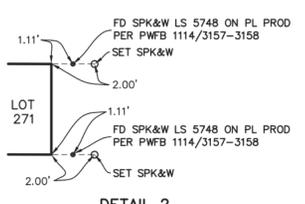
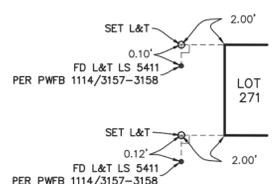
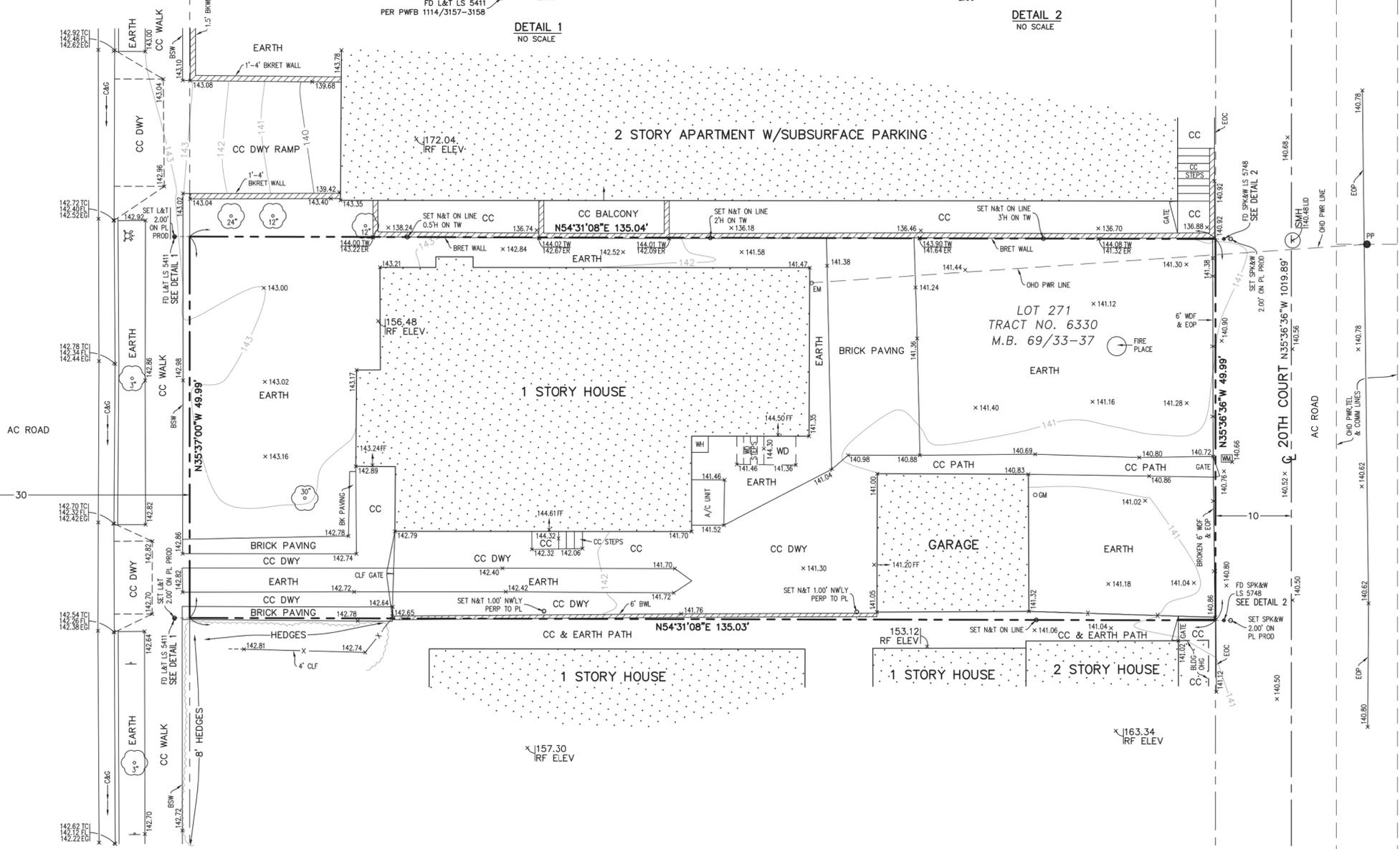
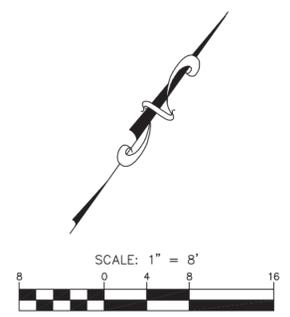


20TH STREET N35°37'00"W 1019.84'



LEGEND		ABBREVIATIONS	
---	CENTER LINE	A/C	AIR CONDITION
---	PROPERTY LINE	AC	ASPHALT CONCRETE
---	CURB UNLESS OTHERWISE NOTED	BK	BRICK
---	WALL	BKRET	BRICK RETAINING
---	FENCE	BKWL	BRICK WALL
---	FIRE HYDRANT	BLDG	BUILDING
---	POWER POLE	BRET	BLCK RETAINING
---	SURFACE DRAIN	BSW	BACK OF SIDEWALK
---	SIGN	BWL	BLCK WALL
---	TREE WITH TRUNK DIAMETER	C&G	CURB & GUTTER
		CC	CONCRETE
		CLF	CHAIN LINK FENCE
		COMM	COMMUNICATION
		DWY	DRIVEWAY
		EG	EDGE OF GUTTER
		ELEV	ELEVATION
		EM	ELECTRICAL METER
		EOC	EDGE OF CONCRETE
		EOP	EDGE OF PAVING
		ER	EARTH
		FD	FOUND
		FF	FINISH FLOOR
		FL	FLOW LINE
		GM	GAS METER
		L&T	LEAD AND TACK
		M.B.	MAP BOOK
		N&T	NAIL AND TAG
		NW/LY	NRTH WESTERLY
		D/S	OFFSET
		OHD	OVERHEAD
		OHG	OVERHANG
		PERP	PERPENDICULAR
		PL	PROPERTY LINE
		PP	POWER POLE
		PWR	POWER
		RF	ROOF
		SMH	SEWER MANHOLE
		SPK&W	SPIKE AND WASHER
		TC	TOP OF CURB
		TEL	TELEPHONE
		TM	TOP OF WALL
		W/	WITH
		WD	WOOD
		WH	WATER HEATER
		WM	WATER METER



NOTES

- REFERENCE DOCUMENT FOR LEGAL DESCRIPTION AND EASEMENTS: LAWYERS TITLE PRELIMINARY REPORT FILE NO.: 118093651, DATED JANUARY 29, 2019.
- ASSESSOR'S PARCEL NUMBER: 4273-019-001.
- LAND AREA: 6,750 SQ. FT. 0.155 ACRE
- ALL SET POINTS ARE TAGGED L.S. 7123.

BRIEF LEGAL DESCRIPTION

LOT 271 OF TRACT NO. 6330 M.B. 69/33-37.

EASEMENT NOTE

THERE ARE NO EASEMENTS PER THE PROVIDED PRELIMINARY TITLE REPORT REFERENCED ABOVE.

BASIS OF BEARINGS

THE SIDELINE OF 20TH STREET, FORMERLY NINETEENTH STREET, BEING S 35°37'00" E PER TRACT NO. 6330 M.B. 69/33-37.

BENCH MARK

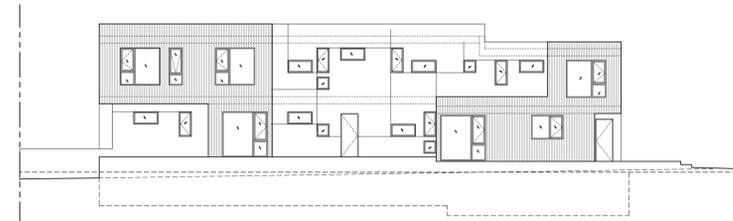
SANTA MONICA BENCH MARK
FIELD BOOK: 618/12
ELEV: 138.040 FT
LOCATION: P.K. NAIL IN LEAD IN SOUTHEAST CURB OF OCEAN PARK BOULEVARD AND NORTHEAST CURB OF 20TH STREET PRODUCED.

4-22-19
DATE
OFER SHAPIRA
LICENSE NO.: L.S. 7123
EXPIRES: 12/31/2020

Surveying & Drafting Services, Inc.
901 Seward Street, Los Angeles, CA 90038
Tel: (323) 366-2882 Fax: (323) 857-1079 Email: mailbox@surveyinganddrafting.com
www.surveyinganddrafting.com

**TOPOGRAPHIC SURVEY OF 2425 20TH STREET
SANTA MONICA, CALIFORNIA 90405**

DATE: 4-22-19	DRAWN BY: A.S., J.T.
DATE OF SURVEY: 4-22-19	CHECKED BY: V.L.
JOB NAME: AUX/20TH	SHEET: 1 OF 1



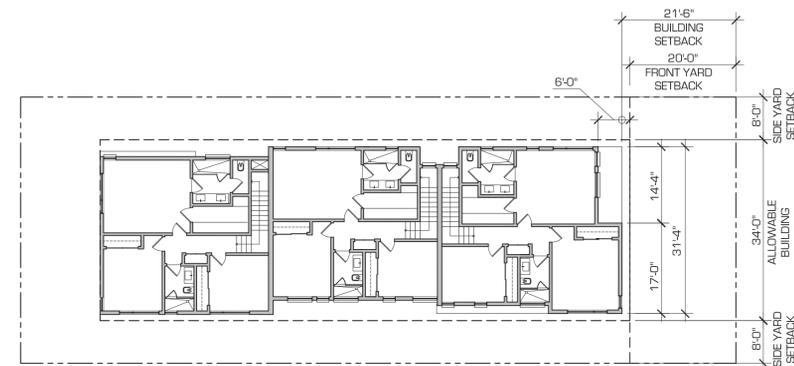
ADDITIONAL STEPBACK CALCULATION: (9.08.030 B.1)

ALLOWABLE BUILDING WIDTH: 34'-0" (LOT MINUS MIN. SETBACKS)
FRONT FACADE WIDTH: 31'-4"
REQUIRED WIDTH OF ADDITIONAL SETBACK: 7'-10" (25% OF FACADE WIDTH)
FIRST STORY ADD. SETBACK PROVIDED: 10'-6"
SECOND STORY ADD. SETBACK PROVIDED: 14'-4"

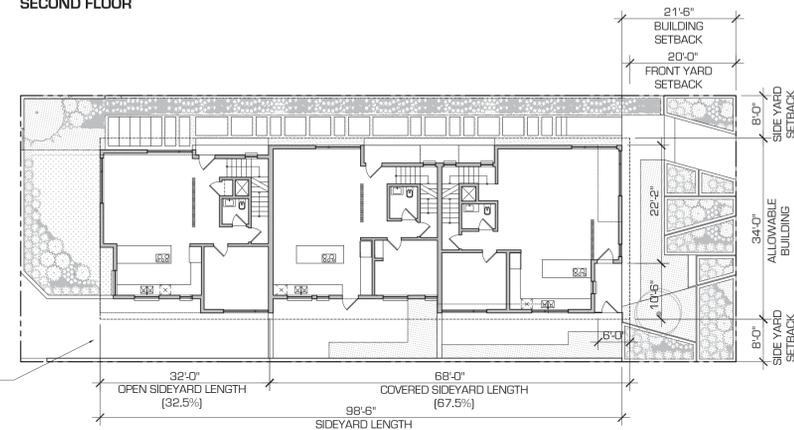
B. ADDITIONAL STEPBACK AT UPPER STORIES.

THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 30 FEET IN THE R2 DISTRICT, 40 FEET IN THE R3 DISTRICT, AND 45 FEET IN THE R4 DISTRICT, AND SHALL BE SUBJECT TO THE FOLLOWING STANDARDS:

- R2 DISTRICT. NO PORTION OF THE BUILDING VOLUME ABOVE 23 FEET SHALL ENCRDACH INTO A DAYLIGHT PLANE STARTING AT 23 FEET ABOVE THE FRONT SETBACK LINE AND SLOPING UPWARD AT A 45-DEGREE ANGLE TOWARD THE REAR OF THE PARCEL. THE 23 FOOT HEIGHT MEASUREMENT SHALL BE TAKEN FROM THE SAME REFERENCE GRADE AS DETERMINED FOR THE SUBJECT SITE PURSUANT TO SECTION 9.04.050



SECOND FLOOR



FIRST FLOOR

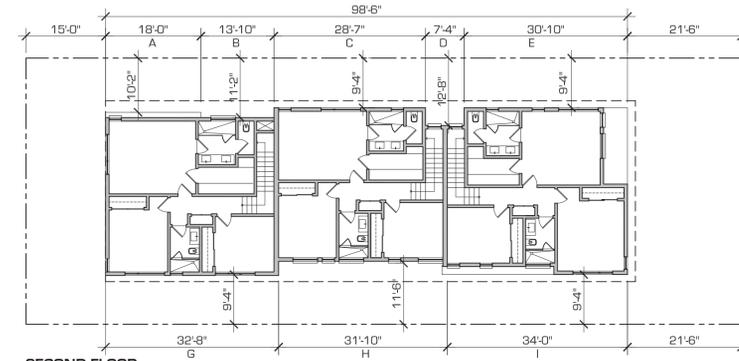
ADDITIONAL SETBACK CALCULATION: (9.08.030 E.2)

ALLOWABLE BUILDING WIDTH: 34'-0" (LOT MINUS MIN. SETBACKS)
FRONT FACADE WIDTH: 31'-4"
REQUIRED WIDTH OF ADDITIONAL SETBACK: 7'-10" (25% OF FACADE WIDTH)
FIRST STORY ADD. SETBACK PROVIDED: 10'-6"
SECOND STORY ADD. SETBACK PROVIDED: 14'-4"

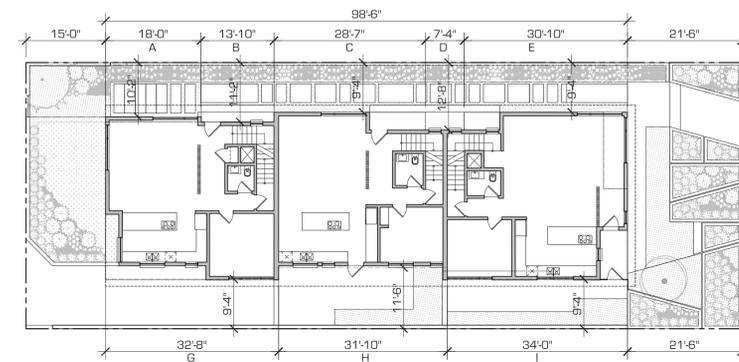
E. SPECIAL PROJECT DESIGN AND DEVELOPMENT STANDARDS.

THE NEW CONSTRUCTION OF OR NEW ADDITION TO A PRINCIPAL BUILDING SHALL COMPLY WITH THE FOLLOWING STANDARDS

- AN ADDITIONAL FIVE-FOOT SETBACK BEYOND THE MINIMUM FRONT YARD SETBACK SET FORTH IN SECTION 9.08.030 IS REQUIRED FOR AT LEAST TWENTY-FIVE PERCENT OF THE WIDTH OF THE FRONT FAÇADE. THIS SETBACK SHALL BE FULLY INTEGRATED INTO THE BUILDING THROUGH BALCONIES, DECKS, OR OTHER ELEMENTS THAT ARTICULATE THE FRONT OF THE BUILDING.



SECOND FLOOR



FIRST FLOOR

AVERAGE SETBACK CALCULATION:

EAST ELEVATION:
183+154+267+93+288 = 985
985 / 98.5' = 10.00'

AVERAGE EAST SIDE YARD SETBACK = 10'-0"

WEST ELEVATION:
305+366+317 = 988
988 / 98.5' = 10.03'

AVERAGE WEST SIDE YARD SETBACK = 10'-0"

SECTION	LENGTH OF WALL	SETBACK	SEGMENT VALUE
A	18'-0"	10'-2"	183
B	13'-10"	11'-2"	154
C	28'-7"	9'-4"	267
D	7'-4"	10'-6"	93
E	30'-10"	9'-4"	288

SECTION	LENGTH OF WALL	SETBACK	SEGMENT VALUE
G	32'-0"	9'-4"	305
H	31'-10"	11'-6"	366
I	34'-0"	9'-4"	317

SECTION	LENGTH OF WALL	SETBACK	SEGMENT VALUE
A	18'-0"	10'-2"	183
B	13'-10"	11'-2"	154
C	28'-7"	9'-4"	267
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SECTION	LENGTH OF WALL	SETBACK	SEGMENT VALUE
G	32'-0"	9'-4"	305
H	31'-10"	11'-6"	366
I	34'-0"	9'-4"	317

ZONING DIAGRAMS

PROJECT
20th Street
SANTA MONICA

DRAWING

- LEGEND**
- (N) WOOD FRAMED WALL
 - (E) WALL
 - AREA OF ADDITION
 - (N) CALIFORNIA FRAMING OVER (E) ROOF
 - DASHED LINE INDICATES BUILDING ABOVE OR BELOW
 - ENERGY STAR COMPLIANT EXHAUST FAN ON CEILING @ 50 CFM MIN. REQ'D. SEE GREEN BUILDING NOTES 1+2 IN GREEN BUILDING NOTES ON THIS SHEET
 - SMOKE DETECTOR ON CEILING
 - CARBON MONOXIDE SMOKE ALARM ON CEILING
 - DOOR TAG - SEE A6.00
 - WINDOW TAG - SEE A6.00

- NOTES**
- ALL NEW CLASS A FIRE RETARDANT ROOF COVERING THROUGHOUT.
 - NEW LANDSCAPING PER LANDSCAPE PLAN IF APPLICABLE
 - ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO FRAMING.

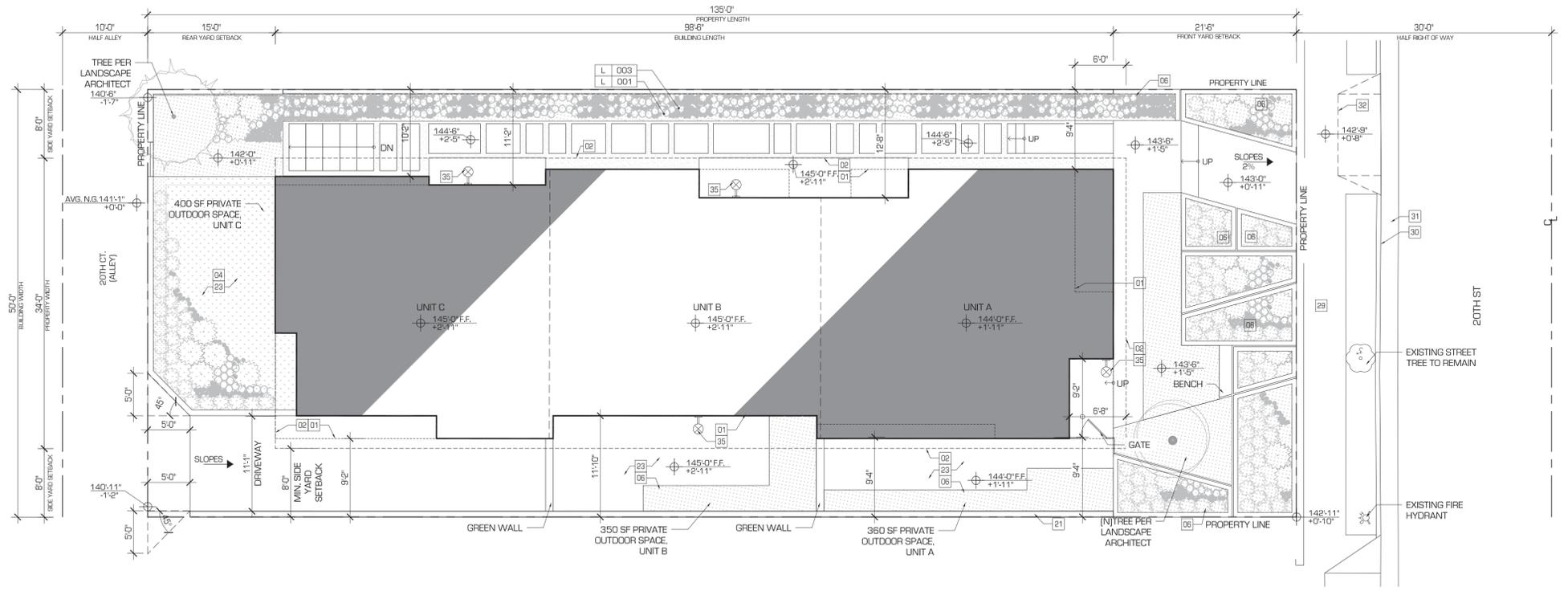
- KEY NOTES**
- LINE OF BUILDING ABOVE
 - LINE OF REQUIRED SETBACK
 - ALUMINUM THRESHOLD, DEPRESS SLAB PER DETAIL; PROVIDE WATERPROOF CAULK JOINT AS REQ'D
 - LANDSCAPING
 - CONCRETE BLOCK WALL; 6'-0" ABOVE ADJACENT GRADE
 - RAISED CONCRETE PLANTER; SEE DETAIL
 - UNIT ADDRESS IDENTIFICATION
 - BLACK ANODIZED ALUMINUM WINDOW JAMB, SILL AND HEAD; SEE DETAIL
 - SAFETY GLAZING (R308.3) (R308.4)
 - NON-STRUCTURAL ARCHITECTURAL SCREEN
 - GENERAL CONTRACTOR TO PROVIDE POLE AND SHELF
 - (N) SKYLIGHT PER SPEC
 - 42" HIGH BALLUSTRADE
 - 36" HIGH HANDRAIL
 - SHELVES
 - STEP
 - SQUARE BONDERIZED DOWNSPOUT
 - ROOF - CLASS A FIRE RETARDANT ROOF COVERING - SEE A0.16/01
 - 4" DEEP NICHE / SHELF W/ TILE FINISH ON ALL SIDES, ALIGN ON TILE SEAMS TYP.
 - MECHANICAL CHASE
 - 42" HIGH GUARDRAIL
 - MECHANICAL UNIT
 - PRIVATE OUTDOOR SPACE

- (N) CURB DRAIN; CLASS "A" PERMIT REQ'D
- PARAPET
- 42" HIGH GATE
- ALUMINUM STUCCO CONTROL JOINT
- LINE OF GARAGE DRIVEWAY
- CONCRETE SIDEWALK
- CONCRETE CURB
- STREET GUTTER
- (E) DRIVEWAY APRON TO BE REMOVED
- BONDERIZED PARAPET CAP, SEE DETAIL
- EXTERIOR SCONCES PER SPEC.
- ROOF DRAINS
- PARAPET
- PHOTOVOLTAIC PANELS
- .

- MATERIALS**
- SITE MATERIALS**
- L 001 UNCOVERED CONCRETE, BROOM FINISH
 - L 002 PERMEABLE PAVING; SEE A1.10/02
 - L 003 GRAVEL PER LANDSCAPE
- FLOORS**
- F 001 WOOD FLOOR PER SPEC.
 - F 002 CONCRETE FLOOR PER SPEC.
 - F 003 TILE FLOOR PER SPEC.
 - F 004 STONE FLOOR PER SPEC.
 - F 005 COMPOSITE DECK PER SPEC

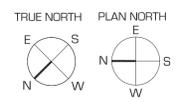
- INTERIOR FINISHES**
- I 001 PAINTED GYPSUM BOARD PER SPEC.
 - I 002 WALL TILE PER SPEC.
 - I 003 WALL TILE PER SPEC.
 - I 004 WALL TILE PER SPEC.
 - I 005 STONE PER SPEC.
 - I 006 STONE TILE PER SPEC.
 - I 007 CONCRETE

- EXTERIOR WALLS**
- E 001 STUCCO PER SPEC.
 - E 002 SIDING PER SPEC.
 - E 003 CONCRETE BLOCK PER SPEC.
 - E 004 BOARD FORMED CONCRETE PER SPEC.
- ROOF FINISHES**
- R 001 CLASS "A" MEMBRANE ROOFING PER SPEC.



SURFACE MATERIALS			
HATCH	DESCRIPTION	TOTAL AREA	% OF LOT
	LANDSCAPING	2,025 SF	30.0%
	HARDSCAPE	1,947 SF	28.8%
	BUILDING FOOTPRINT	2,778 SF	41.2%

01 SITE PLAN
SCALE: 1/8"=1'-0"



- CODE NOTES:**
- FOR DOOR AND WINDOW SCHEDULE SEE A11.00 & A11.20
 - ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
 - GLAZING IN HAZARDOUS LOCATIONS: GLAZING IN WALLS OF A BUILDING AND FENCES USED AS THE BARRIER FOR SWIMMING POOLS AND SPAS SHALL COMPLY WITH THE REQUIREMENTS OF IBCS SECTION 2405 WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT: - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE POOL, SIDE OF THE GLAZING; - THE GLAZING IS LESS THAN 5 FEET FROM SWIMMING POOL, OR SPA WATER'S EDGE.
 - EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY-GLAZING STANDARD.
 - THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF SAFETY GLAZING: GLAZING IN: (2406)
 - AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA OWING TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW

- CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 - ALL INTERIOR AND EXTERIOR STAIRS TO BE ILLUMINATED
 - BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
 - OCCUPANCIES SHALL BE SEPARATED WITH MINIMUM 1-HR RATED CONSTRUCTION.
 - DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE

- DUCTS INTO THE GARAGE.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7
 - THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
 - THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
- GREEN BUILDING NOTES:**
- NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. PROVIDE THE MANUFACTURER'S CUT SHEET FOR VERIFICATION (4.506.1, 9.506.1)
 - NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. (4.506.1, 9.506.1)
 - THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL 4-2004, ANSI/ACCA 239-2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL 5-2004, (CALGREEN 4.507.2, 9.507.2)
 - FOR SITES WITH OVER 500 SQUARE FEET OF NEW LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATH-TUB, SHOWERS, AND BATHROOM/RESTROOM WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.

- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

- APPLIANCES & EQUIPMENT**
- A01_ WASHER - PER SPEC
 - A02_ DRYER - PER SPEC
 - A03_ WARMING DRAWER - PER SPEC
 - A04_ OVEN - PER SPEC
 - A05_ DISH WASHER - PER SPEC
 - A06_ MICROWAVE - PER SPEC
 - A07_ COOK TOP - PER SPEC
 - A08_ DOWNDRAFT - PER SPEC
 - A09_ REFRIGERATOR - PER SPEC
 - A10_ FREEZER - PER SPEC
 - A11_ WINE STORAGE - PER SPEC
 - A12_ OUTDOOR REFRIGERATOR - PER SPEC
 - A13_ TV - PER SPEC
 - A14_ BBQ - PER SPEC

- FIXTURES**
- F01_ SINK - PER SPEC
 - F02_ FAUCET - PER SPEC
 - F03_ VANITY CABINET - PER SPEC
 - F04_ TOILET - PER SPEC
 - F05_ SHOWER - PER SPEC
 - F06_ TUB+FAUCET - PER SPEC
 - F07_ SHOWER BENCH - PER SPEC
 - F08_ MIRROR - PER SPEC
 - F09_ FLOOR DRAIN - PER SPEC - SEE A10.00/18
 - F10_ OUTDOOR SHOWER - PER SPEC

SITE PLAN

PROJECT
20th Street
SANTA MONICA

DRAWING

LEGEND

- (N) WOOD FRAMED WALL
- (E) WALL
- AREA OF ADDITION
- (N) CALIFORNIA FRAMING OVER (E) ROOF
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- ENERGY STAR COMPLIANT EXHAUST FAN ON CEILING @ 50 CFM MIN. REQ'D. SEE GREEN BUILDING NOTES 1+2 IN GREEN BUILDING NOTES ON THIS SHEET
- SMOKE DETECTOR ON CEILING
- CARBON MONOXIDE SMOKE ALARM ON CEILING
- DOOR TAG - SEE A6.00
- WINDOW TAG - SEE A6.00

NOTES

1. ALL NEW CLASS A FIRE RETARDANT ROOF COVERING THROUGHOUT.
2. NEW LANDSCAPING PER LANDSCAPE PLAN IF APPLICABLE
3. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO FRAMING.

KEY NOTES

- 01 LINE OF BUILDING ABOVE
- 02 LINE OF REQUIRED SETBACK
- 03 ALUMINUM THRESHOLD; DEPRESS SLAB PER DETAIL; PROVIDE WATERPROOF CAULK JOINT AS REQ'D
- 04 (N) LANDSCAPING
- 05 (N) CONCRETE BLOCK WALL; 6'-0" ABOVE ADJACENT GRADE
- 06 (N) RAISED CONCRETE PLANTER; SEE DETAIL
- 07 UNIT ADDRESS IDENTIFICATION
- 08 BLACK ANODIZED ALUMINUM WINDOW JAMB, SILL AND HEAD; SEE DETAIL
- 09 SAFETY GLAZING (R308.3) (R308.4)
- 10 NON-STRUCTURAL ARCHITECTURAL SCREEN
- 11 GENERAL CONTRACTOR TO PROVIDE POLE AND SHELF
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- 13 42" HIGH BALLUSTRADE
- 14 36" HIGH HANDRAIL
- 15 SHELVES
- 16 STEP
- 17 SQUARE BONDERIZED DOWNSPOUT
- 18 (N) ROOF - CLASS A FIRE RETARDANT ROOF COVERING - SEE A0.16/01
- 19 4" DEEP NICHE / SHELF W/ TILE FINISH ON ALL SIDES, ALIGN ON TILE SEAMS TYP.
- 20 MECHANICAL CHASE
- 21 42" HIGH GUARDRAIL
- 22 MECHANICAL UNIT
- 23 PRIVATE OUTDOOR SPACE
- 24 (N) CURB DRAIN; CLASS "A" PERMIT REQ'D
- 25 PARAPET
- 26 42" HIGH GATE
- 27 ALUMINUM STUCCO CONTROL JOINT
- 28 LINE OF GARAGE DRIVEWAY
- 29 CONCRETE SIDEWALK
- 30 CONCRETE CURB
- 31 STREET GUTTER
- 32 (E) DRIVEWAY APRON TO BE REMOVED
- 33 BONDERIZED PARAPET CAP, SEE DETAIL
- 34
- 35 EXTERIOR SCONCES PER SPEC.
- 36 ROOF DRAINS
- 37 PARAPET
- 38 PHOTOVOLTAIC PANELS
- 39

MATERIALS

- SITE MATERIALS**
- L 001 UNCOVERED CONCRETE, BROOM FINISH
 - L 002 PERMEABLE PAVING; SEE A1.10/02
 - L 003 GRAVEL PER LANDSCAPE
- FLOORS**
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 - F 004 STONE FLOOR PER SPEC.
 - F 005 COMPOSITE DECK PER SPEC

INTERIOR FINISHES

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- I 006 STONE TILE PER SPEC.
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EXTERIOR WALLS

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- E 002 SIDING PER SPEC.
- E 003 CONCRETE BLOCK PER SPEC.
- E 004 BOARD FORMED CONCRETE PER SPEC.

ROOF FINISHES

- R 001 CLASS "A" MEMBRANE ROOFING PER SPEC

AUXOFFICE

3404 WILSHIRE BLVD, STE. 120
LOS ANGELES, CA 90057
TEL: 1.213.568.3578
ARCHITECT: BRIAN WICKERSHAM
LIC: CA C-32748 / EXP. 07.31.21

PROJECT ADDRESS
2425 20TH ST
SANTA MONICA, CA 90405

PROJECT OWNER
EMPFRE ASSOCIATES
6311 VAN NUYS BLVD, SUITE 459
VAN NUYS, CA 91401
CONTACT: SCOTT MYERS, OWNER
TEL: 310.989.1173

CIVIL ENGINEER
HARVEY GOODMAN CIVIL ENGINEER
834 17TH ST #5
SANTA MONICA, CA 90403
CONTACT: HARVEY GOODMAN
TEL: 310.829.1037

STRUCTURAL ENGINEER
GORDON L. POLON CONSULTING ENGINEERS
1718 22ND ST
SANTA MONICA, CA 90404
CONTACT: GORDON POLON
TEL: 310.999.5611

LANDSCAPE ARCHITECT
UPON LANDSCAPE ARCHITECTS
XX
XX
CONTACT: CHERYL LOUGH, PLA
TEL: 540.270.7514

NO. ISSUE YR/MO/DAY

1	ARB SUBMITTAL	2020.06.17
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NO. ISSUE YR/MO/DAY

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NO. ISSUE YR/MO/DAY

1	ARB SUBMITTAL	2020.06.17
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NO. ISSUE YR/MO/DAY

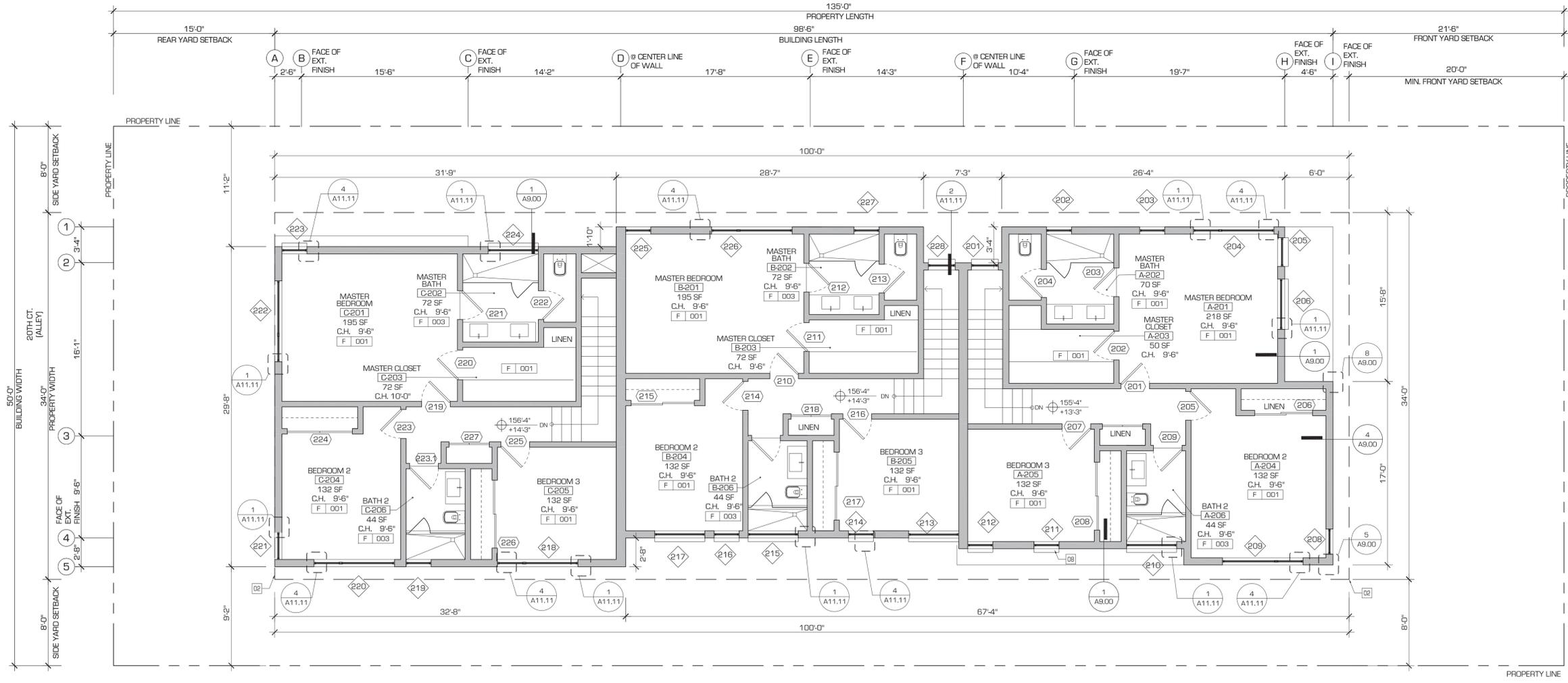
1	ARB SUBMITTAL	2020.06.17
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NO. ISSUE YR/MO/DAY

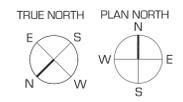
1	ARB SUBMITTAL	2020.06.17
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NO. ISSUE YR/MO/DAY

1	ARB SUBMITTAL	2020.06.17
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01 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



- CODE NOTES:**
1. FOR DOOR AND WINDOW SCHEDULE SEE A11.00 & A11.20
 2. ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
 3. GLAZING IN HAZARDOUS LOCATIONS: GLAZING IN WALLS OF A BUILDING AND FENCES USED AS THE BARRIER FOR SWIMMING POOLS AND SPAS SHALL COMPLY WITH THE REQUIREMENTS OF LABC SECTION 2405 WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT: - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 5 FEET FROM SWIMMING POOL OR SPA WATER'S EDGE.
 4. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY-GLAZING STANDARD.
 5. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF SAFETY GLAZING: GLAZING IN: (2406)
 6. AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA OWING TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW

- CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)
7. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 8. ALL INTERIORS AND EXTERIOR STAIRS TO BE ILLUMINATED
 9. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 10. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
 11. OCCUPANCIES SHALL BE SEPARATED WITH MINIMUM 1 HR RATED CONSTRUCTION.
 12. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE

- DUCTS INTO THE GARAGE.
13. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7
 14. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
 15. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
- GREEN BUILDING NOTES:**
1. NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. PROVIDE THE MANUFACTURER'S CUT SHEET FOR VERIFICATION (4.506.1, 9.506.1)
 2. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. (4.506.1, 9.506.1)
 3. THE HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL - 2004A, ANSI/ACCA 299-2003R OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL 2-004A, (CALGREEN 4.507.2, 9.507.2)
 4. FOR SITES WITH OVER 500 SQUARE FEET OF NEW LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATH-TUB, SHOWERS, AND BATHROOM/RESTROOM WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.
5. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

- APPLIANCES & EQUIPMENT**
- A01_ WASHER - PER SPEC
 - A02_ DRYER - PER SPEC
 - A03_ WARMING DRAWER - PER SPEC
 - A04_ OVEN - PER SPEC
 - A05_ DISH WASHER - PER SPEC
 - A06_ MICROWAVE - PER SPEC
 - A07_ COOK TOP - PER SPEC
 - A08_ DOWNDRAFT - PER SPEC
 - A09_ REFRIGERATOR - PER SPEC
 - A10_ FREEZER - PER SPEC
 - A11_ WINE STORAGE - PER SPEC
 - A12_ OUTDOOR REFRIGERATOR - PER SPEC
 - A13_ TV - PER SPEC
 - A14_ BBQ - PER SPEC

- FIXTURES**
- F01_ SINK - PER SPEC
 - F02_ FAUCET - PER SPEC
 - F03_ VANITY CABINET - PER SPEC
 - F04_ TOILET - PER SPEC
 - F05_ SHOWER - PER SPEC
 - F06_ TUB+FAUCET - PER SPEC
 - F07_ SHOWER BENCH - PER SPEC
 - F08_ MIRROR - PER SPEC
 - F09_ FLOOR DRAIN - PER SPEC - SEE A10.00/18
 - F10_ OUTDOOR SHOWER - PER SPEC

SECOND FLOOR PLAN

PROJECT
20th Street
SANTA MONICA

DRAWING

A2.20

2425 20TH ST

- ### LEGEND
- (N) WOOD FRAMED WALL
 - (E) WALL
 - AREA OF ADDITION
 - (N) CALIFORNIA FRAMING OVER (E) ROOF
 - DASHED LINE INDICATES BUILDING ABOVE OR BELOW
 - ENERGY STAR COMPLIANT EXHAUST FAN ON CEILING @ 50 CFM MIN. REQD. SEE GREEN BUILDING NOTES 1+2 IN GREEN BUILDING NOTES ON THIS SHEET
 - SMOKE DETECTOR ON CEILING
 - CARBON MONOXIDE SMOKE ALARM ON CEILING
 - DOOR TAG - SEE A6.00
 - WINDOW TAG - SEE A6.00

- ### NOTES
- ALL NEW CLASS A FIRE RETARDANT ROOF COVERING THROUGHOUT.
 - NEW LANDSCAPING PER LANDSCAPE PLAN IF APPLICABLE
 - ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO FRAMING.

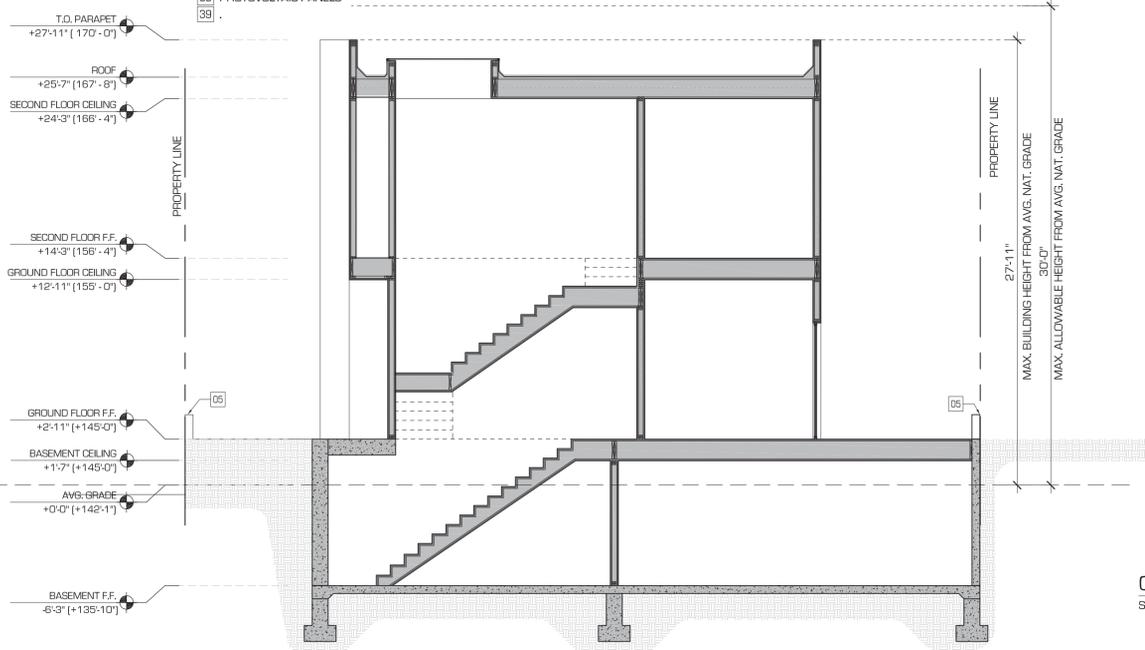
- ### KEY NOTES
- 01 LINE OF BUILDING ABOVE
 - 02 LINE OF REQUIRED SETBACK
 - 03 ALUMINUM THRESHOLD; DEPRESS SLAB PER DETAIL; PROVIDE WATERPROOF CAULK JOINT AS REQ'D
 - 04 (N) LANDSCAPING
 - 05 (N) CONCRETE BLOCK WALL; 6'-0" ABOVE ADJACENT GRADE
 - 06 (N) RAISED CONCRETE PLANTER; SEE DETAIL
 - 07 UNIT ADDRESS IDENTIFICATION
 - 08 BLACK ANODIZED ALUMINUM WINDOW JAMB, SILL AND HEAD; SEE DETAIL
 - 09 SAFETY GLAZING (R308.3) (R308.4)
 - 10 NON-STRUCTURAL ARCHITECTURAL SCREEN
 - 11 GENERAL CONTRACTOR TO PROVIDE POLE AND SHELF

- 12 (N) SKYLIGHT PER SPEC
- 13 42" HIGH BALUSTRADE
- 14 36" HIGH HANDRAIL
- 15 SHELVES
- 16 STEP
- 17 SQUARE BONDERIZED DOWNSPOUT
- 18 (N) ROOF - CLASS A FIRE RETARDANT ROOF COVERING - SEE A0.16/01
- 19 4 3/8" DEEP NICHE / SHELF W/ TILE FINISH ON ALL SIDES, ALIGN ON TILE SEAMS TYP.
- 20 MECHANICAL CHASE
- 21 42" HIGH GUARDRAIL
- 22 MECHANICAL UNIT
- 23 PRIVATE OUTDOOR SPACE
- 24 (N) CURB DRAIN; CLASS 'A' PERMIT REQ'D
- 25 PARAPET
- 26 42" HIGH GATE
- 27 ALUMINUM STUCCO CONTROL JOINT
- 28 LINE OF GARAGE DRIVEWAY
- 29 CONCRETE SIDEWALK
- 30 CONCRETE CURB
- 31 STREET GUTTER
- 32 (E) DRIVEWAY APRON TO BE REMOVED
- 33 BONDERIZED PARAPET CAP. SEE DETAIL
- 34
- 35 EXTERIOR SCONES PER SPEC.
- 36 ROOF DRAINS
- 37 PARAPET
- 38 PHOTOVOLTAIC PANELS
- 39

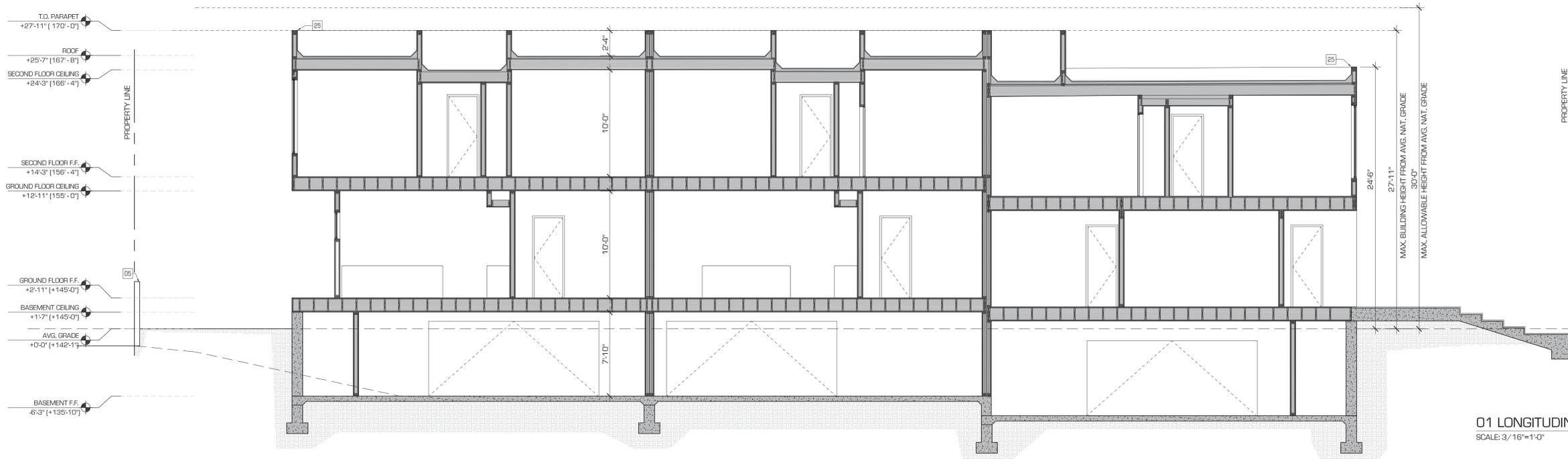
- ### MATERIALS
- #### SITE MATERIALS
- L 001 UNCOVERED CONCRETE, BROOM FINISH
 - L 002 PERMEABLE PAVING; SEE A1.10/02
 - L 003 GRAVEL PER LANDSCAPE
- #### FLOORS
- F 001 WOOD FLOOR PER SPEC.
 - F 002 CONCRETE FLOOR PER SPEC.
 - F 003 TILE FLOOR PER SPEC.
 - F 004 STONE FLOOR PER SPEC.
 - F 005 COMPOSITE DECK PER SPEC

- ### INTERIOR FINISHES
- I 001 PAINTED GYPSUM BOARD PER SPEC.
 - I 002 WALL TILE PER SPEC.
 - I 003 WALL TILE PER SPEC.
 - I 004 WALL TILE PER SPEC.
 - I 005 STONE PER SPEC.
 - I 006 STONE TILE PER SPEC.
 - I 007 CONCRETE

- ### EXTERIOR WALLS
- E 001 STUCCO PER SPEC.
 - E 002 SIDING PER SPEC.
 - E 003 CONCRETE BLOCK PER SPEC.
 - E 004 BOARD FORMED CONCRETE PER SPEC.
- ### ROOF FINISHES
- R 001 CLASS 'A' MEMBRANE ROOFING PER SPEC



02 TRANSVERSE SECTION A
SCALE: 3/16"=1'-0"



01 LONGITUDINAL SECTION A
SCALE: 3/16"=1'-0"

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 - F08 MIRROR - PER SPEC
 - F09 FLOOR DRAIN - PER SPEC - SEE A10.00/18
 - F10 OUTDOOR SHOWER - PER SPEC

SECTIONS

PROJECT
20th Street
SANTA MONICA

DRAWING

DOOR SCHEDULE

SYMBOL X

DOOR ASSEMBLY				FRAME										DETAILS		NOTES		
DOOR #	ROOM #	DESCRIPTION	TYPE	OPENING SIZE		THICKNESS	INT/EXT	MATERIAL	FINISH	MATERIAL	FINISH	GLASS	SHADE	HARDWARE SET	HEAD	SILL	JAMB	
				WIDTH	HEIGHT													
001	R/A-001	GARAGE	A	16'-0"	7'-0"	-	EXT	STEEL	TBD	STEEL	TBD	N/A						
002	R/A-003	STORAGE	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
003	R/A-002	LAUNDRY	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
004	-	STAIRWELL	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
005	R/A-001	GARAGE	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
006	R/B-001	GARAGE	A	16'-0"	7'-0"	-	EXT	STEEL	TBD	STEEL	TBD	N/A						
007	R/B-003	STORAGE	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
008	-	STAIRWELL	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
009	R/B-002	LAUNDRY	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
010	R/C-001	GARAGE	A	16'-0"	7'-0"	-	EXT	STEEL	TBD	STEEL	TBD	N/A						
011	R/C-003	STORAGE	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
012	R/C-002	LAUNDRY	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
013	-	STAIRWELL	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
014	R/C-001	GARAGE	C	3'-0"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
101	R/A-101	ENTRY	B	3'-0"	8'-0"	1 3/4"	EXT	ALUM	TBD	ALUM	TBD	TEMPERED						
102	R/A-105	POWDER ROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
103	-	STAIRWELL	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
104	R/A-106	FLEX ROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
105	-	PATIO GATE	E	3'-0"	3'-6"	1 3/4"	EXT	ALUM	TBD	ALUM	TBD	N/A						
106	R/B-101	ENTRY	B	3'-0"	8'-0"	1 3/4"	EXT	ALUM	TBD	ALUM	TBD	TEMPERED						
107	R/B-101	ENTRY CLOSET	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
108	R/B-105	POWDER ROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
109	-	STAIRWELL	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
110	R/B-106	FLEX ROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
111	R/B-104	KITCHEN	B	3'-0"	8'-0"	1 3/4"	EXT	ALUM	TBD	ALUM	TBD	TEMPERED						
112	R/C-101	ENTRY	B	3'-0"	8'-0"	1 3/4"	EXT	ALUM	TBD	ALUM	TBD	TEMPERED						
113	R/C-101	ENTRY CLOSET	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
114	R/C-105	POWDER ROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
115	-	STAIRWELL	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
116	R/C-106	FLEX ROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
201	R/A-201	MASTER BEDROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
202	R/A-203	MASTER CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
203	R/A-202	MASTER BATH	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
204	R/A-202	TOILET	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
205	R/A-204	BEDROOM 2	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
206	R/A-204	CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
207	R/A-205	BEDROOM 3	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
208	R/A-205	CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
209	R/A-206	BATH 2	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
210	R/B-201	MASTER BEDROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
211	R/B-203	MASTER CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
212	R/B-202	MASTER BATH	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
213	R/B-202	TOILET	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
214	R/B-204	BEDROOM 2	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
215	R/B-204	CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
216	R/B-205	BEDROOM 3	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
217	R/B-205	CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
218	R/B-206	BATH 2	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
219	R/C-201	MASTER BEDROOM	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
220	R/C-203	MASTER CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
221	R/C-202	MASTER BATH	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
222	R/C-202	TOILET	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
223	R/C-204	BEDROOM 2	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
224	R/C-204	CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
225	R/C-205	BEDROOM 3	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
226	R/C-205	CLOSET	D	5'-11"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						
227	R/C-206	BATH 2	C	2'-8"	7'-6"	1 3/4"	INT	WOOD	TBD	WOOD	TBD	N/A						

PROJECT ADDRESS
 2425 20TH ST
 SANTA MONICA

PROJECT OWNER
 NAME
 ADDRESS
 CITY, STATE ZIP

CIVIL ENGINEER
 COMPANY NAME
 STREET ADDRESS
 CITY, STATE ZIP
 TEL. #####-####
 CONTACT NAME

ELECTRICAL ENGINEER
 COMPANY NAME
 STREET ADDRESS
 CITY, STATE ZIP
 TEL. #####-####
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LANDSCAPE ARCHITECT
 COMPANY NAME
 STREET ADDRESS
 CITY, STATE ZIP
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 CONTACT NAME

LIGHTING DESIGNER
 COMPANY NAME
 STREET ADDRESS
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 CONTACT NAME

MECHANICAL ENGINEER
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 CONTACT NAME

SOILS ENGINEER
 COMPANY NAME
 STREET ADDRESS
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 TEL. #####-####
 CONTACT NAME

STRUCTURAL ENGINEER
 COMPANY NAME
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 TEL. #####-####
 CONTACT NAME

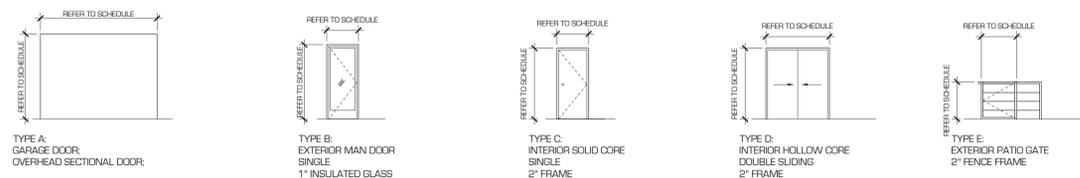
SURVEYOR
 COMPANY NAME
 STREET ADDRESS
 CITY, STATE ZIP
 TEL. #####-####
 CONTACT NAME

NO.	ISSUE	YR/MO/DAY
01	TEXT	2019###
02		
03		
04		
05		
06		

57 TOTAL DOORS

- ***ALL ALIGNMENTS IN ELEVATIONS/PLANS/SECTIONS OVERRIDE DIMENSIONS IN THE SCHEDULE
- ***EACH PANEL OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATION SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD
- ***ALL GLAZING IS DUAL GLAZED LOW E UNLESS NOTED OTHERWISE IN THIS TABLE
- ***ALL DIMENSIONS TO BE FILED VERIFIED
- ***COMPLY WITH ALL IMPACT HAZARD GLAZING REQUIREMENTS PER APPLICABLE CODES
- ***ALL LOCK SETS AND HARDWARE TO BE STAINLESS STEEL, TBD
- ***ALL DOORS IN EXISTING DOOR OPENINGS TO BE REPLACED IN LOCATION. DOOR SWING PER PLAN.

DOOR TYPES



DOOR SCHEDULE

PROJECT
 2425 20TH ST

DRAWING

WINDOW SCHEDULE

SYMBOL 

#	ROOM	DESCRIPTION	TYPE	OPENING SIZE		HEADER A.F.F.	FRAME THICK.	GLASS	OPERATION	MATERIAL	FINISH	DETAILS			NOTES
				W	H							HEAD	SILL	JAMB	
101	R#A-102	LIVING ROOM	--	2'-4"	2'-4"	7'-4"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
102	R#A-102	LIVING ROOM	--	2'-4"	4'-8"	7'-4"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
103	R#A-102	LIVING ROOM	--	8'-6"	8'-6"	8'-6"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
104	R#A-102	LIVING ROOM	--	8'-6"	8'-6"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
105	R#A-101	ENTRY	--	2'-4"	8'-6"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
106	R#A-104	KITCHEN	--	2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
107	R#A-104	KITCHEN	--	6'-11"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
108	R#A-106	FLEX ROOM	--	8'-6"	8'-6"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
109	R#B-106	FLEX ROOM	--	2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
110	R#B-106	FLEX ROOM	--	2'-4"	2'-4"	3'-0"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
111	R#B-106	FLEX ROOM	--	4'-8"	2'-4"	6'-2"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
112	R#B-104	KITCHEN	--	2'-4"	2'-4"	6'-2"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
113	R#B-104	KITCHEN	--	2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
114	R#C-106	FLEX ROOM	--	8'-6"	8'-6"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
115	R#C-104	KITCHEN	--	2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
116	R#C-104	KITCHEN	--	4'-8"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
117	R#C-104	KITCHEN	--	4'-8"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
118	R#C-102	LIVING ROOM	--	8'-6"	8'-6"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
119	R#C-102	LIVING ROOM	--	8'-6"	8'-6"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
120	R#C-101	ENTRY	--	2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
121	R#B-102	LIVING ROOM	--	8'-6"	8'-6"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
122	R#B-101	ENTRY	--	2'-4"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
201				2'-4"	2'-4"	4'-0"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
202	R#A-202	MASTER BATHROOM		2'-4"	7'-0"	7'-10"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
203	R#A-201	MASTER BEDROOM		2'-4"	7'-0"	7'-10"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
204	R#A-201	MASTER BEDROOM		7'-6"	7'-0"	7'-10"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
205	R#A-201	MASTER BEDROOM		2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
206	R#A-201	MASTER BEDROOM		2'-4"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
207	R#A-201	MASTER BEDROOM		2'-4"	2'-4"	3'-2"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
208	R#A-204	BEDROOM 2		2'-4"	7'-0"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
209	R#A-204	BEDROOM 2		7'-6"	7'-0"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
210	R#A-206	BATHROOM 2		4'-8"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
211	R#A-205	BEDROOM 3		2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
212	R#A-205	BEDROOM 3		2'-4"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
213	R#B-205	BEDROOM 3		2'-4"	4'-8"	6'-4"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
214	R#B-205	BEDROOM 3		2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
215	R#B-206	BATHROOM 2		4'-8"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
216	R#B-204	BEDROOM 2		2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
217	R#B-204	BEDROOM 2		2'-4"	2'-4"	3'-2"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
218	R#B-204	BEDROOM 2		4'-8"	2'-4"	6'-4"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
219	R#C-205	BEDROOM 3		7'-6"	7'-0"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
220	R#C-206	BATHROOM 2		2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
221	R#C-204	BEDROOM 2		7'-6"	7'-0"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
222	R#C-204	BEDROOM 2		2'-4"	7'-0"	7'-10"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
223	R#C-201	MASTER BEDROOM		7'-6"	7'-0"	7'-10"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
224	R#C-201	MASTER BEDROOM		2'-4"	4'-8"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
225	R#C-202	MASTER BATHROOM		4'-8"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
226	R#B-201	MASTER BEDROOM		2'-4"	7'-0"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
227	R#B-201	MASTER BEDROOM		7'-6"	7'-0"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
228	R#B-202	MASTER BATHROOM		2'-4"	7'-0"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	
229				2'-4"	2'-4"	8'-8"	--	LOW-E DUAL GLAZED CLEAR TEMP.	--	ALUMINUM	--	--	--	--	

AUXOFFICE

2404 WILSHIRE BLVD. STE. 12D
LOS ANGELES, CA 90057
TEL: 1.213.568.3579
ARCHITECT: BRIAN WICKERSHAM
LIC. CA C-32742 / EXP. 07.31.19

PROJECT ADDRESS
2425 20TH ST
SANTA MONICA

PROJECT OWNER
NAME
ADDRESS
CITY, STATE, ZIP

CIVIL ENGINEER
COMPANY NAME
STREET ADDRESS
CITY, STATE, ZIP
TEL. ###.###.####
CONTACT NAME

ELECTRICAL ENGINEER
COMPANY NAME
STREET ADDRESS
CITY, STATE, ZIP
TEL. ###.###.####
CONTACT NAME

LANDSCAPE ARCHITECT
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LIGHTING DESIGNER
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MECHANICAL ENGINEER
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SOILS ENGINEER
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CONTACT NAME

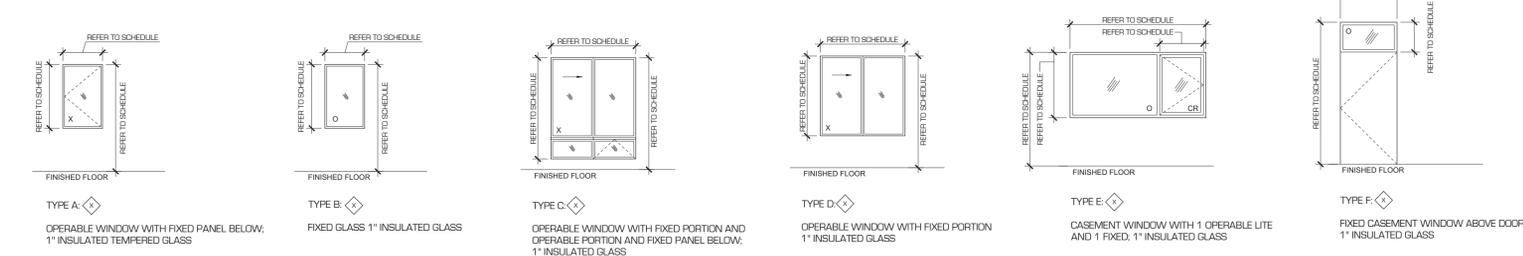
STRUCTURAL ENGINEER
COMPANY NAME
STREET ADDRESS
CITY, STATE, ZIP
TEL. ###.###.####
CONTACT NAME

SURVEYOR
COMPANY NAME
STREET ADDRESS
CITY, STATE, ZIP
TEL. ###.###.####
CONTACT NAME

NO.	ISSUE	YR/MO/DAY
01	TEXT	2019###
02		
03		
04		
05		
06		

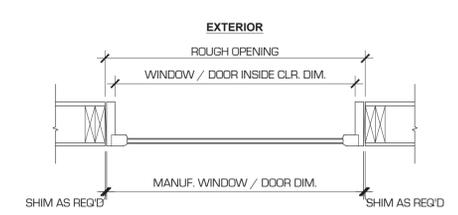
17 TOTAL WINDOWS

WINDOW TYPES



- NOTE:
- SAFETY GLAZING (SG) - GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (R308.4)
 - EACH PANEL OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATION SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD
 - ALL GLAZING IS CLEAR UNLESS NOTED OTHERWISE IN THIS TABLE
 - ALL GLAZING IS DUAL GLAZED LOW E UNLESS NOTED OTHERWISE IN THIS TABLE
 - ALL ALIGNMENTS IN ELEVATIONS/PLANS/SECTIONS OVERRIDE DIMENSIONS IN THE SCHEDULE
 - ALL DIMENSIONS TO BE FIELD VERIFIED
 - ALL GLASS TEMPERED W/ AT LEAST ONE PANE PER HIGH FIRE SEVERITY ZONE
 - ALL LOCK SETS AND HARDWARE TO BE STAINLESS STEEL, TBD

- PLAN DIAGRAM : TYPICAL WINDOW DIMENSIONING
- ALL WINDOW DIMENSIONS GIVEN ARE TO NET FRAME WIDTH & NET FRAME SILL / HEAD HEIGHT A.F.F., TYP., UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DOOR DIMENSIONS GIVEN ARE TO INSIDE CLR. OPENING & FINISH HEAD HEIGHT A.F.F., TYP.



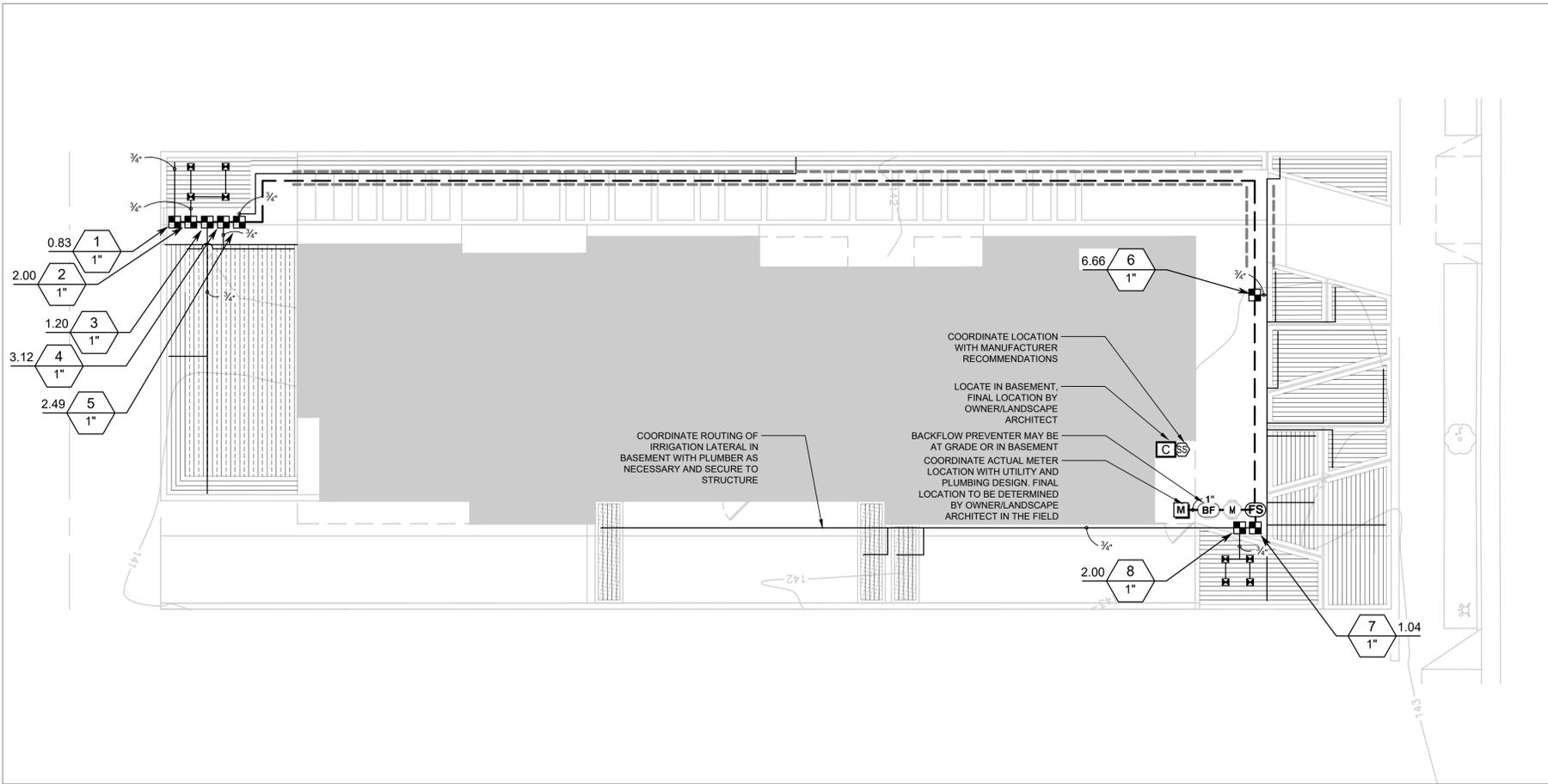
DOOR & WINDOW SCHEDULE

PROJECT
2425 20TH ST

DRAWING

A11.10

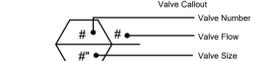
PROJECT ADDRESS



01 IRRIGATION PLAN
SCALE: 1/8"=1'-0"

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	DETAIL
■	Hunter RZWS-SLEEVE-36-CV 50 36" long RZWS with Filter Fabric Sleeve, .25gpm or .50gpm bubbler options, Check Valve, 1/2" swing joint for connection to 1/2" pipe	8	30	0.50	4/L5.12
■	Hunter PCZ-101-25 1" Drip Control Valve Kit. 1" PGV globe valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow range: 0.5 GPM to 15 GPM. 150 mesh stainless steel screen.	8			6/L5.11
▨	Area to Receive Dripline Hunter Eco-Mat 17 mm 0.6 GPH fleece wrapped inline emitter tubing, with the blanket Eco-Mat. Evenly disperses water from under the surface. Emitters at 12" O.C. Dripline laterals spaced at 12" apart. Specify PLD-LOC fittings.	312.4 l.f.			1/L5.11
▨	Area to Receive Dripline Rain Bird XFCV-09-12 XFCV On-Surface Landscape Dripline with a Heavy-Duty 3.5 psi Check Valve. 0.9 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Great for elevation change. Specify XF insert fittings.	813.5 l.f.			8/L5.11
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL		
Ⓜ	Hunter ICV-G-BSP-DC 1" 1" 1-1/2", 2" and 3" Plastic Electric Master Valve, Globe Configuration, with BSP Threaded Inlet/Outlet, for Commercial/Municipal Use. With DC Latching Solenoid Factory Installed Option.	1	1/L5.12		
Ⓟ	Febco 825YA 1" Reduced Pressure Backflow Preventer. Orientation of install shall comply with one of the approved methods listed in USC's approved backflow preventers (https://fccch.usc.edu/list.html). Preferred method for installation in parking garage is "Horizontal."	1	6/L5.12		
Ⓢ	Hunter PHC-1200 Wi-Fi enabled, full-functioning controller with touchscreen, 12-Station fixed controller, 120 VAC, Outdoor model.	1	3/L5.12		
Ⓢ	Hunter Solar-Sync-Sen Solar, rain freeze sensor with outdoor interface, connects to Hunter X-Core and ACC Controllers, install as noted. Includes gutter mount bracket. Wired. Module not included.	1	2/L5.12		
Ⓢ	Hunter HFS-158 Flow Sensor for use with ACC controller, 1-1/2" Schedule 80 Sensor Body, 24 VAC, 2 amp.	1	5/L5.12		
Ⓜ	Water Meter 1" Contractor to verify size of meter and available pressure prior to installation. Contractor to coordinate installation to manifold in garage with other trades.	1			
---	Irrigation Lateral Line: PVC Class 200 SDR 21 3/4" Lateral pipes may need to be installed within the building structure/basement. Coordinate all in-building piping with plumbing contractor. Piping within structures including the basement shall comply with all local and state building codes.	359.7 l.f.		7/L5.12	
---	Irrigation Mainline: PVC Class 315 SDR 13.5 1" Coordinate routing of mainline in building with plumber and other relevant trades to ensure compliance with state and local codes for indoor plumbing.	169.1 l.f.		9/L5.12	
---	Pipe Sleeve: PVC Schedule 40 Twice the size of pipe or wire bundle carried.	112.7 l.f.		8/L5.12	



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	WIRE	PSI	PSI @ POC	PRECIP
1	Hunter PCZ-101-25	1"	Area for Dripline	0.83	54.7 l.f.	174.2	40.00	53.23	1.45 in/h
2	Hunter PCZ-101-25	1"	Bubbler	2.00	4	172.4	40.01	53.49	2.38 in/h
3	Hunter PCZ-101-25	1"	Area for Dripline	1.20	79.3 l.f.	170.6	40.02	53.30	1.46 in/h
4	Hunter PCZ-101-25	1"	Area for Dripline	3.12	312.4 l.f.	168.8	40.03	53.85	0.96 in/h
5	Hunter PCZ-101-25	1"	Area for Dripline	2.49	166.4 l.f.	167.1	40.25	53.86	1.44 in/h
6	Hunter PCZ-101-25	1"	Area for Dripline	6.66	444.5 l.f.	39.7	40.98	55.26	1.44 in/h
7	Hunter PCZ-101-25	1"	Area for Dripline	1.04	68.6 l.f.	17.2	40.03	53.24	1.45 in/h
8	Hunter PCZ-101-25	1"	Bubbler	2.00	4	169.1	40.01	53.24	2.95 in/h
	Common Wire						169.1		

CRITICAL ANALYSIS

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P.O.C. NUMBER: 01
Water Source Information: Contractor to verify size of meter and available pressure prior to installation. Contractor to coordinate installation to manifold in garage with other trades.

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 19.31 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 70.00 psi
Elevation Change: 5.00 ft
Service Line Size: 1"
Length of Service Line: 200.00 ft
Pressure Available: 65.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 6.66 gpm
Flow Available at POC: 19.31 gpm
Residual Flow Available: 12.65 gpm

Critical Station: 6
Design Pressure: 30.00 psi
Friction Loss: 0.28 psi
Fittings Loss: 0.03 psi
Elevation Loss: 0.00 psi
Loss through Valve: 10.66 psi
Pressure Req. at Critical Station: 40.97 psi
Loss for Fittings: 0.00 psi
Loss for Main Line: 0.28 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 10.97 psi
Loss for Master Valve: 2.67 psi
Loss for Water Meter: 0.37 psi
Critical Station Pressure at POC: 55.26 psi
Pressure Available: 65.00 psi
Residual Pressure Available: 9.74 psi

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Enter value in Pale Blue Cells

Tan Cells Show Results
Messages and Warnings

Click on the blue cell on right to Pick City Name
ET_c of City from Appendix A

City Name	ET _c (inches/year)
Santa Monica	44.20

Total Landscape Area: 1,208.00

Results:
 (ET_c) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA] = 18,207.22 Gallons
 2,433.96 Cubic Feet
 24.34 HCF
 0.06 Acre-feet
 0.02 Millions of Gallons

Estimated Total Water Use

Equation: ET_{WU} = ET_c x 0.62 x [(PF x HA)(IE) + SLA]; Considering precipitation ET_{WA} = (ET_c - Eppt) x 0.62 x [(PF x HA)(IE) + SLA]

Tan Cells Show Results
Messages and Warnings

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft²) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA)(IE)
Zone 1	Drip	Low	0.30	65	0.81	20
Zone 2	Drip	Low	0.30	40	0.81	15
Zone 3	Drip	Low	0.30	60	0.81	30
Zone 4	Drip	Low	0.30	312	0.81	116
Zone 5	Drip	Medium	0.60	166	0.81	123
Zone 6	Drip	Low	0.30	445	0.81	169
Zone 7	Drip	Low	0.30	40	0.81	15
Zone 8	Drip	Low	0.30	70	0.81	26
						509
			SLA	Sum		0
						1,208

Results
MAWA = 18,207

ET _{WU}	Gallons
18,207	18,207

ET_{WU} complies with MAWA

IRRIGATION NOTES

- LOCATION OF IRRIGATION EQUIPMENT.** The location of irrigation equipment depicted in the plans is diagrammatic and has been located solely for the purpose of design clarity. Control valves, shall leave a 24" coil of excess wire at each splice and at every one hundred feet (100') on center isolation valves and other irrigation equipment shall be installed within planting areas at a distance along the wire run. The Contractor shall tape wire bundles 10' on center. No taping shall be that is directly accessible from an adjacent path whenever possible. The contractor shall stake out the location of control valves, isolation valves, controllers, tree irrigation equipment (root zone watering systems) and other specified irrigation equipment (other than individual nozzles and emitters) for review and approval by the Landscape Architect or the Owner's Representative prior to installation. All valves shall be installed a minimum of twelve inches (12") away from the edge of adjacent hardscape unless otherwise specified by the Landscape Architect. The mainline shall be located a minimum of eighteen inches (18") away from adjacent hardscape or other obstacles. The mainline shall be centered in areas less than eighteen inches (18") wide. Minor adjustments to the location of irrigation equipment as requested by the Property Owner shall be provided by the Contractor at no additional cost to the Property Owner. Failure to obtain the Property Owner's approval prior to the installation of irrigation equipment shall obligate the Contractor to make Owner-directed revisions (if necessary) at no additional cost to the Property Owner.
 - POINT OF CONNECTION.** The irrigation system is based on a minimum operating water pressure (p.s.i.) as shown at each point of connection listed in the plans and in the accompanying Critical Analysis. The Contractor shall verify the operating water pressure, static water pressure and service line size at each point of connection prior to the installation of irrigation equipment and shall submit findings in writing to the Landscape Architect and Owner's Representative. Any discrepancies shall be brought to the immediate attention of the Landscape Architect and Owner's Representative. Should the Contractor fail to verify and submit findings in writing to the Landscape Architect and Owner's Representative regarding the operating water pressure, static water pressure and service line size at each point of connection, any modifications to the irrigation system required by low pressure or volume shall be the sole responsibility of the Contractor and shall be completed at no additional cost to the Property Owner.
 - CONTROLLER ASSEMBLY.** The Contractor is responsible for verifying that an electrical connection source of 120 volts and a data connection (if required) is provided to the controller(s). The Contractor is responsible for all wire connections from all valves and appurtenance valves to terminal strips. All electrical work shall conform to local, state and national electrical codes and regulations. Minor controller modifications requested by Owner's Representative shall be provided by the Contractor at no additional cost to Property Owner.
 - PRESSURE REGULATION.*** Pressure regulating devices are required if water pressure is below or exceeds the pressure recommended by the manufacturer for the specified irrigation devices.
 - CHECK VALVES.*** Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
 - SPRAY BODIES/NOZZLES ADJACENT TO HARDSCAPE.*** The Contractor shall install spray bodies/nozzles a minimum of twenty-four inches (24") away from all non-permeable hardscape surfaces as required by California state law (AB 1881).
 - SLEEVEING.** Unless otherwise noted on the drawings, the Contractor shall install wire and pipe beneath hardscape areas in P.V.C. schedule 40 sleeves prior to installing hardscape in accordance with applicable codes.
 - PIPE & FITTINGS.** The Contractor shall use PVC pipe and fittings for all below-ground, valve-out irrigation connections. The Contractor shall use PVC pipe and fittings for all mainlines and other constant pressure applications.
 - WIRING.** Splicing of 24 volt wires shall not be permitted except in valve boxes. The Contractor plans is diagrammatic and has been located solely for the purpose of design clarity. Control valves, shall leave a 24" coil of excess wire at each splice and at every one hundred feet (100') on center isolation valves and other irrigation equipment shall be installed within planting areas at a distance along the wire run. The Contractor shall tape wire bundles 10' on center. No taping shall be that is directly accessible from an adjacent path whenever possible. The contractor shall stake out the location of control valves, isolation valves, controllers, tree irrigation equipment (root zone watering systems) and other specified irrigation equipment (other than individual nozzles and emitters) for review and approval by the Landscape Architect or the Owner's Representative prior to installation. All valves shall be installed a minimum of twelve inches (12") away from the edge of adjacent hardscape unless otherwise specified by the Landscape Architect. The mainline shall be located a minimum of eighteen inches (18") away from adjacent hardscape or other obstacles. The mainline shall be centered in areas less than eighteen inches (18") wide. Minor adjustments to the location of irrigation equipment as requested by the Property Owner shall be provided by the Contractor at no additional cost to the Property Owner. Failure to obtain the Property Owner's approval prior to the installation of irrigation equipment shall obligate the Contractor to make Owner-directed revisions (if necessary) at no additional cost to the Property Owner.
 - CONTROL WIRES.** Wherever possible, control wires shall occupy the same trench as pipes.
 - WIRE CONNECTORS.** Wire connectors shall be SCOTCHLOCK DBY or approved equal.
 - GROUNDING WIRE & ROD.** Each controller shall have its own independent grounding wire and rod. The grounding wire and rod shall not be located in the same trench as the irrigation mainlines or lateral lines.
 - IRRIGATION COVERAGE.** The Contractor shall verify that all planting areas are receiving full irrigation coverage prior to the installation of plant material. If, in the Contractor's opinion, a specified irrigation product or layout does not provide full coverage or will in any way compromise the health and longevity of the installed plant material, the Landscape Architect shall be notified immediately and shall be afforded a reasonable amount of time to recommend or approve an acceptable substitute.
 - VERTICAL OBSTRUCTIONS.** Where vertical obstructions (street lights, trees, fire hydrants, benches, etc.) interfere with the spray pattern of a nozzle/emitter so as to prevent proper irrigation coverage, the Contractor shall adjust the irrigation system accordingly by installing additional nozzles/emitters at the sides of the obstruction so as to provide proper irrigation coverage. All necessary adjustments shall be made at no additional cost to the Property Owner.
 - IRRIGATION SYSTEM PERFORMANCE.** The Contractor shall flush all lines and adjust all heads for optimum irrigation system performance.
 - IRRIGATION OVER-SPRAY/RUNOFF.** The Contractor shall ensure that no irrigation over-spray or runoff crosses property lines or paved areas.
 - IRRIGATION NEAR SITE STRUCTURES.** The Contractor shall ensure that all nozzles and emitters point away from site structures.
 - PRE-IRRIGATION OF PLANTING HOLES.** The Landscape Contractor/Project Installer shall pre-irrigate each planting hole to verify drainage and to moisten all surfaces of the planting hole prior to planting.
 - FIRST IRRIGATION.** The Contractor shall ensure that all planting areas have been irrigated to a minimum depth of eighteen inches (18") immediately after planting. The Contractor shall use a soil moisture sensor, soil probe or shovel to verify irrigation depth.
 - IRRIGATION AUDIT REPORT.*** An irrigation audit report shall be completed by a qualified irrigation auditor at the time of final inspection.
 - HYDROZONE PLAN.*** A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
- NOTE:** All notes accompanied by an asterisk (*) are required by the Model Water Efficient Landscapes Ordinance (MWELDO) as defined by California Assembly Bill 1881 (AB 1881) and/or by local codes/ordinances.

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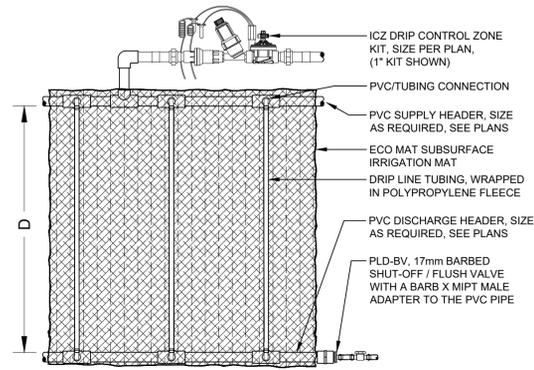
NO.	ISSUE	YR./MO./DAY
1	ARB SUBMITTAL	2020.06.17



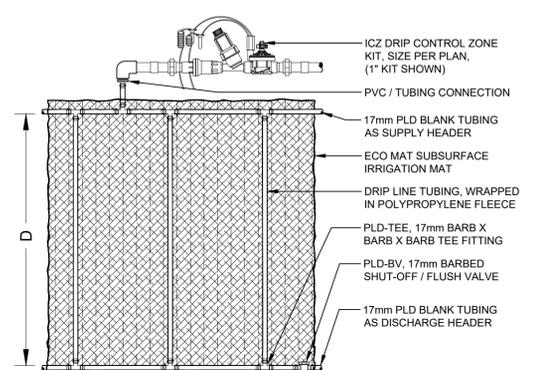
IRRIGATION PLAN

PROJECT
20th Street
SANTA MONICA

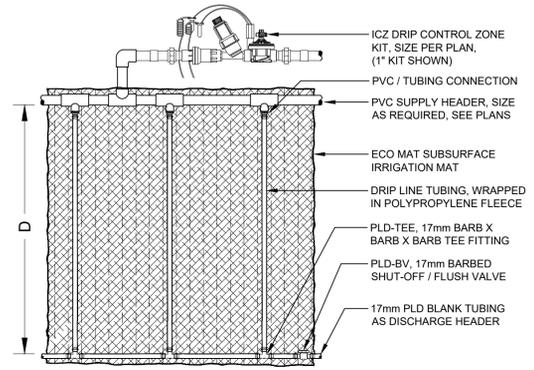
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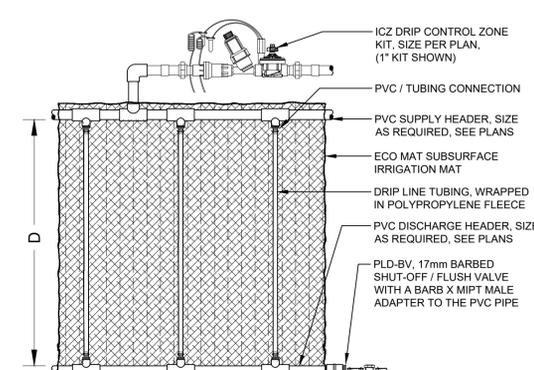
NOTE: SEE CATALOG FOR ALLOWABLE LENGTH OF TUBING RUN (D).
PVC SUPPLY HEADER AND PVC DISCHARGE HEADER



NOTE: SEE CATALOG FOR ALLOWABLE LENGTH OF TUBING RUN (D).
PVC SUPPLY HEADER AND PVC DISCHARGE HEADER

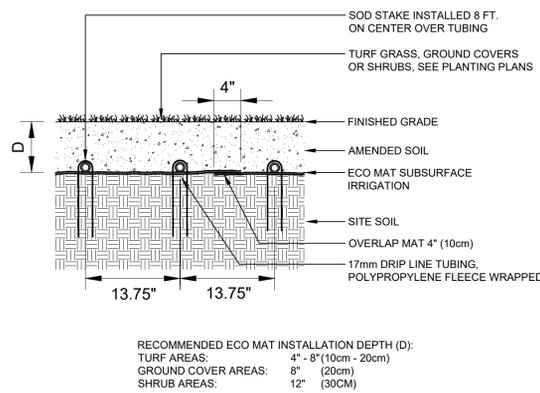


NOTE: SEE CATALOG FOR ALLOWABLE LENGTH OF TUBING RUN (D).
PVC SUPPLY HEADER AND PVC DISCHARGE HEADER



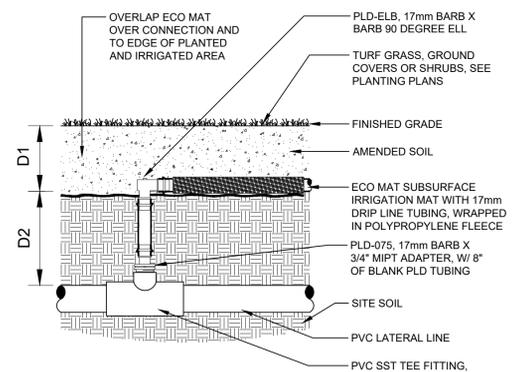
NOTE: SEE CATALOG FOR ALLOWABLE LENGTH OF TUBING RUN (D).
PVC SUPPLY HEADER AND PVC DISCHARGE HEADER

1 ECO MAT-PLAN 1B
NOT TO SCALE
FX-IR-HUNT-MICR-23



RECOMMENDED ECO MAT INSTALLATION DEPTH (D):
TURF AREAS: 4" - 8" (10cm - 20cm)
GROUND COVER AREAS: 8" (20cm)
SHRUB AREAS: 12" (30CM)

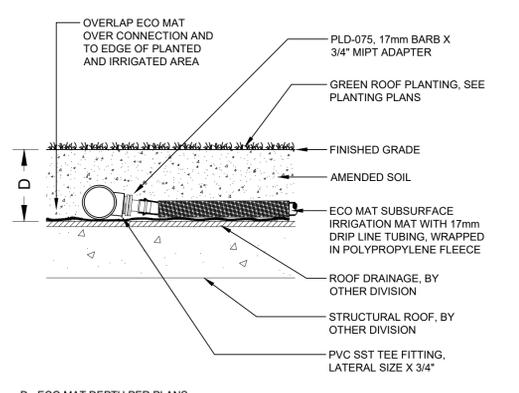
2 ECO MAT-SECTION
1 1/2" = 1'-0"
FX-IR-HUNT-MICR-21



D1 - ECO MAT DEPTH PER PLANS
D2 - 12" OR PER PLANS

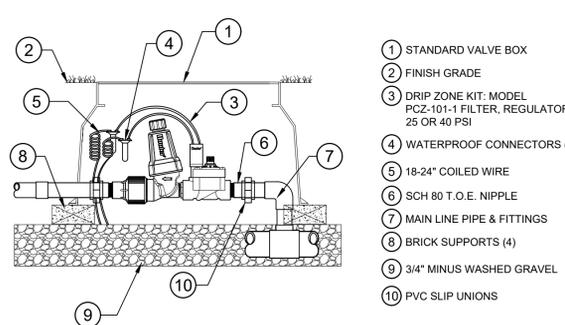
3 ECO MAT CONNECTION - BARB X BARB 90 DEGR. ELL
NOT TO SCALE
FX-IR-HUNT-MICR-27

4 ECO MAT-PLAN 1C
NOT TO SCALE
FX-IR-HUNT-MICR-24



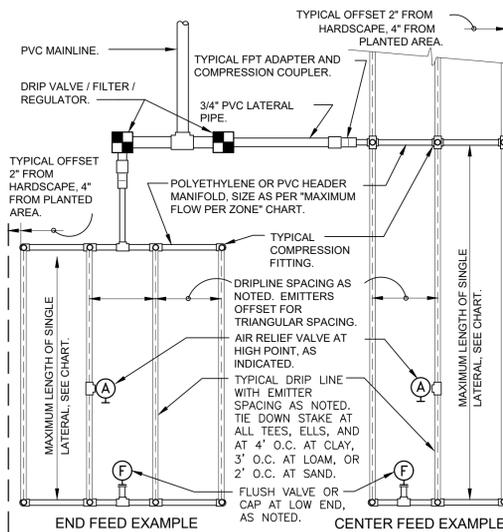
D - ECO MAT DEPTH PER PLANS

5 ECO MAT CONNECTION - BARB X 3/4\"/>



6 PCZ-101-1 DRIP ZONE KIT
1 1/2" = 1'-0"
FX-IR-HUNT-DRIP-07

7 ECO MAT-PLAN 1D
NOT TO SCALE
FX-IR-HUNT-MICR-25



PSI	EMITTER FLOW RATE GPH			
	12" SPACING	18" SPACING	24" SPACING	30" SPACING
10	125	96	175	135
20	249	191	350	271
30	307	236	434	333
40	350	268	495	380
50	385	296	545	415
60	415	318	595	445

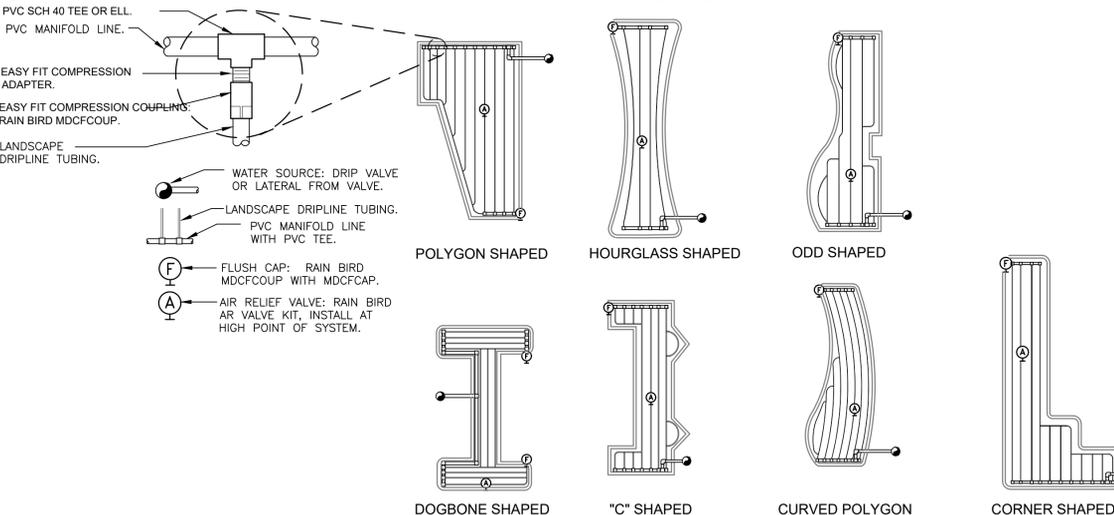
EMITTER SPACING	LATERAL SPACING	EMITTER FLOW RATE	
		0.6	0.9
12	12	0.96	1.44
18	18	0.69	1.03
24	24	0.28	0.41

EMITTER FLOW	LATERAL FLOW PER 100 FT (GPM)		
	12" SPACING	18" SPACING	24" SPACING
0.6 GPM	1.0 GPM	0.67 GPM	0.50 GPM
0.9 GPM	1.5 GPM	1.0 GPM	0.75 GPM

SCHEDULE	PVC HEADER SIZE	MAXIMUM FLOW PER ZONE	
		MAX GPM	PSI LOSS
1/2"	4.7 GPM	7.7 PSI	
3/4"	8.3 GPM	5.6 PSI	
1"	13.5 GPM	4.2 PSI	
1-1/2"	33.9 GPM	2.9 PSI	
2"	52.4 GPM	1.9 PSI	

- SLOPED CONDITION NOTE:
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
3. NORMAL SPACING WITHIN THE TOP 2/3 OF SLOPE.
4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

8 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS
N.T.S.
FX-IR-RB-DRIP-28



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NO.	ISSUE	YR/MO/DAY
1	ARB SUBMITTAL	2020.06.17



IRRIGATION DETAILS AND NOTES

PROJECT: 20th Street, SANTA MONICA

DRAWING



PERSPECTIVE RENDERING



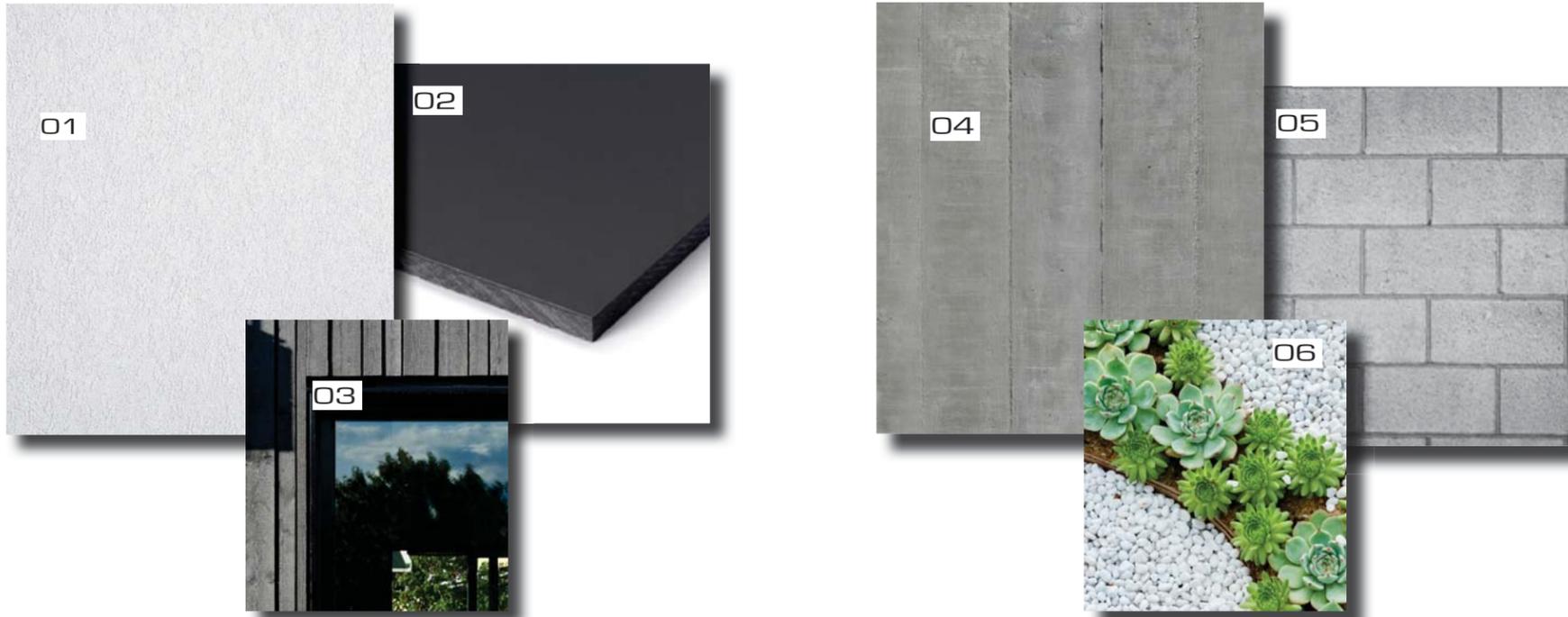


PERSPECTIVE RENDERING





- 01
- 03
- 02
- 06
- 04



- 01 STUCCO
- 02 DARK SOLID CEMENT BOARD
- 03 DARK ANODIZED ALUMINUM WITH LOW-E GLAZING UNIT
- 04 BOARD FORMED CONCRETE
- 05 CONCRETE MASONRY UNIT
- 06 LANDSCAPING