RECLAIMED SIDING	E&K VINTAGE WOOD	N/A	OAK SAN FRANCISCO 1012	SMOOTH PLANED	-
	W-3	7/8" THREE-COAT CEMENT PLASTER	LA HABRA	PERMA-FLEX	WHITE	SMOOTH	-
TRIM	P-1	DARK BRONZE ANODIZED	N/A	N/A	DARK BRONZE	ANODIZED	FACTORY-APPLIED ANODIZE FINISH FOR EXTERIOR DOORS AND WINDOWS



PROJECT:
LINCOLN MIXED USE
3280 LINCOLN BLVD
SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
ANTON & TESSA GOSS
10910 LONG BEACH BOULEVARD
STE 103-430
LYNWOOD, CA 90262

EXTERIOR ELEVATIONS

Project: 15036 Drawing Number
Date: 06.05.2017
Drawn by: AMD
Checked by: JPH

A3.2



PROJECT:
 LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
 ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

BUILDING SECTIONS

Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH

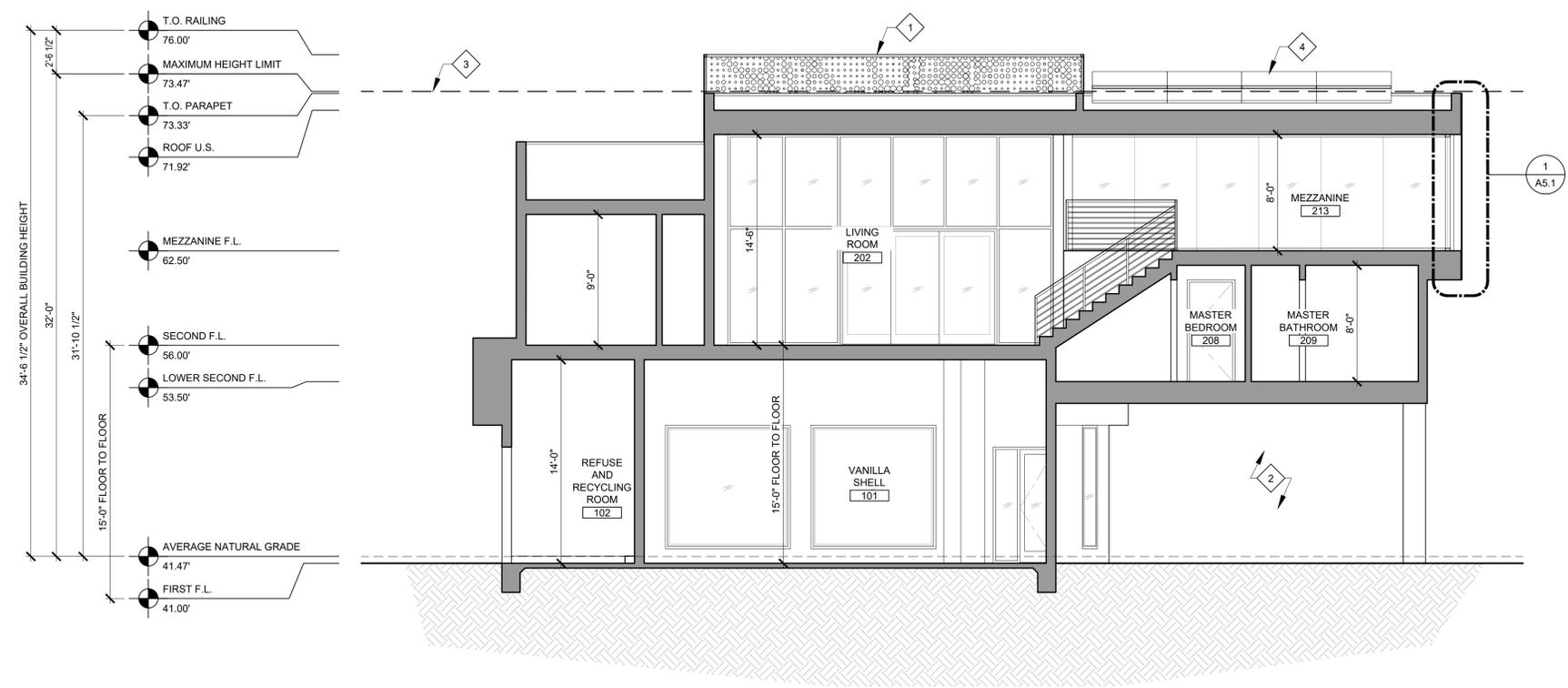
A4.1

KEYNOTES

- 1 3'-6" TALL OPEN STEEL GUARDRAIL, PAINTED
- 2 UNENCLOSED GROUND LEVEL PARKING
- 3 OUTLINE OF MAXIMUM ALLOWABLE HEIGHT LIMIT
- 4 ROOF-MOUNTED SOLAR PV PANELS PROJECTING 1'-6" ABOVE TOP OF PARAPET (1'-4 1/2" ABOVE MAXIMUM ALLOWABLE HEIGHT LIMIT)

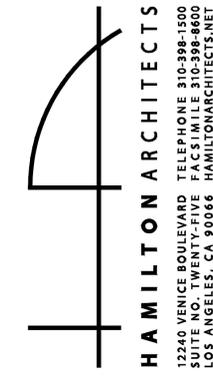
LEGEND

- NEW WALL
- PROPOSED GAS METER LOCATION
- PROPOSED ELECTRICAL METER LOCATION
- WALL-MOUNTED TANKLESS WATER HEATER



1 LONGITUDINAL SECTION
 SCALE: 1/4" = 1'-0"

KEYNOTES



PROJECT:
 LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
 ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

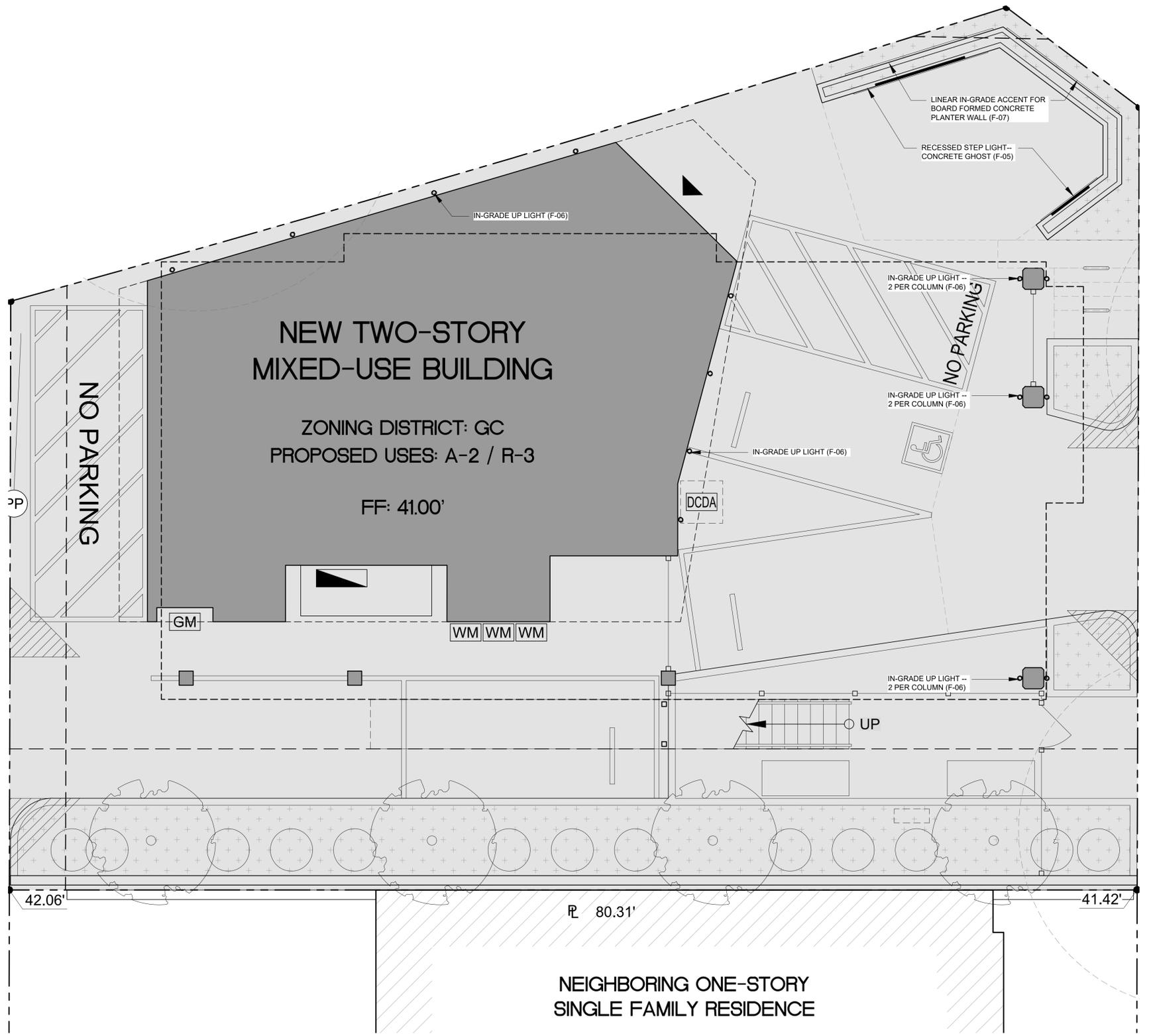
LEGEND

- LANDSCAPED AREA
- FIRE HYDRANT
- UTILITY POLE
- PROPOSED GAS METER LOCATION
- PROPOSED ELECTRICAL METER LOCATION
- WALL-MOUNTED TANKLESS WATER HEATER

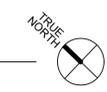
SITE LIGHTING PLAN

Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH

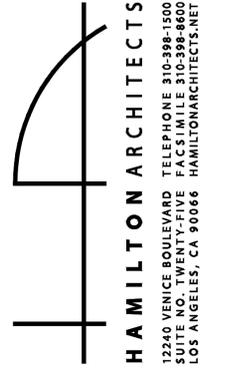
A6.1



1 SITE LIGHTING PLAN
 SCALE: 1/8" = 1'-0"



KEYNOTES



PROJECT:
 LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
 ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

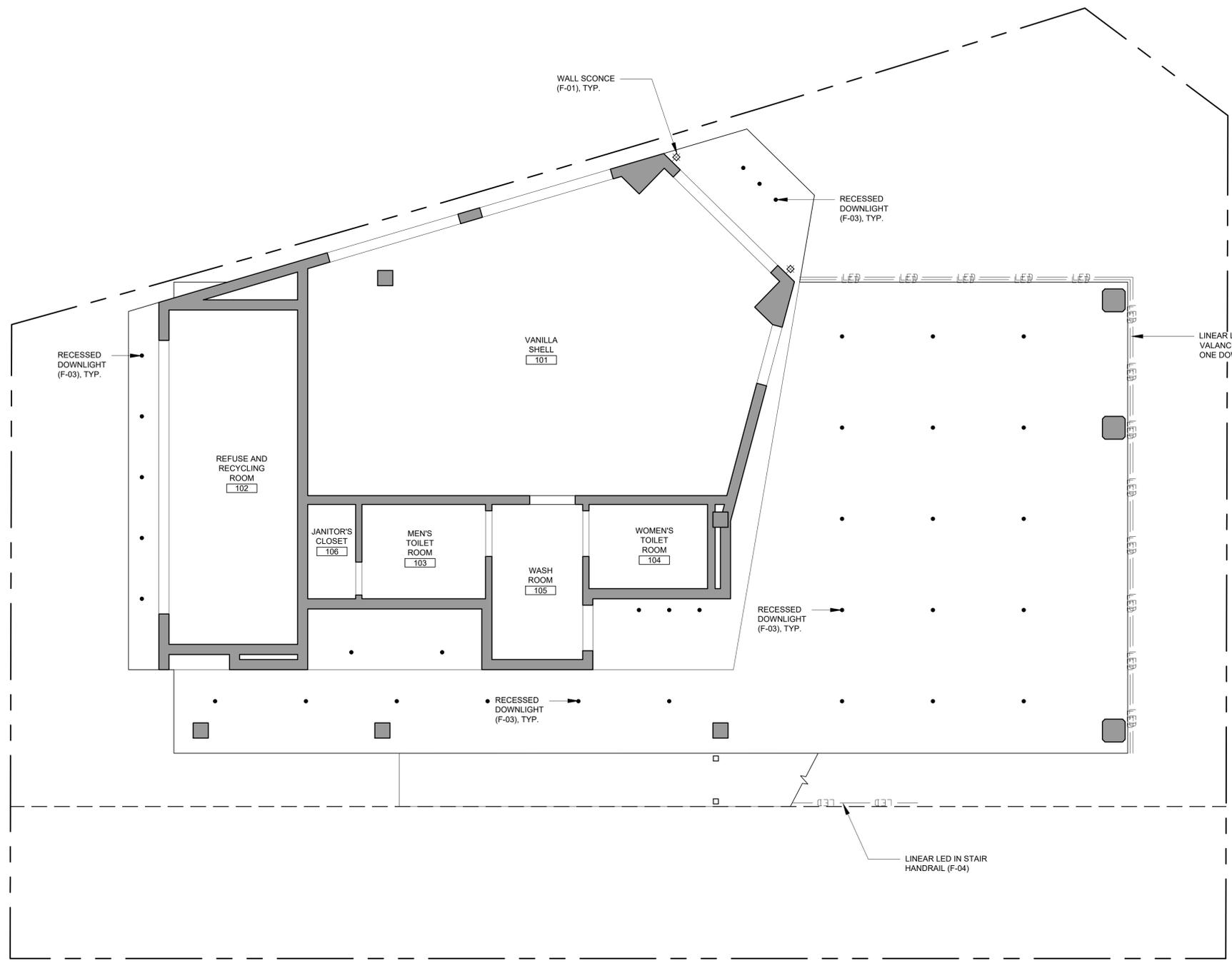
LEGEND

NEW WALL

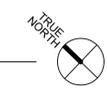
FIRST FLOOR CONCEPTUAL EXTERIOR LIGHTING PLAN

Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH

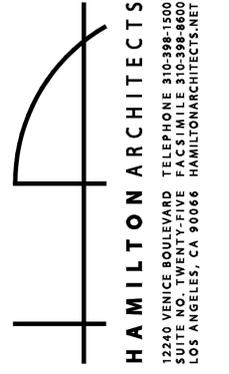
A6.2



1 FIRST FLOOR REFLECTED CEILING PLAN (CONCEPTUAL EXTERIOR LIGHTING)
 SCALE: 1/4" = 1'-0"



KEYNOTES



PROJECT:
 LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
 ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

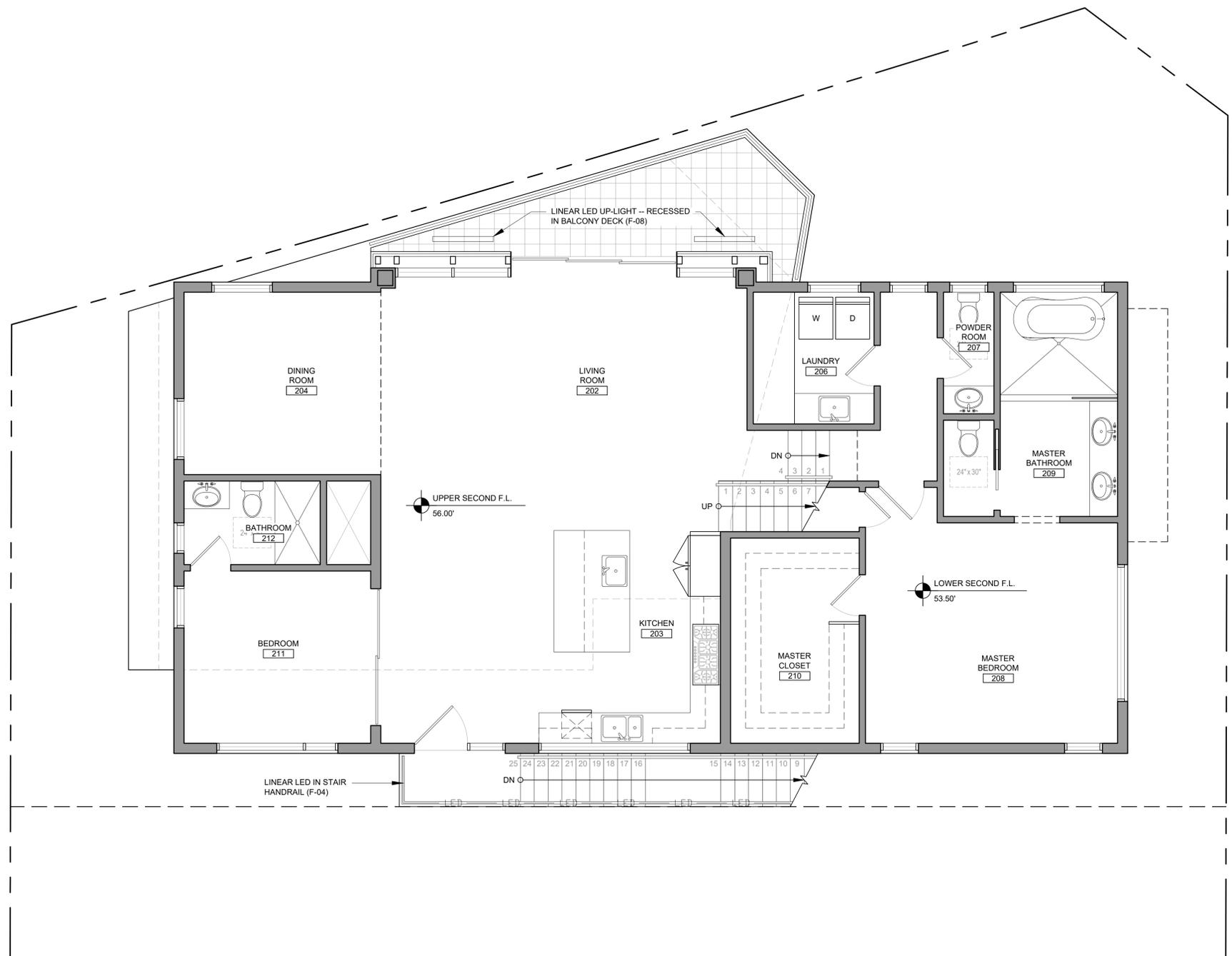
LEGEND

NEW WALL

SECOND FLOOR
 CONCEPTUAL
 EXTERIOR
 LIGHTING PLAN

Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH

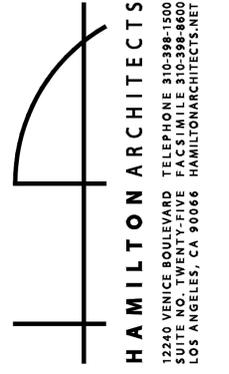
A6.3



1 SECOND FLOOR CONCEPTUAL EXTERIOR LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



KEYNOTES



PROJECT:

LINCOLN MIXED USE
3280 LINCOLN BLVD
SANTA MONICA, CA 90405

NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:

ANTON & TESSA GOSS
10910 LONG BEACH BOULEVARD
STE 103-430
LYNWOOD, CA 90262

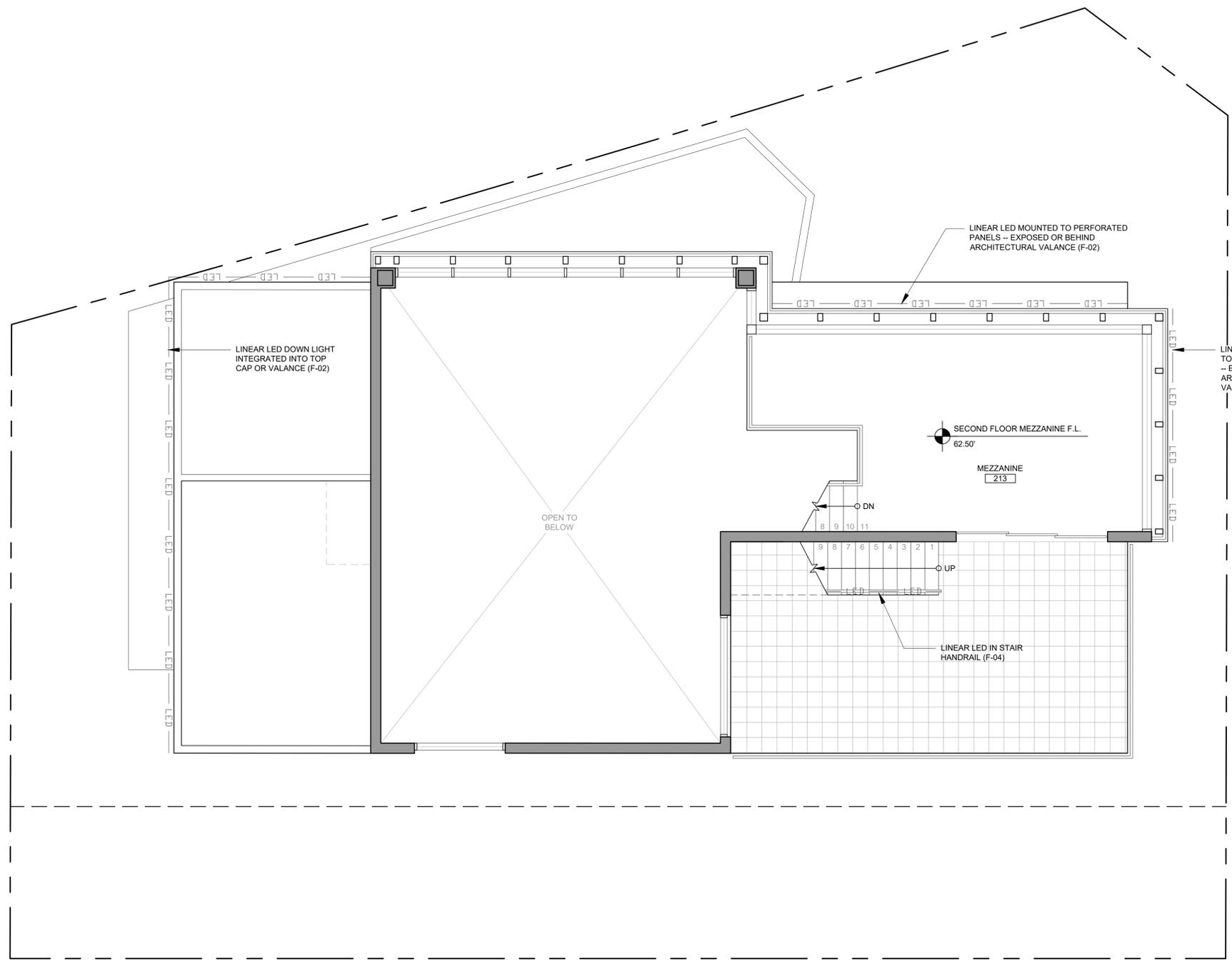
LEGEND

NEW WALL

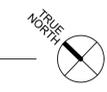
SECOND FLOOR MEZZANINE CONCEPTUAL EXT. LIGHTING PLAN

Project: 15036 Drawing Number
Date: 06.05.2017
Drawn by: AMD
Checked by: JPH

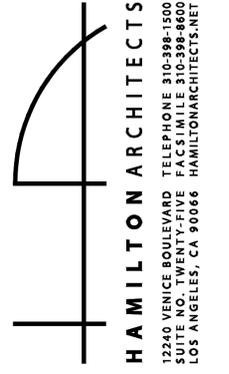
A6.4



1 SECOND FLOOR MEZZANINE PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES

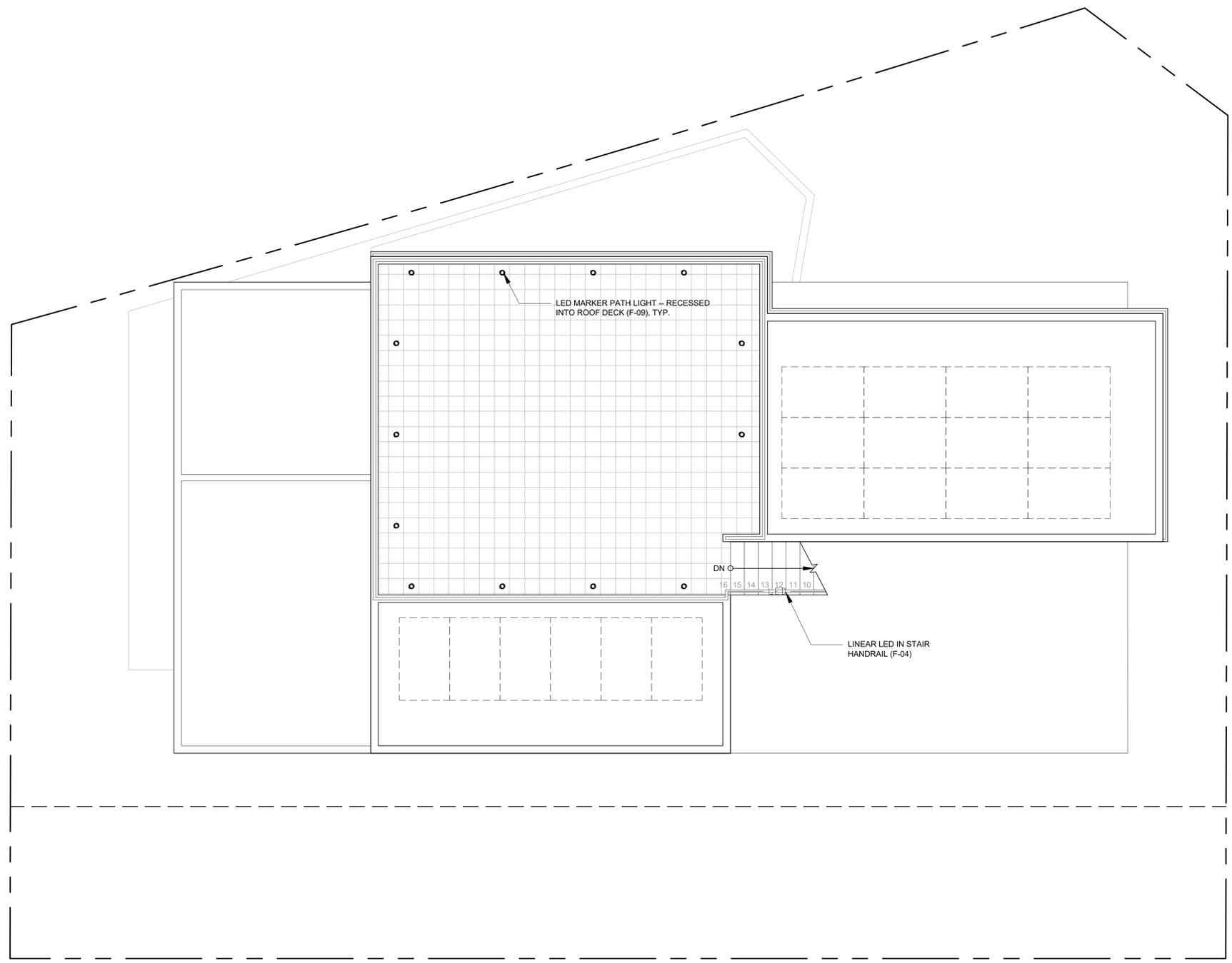


PROJECT:
 LINCOLN MIXED USE
 3280 LINCOLN BLVD
 SANTA MONICA, CA 90405

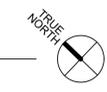
NO.	DATE	REVISION
-	09.15.2016	INITIAL AA SUBMITTAL
1	08.02.2018	AA RESUBMITTAL
2	07.30.2020	INITIAL ARB SUBMITTAL

CLIENT:
 ANTON & TESSA GOSS
 10910 LONG BEACH BOULEVARD
 STE 103-430
 LYNWOOD, CA 90262

**ROOF
 CONCEPTUAL
 EXTERIOR
 LIGHTING PLAN**
 Project: 15036 Drawing Number
 Date: 06.05.2017
 Drawn by: AMD
 Checked by: JPH
A6.5

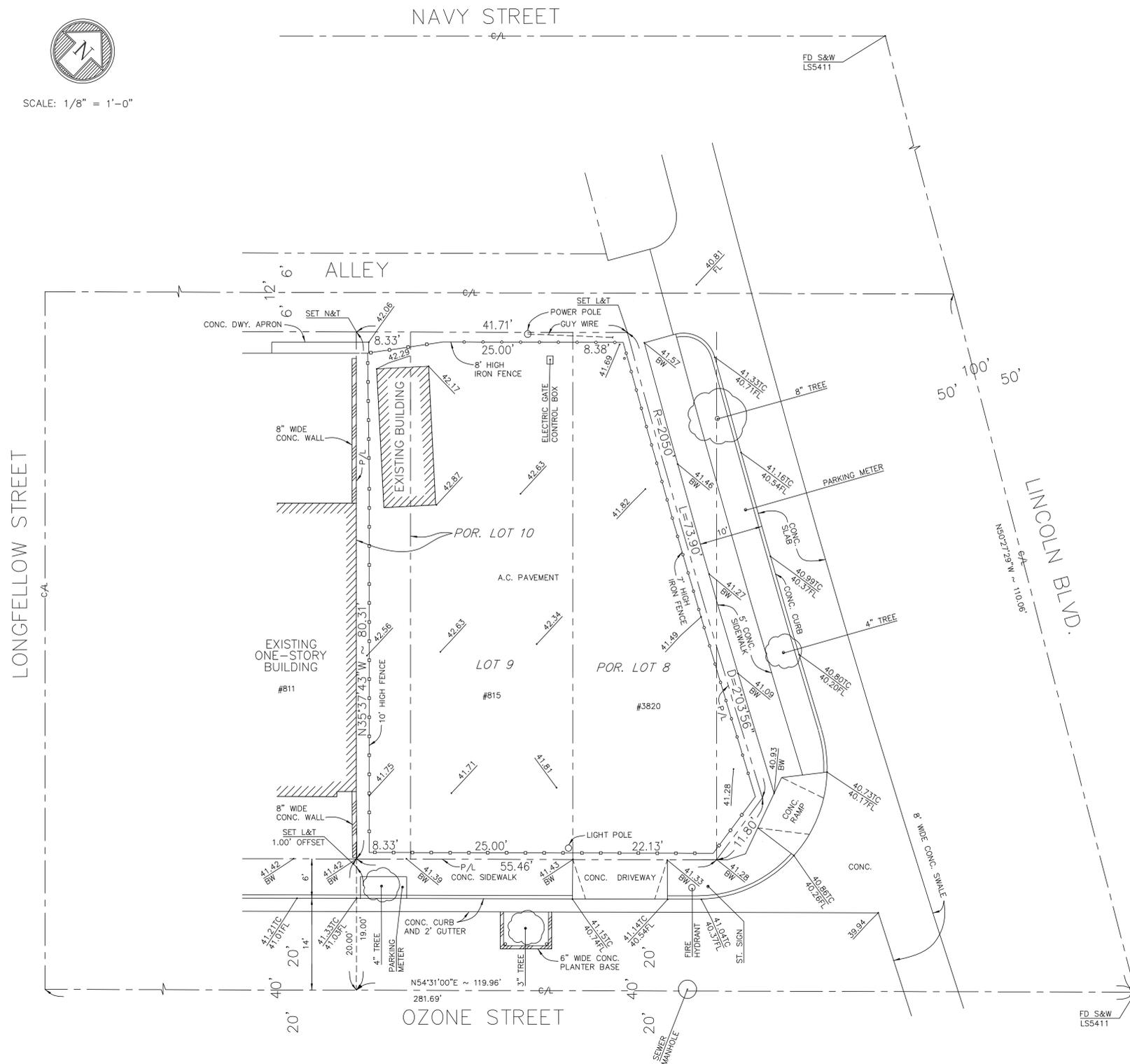


1 ROOF CONCEPTUAL LIGHTING PLAN
 SCALE: 1/4" = 1'-0"





SCALE: 1/8" = 1'-0"



SURVEYOR'S NOTES:

1. LEGEND: SOME OF THESE ABBREVIATIONS MAY HAVE USED ON THIS MAP.

C/L CENTERLINE	() RECORD DATA	PP POWER POLE
N NORTH	FD FOUND	TP TELEPHONE POLE
E EAST	LS LICENSED SURVEYOR	WM WATER METER
W WEST	S&W SPIKE AND WASHER	CC CONCRETE
S SOUTH	S&T SPIKE AND TACK	CONC. CONCRETE
P/L PROPERTY LINE	L&TAG LEAD AND TAG	BM BENCHMARK
TPI TOP OF PILASTER	L&T LEAD AND TACK	ENCR ENCROACHMENT
TW TOP OF WALL	CE CITY ENGINEER	PM PARKING METER
TR TOP OF ROCKS	MB MAP BOOK	CB CATCH BASIN
CONC. OR BLOCK WALL	SMH SEWER MANHOLE	DR DRAIN
WOOD RETAINING WALL	FH FIRE HYDRANT	R OR RAD RADIAL
FENCE	MH MANHOLE	NTS NOT TO SCALE
XXX GROUND ELEVATION	BW BACK OF WALK	STN STONE
TS TOP OF SLOPE	TC TOP OF CURB	FF FINISH FLOOR
GB GRADE BREAK	AC ASPHALT PAVEMENT	FL FLOWLINE
NG NATURAL GRADE	TB TOP OF BERM	FS FINISHED SURFACE
DT DIRT	TOS TOP OF STEPS	
	SB SETBACK	

- THE AREA OF THE PROPERTY SURVEYED IS: 4,235 SQUARE FEET OR 0.097 ACRES.
- BOUNDARIES WERE ESTABLISHED BY FIELD MEASUREMENTS USING CITY, COUNTY AND/OR PRIVATE ENGINEER AND SURVEY MONUMENTS FOUND AT OR NEAR THE SITE OR IN THE SURROUNDING STREETS.
- ANY EASEMENTS SHOWN HEREON HAVE BEEN TAKEN FROM THE TITLE POLICY OR PRELIMINARY TITLE REPORT AS SUPPLIED BY EITHER THE OWNER OR TITLE COMPANY. ONLY PLOTTABLE EASEMENTS ARE SHOWN AND WE DO NOT GUARANTEE THE ACCURACY OR EXTENT OF THE INFORMATION SUPPLIED BY OTHERS.
- ANY UTILITIES SHOWN HEREON ARE FROM THE CITY OR COUNTY FILES. ONLY PLOTTABLE UTILITIES ARE SHOWN AND WE DO NOT GUARANTEE THE ACCURACY OR EXTENT OF THE INFORMATION SUPPLIED BY OTHERS.
- THE TITLE POLICY OR PRELIMINARY TITLE REPORT USED TO PREPARE THIS MAP WAS ISSUED BY:

NAME OF TITLE COMPANY: FIRST AMERICAN TITLE COMPANY

TITLE REPORT OR POLICY NUMBER: NCS-732900-LA2

LEGAL DESCRIPTION:

LOT 9, PORTIONS OF LOT 8 AND LOT 10, BLOCK 3, FOUNTAIN GLEN NO. 2, M.B. 8-28

ASSESSOR I.D. NO. 4287-032-017 AND 4287-032-018

BENCHMARK:

PK NAIL IN LEAD IN WEST CURB OF LINCOLN BLVD. AND OZONE STREET 12.2 FEET SOUTHWEST OF SOUTHWEST CURB OF LINCOLN BLVD. 5.8 FEET NORTHWEST OF NORTHWEST CURB OF OZONE STREET

ELEVATION = 40.885
F.B. 454-52

REVISIONS	BY
11/10/2016	RJW

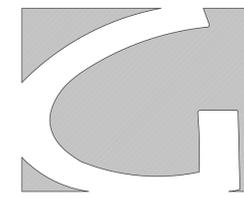
PREPARED FOR:
ANTON GOSS

TOPOGRAPHIC SURVEY
FOR
3820 LINCOLN BLVD.
AND
815 OZONE STREET
SANTA MONICA, CA 90405

PLANS PREPARED BY:
H & W SURVEYING, MAPPING, INC.
10211 VENICE BLVD., SUITE C
LOS ANGELES, CA 90034
(310) 395-1191



DRAWN	R. J. W.
CHECKED	D. H.
DATE	9/26/2015
SCALE	1/8" = 1'-0"
JOB NO.	992-15
SHEET	1
OF 1 SHEETS	



groundswell

1009 Wellesley Ave. · L.A. Ca., 90049
310-890-1393

PROJECT

3280 Lincoln Blvd.
Santa Monica, Ca.
90405

SHEET TITLE

PLANTING PLAN

REVISION

No.	Date	Description
△		
△		
△		

NOT FOR CONSTRUCTION

DATE: 7-14-2020

DRAWN BY: DS

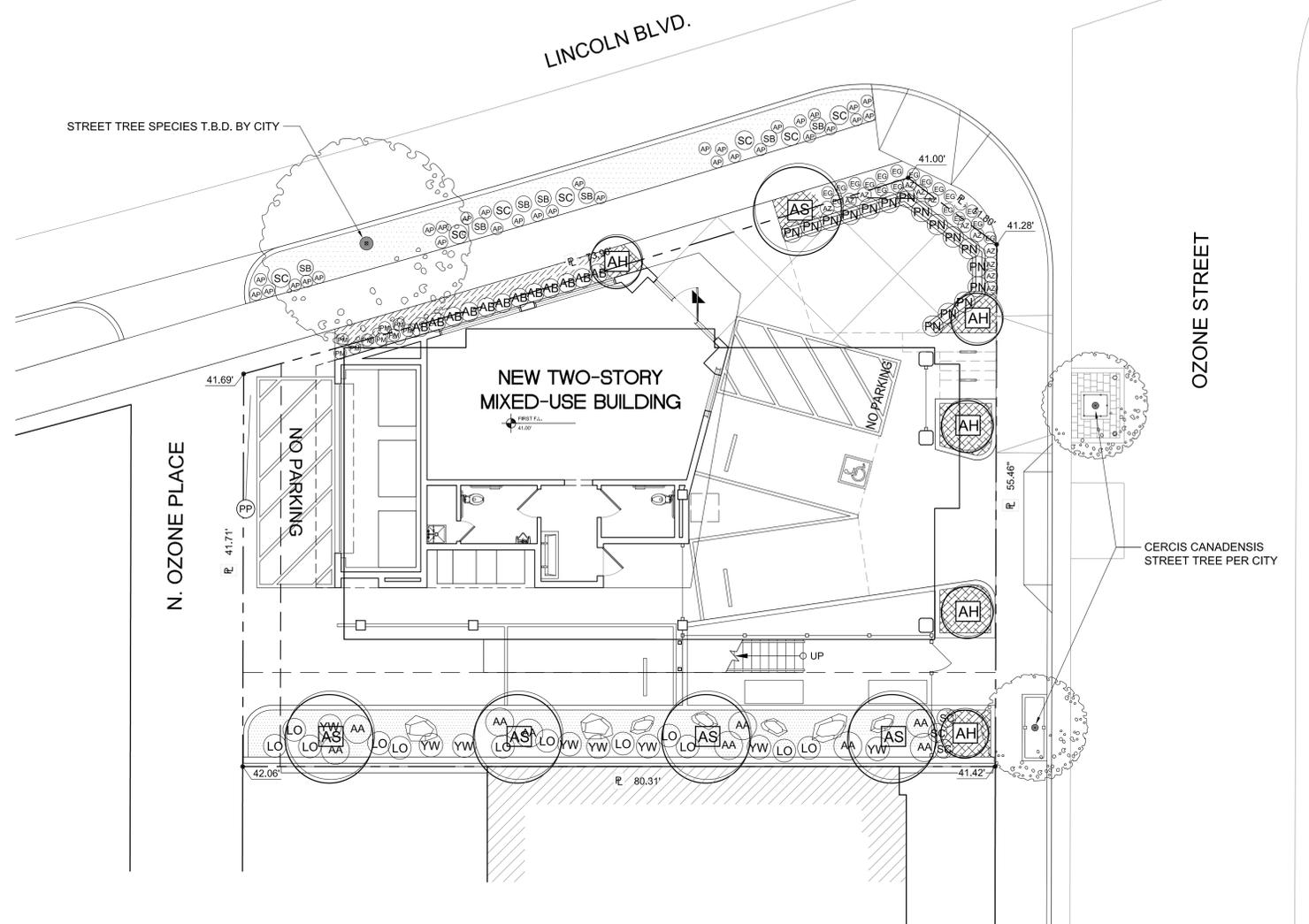
SCALE AS SHOWN

PLOT DATE: 7-18-2020

L-1.1

SHEET

2 OF 6



PLANTING LEGEND

SYMBOL	TREE NAME	QNTY	SIZE
TREES			
AH	ALOE VAR. 'HERCULES' - HERCULES TREE ALOE	5	24" box
AS	ACACIA STENOPHYLLA - SHOESTRING ACACIA	5	36" BOX

SYMBOL	PLANT NAME	ANSI ASABE S623.1	QNTY	SIZE
SHRUBS				
AA	AGAVE VAR. 'NOVA BLUE'	.03	9	5 gal.
AB	ALOE BARBADENSIS	.03	12	5 gal.
AP	ARCTOSTAPHYLOS 'PACIFIC MIST'	.03	31	1 gal.
AZ	AEONIUM 'ZWARTKOP'	.03	12	5 gal.
EG	ECHINOCACTUS GRUSONII- BARRELL CACTUS	.03	19	5 gal.
LO	OLEA 'LITTLE OLLIE'	.03	12	15 gal.
PM	PACHYCEREUS MARGINATUS	.03	9	5 gal.
PN	PHYLLOSTACHYS NIGRA- BLACK BAMBOO	.05	16	5 gal.
SB	SALVIA 'BEES BLISS'	.03	7	1 gal.
SC	SALVIA CLEVELANDII- 'WINNIFRED GILMAN'	.03	10	5 gal.
HG	HJEDECHIUM GARDNERIANUM	.03	7	5 gal.
YW	PHORMIUM 'YELLOW WAVE'	.03	13	15 gal.

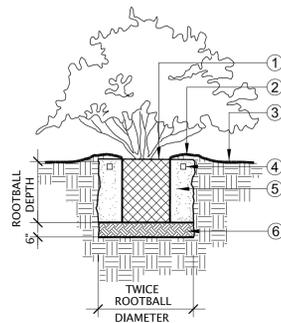
SYMBOL	GROUNDCOVER	ANSI ASABE S623.1	QNTY	SIZE
[Pattern]	DECOMPOSED GRANITE- STABILIZED		420 s.f.	2" DEPTH MIN.
[Pattern]	SENECIO MARDRALISCAE	.05	120 s.f.	4" FLATS- 8" o.c.
[Pattern]	ARCHTOSTAPHYLOS 'EMERALD CARPET'	.05	60 s.f.	1 gal. -14" O.C.

NOTE

A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, over creeping or rooting groundcovers, or in direct seeding applications where mulch is not appropriate. To provide habitat for beneficial insects and other wildlife, up to five percent (5%) of the landscape area may be left without mulch. Designated insect habitat must be clearly identified on the construction or landscape plan.

1/8"=1'-0"

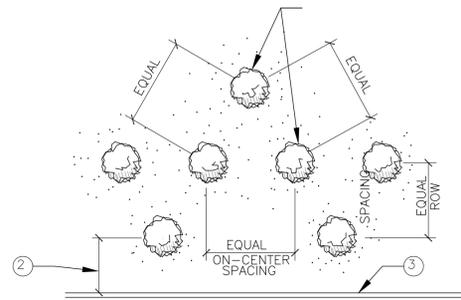




- ① ROOTBALL CROWN SHALL BE 1" ABOVE FINISH GRADE. AVOID PLANTING SHRUBS DIRECTLY IN FRONT OF IRRIGATION SPRAY HEADS. PROVIDE CLEARANCE WHEN POSSIBLE.
- ② 3" HIGH WATER RETENTION BASIN. FORM FROM PLANT PIT EXCAVATION. MAY BE RAKED OUT PRIOR TO OTHER WORK AS DIRECTED BY LANDSCAPE ARCHITECT.
- ③ FINISH GRADE.
- ④ FERTILIZER TABLETS (AGRIFORM 21 GRAM TABLETS) -3 TABLETS PER 1 GAL. SHRUB -5 TABLETS PER 5 GAL. SHRUB -9 TABLETS PER 15 GAL. SHRUB
- ⑤ PREPARED BACKFILL PER SPECIFICATIONS.
- ⑥ 6" ZONE OF OVER-EXCAVATED AND RE-COMPACTED NATIVE SOIL.

DETAIL
NOT TO SCALE

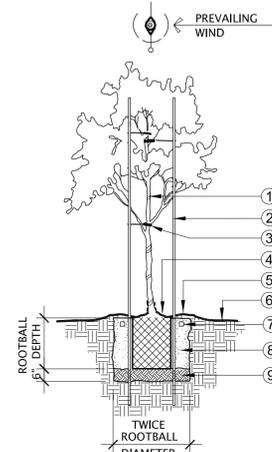
(A) SHRUB PLANTING



- ① TRIANGULAR SPACE PLANT MATERIAL PER SPACING INDICATED IN THE PLANTING LEGEND.
- ② 1/2 ON-CENTER SPACING.
- ③ PAVING, CURB, BUILDING, OR HEADER.

DETAIL
NOT TO SCALE

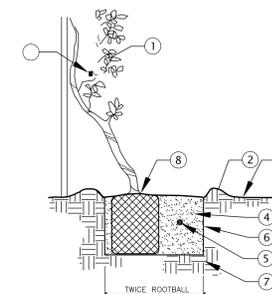
(B) SHRUB SPACING



- ① TREE TRUNK
- ② 2" DIA. x 12' LONG MIN. LODGE POLE PINE STAKES; ONE STAKE FOR 5 GAL. TWO STAKES FOR 15 GAL. AND LARGER TREES.
- ③ "VIT TWIST TIE" WITH THE WRAP WIRE ONCE AROUND STAKE AND TWIST TO SECURE. PROVIDE 2 TIES FOR 5 GAL. & 3 TIES FOR 15 GAL. AND LARGER TREES.
- ④ TREE ROOTBALL: 5 & 15 GAL. 1" ABOVE GRADE. 24" BOX & LARGER 3" ABOVE GRADE. TAPER ROOTBALL TO GRADE.
- ⑤ 4" HIGH WATER RETENSION BASIN. FORM FROM PLANT PIT EXCAVATION. MAY BE RAKED OUT PRIOR TO OTHER WORK AS DIRECTED BY LANDSCAPE ARCHITECT.
- ⑥ FINISH GRADE
- ⑦ FERTILIZER TABLETS (AGRIFORM 21 GRAM TABLETS) -10 TABLETS PER 15 GAL. TREE
- ⑧ PREPARED BACKFILL PER SPECIFICATIONS -14 TABLETS PER 20/24" BOXED TREES
- ⑨ 6" ZONE OF OVER-EXCAVATED AND RE-COMPACTED NATIVE SOIL

DETAIL
NOT TO SCALE

(C) TREE PLANTING



- ① VINE.
 - ② 2" DEEP WATERING BASIN.
 - ③ FINISH GRADE.
 - ④ AMENDED BACKFILL. SEE SPECIFICATIONS.
 - ⑤ PLANTING TABLETS. PLACE IN PIT 2/3 UP FROM PIT BOTTOM. SEE SPECS.
 - ⑥ SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
 - ⑦ UNDISTURBED NATIVE SOIL.
 - ⑧ SET TOP OF ROOTBALL 1" ABOVE SURROUNDING GRADE AND SLOPE FOR DRAINAGE.
 - ⑨ ATTACH W/ GLUE ON STICK AND TIE FASTENERS (3) PER VINE
- NOTES:
- A. SET VINE AS CLOSE TO BACK SURFACE OF PIT AS POSSIBLE.
 - B. ALL VINES SHALL BE TIED TO SUPPORTING WALLS AND FENCING. CONTRACTOR SHALL SECURE VINES TO WALLS AND FENCES W/ VINE SUPPORTS.
 - C. ESPALIER VINE ONTO WALL/FENCE.

DETAIL
NOT TO SCALE

(E) VINE PLANTING DETAIL

LANDSCAPE PLANTING SPECIFICATIONS

1. GENERAL

- A. The Landscape Contractor shall furnish all labor, equipment, materials and services for the complete installation as described by the landscape planting and irrigation drawings and in these specifications.
- B. Any deviation from the plan or specifications is to have a prior written approval by the Owner or his representative.
- C. All materials and workmanship shall be of highest quality.
- D. Work shall meet the requirements of all governing codes, ordinances, laws, etc., relating to the work.
- E. Samples and/or photographs of all materials shall be submitted to the Landscape Architect for written approval prior to installation. The Landscape Architect & Owner reserves the right to reject unsatisfactory material before and after planting. Acceptable replacements will be required prior to final acceptance.
- F. Until all work is completed and accepted by the Owner, the Landscape Contractor shall assume all risks and bear all losses to his materials and equipment.
- G. During the course of the contract (including maintenance period), the Landscape Contractor shall provide and maintain public liability and property damage insurance. The minimum amount of public liability insurance shall be \$1,000,000 for each person injured. The minimum amount of property damage insurance shall be \$1,000,000 for any single property damage claim.
- H. The Landscape Contractor shall repair work damaged by him or make payment for each repair. Should the Landscape Contractor have his work damaged by another Contractor, he is to make arrangements with the other Contractor for the Contractor's repair or that Contractor's payment for the repair.
- I. Quantities given for plant materials specified for "on-center" spacing are shown for convenience only and are subordinate to the spacing given. Contractor is to supply a sufficient quantity of plants to fulfill the spacing requirements.

2. WEED CONTROL

- A. The Landscape Contractor is to remove all weeds and/or unwanted grasses (including the roots) existing in the landscape areas. All landscape areas are to receive a corn bluten pre-emergent herbicide per manufacturer's instructions. Application of the herbicide shall be done by personnel licensed to handle agricultural chemicals.

3. SOIL CONDITIONING & GRADING

- A. Rough grading other than that noted on the landscape drawings is by the General Contractor.
- B. Finish grading is the responsibility of the Landscape Contractor. Finish grading consists of raking all areas to a smooth grade, roto-tilling the soil to a depth of 6" and removing all rocks or clods of 2" diameter or larger (turf area). Removal of minor amounts of construction waste is included. If feasible, prior to amending the areas where severe compaction exists, the surface soil should be ripped or tilled to a 9-inch depth. Finish grade to be 2" below top of adjacent flashing & paving.
- C. Incorporate compost at a rate of a minimum of 4 cubic yards per 1,000 square foot of permeable area shall be incorporated to a depth of 6" into the soil. Soils with greater than 6% organic matter in the top 6" of soil are exempt from adding compost and tilling. A post installation soil test must show a 6% organic matter content or greater.

4. PLANTING

- A. All plants are to have a planting pit two (2) times the diameter of the rootball and 6" below its depth. The top of the rootball should be at or slightly above finish grade. Do not cover the rootball with other soil.
- B. Planters @ grade: 50% site soil & 50% Kelloggs 'Soil Amend'
- C. Ground covers are to be planted so that after settling, the crown of the plant is even with finish grade, roots fully covered with soil and firmed.
- D. Plants grown on vine stakes are to have the stakes removed.
- E. Watering of plants is to take place immediately after planting.
- F. A minimum of two inch (3") layer of mulch shall be applied on all exposed soil surfaces, except in areas covered by groundcovers. Keep mulch 6" away from plant trunk, & 24" away from base of trees.
- G. Staking of trees is to be per details.
- H. Sod is to be freshly cut overseeded Marathon I or equal and placed in sections not smaller than one square foot. Stagger the joints between rolls. Sift soil (use soil waste that has fallen off sod) into all joints to fill any voids created. Roll sod with lightly weighted roller after completion of all sodding operations.

5. PLANTS

- A. All plant material must be vigorous, healthy, free from disease, not root bound and labeled. Soil in the container should be moist. All trees must show a tapering trunk, have multiple roots in all directions, preferably feathered (except palm trees) with multiple branches, especially at the 3-5' height. Do not prune any plants.
- B. Before planting first determine true surface of rootball: Located where the first main root branches form the trunk. Remove container soil to find true rootball. Loosen any circling roots on the outside edge of the root ball after removing the plant from its container.

6. CLEAN UP

- A. At the completion of all planting operations, the premises are to be left neat and clean. All surplus materials, nursery tags and waste are to be removed from the site.

7. MAINTENANCE

- A. The Landscape Contractor is to maintain all landscape areas for a period of ninety (90) calendar days from the date of completion, established by the Owner or his representative. All areas are to be kept well watered, free of weeds, unwanted grasses and trash during this period.
- B. For turf, groundcover, & mass planting areas, refer to Soils Report recommendations. Follow each fertilization with a thorough irrigation. Monitor the site with periodic soil testing. Adjust maintenance program as needed.
- C. Maintenance is to include control and treatment of all plant disease and plant pests encountered during this period. Application of chemicals is to be performed by a Licensed Chemical Applicator.
- D. The sprinkler system is to be checked for coverage at each watering. Malfunctions, such as dirty heads, clogged emitters, adjustment of heads, etc., are to be corrected on the spot. More serious defects are to be reported immediately to the Owner for correction by the Sprinkler Contractor, or corrected immediately by the Landscape Contractor if contract included sprinkler installation.

8. GUARANTEE

- A. All plant material (other than flatted material) less than 24" Box size shall be guaranteed for a period of 3 months. All palms & 24" Box material and larger material shall be guaranteed for a period of one year. Guarantee period commences from the time of final inspection and acceptance by the Owner. Plants used for replacement shall be the same kind and size as originally planted. They are to be planted following the original plans and specifications.

LANDSCAPE MANAGEMENT SCHEDULE

JANUARY:

- PRUNE ANY TREE BRANCHES THAT INTERFERE WITH PUBLIC SAFETY OR SIGHT LINES.
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED. (USE MULCHING MOWER THAT CHOPS CLIPPINGS FINELY AND BLOWS MULCH DOWN INTO TURF TO DECOMPOSE AND FEED SOIL).

FEBRUARY:

- APPLY ORGANIC COMPOST AROUND TREES OR SHRUBS IN LATE FEBRUARY. MAKE APPLICATION PRIOR TO A RAINFALL SO THE RAIN WILL SOAK THE COMPOST IN. MULCH MOW ALL TURF AREAS ONCE PER MONTH.
- ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.

MARCH:

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- REPLACE ANY DEAD OR MISSING PLANTS
- FLUSH OUT IRRIGATION SYSTEMS AS NEEDED, RUN AND CHECK FOR PROPER OPERATION OF EACH VALVE ZONE. TEST SENSORS (RAIN, SOIL, OR WEATHER SENSORS).
- REMOVE AND CLEAN WYE FILTER SCREENS.
- CLEAN OR REPLACE PLUGGED SPRINKLER NOZZLES. REPLACE PLUGGED DRIP EMITTERS.
- REPLACE IRRIGATION CONTROLLER PROGRAM BACK-UP BATTERIES

APRIL:

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- APPLY ORGANIC COMPOST AROUND TREES OR SHRUBS. SHRUBS/GROUNDCOVER AREAS MAY BE ELIMINATED WHEN THE PLANTS REACH MATURITY.
- ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.

MAY:

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- TURN ON IRRIGATION SYSTEM, RUN AND VISUALLY INSPECT FOR PROPER ZONE COVERAGE. SETET-BASED, WEATHER OR SOIL SENSOR-BASED, OR SEASONAL PROGRAMS TO ADJUST IRRIGATION UP IN JULY-AUGUST, AND DOWN FOR MAY-JUNE AND SEPTEMBER.

JUNE:

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- PRUNE SPRING & WINTER-FLOWERING SHRUBS AS NEEDED TO MAINTAIN PROPER SHAPE (NATURAL, TOUCHING, NOT HEDGED OR TOPIARY EXCEPT WHERE SPECIFIED BY OWNER).
- ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.

JULY

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- PRUNE VINES AS NEEDED

AUGUST:

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.

SEPTEMBER:

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- PRUNE VINES AS NEEDED
- APPLY ORGANIC COMPOST AROUND TREES OR SHRUBS. SHRUBS/GROUNDCOVER AREAS MAY BE ELIMINATED WHEN THE PLANTS REACH MATURITY.

OCTOBER:

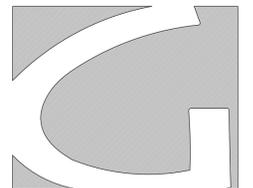
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.

NOVEMBER:

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.

DECEMBER:

- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- PRUNE ANY TREE BRANCHES THAT INTERFERE WITH PUBLIC SAFETY OR SIGHT LINES.
- PRUNE SUMMER AND FALL-BLOOMING SHRUBS AS NEEDED TO MAINTAIN PROPER SHAPE.



groundswell

1009 Wellesley Ave. · L.A. Ca., 90049
310·890·1393

PROJECT

3280 Lincoln Blvd.
Santa Monica, Ca.
90405

SHEET TITLE

PLANTING DETAILS AND SPECIFICATIONS

REVISION

No.	Date	Description
△		
△		
△		

NOT FOR CONSTRUCTION

DATE: 7-14-2020

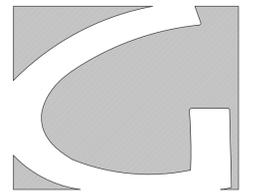
DRAWN BY: DS

SCALE AS SHOWN

PLOT DATE: 7-18-2020

L-1.2

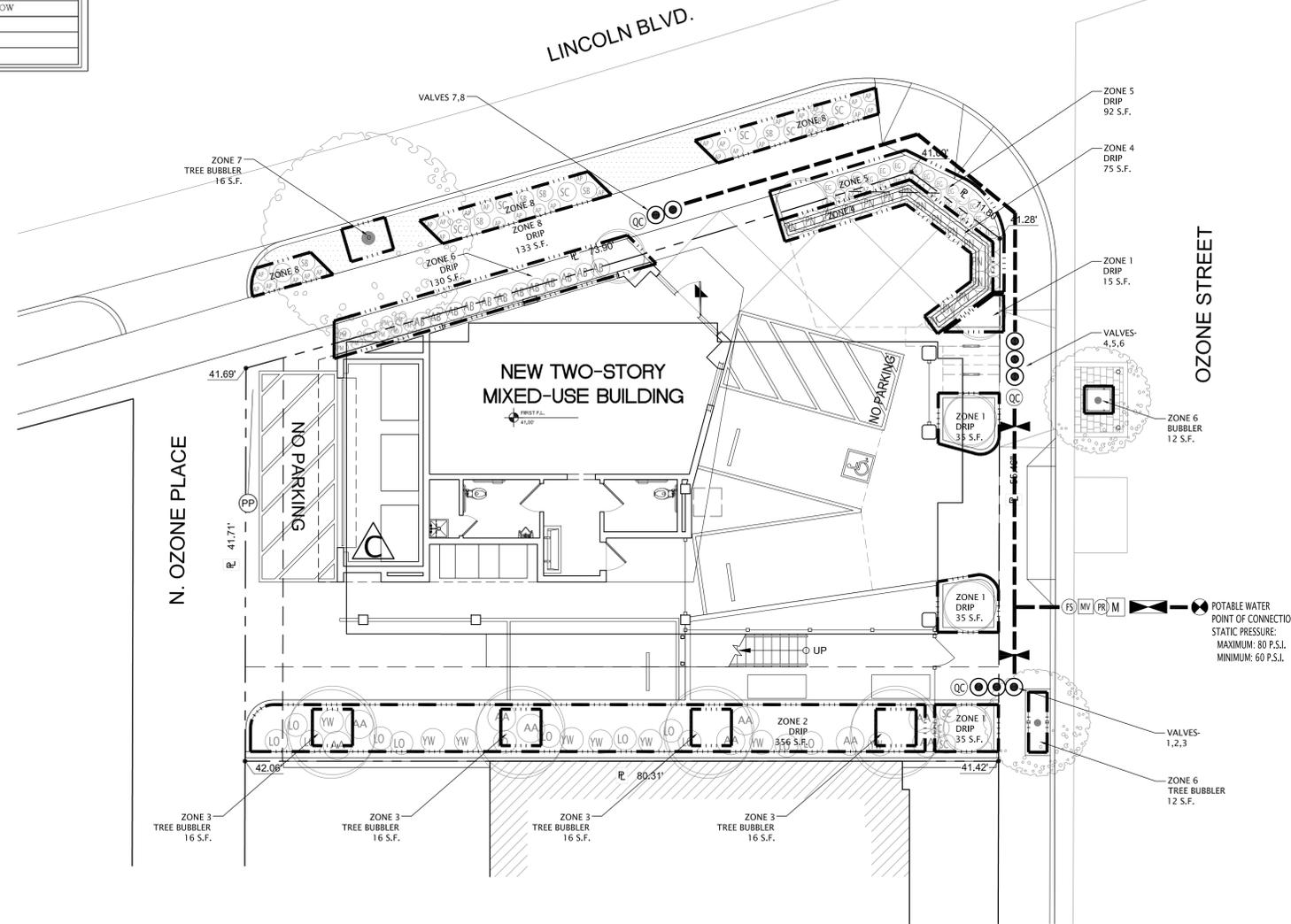
SHEET



groundswell
1009 Wellesley Ave. · L.A. Ca., 90049
310-890-1393

HYDROZONE LEGEND					
PLANT TYPE	PLANT FACTOR	HYDROZONE BASIS		IRRIGATION METHOD	ALTERNATIVE WATER USE
TREES, SHRUBS, VINES, GROUNDCOVERS	0.5	PL	PLANT TYPE	D	DRIP
HERBACEOUS PERENNIALS	0.5	IR	IRRIGATION METHOD	S	SMALL ROTOR
DESERT ADAPTED PLANTS	0.3	SU	SUN EXPOSURE	L	LARGE ROTOR
ANNUAL FLOWERS & BEDDING PLANTS	0.8	SO	SOIL TYPE	B	BUBBLER
COOL SEASON TURFGRASS	0.8	SL	SLOPE	M	MICROSPRAY
WARM SEASON TURFGRASS	0.6	O	OTHER	O	OTHER / LOW
DECIDUOUS FRUIT TREES	0.8				ONSITE RECLAIMED WASTEWATER
EVERGREEN FRUIT TREES	1.0				
VEGETABLE CROPS	1.0				

Plant Type	Plant Factor
Tree, Shrubs, Vines, Groundcovers (woody plants)	0.5
Herbaceous Perennials	0.5
Desert Adapted Plants	0.3
Annual Flowers & Bedding Plants	0.8
General Turfgrass Lawns, cool-season (tall fescue, Ky. bluegrass, rye, bent)	0.8
General Turfgrass Lawns, warm-season (Bermuda, zoysia, St. Augustine, buffalo)	0.6
Home Fruit Crops, Deciduous	0.8
Home Fruit Crops, Evergreen	1
Home Vegetable Crops	1.0
Mixed Plantings	PF of the planting is that of the plant type present with the highest PF



PROJECT

3280 Lincoln Blvd.
Santa Monica, Ca.
90405

SHEET TITLE

IRRIGATION PLAN

REVISION

No.	Date	Description
△		
△		
△		

NOT FOR CONSTRUCTION

DATE: 7-14-2020

DRAWN BY: DS

SCALE AS SHOWN

PLOT DATE: 7-18-2020

L-2.0

SHEET

IRRIGATION GENERAL LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER & PART NO.	DETAILS
☉	POINT OF CONNECTION (FIELD VERIFY)		
⊘	BACKFLOW PREVENTER	FEBCO: 1" 625 Y	DETAIL: 9'-1-2.1
M	1" WATER METER	NEFONG: 1" x 1/2" WATER METER	PER MANUF. DETAIL
△	2-1/2" STA. IRRIGATION CONTROLLER - WALL MOUNT	RAINBIRD: EPSM112 EXTENSION	DETAIL: 9'-1-2.1
MV	1" MASTER VALVE	RAINBIRD: 100PB	DETAIL: 9'-1-2.1
FS	1" FLOW SENSOR	RAINBIRD: FSI OSP	PER MANUF. DETAIL
PR	MASTER PRESSURE REGULATOR	RAINBIRD: PSM40100	PER MANUF. DETAIL
⊙	DRIP LOW FLOW REMOTE CONTROL VALVE	RAINBIRD: SCZ075 VALVE AND DRIP TUBE ASSEMBLY	DETAIL: 9'-1-2.1
⊘	GATE VALVE - MANUAL SHUT OFF VALVE	RAINBIRD: SCZ075 BALL VALVE - PER LINE SIZE	DETAIL: 9'-1-2.1
⊙	QUICK-COUPLER	1" QUICK-COUPLER VALVE IN ROUND BOX	PER MANUF. DETAIL
---	PRESSURE SUPPLY LINE	1 1/2" SCH. 40 PVC	DETAIL: 9'-1-2.1

IRRIGATION HEAD LEGEND

SYMBOL	NOZZLE	DESCRIPTION	RAD	GPM	MANUFACT.	BODY	DETAILS
⊙	1401	BUBBLER	1"	25	RAINBIRD	RWS-A-B-C-1401	7'-1-2.1

ROOF PLANTERS IRRIGATION GENERAL LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER & PART NO.	DETAILS
⊙	2" COPPER PIPE IRRIGATION STUB OUT PER PLUMBING PLAN BY OTHER (FIELD VERIFY)		
⊙	DRIP LOW FLOW REMOTE CONTROL VALVE & BATTERY POWERED CONTROLLER (I) CONTROLLER (PER EACH VALVE)	RAINBIRD: SCZ075 VALVE AND REMOTE NODE 1 5/8" BATTERY CONTROLLER	DETAIL: 9'-1-2.1

DRIP NOTE

LOCATION: ZONE 1, 2, 3, 4, 6, 7, 8, 10, 11, 12
TYPE: RAINBIRD XCC075 DRIP VALVE ASSEMBLY WITH AGRIFRM SFPC7212-05 DRIP TUBE LAID OUT 18" ON CENTER SPACING IN SHRUB AREAS. INSTALL DRIP TUBE PARALLEL WITH CONTOURS OF SLOPE.

BUBBLER NOTE

LOCATION: ZONE 3, 6, 7
TYPE: RAINBIRD SCZ075 VALVE ASSEMBLY WITH HUNTER PRO50-04-PR50-0V BODIES HUNTER PGN-30 NOZZLE & -2 PER TREE. INSTALL VALVE WITH 1" SCH. 40 PVC LATERAL LINES.

DESIGN NOTES

- IRRIGATION VALVES, MAIN-LINE & LATERAL LINE LAYOUT IS DIAGRAMMATIC. ACTUAL INSTALLATION WILL VARY. CONTRACTOR TO NOTIFY LANDSCAPE DESIGNER IF DISCREPANCIES EXIST.
- PLACE ALL VALVES IN SHRUB PLANTING AREAS WHERE POSSIBLE.
- ALL 24-VOLT WIRING SHALL BE #14 ULPL DIRECT-BURIAL, SOLID COPPER.
- ALL PIPE AND WIRING UNDER PAVED SURFACE SHALL BE IN CLASS 200 PVC SLEEVES, WHETHER OR NOT SHOWN (SEE PIPE SIZE SCHEDULING BELOW).

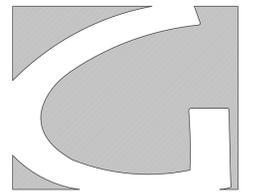
PRODUCTS

- PROVIDE AS SPECIFIED OR APPROVED EQUAL.

RECOMMENDED TREE WATERING SCHEDULE				
TREE TRUNK WIDTH SIZE	RECOMMENDED WATER VOLUME	BATERIAZ RESISTANT DRAIN PIPE	WATERING FREQUENCY	WATERING DURATION
1/4" - 1/2"	10 TO 20 GALLONS	1/2"	ONCE TO TWICE A MONTH	15-20 MIN
3/4" - 1"	20 TO 40 GALLONS	3/4"	ONCE TO TWICE A MONTH	15-20 MIN
1" - 1 1/2"	40 TO 80 GALLONS	1"	ONCE TO TWICE A MONTH	15-20 MIN
1 1/2" - 2"	80 TO 160 GALLONS	1 1/2"	ONCE TO TWICE A MONTH	15-20 MIN
2" - 2 1/2"	160 TO 320 GALLONS	2"	ONCE TO TWICE A MONTH	15-20 MIN
2 1/2" - 3"	320 TO 640 GALLONS	2 1/2"	ONCE TO TWICE A MONTH	15-20 MIN
3" - 4"	640 TO 1280 GALLONS	3"	ONCE TO TWICE A MONTH	15-20 MIN
4" - 6"	1280 TO 2560 GALLONS	4"	ONCE TO TWICE A MONTH	15-20 MIN
6" - 8"	2560 TO 5120 GALLONS	6"	ONCE TO TWICE A MONTH	15-20 MIN
8" - 10"	5120 TO 10240 GALLONS	8"	ONCE TO TWICE A MONTH	15-20 MIN

LANDSCAPE AREA (Sq. 986.0)																
HYDROZONE / VALVE	CONTROLLER STATION	SQ. FT.	% OF TOTAL PLANTABLE LANDSCAPE AREA (PLA)	PLANT FACTOR (PF) BASED ON ANSI/ASABE S62.3.1	% OF SLOPE AT FINISH GRADE	EXPOSURE OR MICROCLIMATE	HYDROZONE BASIS	HYDROZONE DESCRIPTION	PLANT FORM	IRRIGATION METHOD	IRRIGATION DEVICE MANUFACT/MODEL #	DEVICE FLOW RATE GPM or GPH (DRIP/M)	CALC. PRECIP RATE IN/HR	ZONE GPM	TOTAL ZONE EMITTERS	ZONE PSI
1	1	120	12%	0.3	0%	Sun/Shade	PL, IR, SL, SO	SHRUBS	1.5, 15	D	RAINBIRD XCC-075/AGR-SFPC7212-05	GPH 0.60	0.72	72	30	
2	2	356	36%	0.3	0%	Sun/Shade	PL, IR, SL, SO	SHRUBS	1.5, 15	D	RAINBIRD XCC-075/AGR-SFPC7212-05	GPH 0.60	2.14	214	30	
3	3	64	6%	0.2	0%	Sun/Shade	PL, IR	TREES	1.5, 15	D	RAINBIRD XCC-075 & 1401 25 BUBBLER	GPH 0.60	0.38	38	30	
4	4	75	8%	0.3	0%	Sun/Shade	PL, IR, SL, SO	SHRUBS	1.5, 15	D	RAINBIRD XCC-075/AGR-SFPC7212-05	GPH 0.60	0.45	45	30	
5	5	92	9%	0.3	0%	Sun/Shade	PL, IR, SL, SO	SHRUBS	24, 36	B	RAINBIRD XCC-075/AGR-SFPC7212-05	GPM 0.60	1.20	8	30	
6	6	130	13%	0.3	0%	Sun/Shade	PL, IR	TREES	1.5, 15	D	RAINBIRD XCC-075 & 1401 25 BUBBLER	GPH 0.60	0.78	78	30	
7	7	16	2%	0.5	0%	Sun/Shade	PL, IR	TREES	1.5, 15	D	RAINBIRD XCC-075 & 1401 25 BUBBLER	GPH 0.60	0.10	10	30	
8	8	133	13%	0.3	0%	Sun/Shade	PL, IR, SL, SO	SHRUBS	1.5, 15	D	RAINBIRD XCC-075/AGR-SFPC7212-06	GPH 0.60	0.80	80	30	
TOTAL:		986	100%													
M.W.U.		0	0%													
H.W.U.		0	0%													

PLANT TYPE	HYDROZONE BASIS	IRRIGATION METHOD	PLANTING FORM
Shrub	PL Plant Type	D Drip	SE Seed
Groundcover	IR Irrigation Method	S Small Rotor	SO Sod
Tree	SU Sun Exposure	L Large Rotor	F Flats
Vine	SO Soil Type	B Bubbler	P Plugs
	SL Slope	M Microspray	Q Quart
	O Other	O Other	1G 1 gallon
			5G 5 gallon
			15G 15 gallon
			24 24" box
			36 36" box



groundswell
1009 Wellesley Ave. • L.A. Ca., 90049
310-890-1393

PROJECT
3280 Lincoln Blvd.
Santa Monica, Ca.
90405

SHEET TITLE
IRRIGATION DETAILS

REVISION

No.	Date	Description
△		
△		
△		

NOT FOR CONSTRUCTION

DATE: 7-14-2020

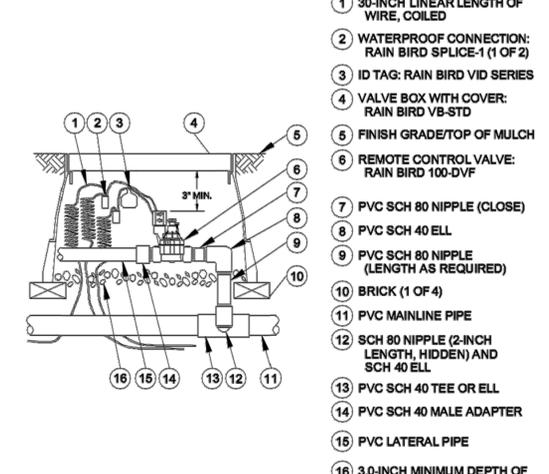
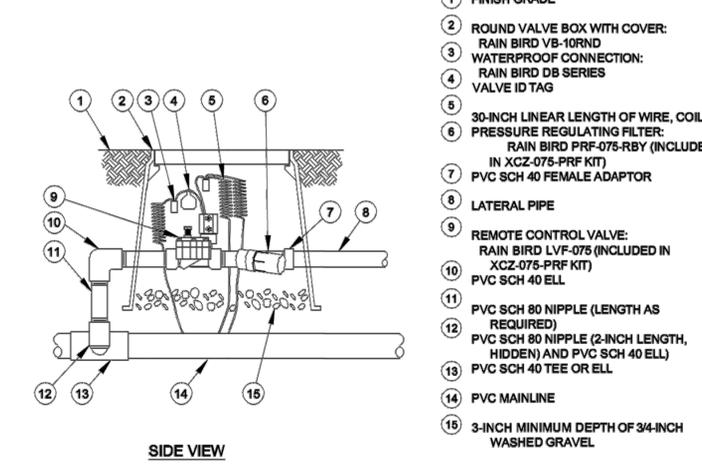
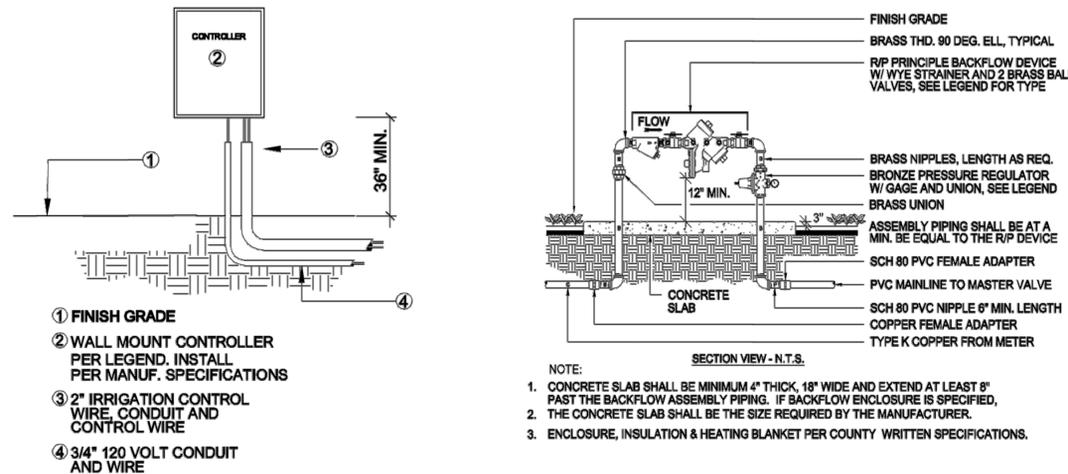
DRAWN BY: DS

SCALE AS SHOWN

PLOT DATE: 7-18-2020

L-2.1

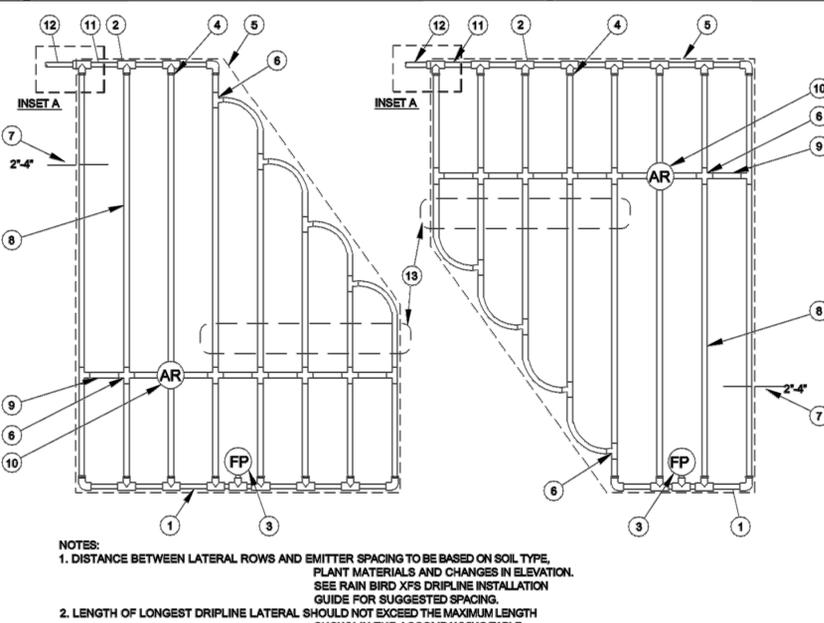
SHEET



(A) CONTROLLER (B) BACKFLOW PREVENTER

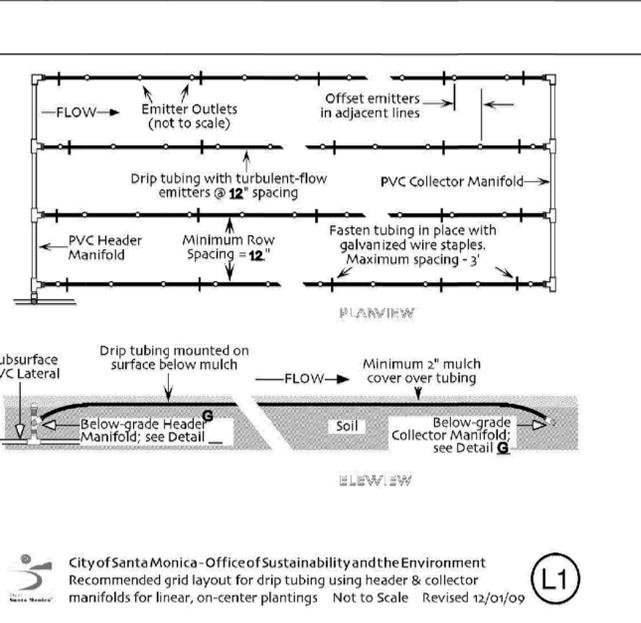
(C) DRIP VALVE

(D) REMOTE CONTROL VALVE

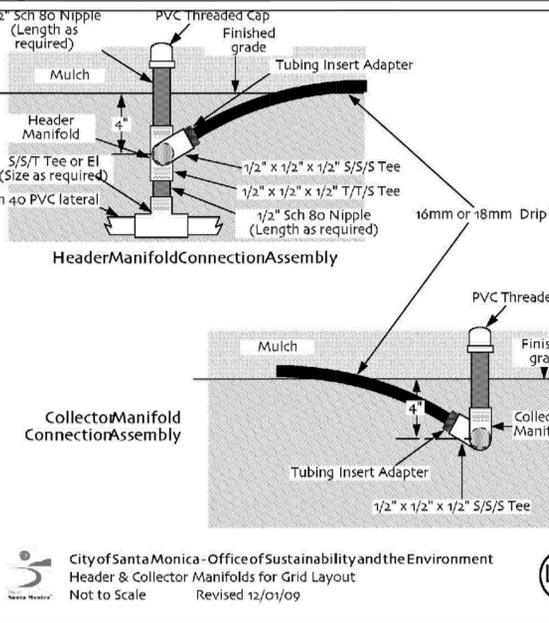


- PVC EXHAUST HEADER
- PVC SCH 40 TEE OR EL (TYPICAL)
- FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFS FLUSH POINT" OR "XFS FLUSH POINT WITH BALL VALVE"
- BARB X MALE FITTING: RAIN BIRD XFD-MA FITTING (TYPICAL)
- PERIMETER OF AREA
- BARB X BARB INSERT TEE OR CROSS: RAIN BIRD XFD-TEE OR RAIN BIRD XFD-CROSS (TYPICAL)
- PERIMETER DRIPLINE PIPE TO BE INSTALLED 2'-4" FROM PERIMETER OF AREA
- SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE (TYPICAL) POTABLE: XFS DRIPLINE NON-POTABLE: XFS DRIPLINE
- 1/2" POLYETHYLENE BLANK TUBING: RAIN BIRD XF SERIES BLANK TUBING
- AIR RELIEF VALVE: RAIN BIRD AR VALVE KIT SEE RAIN BIRD DETAIL "XFS AIR RELIEF VALVE KIT"
- PVC SUPPLY MANIFOLD
- PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- PVC SCH 40 RISER PIPE

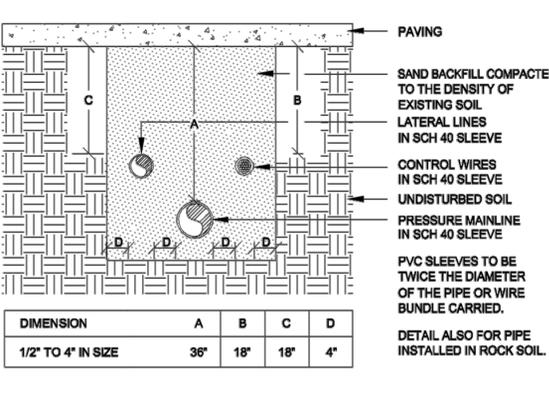
(E) DRIP TUBE LAYOUT



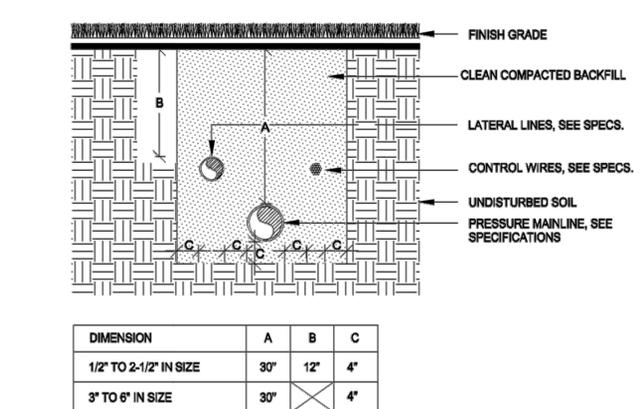
(F) DRIP TUBE GRID LAYOUT



(G) DRIP MANIFOLD

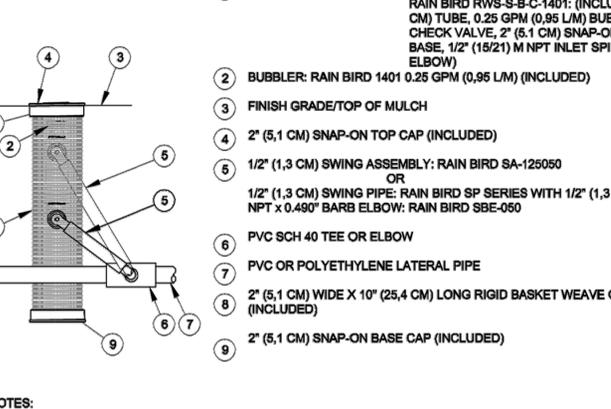


DIMENSION	A	B	C	D
1/2" TO 4" IN SIZE	36"	18"	18"	4"



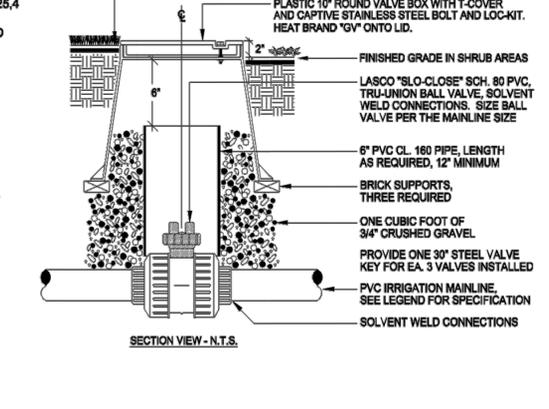
DIMENSION	A	B	C
1/2" TO 2-1/2" IN SIZE	30"	12"	4"
3" TO 6" IN SIZE	30"	4"	

(I) PIPE INSTALLATION



- SUPPLEMENTAL ROOT WATERING SYSTEM: RAIN BIRD RWS-S-B-C-1401: (INCLUDES 10" (25.4 CM) TUBE, 0.25 GPM (0.95 L/M) BUBBLER & CHECK VALVE, 2" (5.1 CM) SNAP-ON CAP AND BASE, 1/2" (15/21) M NPT INLET SPIRAL BARB ELBOW)
- BUBBLER: RAIN BIRD 1401 0.25 GPM (0.95 L/M) (INCLUDED)
- FINISH GRADE/TOP OF MULCH
- 2" (5.1 CM) SNAP-ON TOP CAP (INCLUDED)
- 1/2" (1.3 CM) SWING ASSEMBLY: RAIN BIRD SA-125050 OR 1/2" (1.3 CM) SWING PIPE: RAIN BIRD SP SERIES WITH 1/2" (1.3 CM) MALE NPT x 0.490" BARB ELBOW: RAIN BIRD SBE-050
- PVC SCH 40 TEE OR ELBOW
- PVC OR POLYETHYLENE LATERAL PIPE
- 2" (5.1 CM) WIDE X 10" (25.4 CM) LONG RIGID BASKET WEAVE CANISTER (INCLUDED)
- 2" (5.1 CM) SNAP-ON BASE CAP (INCLUDED)

(J) BUBBLER ROOT WATERING ASSEMBLY



(K) GATE VALVE

(H) SLEEVE INSTALLATION

GENERAL NOTES

- A. "An open-trench inspection by City staff is required prior to covering below grade pipes, laterals, and mains. The designer of the landscape, or their designee, and general contractor, or their designee, performing the installation must be present at the open-trench inspection. For open-trench inspections, call the Office of Sustainability and the Environment at (310) 458-8405."
- B. "Prior to final inspection installer shall test the irrigation system to verify that it meets the approved design and specifications."
- C. "Prior to final inspection installer must program the irrigation controller."
- D. "A final inspection by City staff is required prior to Certificate of Occupancy to ensure that the system was built to approved plans and specifications. For final inspections, call the Office of Sustainability and the Environment at (310) 458-8405. The following items will be required at final inspection prior to the issuance of a Certificate of Occupancy:
 - Post-installation soil test results which must contain the percentage (%) of organic matter; may also include but is not limited to soil texture; infiltration rate or soil texture infiltration rate table; pH; total soluble salts; sodium; and recommendations determined by laboratory test. Exception: Landscapes contained entirely in planters or containers are exempt from this requirement.
 - A detailed irrigation controller map must be installed inside or near the irrigation controller with at minimum a description for each zone including: plant material, watering device, valve or station number, run time for peak demand month and precipitation rate.
 - Irrigation schedules including establishment period start and end dates, must be posted inside the irrigation controller housing unit by the installer."
- E. "Electronic submission of an As-Built set of plans to the City is required if requested by City inspector."
- F. "Prior to construction of landscaped area or irrigation, the contractor must obtain and review a copy of the Water-Efficient Landscape and Irrigation Standards."
- G. "All landscaping and irrigation systems must comply with all local, state, and federal laws and regulations."
- H. "The irrigation system must comply with all local, state, and federal laws and regulations."
- I. "The irrigation designer or landscape architect or landscape designer shall perform one or more site observations during system installation to check for adherence to the design, including that the proper installation of the backflow prevention assembly, main line, laterals, valves, sprinkler heads, drip irrigation equipment, control wire, controllers, and sensors meets the intent of the irrigation design plan as designed and approved."
- J. "Areas designated as mulch on approved landscape plans, including areas covered by wood chips, gravel, stone, decomposed granite, and areas designated as artificial turf on approved landscape plans cannot be replaced with turf grass or high water use plants as defined by ANSI/ASABE S623.1, once mulch or artificial turf has been installed."
- K. "Turf grass, including existing plant material, is not allowed on slopes greater than twenty-five percent (25%) where the toe of the slope is adjacent to an impermeable hardscape and where twenty-five percent (25%) means one foot (1') of vertical elevation change for every four feet (4") of horizontal length (rise divided by run x 100 = slope %)"
- L. "Plant material listed in the current Invasive Plant Inventory for the southwest region by the California Invasive Plant Council or listed for the South Coast region by the PlantRight organization are prohibited, including existing plant material, except for known non-fruiting, non-invasive, sterile varieties, cultivars or selections. Plants listed as noxious weeds by the California Dept. of Food & Agriculture are prohibited."

PARKWAY DECLARATION

- i. "All existing sprinklers and spray heads shall be removed in the parkway."
- ii. "The installation of new sprinkler irrigation systems are prohibited in the parkway."
- iii. "The installation of any irrigation system in the parkway shall not damage the roots of the street tree."
- iv. "No mulch shall be applied within six inches (6") of the base of a street tree."
- v. "No plant material shall be installed within twenty-four (24") inches of the base of a street tree."
- vi. "The property owner adjacent to the parkway assumes liability for any improvements to the parkway area."

GENERAL INSTALLATION REQUIREMENTS

To ensure that the irrigation system is installed to conserve water resources by efficiently and uniformly distributing the water, the irrigation system installer should:

1. Contact all appropriate utility companies prior to beginning installation, to locate underground utilities including gas lines, electrical, telephone, cable, and so forth. State laws require anyone who digs to notify utility companies before starting. The installation should not be started until all underground utilities are located and marked.
2. Prior to beginning the installation, verify that the point of connection, flow rate, and static and dynamic pressures meet design criteria.
3. Install the drip system according to the design specifications and manufacturer's published performance standards.
4. Review planting plans prior to installation to minimize conflicts between larger plants and irrigation equipment. Also review construction plans for conflicts between hardscape and irrigation equipment placement.
5. Inform the City Rep. and irrigation system designer of unusual or abnormal soil conditions which may impact the design and management of the irrigation system.
6. Test the irrigation system to verify that it meets the design criteria.
7. Program the weather-based irrigation controller (WBIC) as required.
8. Review with City Rep. the location and operation of all components of the system.
9. Provide the City Rep. with a copy of the controller program you have set and recommendations for operation of the system for maximum water conservation.
10. Provide the City Rep. with keys, tools, warranties and operating instructions for all equipment.
12. Furnish the City Rep. an *as-built* record set of drawings. Within this set of drawings, describe the system layout and components including all changes from the original design.

GENERAL DRIP IRRIGATION NOTES

1. Surface drip lines to be covered w/ min. 2" layer of soil.
2. Irrigation submain and pipe under concrete to be SCH 40.
3. Prevent kinking of tube, use elbows where tight bends are encountered.
4. "Snake" laterals about landscape area so as to allow for expansion and contraction due to temperature variations.
5. Do not use detergent or lubricants in polyethylene hose connections as they may cause accelerated deterioration of the hose.
6. Make all hose cuts squarely with a sharp knife or shears.
7. Dirt or other contaminants should be kept out of emission lines by placing tape over ends that are not immediately secured.
8. Flush all mains, submains, and laterals prior to emitter installation.
9. Have water running through laterals at low pressure (0-5 psi) during emitter installation.
10. Verify correct pressure regulator downstream of pressure setting.
11. Before operation, open tubing (laterals) end caps, turn on water and allow it to flow freely for several minutes to flush lines clean. Do not bury tubing until emitters are placed correctly around or beside each plant.

DRIP MAINTENANCE NOTES

1. Check/flush laterals at least once a month.
2. Check/flush filters at least twice yearly.
3. Check/flush emitters, where required.
4. Clear weed growth from around emitter area necessary to accommodate climatic variation.
5. Check pressure downstream of remote control valve at each system for correct downstream pressure setting.
6. Check controller program for correct operation.

LANDSCAPE IRRIGATION SPECIFICATIONS

GENERAL

All workmanship and materials shall conform to local building and plumbing codes having jurisdiction.

Apply and pay for all permits required for this portion of the work.

Prior to submitting bid, examine the site and the conditions thereof.

The work to be performed under this contract shall include furnishing all labor, materials, tools, machinery, and equipment necessary to install a complete drip system as shown on the irrigation plans, including trenching, backfilling, etc.

Prior to commencing work on the project, arrange an on-site conference with the City Rep..

The installation and operation of the system must be approved by the City Rep. before receiving final approval.

If it is found during installation that the site varies from the drawings, notify the City Rep. before proceeding with the work.

Coordinate the installation of all drip system materials, including pipe, with the landscape drawings to avoid interfering with the planting of trees, shrubs, or other planting.

It is the intent of these drawings and specifications to indicate a complete drip system installed and ready for use without further cost.

Record accurately on one set of reproducible prints of the drawings, an as-built plan kept up to date as the project is under construction. In addition, dimension from two permanent points of reference the location of the pressure supply line routing, all valves, plug tees, and control wire.

The drip system shall be unconditionally guaranteed for a period of one year from the date of acceptance. Manufacturer warranties shall not replace this guarantee, and the Contractor shall be liable for repairs and replacement of failed material.

Upon completion of the work, remove all excess material, equipment and waste to the satisfaction of the Landscape Architect.

The sprinkler installation shall be deemed incomplete until all drip lines, valves and all related irrigation equipment have been checked and adjusted to best conform to the conditions and requirements that will prevail at the finished site, and approved as-built drawings have been submitted. This includes change of nozzles if required for proper coverage.

All drip components and piping shall be installed per their details, in their respective locations, and shall be of the manufacturer noted unless otherwise approved.

All material required for the project shall be as indicated in the legend and installed according to or as recommended by manufacturer.

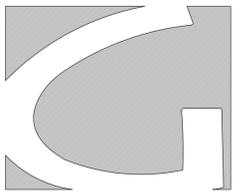
Connection between controller and remote control valves shall be made with direct burial AWG-UF 600 volt wire, wire sizing No. 14, splices where permitted shall be waterproofed.

Plastic fittings shall be of Schedule 40, polyvinyl chloride injection molded and side gated. Where threads are required, these shall be injection molded and side gated. Where threads are required, these shall be injection molded also.

Trenches shall be excavated to sufficient depth to provide coverage of 30" over all pressure supply lines and 18" over all non-pressure lines unless otherwise noted on drawing when piping occurs under paved areas. Consider dimension to be below subgrade.

Backfill for trenching shall be compacted to a dry density equal to the adjacent undisturbed soil, and shall conform to adjacent grades without dips, sunken areas, humps, or other irregularities. Initial backfill on plastic lines shall be of a fine granular material with no foreign matter larger than 1" in size.

End of Specifications



groundswell
 1009 Wellesley Ave. · L.A. Ca., 90049
 310-890-1393

PROJECT

3280 Lincoln Blvd.
 Santa Monica, Ca.
 90405

SHEET TITLE

IRRIGATION NOTES

REVISION

No.	Date	Description
△		
△		
△		

NOT FOR CONSTRUCTION

DATE: 7-14-2020

DRAWN BY: DS

SCALE AS SHOWN

PLOT DATE: 7-18-2020

L-2.2

SHEET