

Michael W. Folonis Architects



601 COLORADO
ARCHITECTURAL REVIEW BOARD

601 COLORADO AVENUE

ZONING INFORMATION

ADDRESS	601 COLORADO AVENUE, SANTA MONICA, CALIFORNIA 90401
PROJECT DESCRIPTION	PROPOSED 8 STORY MIXED-USE RESIDENTIAL BUILDING WITH GROUND FLOOR COMMERCIAL, RESIDENTIAL UNITS ABOVE AND 3 LEVELS OF SUBTERRANEAN PARKING
ZONE	DCP - DOWNTOWN COMMUNITY PLAN, TRANSIT ADJACENT DISTRICT (TA) - (TIER 3 W/HOUSING)
OCCUPANCY TYPE	R-2/M/S-2 - OCCUPANCY CATEGORY II
BUILDING TYPE	TYPE IIIA: RESIDENTIAL 5 STORIES, TYPE I: 2 STORIES RES. W/ 1 STORY COMM. OVER 3 LEVELS SUBTERRANEAN PARKING
BUILDING HEIGHT	PROPOSED: 84'-0" (8 STORIES)
AVERAGE NATURAL GRADE (ANG)	(80.41'+81.00'+83.31'+82.30')/4 = 81.76'
EXISTING USE	SINGLE STORY COMMERCIAL BUILDING
PROPOSED USE	MIXED USE: RESIDENTIAL + COMMERCIAL

SITE PARAMETERS

	ALLOWABLE	PROPOSED
LOT SIZE (SQ FT)	22,500	
F.A.R.	4.0	4.0
NUMBER OF STORIES	UNLIMITED	8
HEIGHT (FT)	84	84
ALLOWABLE AREA SQ. FT.	90,000	89,750

OPEN SPACE REQUIREMENTS

FLOOR	BUILDABLE AREA	MINIMUM % REQUIRED	REQ. (SF)	PROPOSED (SF)	TOTAL %
GROUND		10%	2,058	2,145	10%
2ND FLOOR	20,580			4,215	20%
ROOF DECK		10%	2,058	1,932	9%
TOTAL PROPOSED		20%	4,116	8,292	40%
COMMON OPEN SPACE	25% OF REQ. OPEN SPACE			8,292	40%

PROGRAM INFORMATION

UNIT TYPE	AREA AVG. (SF)		# UNITS	TOTAL SF	FAR	# BEDROOMS
	REQUIRED MIX	PROVIDED				
STUDIO			0	-		0
STUDIO TOTAL	15% MAXIMUM					
1 BR			91	36,318		
1 BEDROOM TOTAL		65%	91	36,318		91
2 BR			28	20,422		
2 BEDROOM TOTAL	20% MINIMUM	20%	28	20,422		56
3 BR			21	20,891		
3 BEDROOM TOTAL	15% MINIMUM	15%	21	20,891		63
RESIDENTIAL UNIT TOTAL		100%	140	77,630		210
LOBBY/MAIL				1,522		
SERVICE/CIRCULATION				1,978		
MARKET RATE UNITS TOTAL		100%	140			
AFFORDABLE TOTAL (OFFSITE)	MIN 25%	25%	35			
TOTAL RES. FLOOR AREA				81,130	3.6	

COMMERCIAL	MARKET RATE	AFFORDABLE
COMMERCIAL (Outdoor)*	* Commercial (outdoor) not counted toward FAR	
SERVICE AREA		
TOTAL COMM. FLOOR AREA		8,619
TOTAL FLOOR AREA		89,750
AVERAGE # OF BEROOMS	(>= Market Rate)	1.5

OFFSITE AFFORDABLE UNITS (AT 1238 7TH STREET)	AREA AVG.	# UNITS	# BEDROOMS
STUDIO		0	0
1 BED	419	23	23
2 BED	753	7	14
3 BED	1,002	5	15
TOTAL AFFORDABLE UNITS		35	52



PARKING INFORMATION

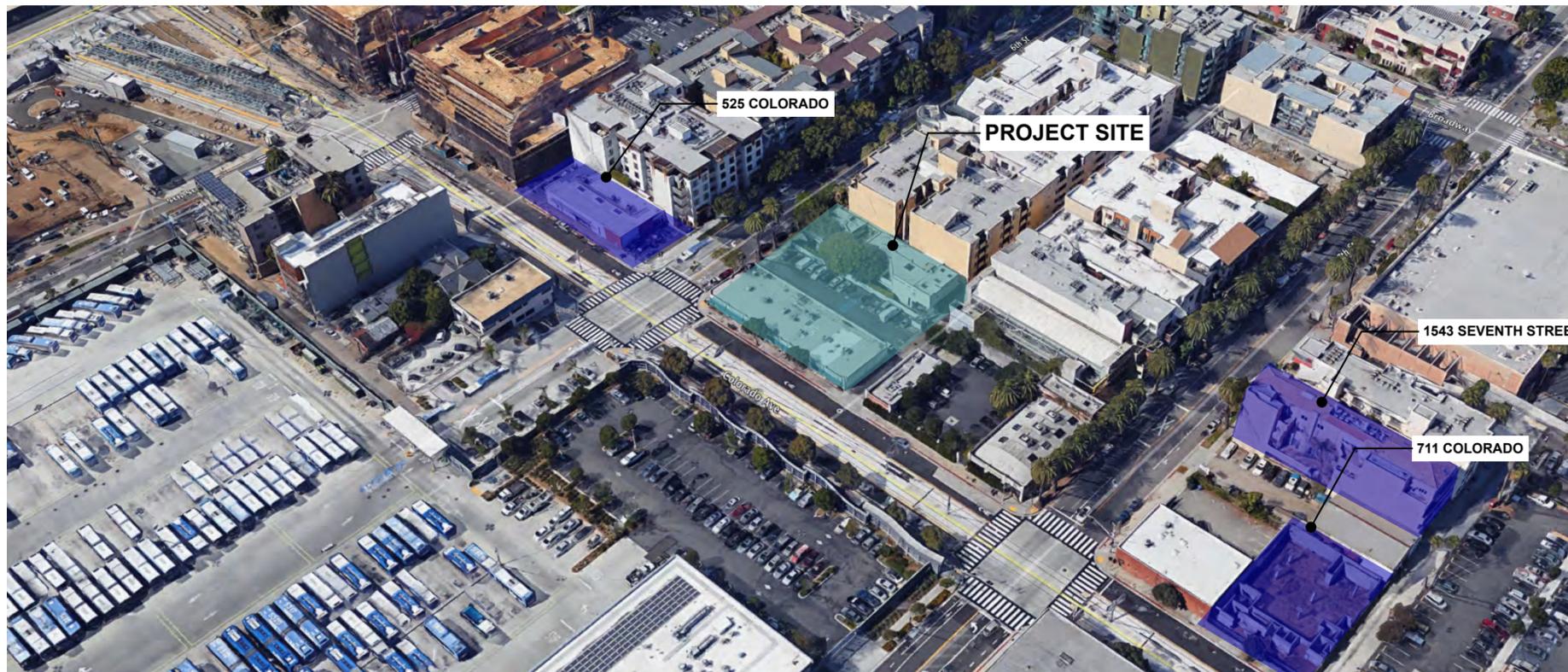
AUTOMOBILE PARKING			
MAXIMUM PARKING ALLOWED (PER DCP)			
UNIT TYPE	UNIT TOTAL/SF	# SPACES /UNIT	REQUIRED
STUDIO		0.5	
1 BEDROOM	91	0.5	46
1 BR AFFORDABLE			
2 BEDROOM	28	1.0	28
2 BR AFFORDABLE			
3 BEDROOM	21	1.0	21
3BR AFFORDABLE			
Guest-Market Rate: 1 per 15		0.07	9
Guest-Affordable: 1 per 30			
Commercial (Ground Level)	8,193	2/1000	16
* 500 SF of outdoor dining area does not require any parking spaces.			
Total Residential			104
Total Commercial			16
MAXIMUM ALLOWED			120

BICYCLE PARKING				
MINIMUM REQUIRED				
UNIT TYPE	UNIT TOTAL	SHORT TERM 10% of long term - Retail: 1/4000 SF	LONG TERM 1/bedroom - Retail: 1/3000 SF	TOTAL
STUDIO				
STUDIO AFF				
1 BD	91	9	91	100
1 BD AFF				
2 BD	28	6	56	62
2 BD AFF				
3 BD	21	6	63	69
3 BD AFF				
Total Residential		21	210	231
Commercial (Min. 4)		4	4	8
TOTAL REQUIRED		25	214	239
CARGO BIKES (10% of total bike parking)				
				24

PROPOSED				
BIKE PARKING TYPE	SHORT TERM	LONG TERM	TOTAL	
GRADE	25	0	25	
P1		40	40	
P2		65	65	
P3		109	109	
Total Residential	21	210	231	
Total Commercial	4	4	8	
TOTAL PROPOSED	25	214	239	

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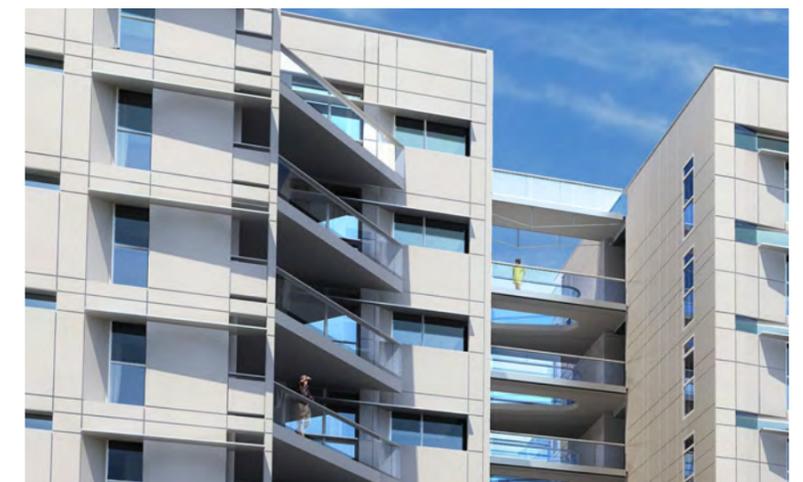
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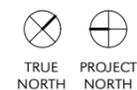
SITE AERIAL MAP



VICINITY MAP
 NOT TO SCALE



SITE MAP
 NOT TO SCALE

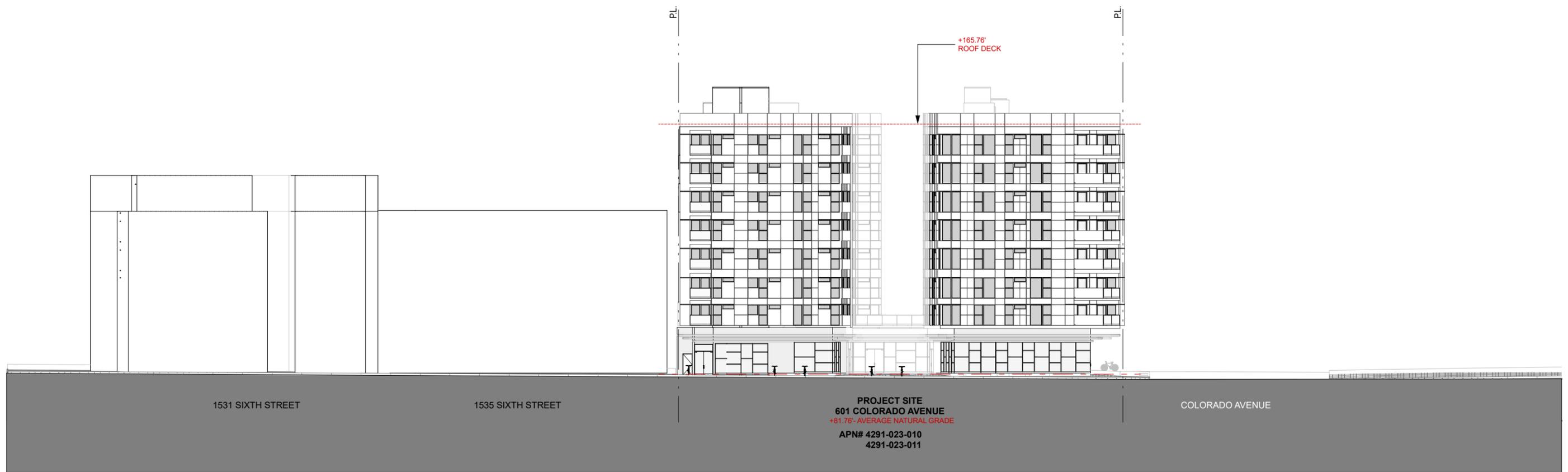




EXISTING COLORADO AVENUE



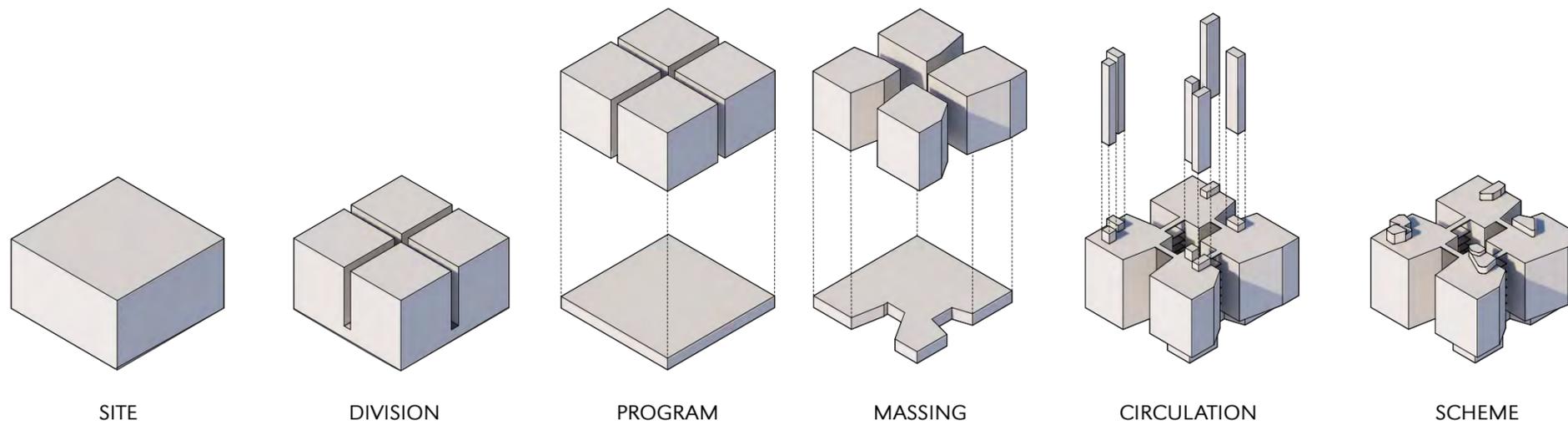
EXISTING SIXTH STREET



PROPOSED SIXTH STREET



PROPOSED COLORADO AVENUE



SITE

DIVISION

PROGRAM

MASSING

CIRCULATION

SCHEME



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601 COLORADO

RENDERING - 6TH STREET

A-08

June 26, 2020



















PER 9.10.060.C.3(b):
3. Minimum Upper Level Stepback:
b. District with 84 feet maximum allowable height limit. Minimum required stepbacks from the building frontage line are established for the upper level of proposed buildings. The Minimum Upper Level Stepback above 60 feet shall be 35% of the front facade area. Stepback shall be a minimum of 5 feet and are not required to be open to the sky. Projections into the stepbacks are permitted pursuant to 9.10.120(A)*

- Front Facade Area = 3,515 SF
- 35% of Front Facade area = $3,515 \times 0.35 = 1,230$ SF Minimum Required
- 1,254 SF Provided (37%)

PER 9.10.060.C.2(b):
2. Minimum Required stepbacks Above Ground Floor.
b. District with 84 feet Maximum Allowable Height limit. Minimum required stepbacks from the building frontage line are established above the ground floor. The Minimum Required Stepback Above the Ground Floor and below 60 feet shall be 15% of the front facade area. Stepbacks shall be a minimum of 5 feet and are not required to be open to the sky. Projections into the required stepbacks are permitted pursuant to 9.10.120(A)*

- Front Facade Area = 6,515 SF
- 15% of Front Facade Area = $6,515 \times 0.15 = 977$ SF Minimum Required
- 3,326 SF Provided (37%)



SOUTH ELEVATION
 1/32" = 1'-0"

PER 9.10.060.C.3(b):
3. Minimum Upper Level Stepback:
b. District with 84 feet maximum allowable height limit. Minimum required stepbacks from the building frontage line are established for the upper level of proposed buildings. The Minimum Upper Level Stepback above 60 feet shall be 35% of the front facade area. Stepback shall be a minimum of 5 feet and are not required to be open to the sky. Projections into the stepbacks are permitted pursuant to 9.10.120(A)*

- Front Facade Area = 3,528 SF
- 35% of Front Facade area = $3,528 \times 0.35 = 1,235$ SF Minimum Required
- 1,409 SF Provided (40%)

PER 9.10.060.C.2(b):
2. Minimum Required stepbacks Above Ground Floor.
b. District with 84 feet Maximum Allowable Height limit. Minimum required stepbacks from the building frontage line are established above the ground floor. The Minimum Required Stepback Above the Ground Floor and below 60 feet shall be 15% of the front facade area. Stepbacks shall be a minimum of 5 feet and are not required to be open to the sky. Projections into the required stepbacks are permitted pursuant to 9.10.120(A)*

- Front Facade Area = 6,507 SF
- 15% of Front Facade Area = $6,507 \times 0.15 = 976$ SF Minimum Required
- 2,599 SF Provided (40%)

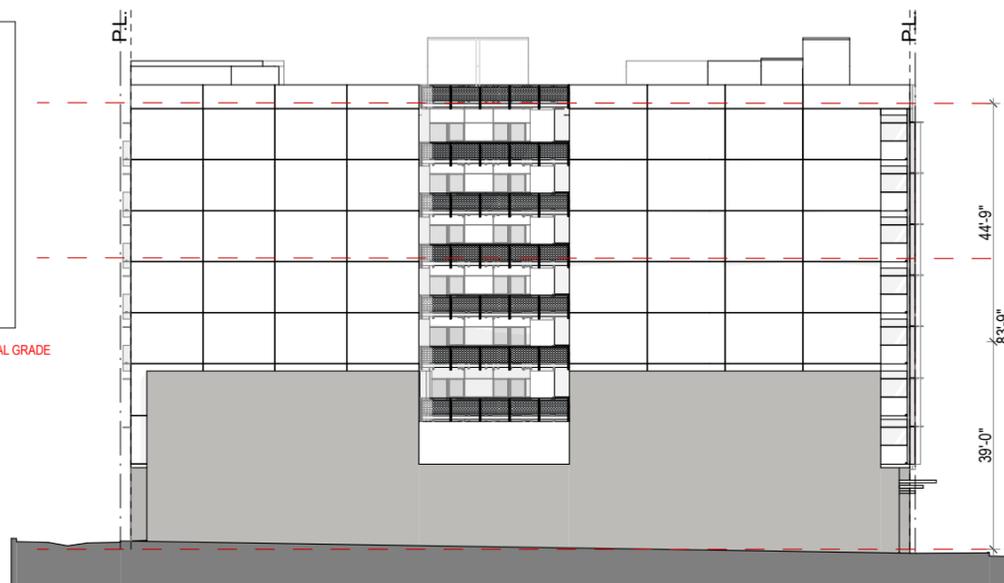


WEST ELEVATION
 1/32" = 1'-0"

PER 9.10.060.C.5 and C.6:
5. Minimum Side Interior Stepback. A minimum of 15% of the exposed side interior building facade area above 39 feet shall be stepback a minimum of 5 feet from the side property line.

6. Alternative Side Interior Stepback Compliance for All Districts. In order to provide flexibility for compliance with the side interior stepback requirements in subsection C(5) in all districts the side interior stepback may be reduced to 12" provided that the open area requirements established in 9.10.060 B(1) are increased to the following:
 Lot width between 51 and 150 Feet = 25% total

- Total side interior building facade area = 6,578 SF
- 15% of exposed side interior building facade area = $6,578 \times 0.15 = 987$ SF Minimum Required
- 1,284 SF Side Interior Stepback Provided (20%)



NORTH ELEVATION
 1/32" = 1'-0"



GROUND FLOOR FAR
1/32" = 1'-0"

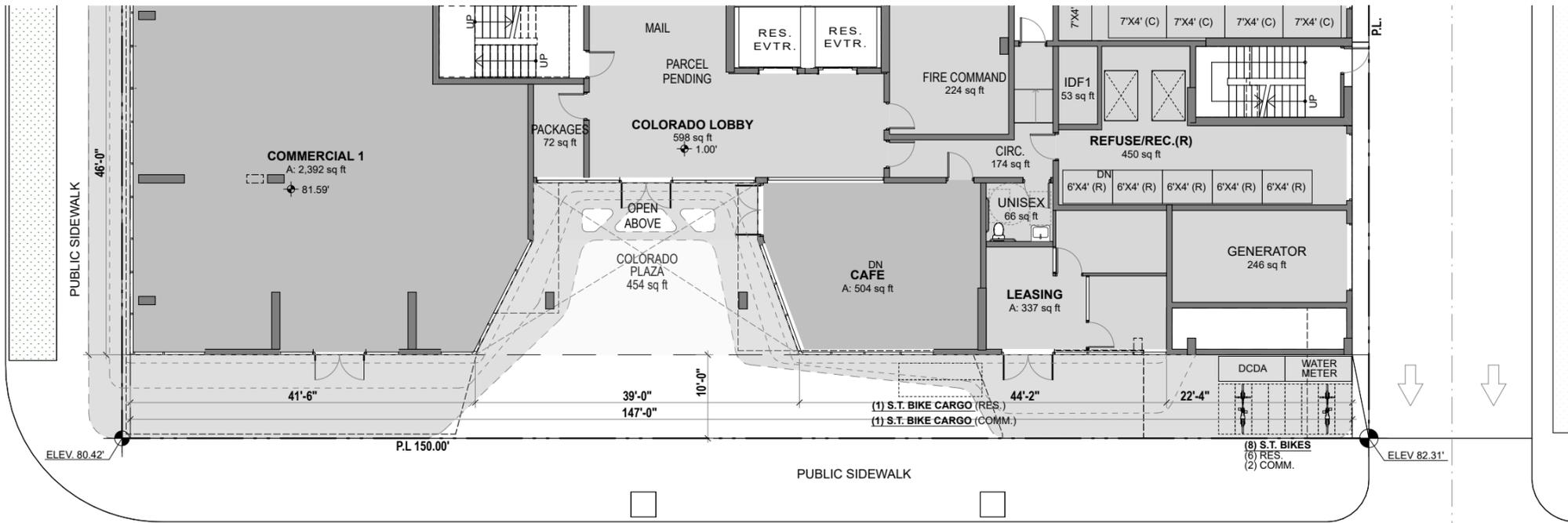
GROUND FLOOR FAR 12,119SF



2ND TO 8TH FLOOR FAR
1/32" = 1'-0"

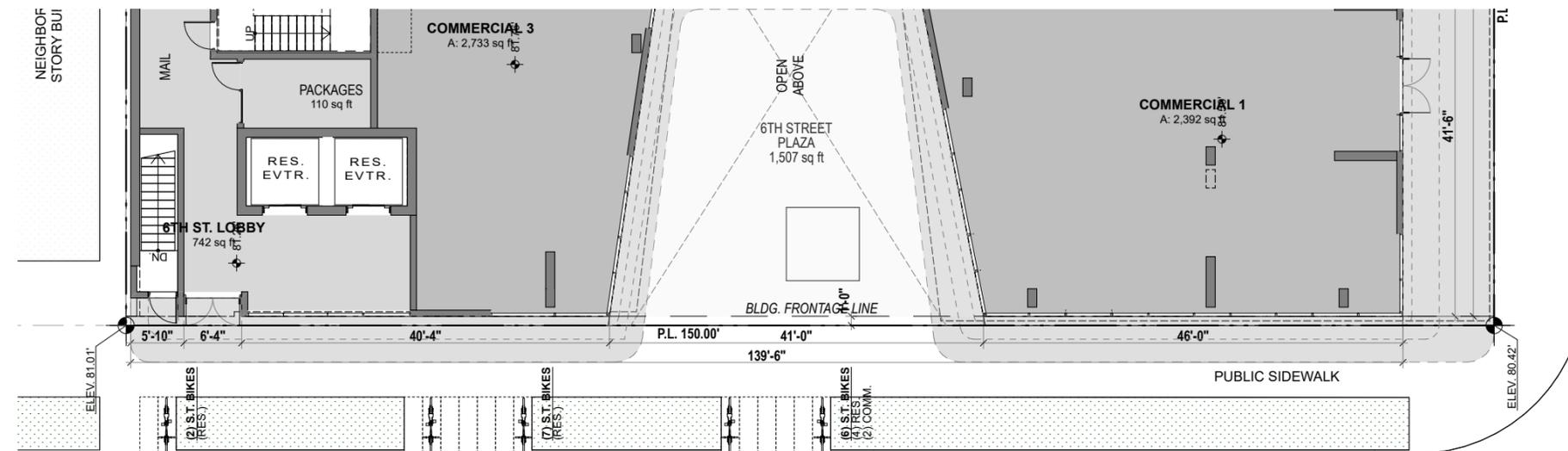
2ND TO 8TH FLOOR FAR 11,067.7 SF PER FLOOR

RESIDENTIAL UNIT TOTAL		100%		140	77,630	210
LOBBY/MAIL					1,522	
SERVICE/CIRCULATION					1,978	
MARKET RATE UNITS TOTAL		100%		140		
AFFORDABLE TOTAL (OFFSITE)	MIN 25%	25%		35		
TOTAL RES. FLOOR AREA					81,130	3.6
COMMERCIAL					7,337	
COMMERCIAL (Outdoor)*					1,356	
SERVICE AREA					1,282	
TOTAL COMM. FLOOR AREA					8,619	
TOTAL FLOOR AREA					89,750	4.0
AVERAGE # OF BEROOMS				(>= Market Rate)	MARKET RATE	1.5
					AFFORDABLE	1.5



BUILDING FRONTAGE DIAGRAM(COLORADO AVE.)

1/16" = 1'-0"

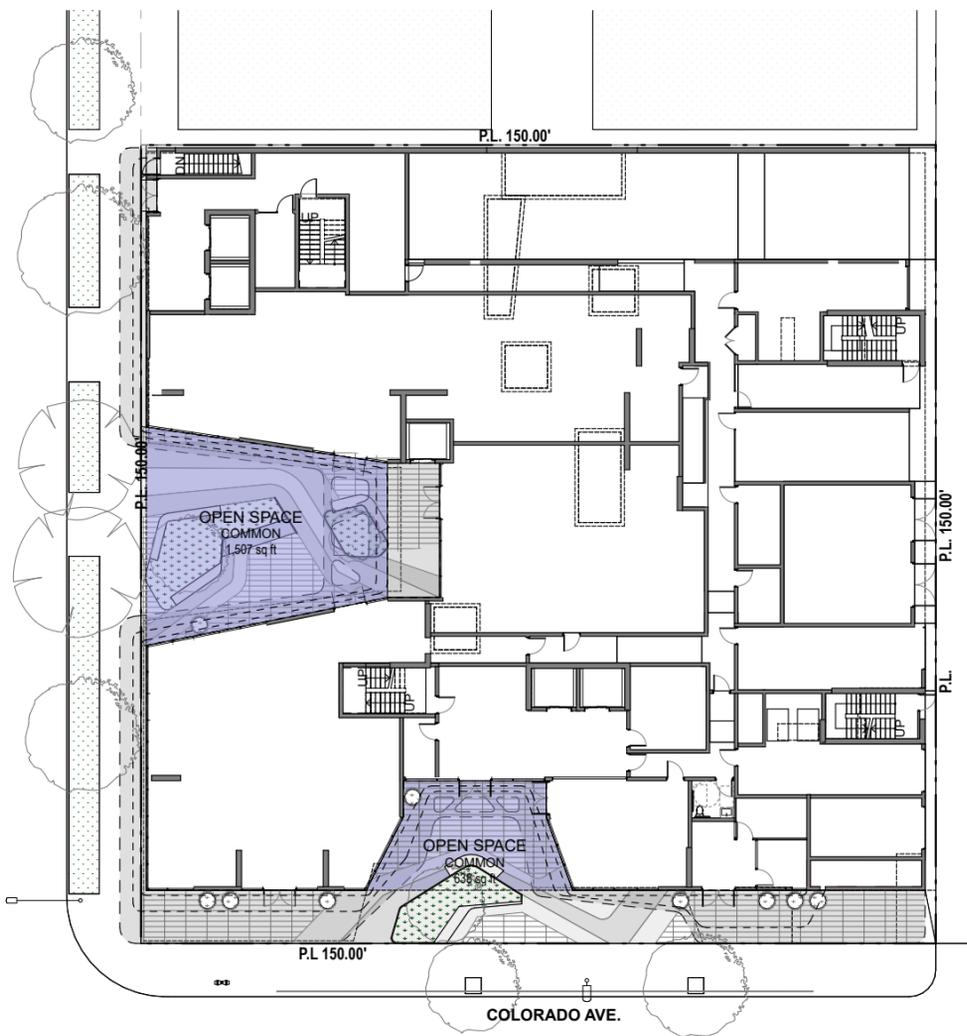


BUILDING FRONTAGE DIAGRAM (SIXTH STREET)

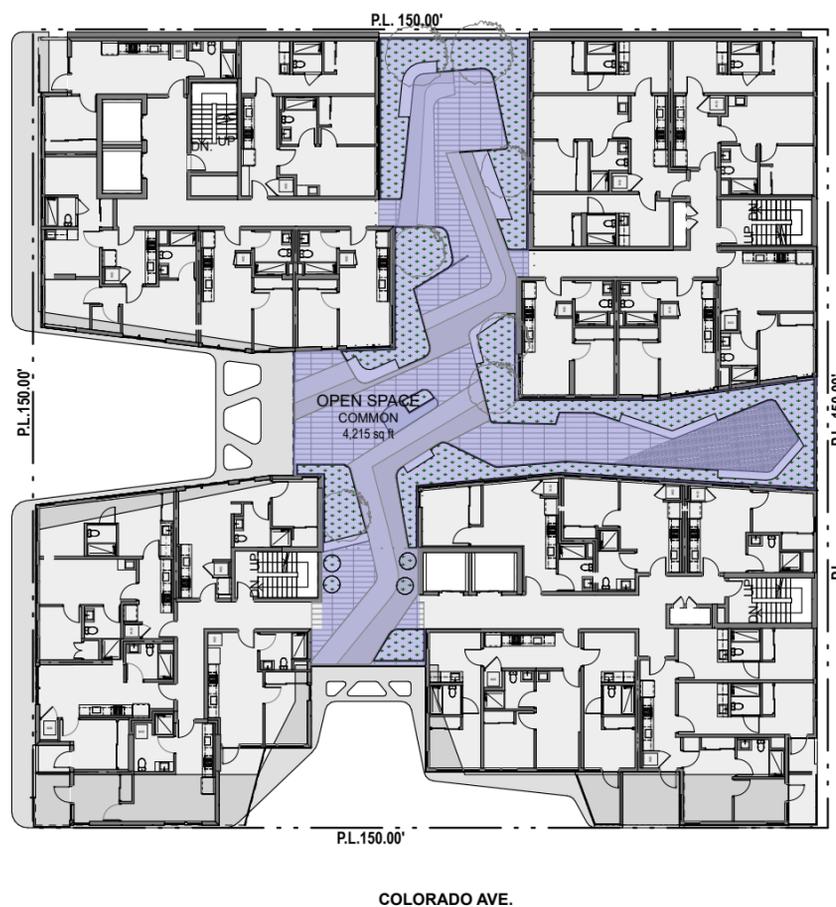
1/16" = 1'-0"

PROPOSED OPEN SPACE

GROUND FLOOR	2,145 SF PROPOSED
SECOND FLOOR	4,215 SF PROPOSED
ROOF	1,932 SF PROPOSED
TOTAL	8,292 SF PROPOSED



GROUND FLOOR OPEN SPACE
1/32" = 1'-0"



2ND FLOOR OPEN SPACE
1/32" = 1'-0"



ROOF DECK OPEN SPACE
1/32" = 1'-0"



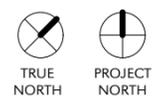
P3 LEVEL PLAN
1/16" = 1'-0"

AUTOMOBILE PARKING			
MAXIMUM PARKING ALLOWED (PER DCP)			
UNIT TYPE	UNIT TOTAL/SF	# SPACES /UNIT	REQUIRED
STUDIO		0.5	
1 BEDROOM	91	0.5	46
1 BR AFFORDABLE			
2 BEDROOM	28	1.0	28
2 BR AFFORDABLE			
3 BEDROOM	21	1.0	21
3 BR AFFORDABLE			
Guest-Market Rate: 1 per 15		0.07	9
Guest-Affordable: 1 per 30			
Commercial (Ground Level)	8,131	2/1000	16
* 500 SF of outdoor dining area does not require any parking spaces.			
Total Residential			104
Total Commercial			16
MAXIMUM ALLOWED			120

PROPOSED PARKING					
SPACE TYPE	P1	P2	P3	%	TOTAL
STANDARD	20	31	33		84
COMPACT	14	5	5	21%	24
ACCESSIBLE	2	2	2	5%	6
TOTAL	36	38	40		114
Total Residential (with Guest)					
	21	38	40		99
Total Commercial					
	15				15
TOTAL PROPOSED					114

BICYCLE PARKING				
MINIMUM REQUIRED				
UNIT TYPE	UNIT TOTAL	SHORT TERM 30% of long term - Retail: 1/4000 SF	LONG TERM 1/bedroom - Retail: 1/3000 SF	TOTAL
STUDIO				
STUDIO AFF				
1 BD	91	9	91	100
1 BD AFF				
2 BD	28	6	56	63
2 BD AFF				
3 BD	21	6	63	69
3 BD AFF				
Total Residential	21	21	210	231
Commercial (Min. 4)	4	4	4	8
TOTAL REQUIRED	25	25	214	239
CARGO BIKES (10% of total bike parking)				
				24

PROPOSED			
BIKE PARKING TYPE	SHORT TERM	LONG TERM	TOTAL
GRADE	25	0	25
P1		40	40
P2		65	65
P3		109	109
Total Residential	21	210	231
Total Commercial	4	4	8
TOTAL PROPOSED	25	214	239





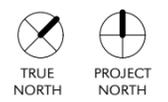
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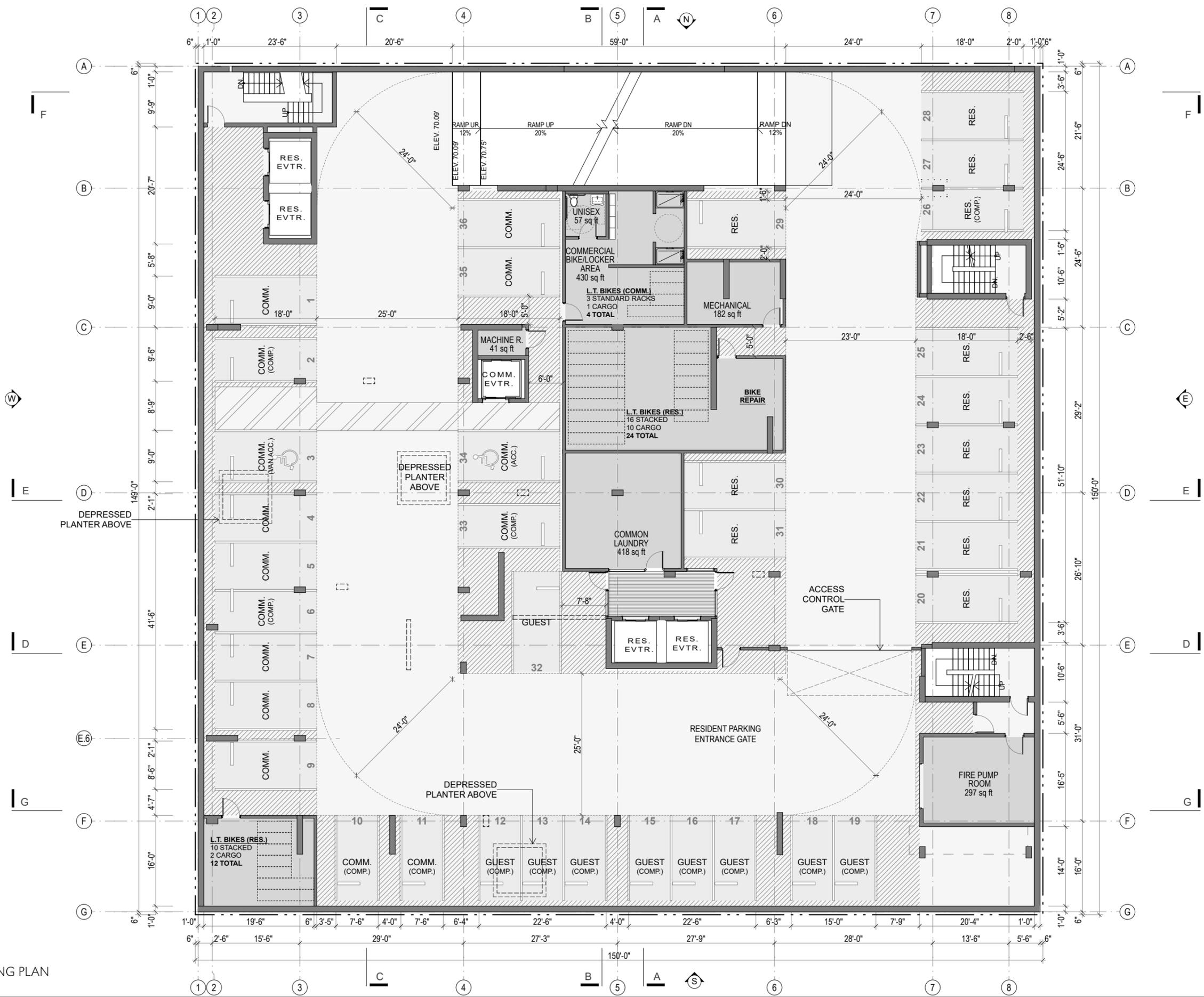
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UNIT TYPE	UNIT TOTAL	SHORT TERM 30% of long term - Retail: 1/4000 SF	LONG TERM 1/bedroom - Retail: 1/3000 SF	TOTAL
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BIKE PARKING TYPE	SHORT TERM	LONG TERM	TOTAL
GRADE	25	0	25
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Total Commercial	4	4	8
TOTAL PROPOSED	25	214	239

P2 LEVEL PLAN
1/16" = 1'-0"





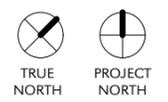
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MAXIMUM PARKING ALLOWED (PER DCP)			
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2 BEDROOM	28	1.0	28
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Guest-Affordable: 1 per 30		0.07	9
Commercial (Ground Level)	8,131	2/1000	16
* 500 SF of outdoor dining area does not require any parking spaces.			
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PROPOSED PARKING					
SPACE TYPE	P1	P2	P3	%	TOTAL
STANDARD	20	31	33		84
COMPACT	14	5	5	21%	24
ACCESSIBLE	2	2	2	5%	6
TOTAL	36	38	40		114
Total Residential (with Guest)					
	21	38	40		99
Total Commercial					
	15				15
TOTAL PROPOSED					114

BICYCLE PARKING				
MINIMUM REQUIRED				
UNIT TYPE	UNIT TOTAL	SHORT TERM 30% of long term - Retail: 1/20000 SF	LONG TERM 1/bedroom - Retail: 1/30000 SF	TOTAL
STUDIO				
STUDIO AFF				
1 BD	91	9	91	100
1 BD AFF				
2 BD	28	6	56	63
2 BD AFF				
3 BD	21	6	63	69
3 BD AFF				
Total Residential	21	21	210	231
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Commercial (Min. 4)	4	4	4	8
TOTAL REQUIRED	25	25	214	239
CARGO BIKES (10% of total bike parking)				
				24

PROPOSED			
BIKE PARKING TYPE	SHORT TERM	LONG TERM	TOTAL
GRADE	25	0	25
P1		40	40
P2		65	65
P3		109	109
Total Residential	21	210	231
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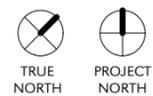
P1 LEVEL PARKING PLAN
1/16" = 1'-0"



6TH STREET

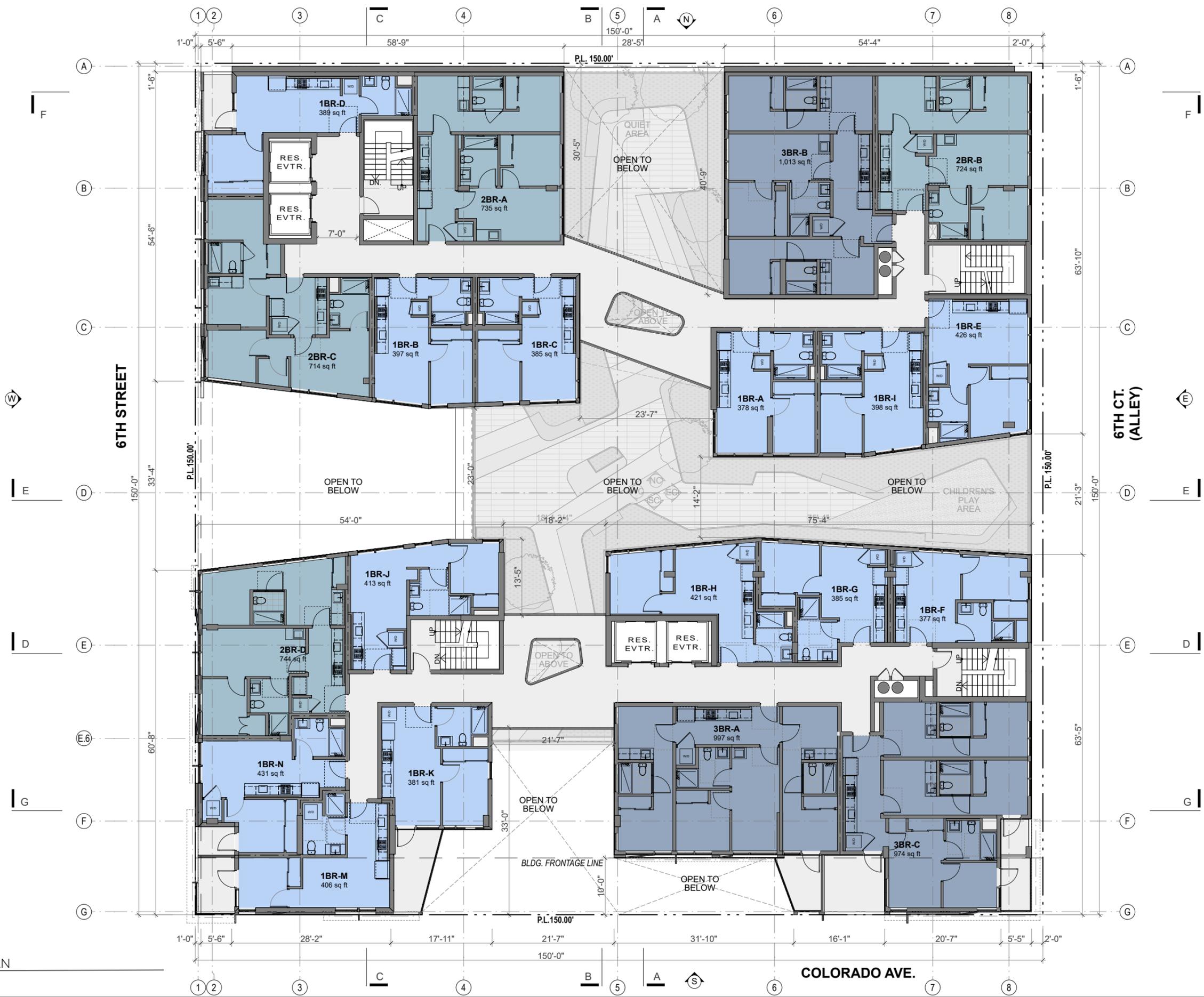


GROUND FLOOR PLAN
1/16" = 1'-0"

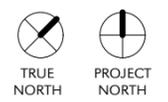


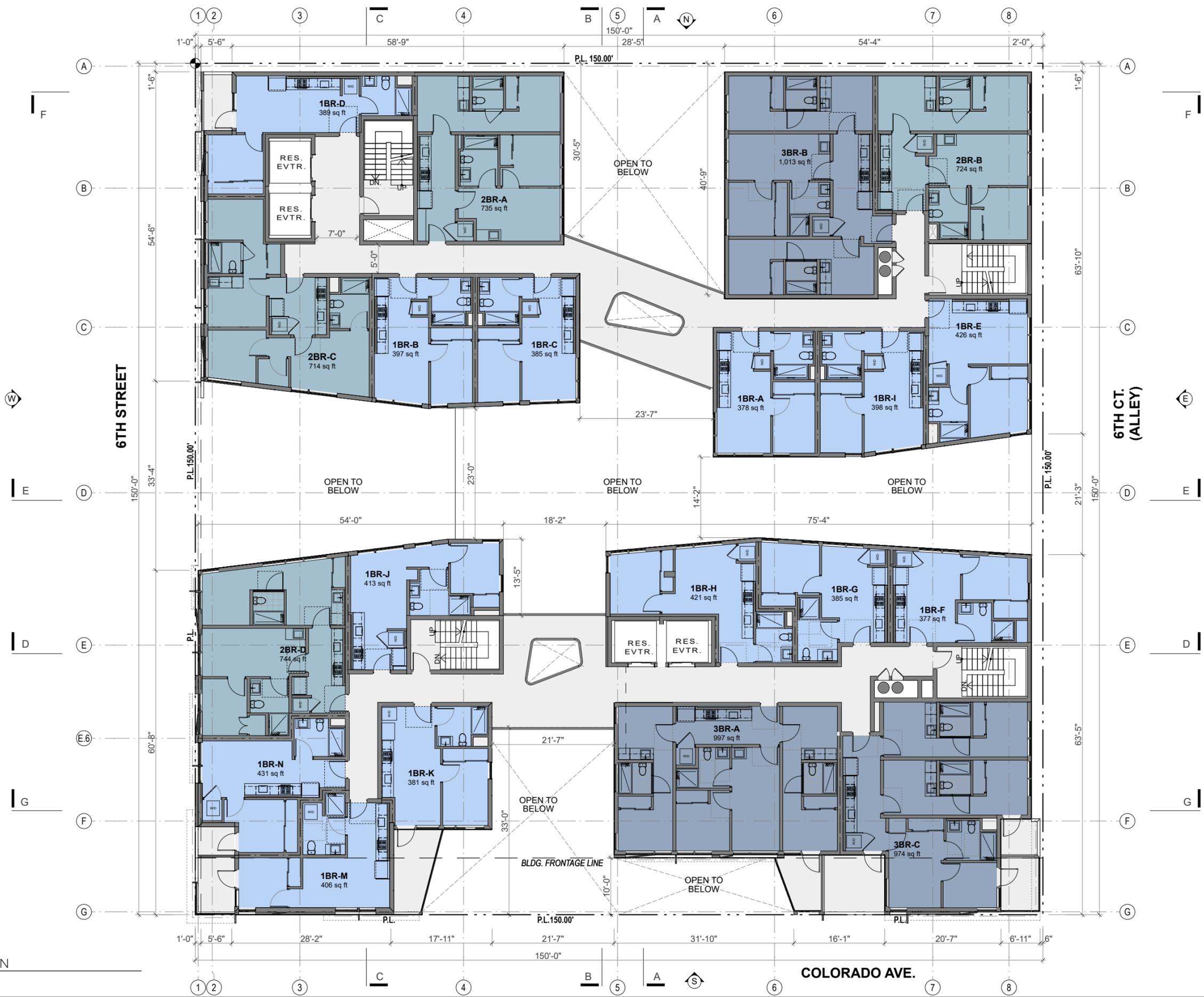


SECOND FLOOR PLAN
1/16" = 1'-0"



3RD FLOOR PLAN
1/16" = 1'-0"

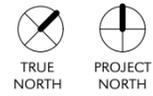
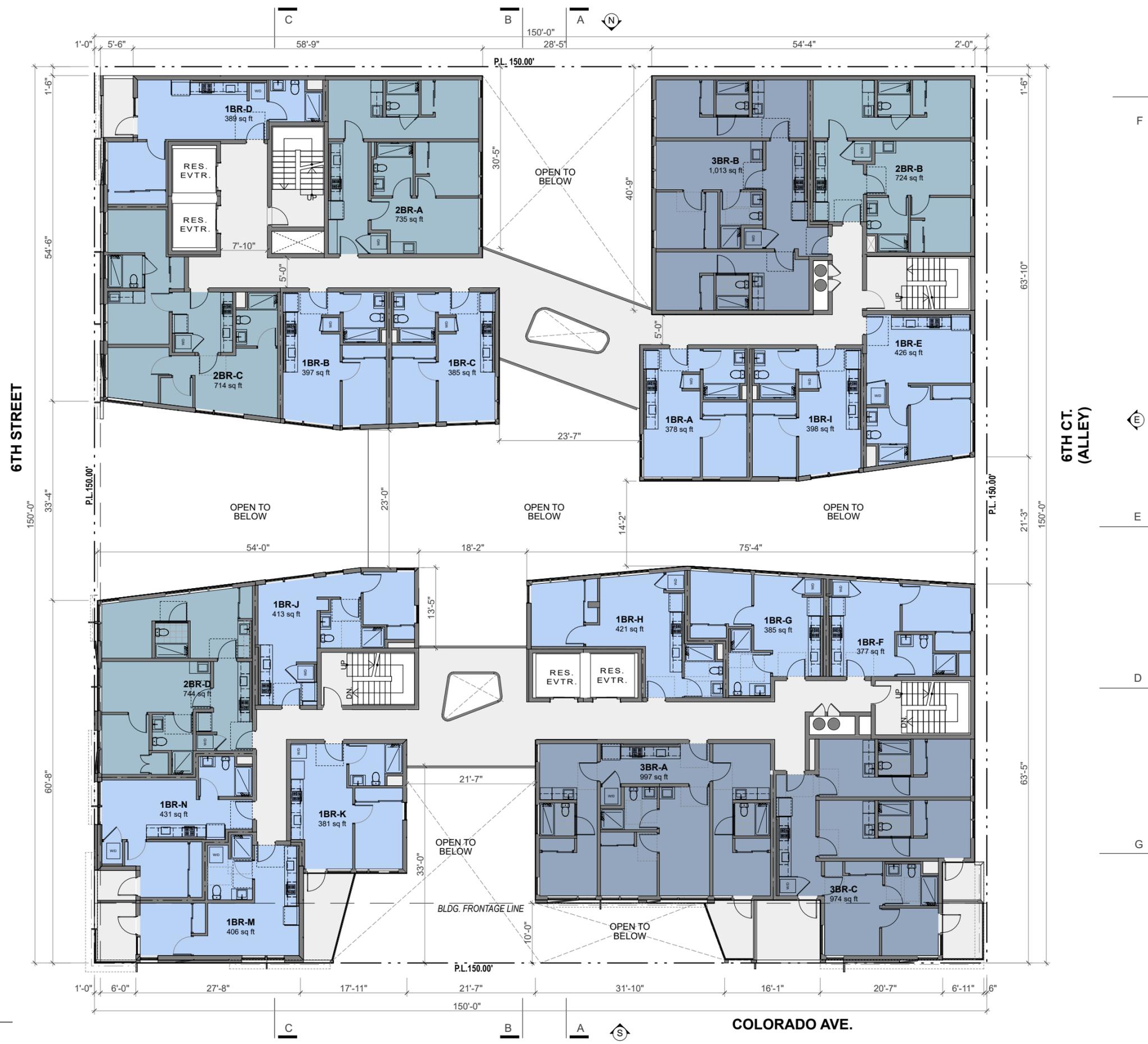


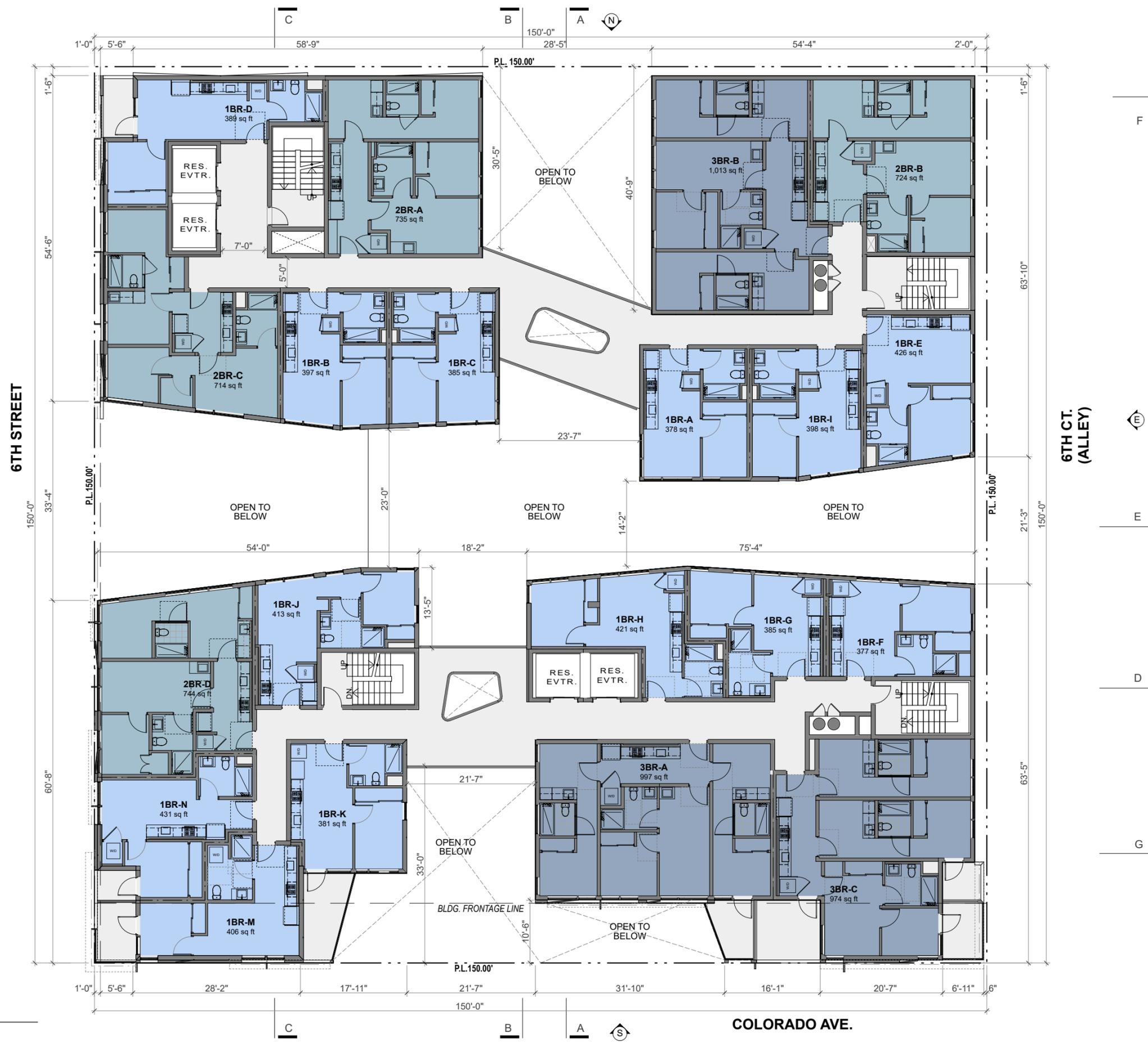


4TH FLOOR PLAN
1/16" = 1'-0"

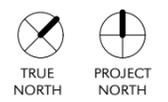
5TH FLOOR PLAN

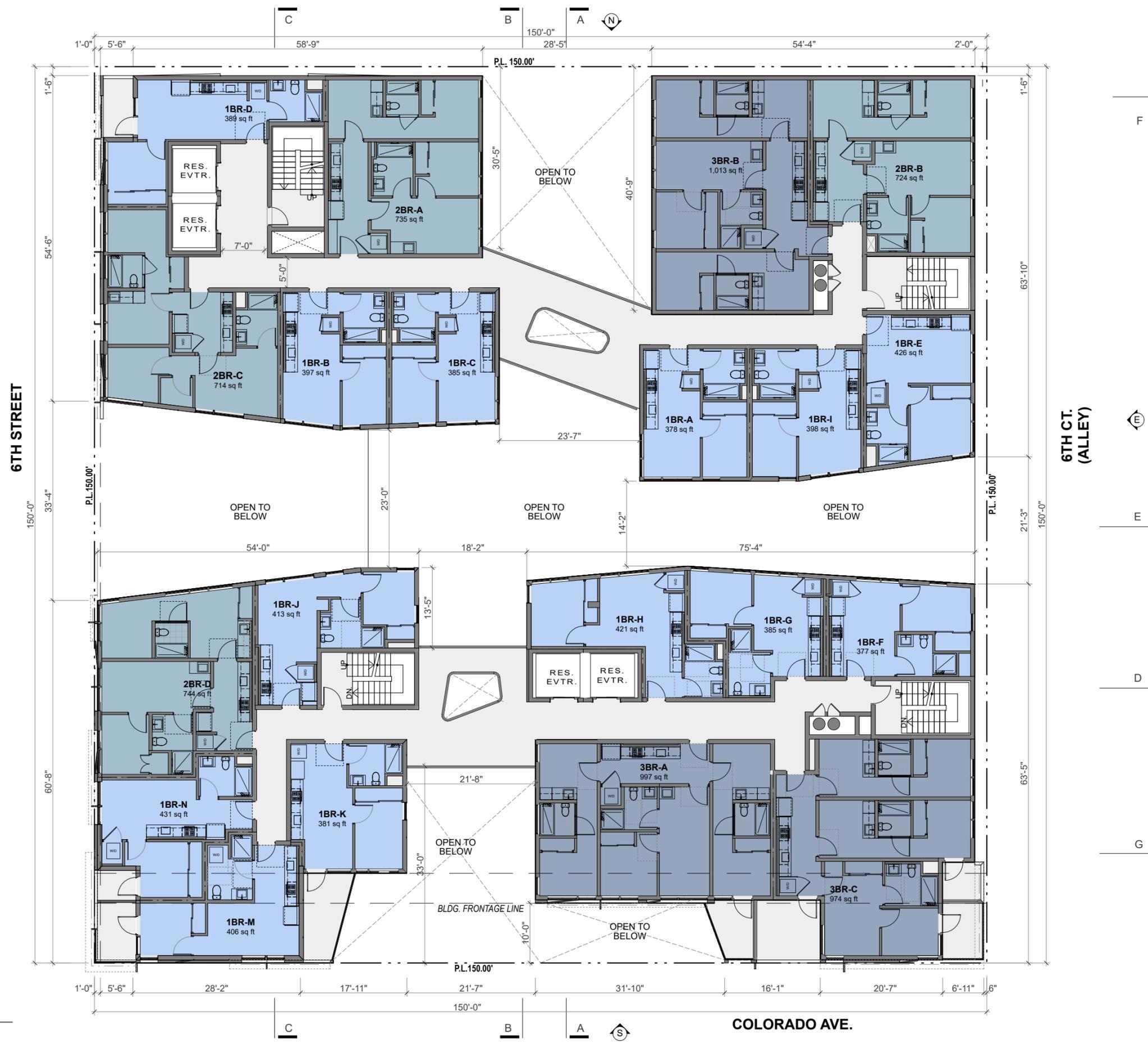
1/16" = 1'-0"



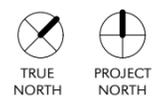


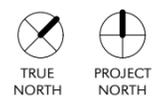
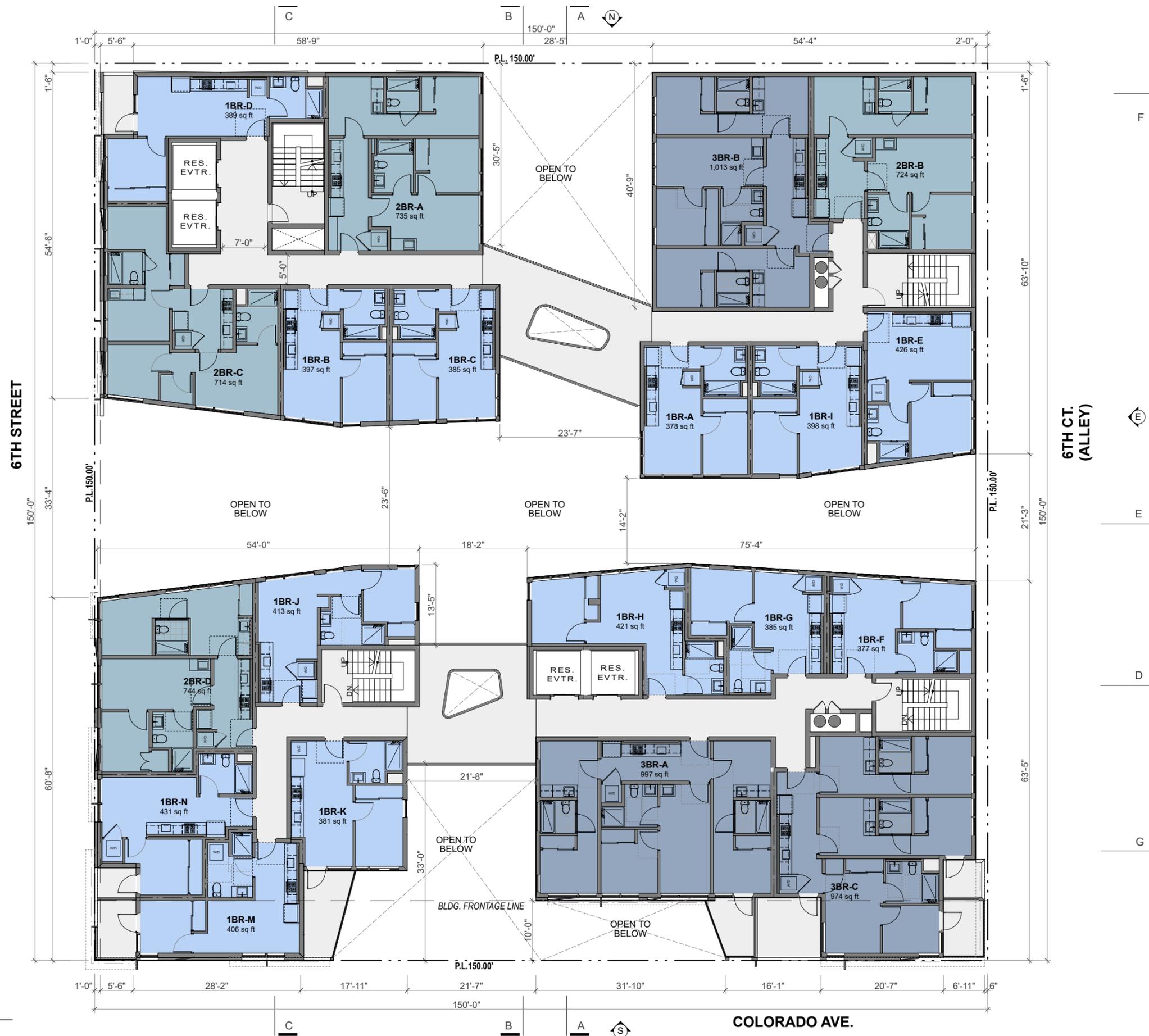
6TH FLOOR PLAN
1/16" = 1'-0"



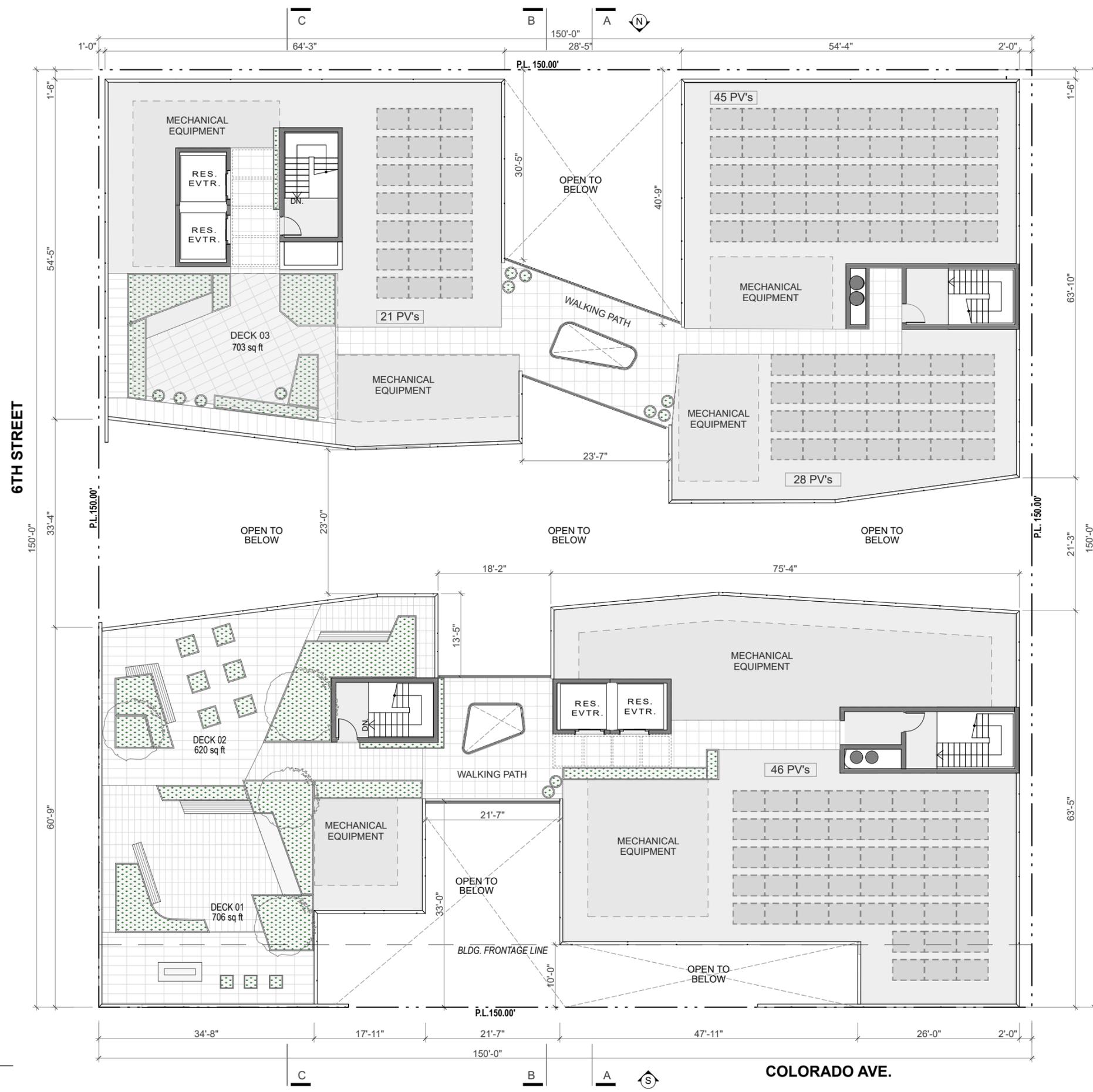


7TH FLOOR PLAN
1/16" = 1'-0"





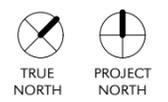
8TH FLOOR PLAN
1/16" = 1'-0"



BUILDING FOOTPRINT= 150' X 150' = 22,500 SQ. FT.
 MIN REQ. WATT PER 1 SQ. FT. = 2 WATT
 MIN REQ. WATT = 22500 X 2 = 45,000 W = 45 KW
 REQ. NO. OF P.V. PANELS = 135
 PROPOSED P.V. PANELS = 135

NOTE:
 FUTURE CONFIGURATION MAY REQUIRE P.V. PANELS
 TO BE INSTALLED ABOVE MECHANICAL EQUIPMENTS.

ROOF DECK PLAN
 1/16" = 1'-0"



FINISH LEGEND

- 1 SMOOTH ACRYLIC WHITE STUCCO
- 2 SILVER EXPANSION JOINT
- 3 SMOOTH CONCRETE
- 4 SILVER FRAME VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 SILVER PERFORATED PANEL
- 7 ALUMINUM LOUVER
- 8 GLASS PANEL GUARDRAIL
- 9 MESH GUARDRAIL



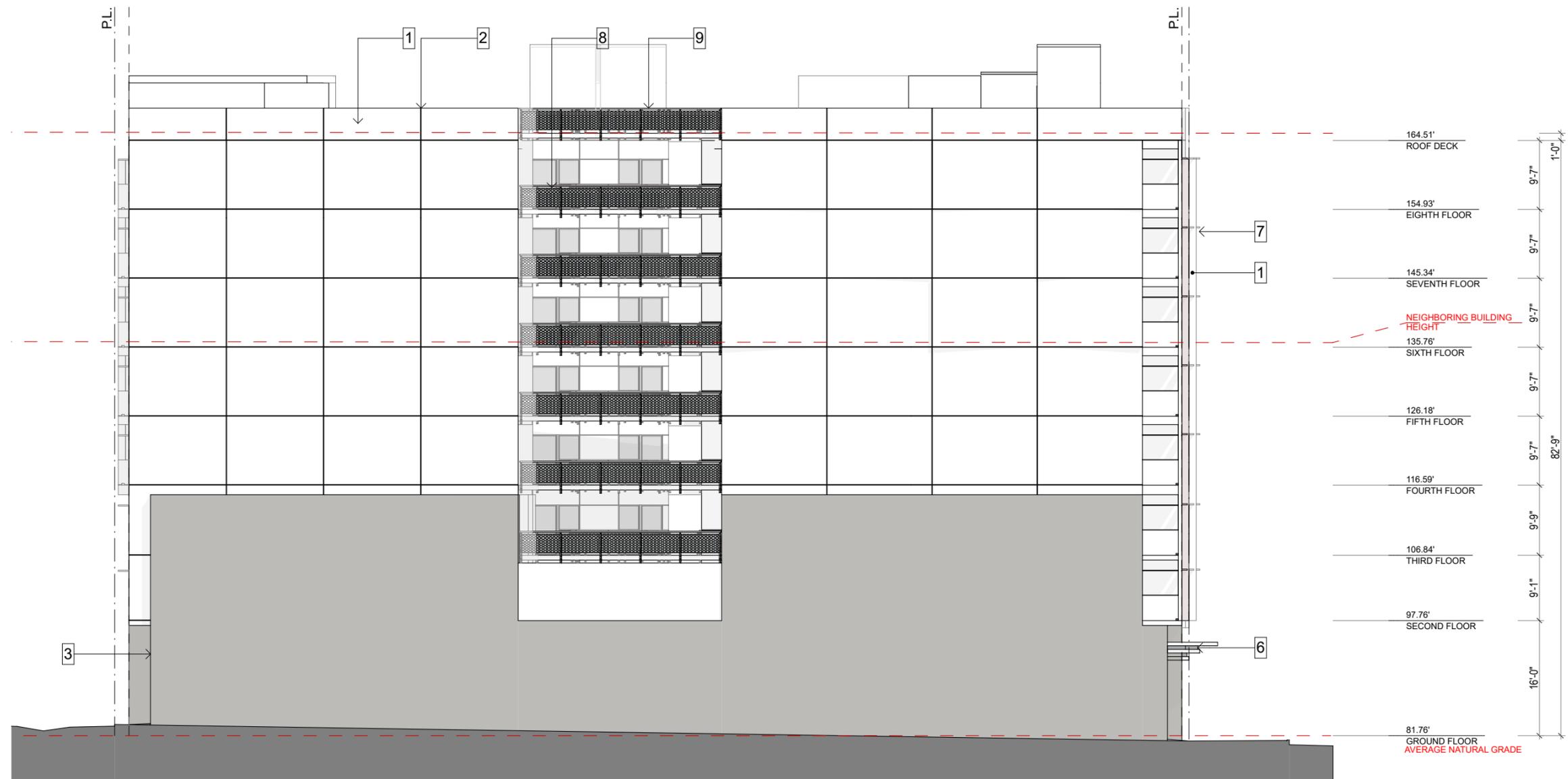
SOUTH ELEVATION (COLORADO AVE.)
1/16" = 1'-0"



SOUTH ELEVATION (COLORADO AVE.)
NOT TO SCALE

FINISH LEGEND

- 1 SMOOTH ACRYLIC WHITE STUCCO
- 2 SILVER EXPANSION JOINT
- 3 SMOOTH CONCRETE
- 4 SILVER FRAME VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 SILVER PERFORATED PANEL
- 7 ALUMINUM LOUVER
- 8 GLASS PANEL GUARDRAIL
- 9 MESH GUARDRAIL



NORTH ELEVATION
1/16" = 1'-0"



NORTH ELEVATION
NOT TO SCALE

FINISH LEGEND

- 1 SMOOTH ACRYLIC WHITE STUCCO
- 2 SILVER EXPANSION JOINT
- 3 SMOOTH CONCRETE
- 4 SILVER FRAME VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 SILVER PERFORATED PANEL
- 7 ALUMINUM LOUVER
- 8 GLASS PANEL GUARDRAIL
- 9 MESH GUARDRAIL



WEST ELEVATION (SIXTH ST)
1/16" = 1'-0"



WEST ELEVATION (SIXTH STREET)
NOT TO SCALE

FINISH LEGEND

- 1 SMOOTH ACRYLIC WHITE STUCCO
- 2 SILVER EXPANSION JOINT
- 3 SMOOTH CONCRETE
- 4 SILVER FRAME VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 SILVER PERFORATED PANEL
- 7 ALUMINUM LOUVER
- 8 GLASS PANEL GUARDRAIL
- 9 MESH GUARDRAIL



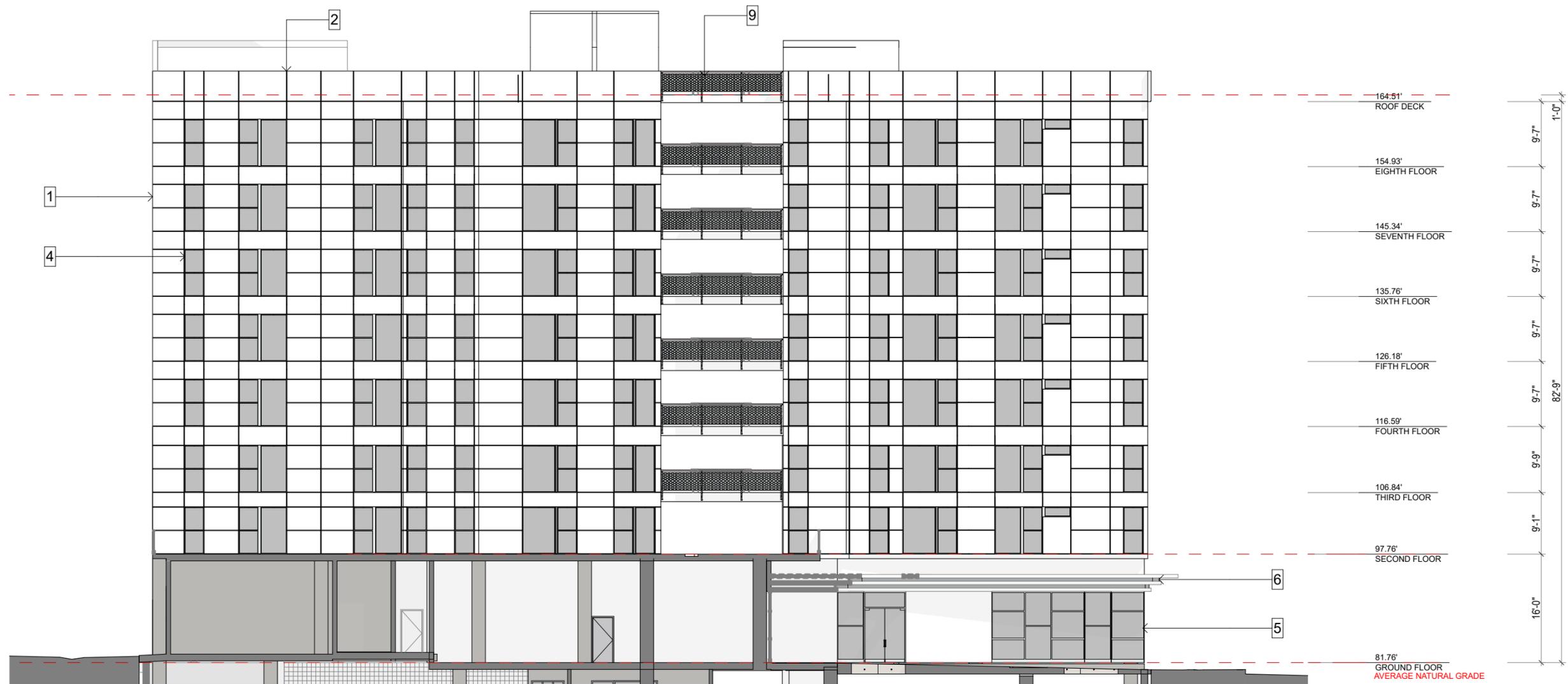
EAST ELEVATION (ALLEY)
1/16" = 1'-0"



EAST ELEVATION
NOT TO SCALE

FINISH LEGEND

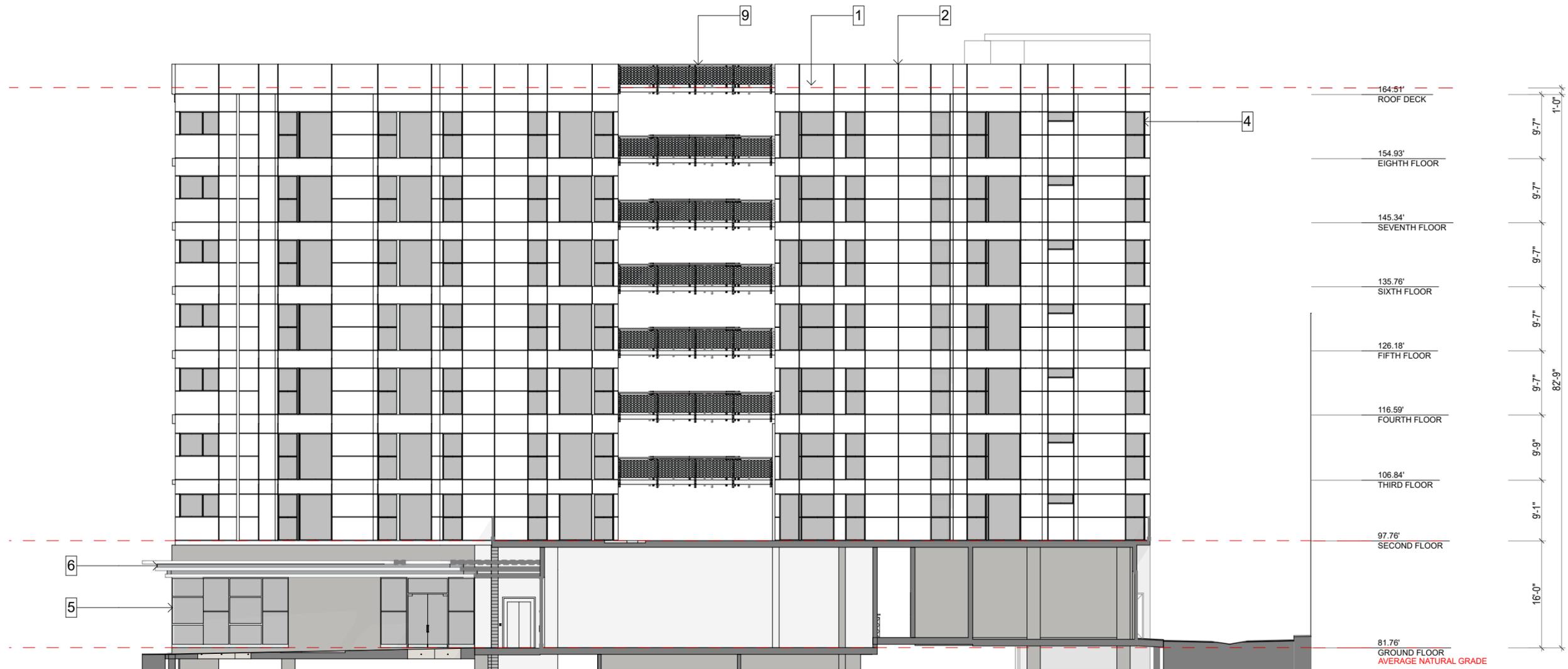
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- 2 SILVER EXPANSION JOINT
- 3 SMOOTH CONCRETE
- 4 SILVER FRAME VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 SILVER PERFORATED PANEL
- 7 ALUMINUM LOUVER
- 8 GLASS PANEL GUARDRAIL
- 9 MESH GUARDRAIL



SOUTH COURTYARD ELEVATION
1/16" = 1'-0"

FINISH LEGEND

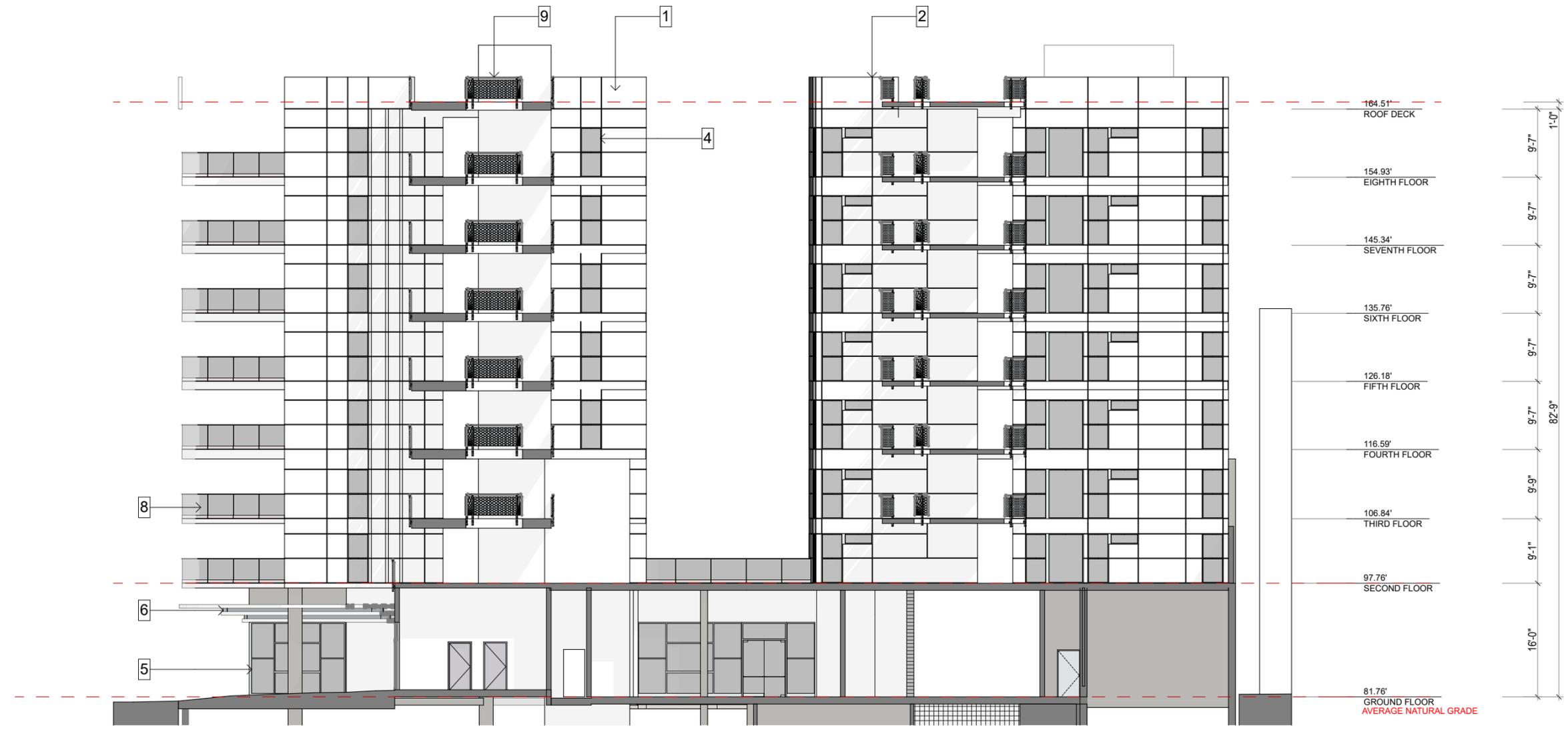
- 1 SMOOTH ACRYLIC WHITE STUCCO
- 2 SILVER EXPANSION JOINT
- 3 SMOOTH CONCRETE
- 4 SILVER FRAME VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 SILVER PERFORATED PANEL
- 7 ALUMINUM LOUVER
- 8 GLASS PANEL GUARDRAIL
- 9 MESH GUARDRAIL



NORTH COURTYARD ELEVATION
1/16" = 1'-0"

FINISH LEGEND

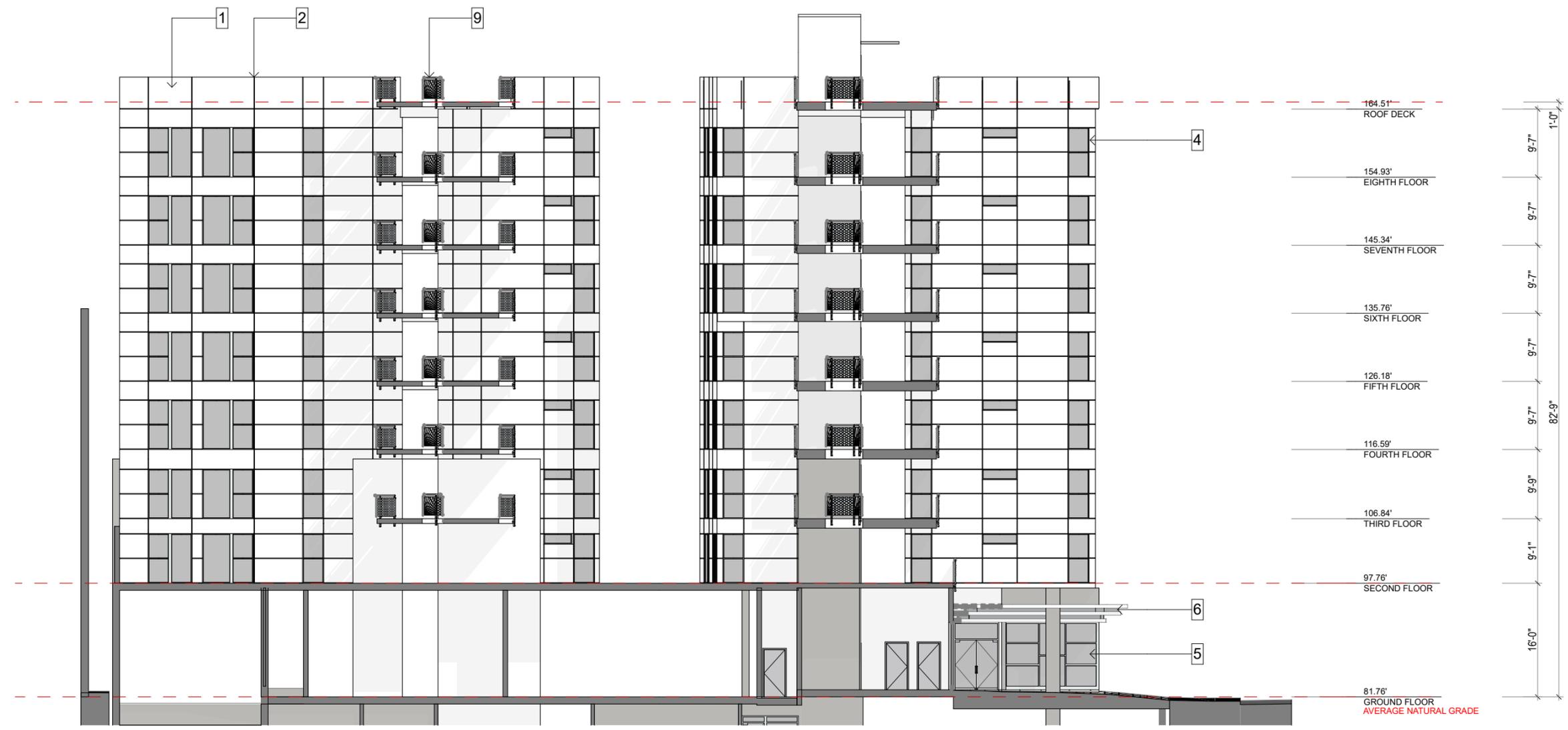
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- 2 SILVER EXPANSION JOINT
- 3 SMOOTH CONCRETE
- 4 SILVER FRAME VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 SILVER PERFORATED PANEL
- 7 ALUMINUM LOUVER
- 8 GLASS PANEL GUARDRAIL
- 9 MESH GUARDRAIL



WEST COURTYARD ELEVATION
1/16" = 1'-0"

FINISH LEGEND

- 1 SMOOTH ACRYLIC WHITE STUCCO
- 2 SILVER EXPANSION JOINT
- 3 SMOOTH CONCRETE
- 4 SILVER FRAME VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 SILVER PERFORATED PANEL
- 7 ALUMINUM LOUVER
- 8 GLASS PANEL GUARDRAIL
- 9 MESH GUARDRAIL



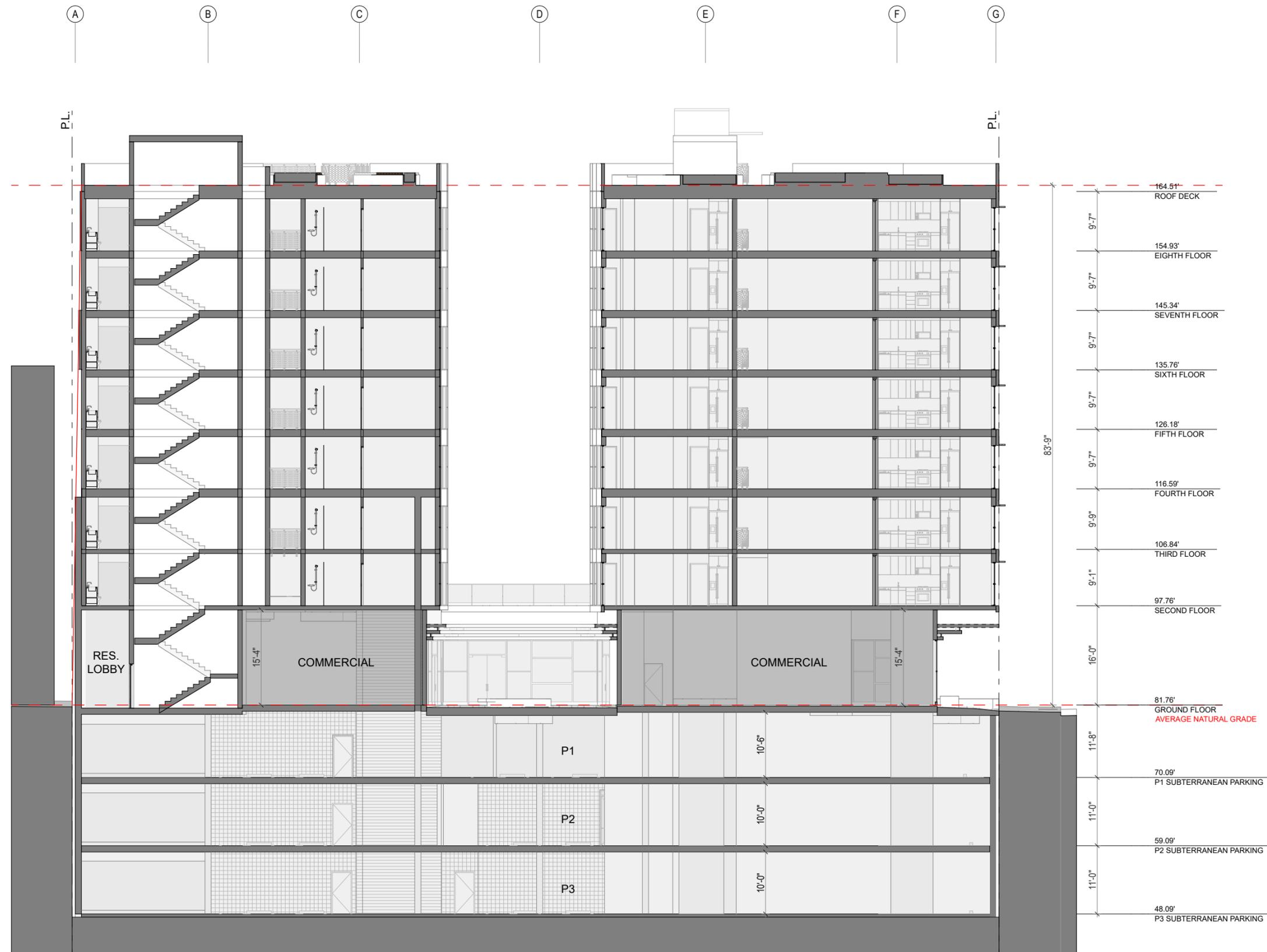
EAST COURTYARD ELEVATION
1/16" = 1'-0"

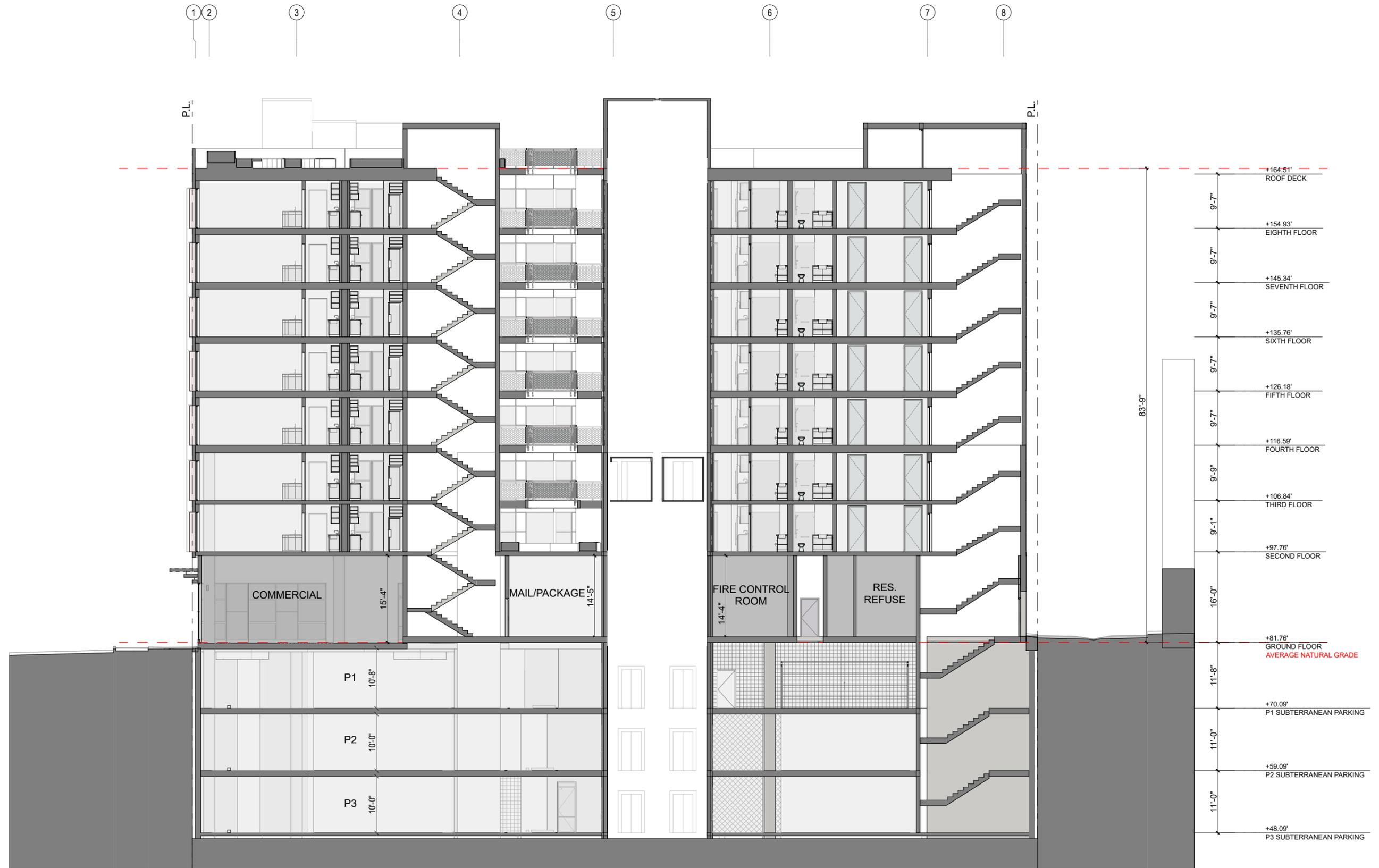


SECTION A
1/16" = 1'-0"



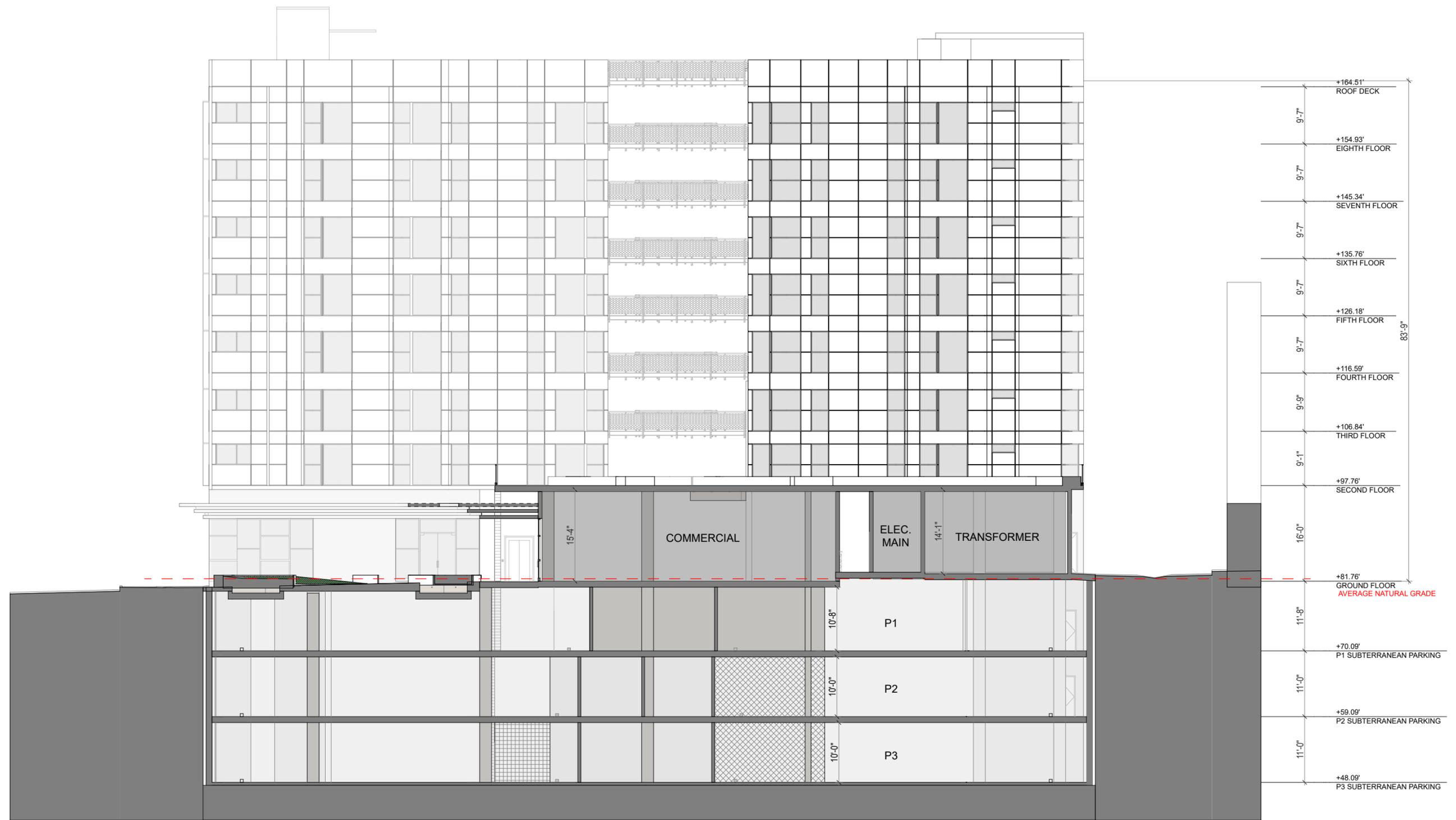
SECTION B
1/16" = 1'-0"



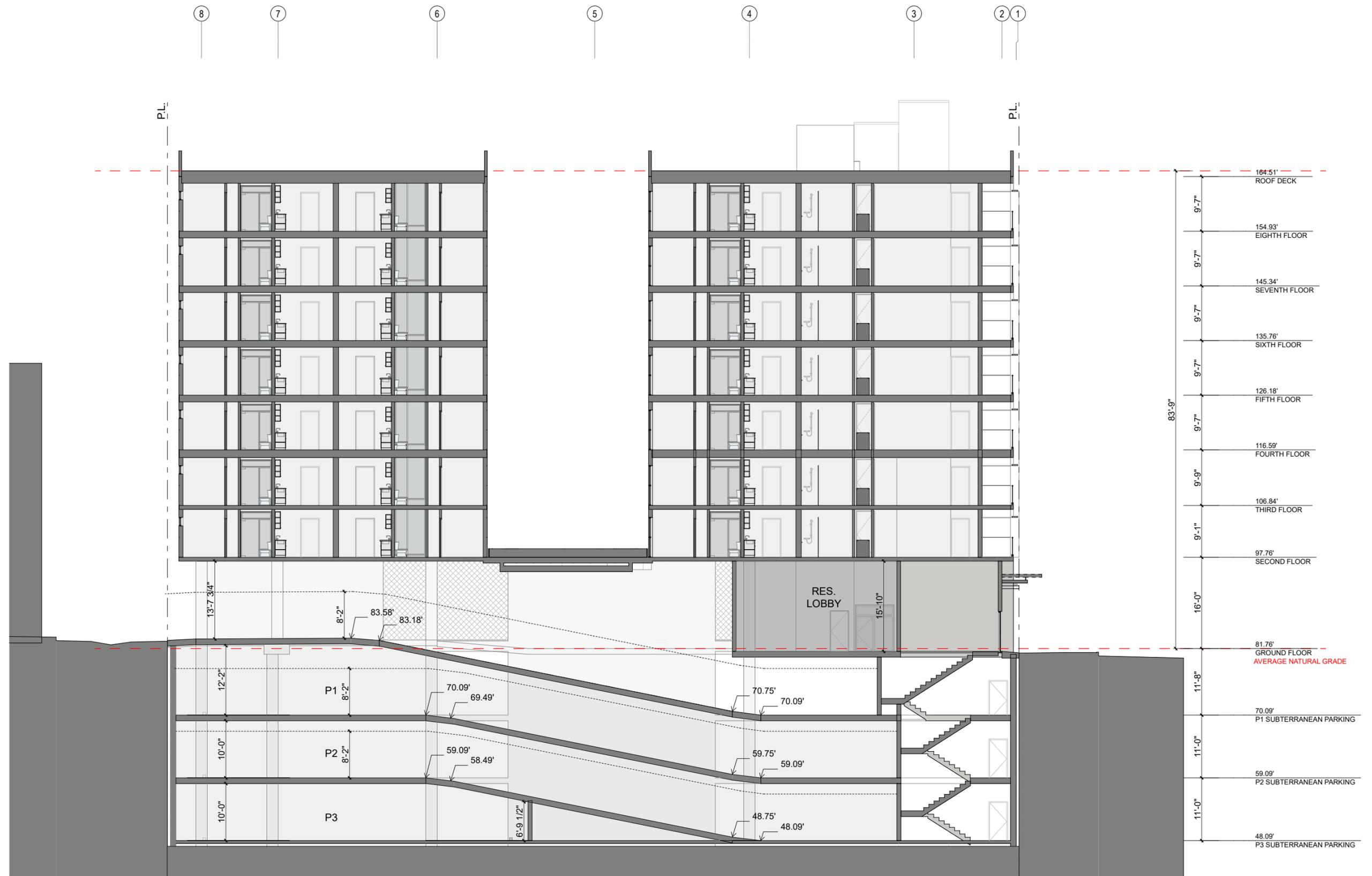


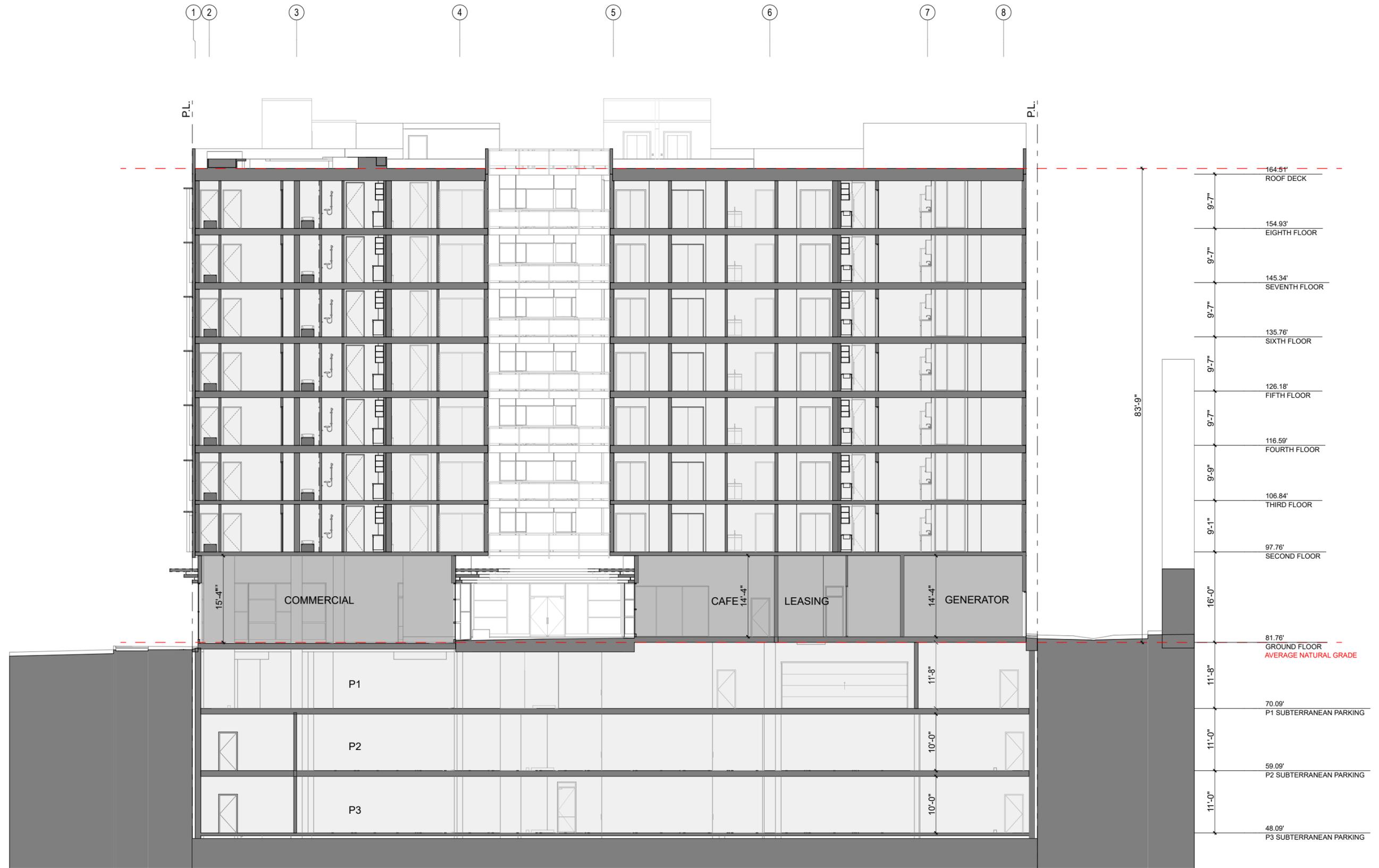
SECTION D
1/16" = 1'-0"

1 2 3 4 5 6 7 8



SECTION E
1/16" = 1'-0"

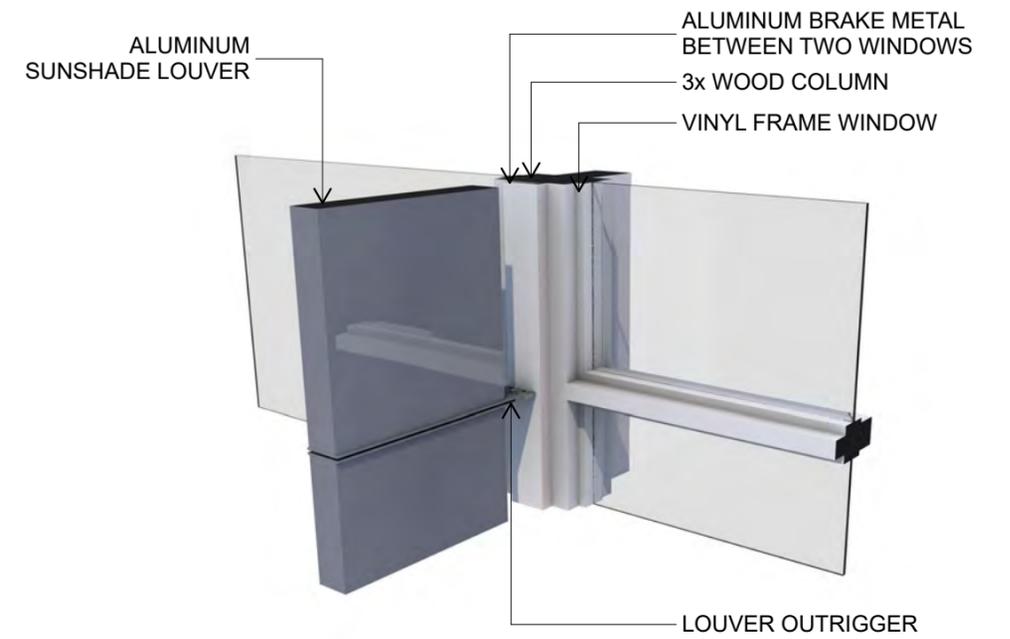




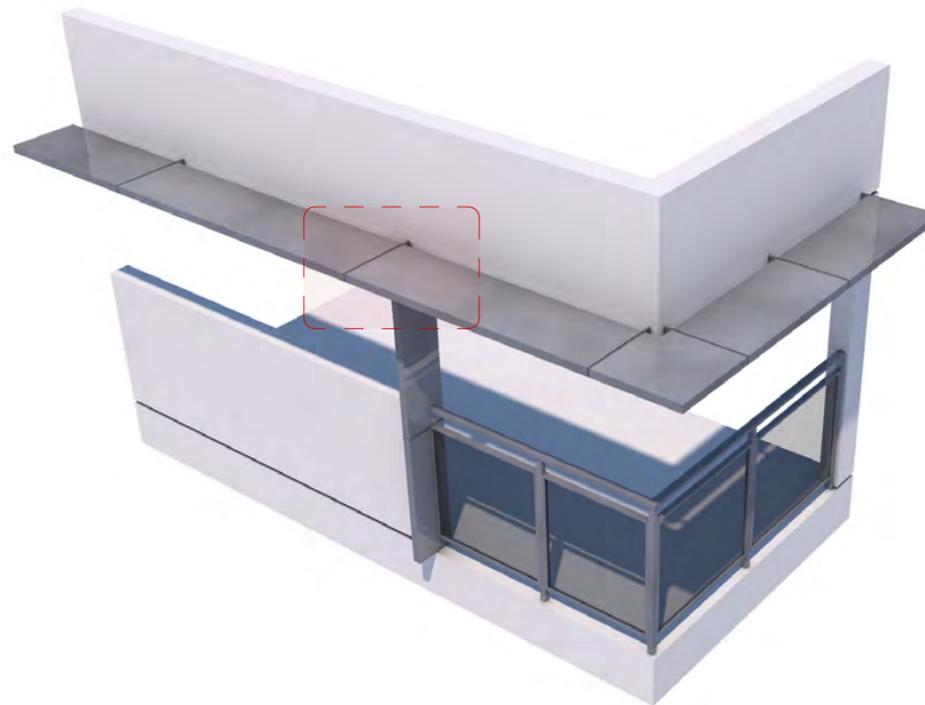
SECTION G
1/16" = 1'-0"



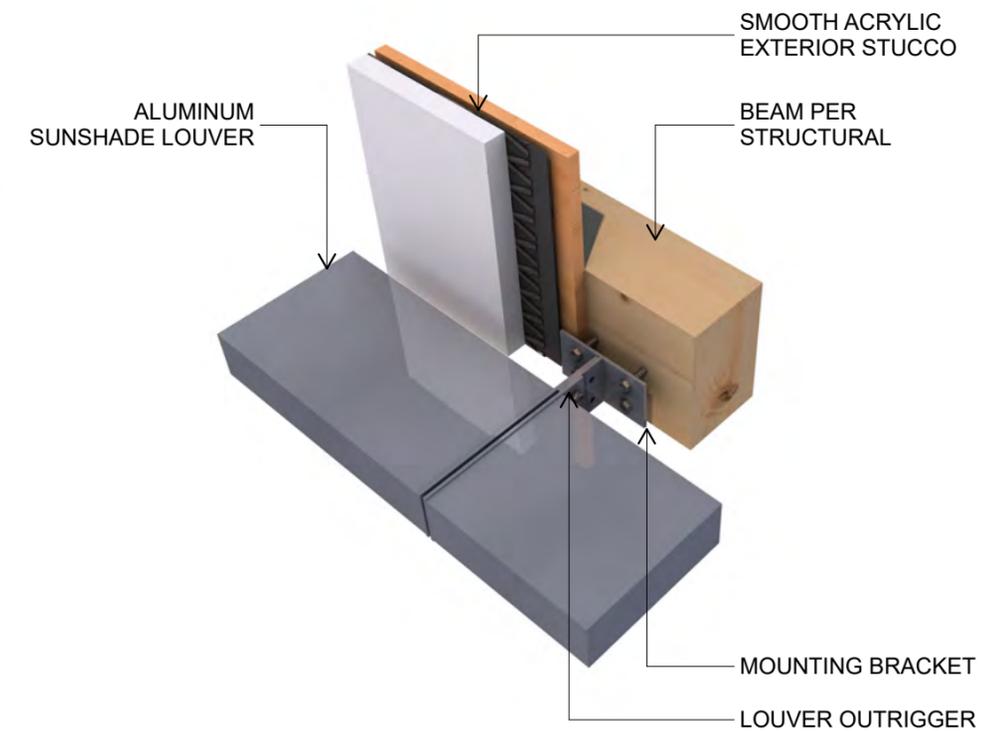
LOUVER @ WINDOW



LOUVER @ WINDOW DETAIL



LOUVER @ DECK

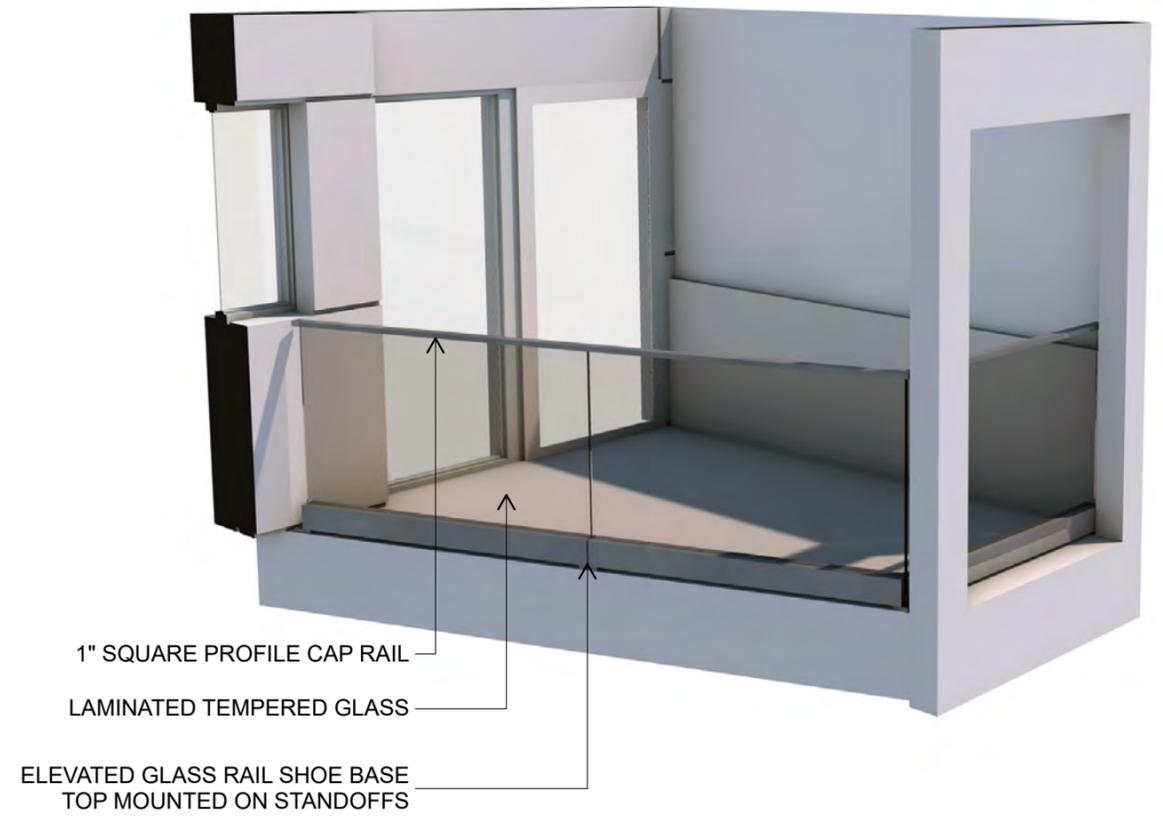


LOUVER @ DECK DETAIL

PERSPECTIVE OF EXTERIOR LOUVERS



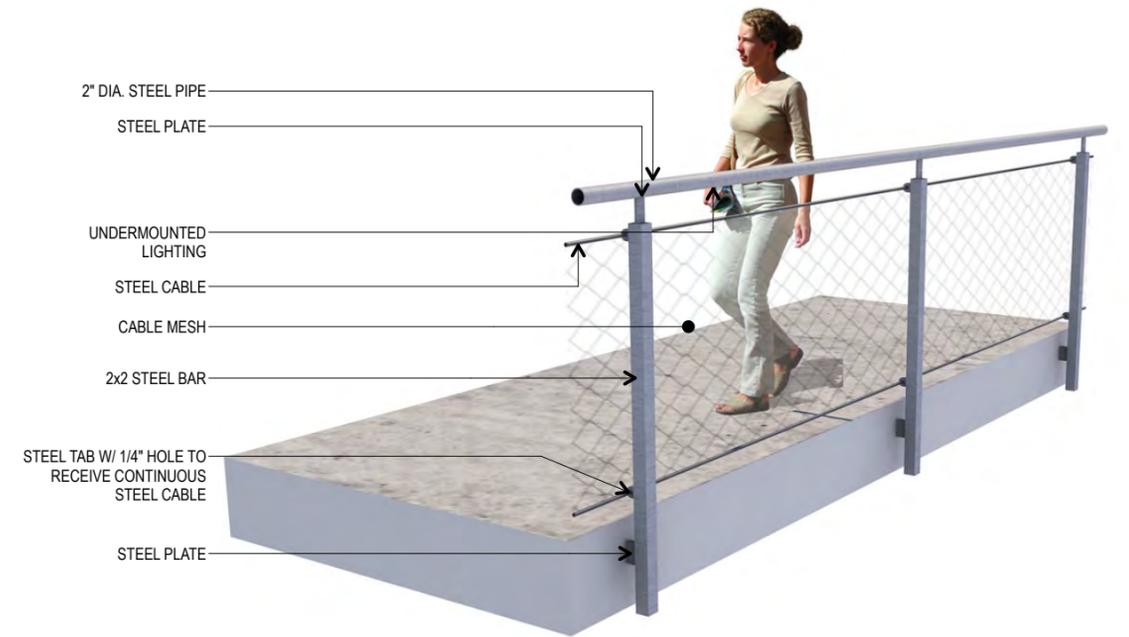
EXTERIOR PERSPECTIVE FROM COLORADO AVENUE



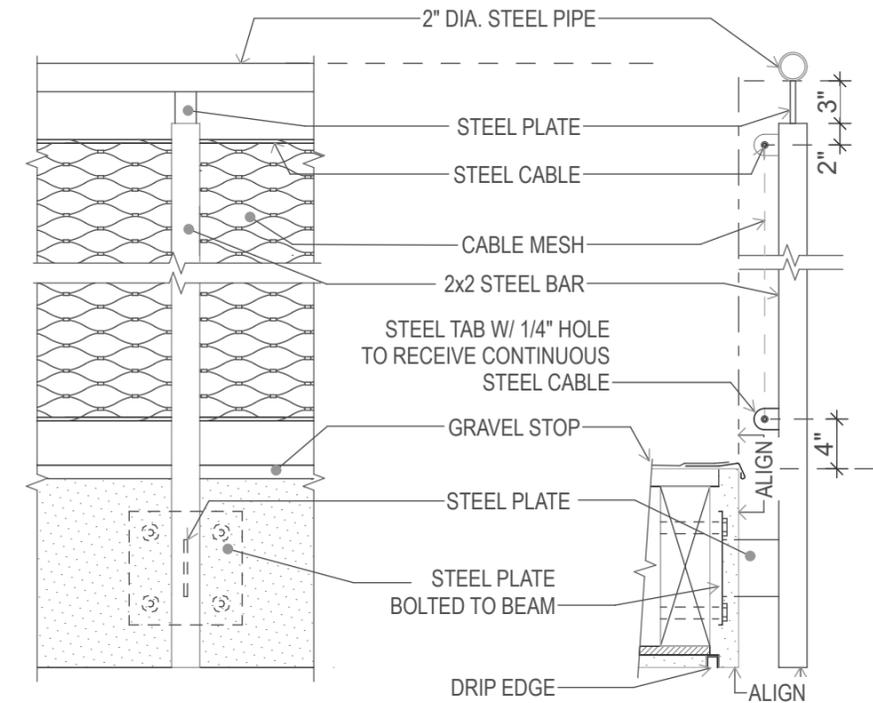
GLASS GUARDRAIL DETAIL



STUCCO GUARDRAIL DETAIL



PERSPECTIVE OF CABLE MESH GUARDRAIL

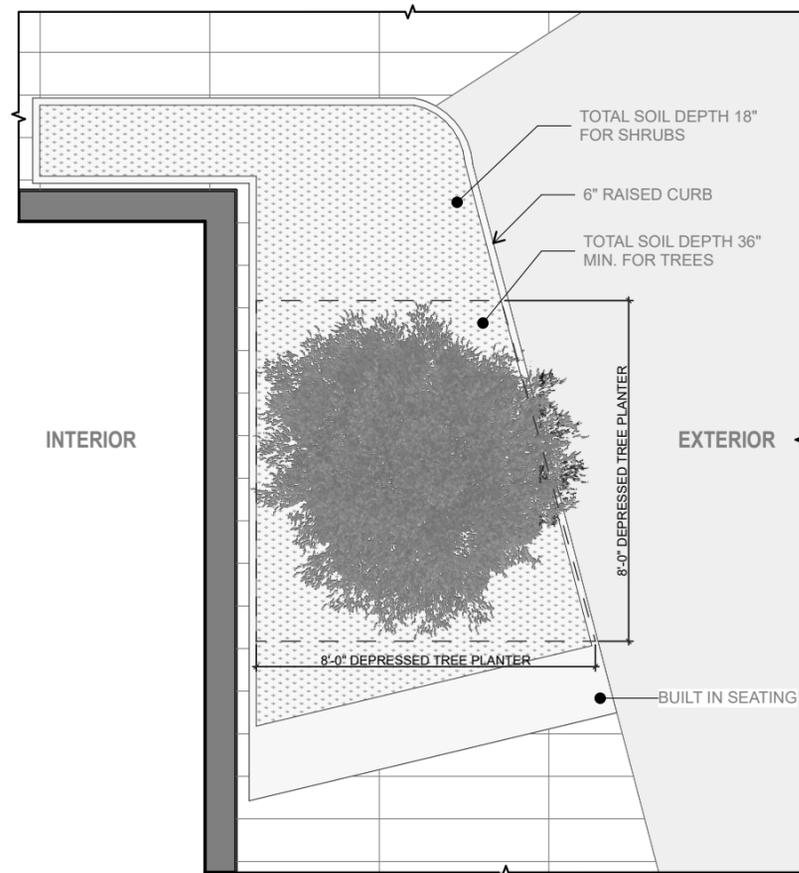


ELEVATION

SECTION

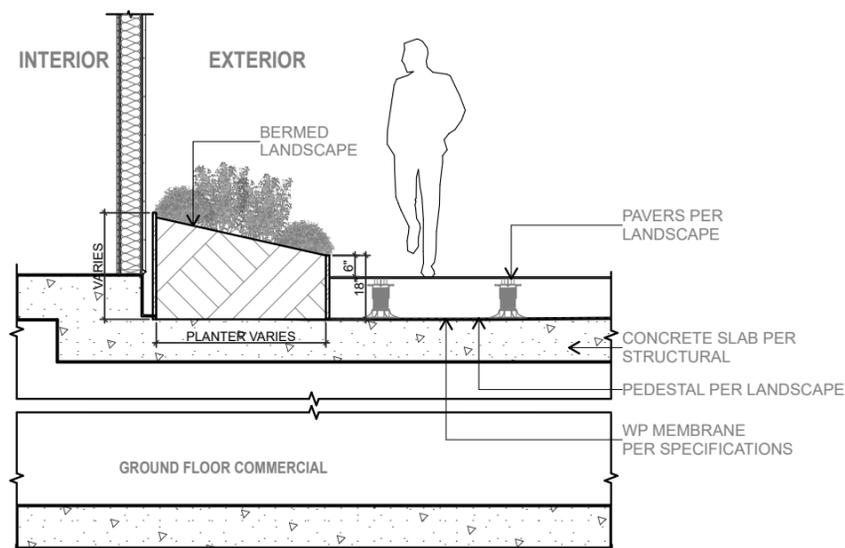
PERSPECTIVE OF CABLE MESH GUARDRAIL

NOT TO SCALE



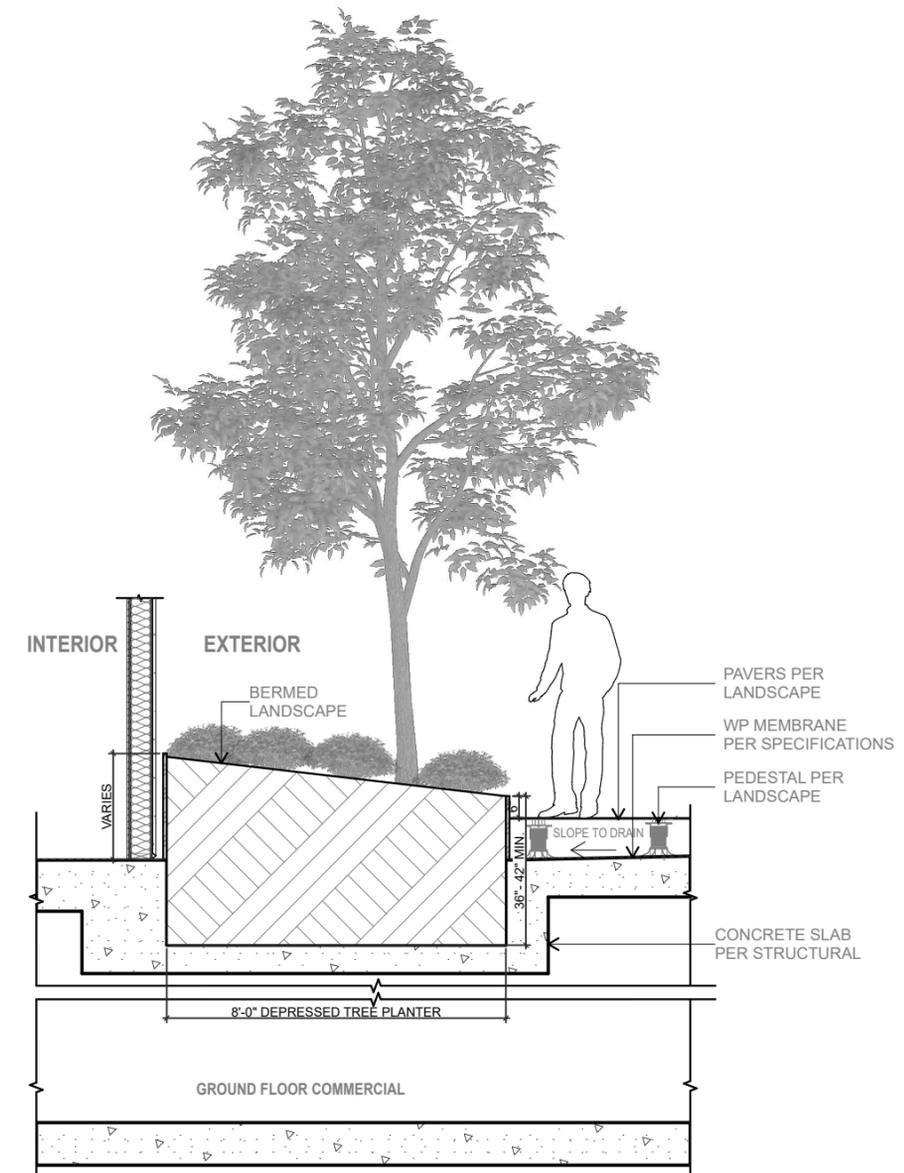
PLANTER PLAN EXAMPLE @ COURTYARD

SCALE: 1/4" = 1'-0"



PLANTER DETAIL @ COURTYARD

SCALE: 1/4" = 1'-0"



TREE PLANTER DETAIL @ COURTYARD

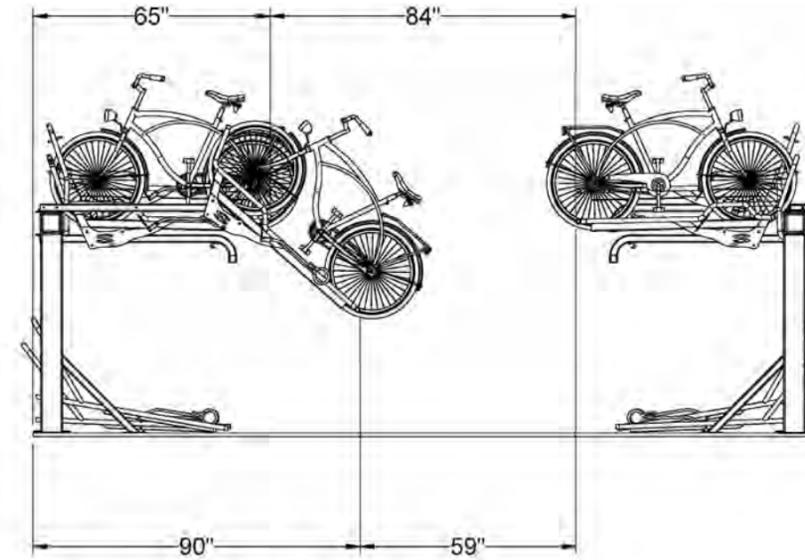
SCALE: 1/4" = 1'-0"



The customizable Stack Rack combines industrial design and strength with two-tier spacing for added capacity and maximum density. And, the lift assist mechanism eases any bike lifting required by the user, making it easier to load and unload. Flexibility in bike spacing, rack configuration and the modular design make this product unique to each installation.

Stack Rack

Recommended Spacing



Manufactured by Bike Fixation

Product Information



16 bike maximum per section. Can be designed in sections of 4, 6, 8, 10, 12, 16 bikes

of Bikes



6" square upper frame
2" square steel lower frame

Materials



Hot Dipped Galvanized

Finish



Flange Mount
Recommended Anchor #6260

Hardware



84" aisle way recommended to allow for loading and unloading

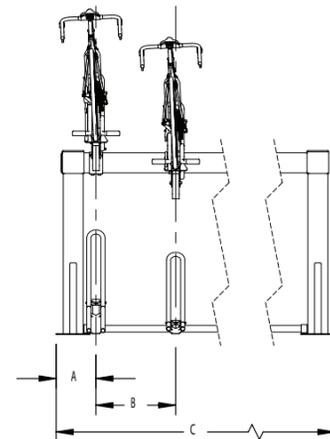
Spacing



Lift assist mechanism is spring loaded top tray

Lift Assist

Anchors must be purchased separately



- Can be built as single sided or double sided unit
- Flexibility in bike spacing during planning or installation
- Few moving parts to minimize maintenance
- Security locking cable is 3/4" structural steel cable, sheathed in vinyl coating
- Requires 108" ceiling clearance (low ceiling height model can be provided if needed for ceiling height of 100" - 24" spacing only)

Specifications

# Bikes	Starting Dim. (A)	Bike Spacing (B)	Overall Length (C)
16	14"	18"	154"
16	14"	20"	168"
16	14"	24"	196"

Our Bike Fixation representatives can assist with custom layout and spacing to meet your room dimensions and desired bike capacity.

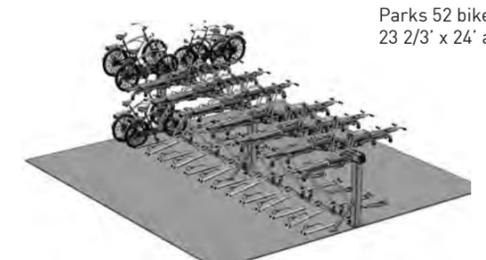
Product Dimensions

Single-Sided Layout

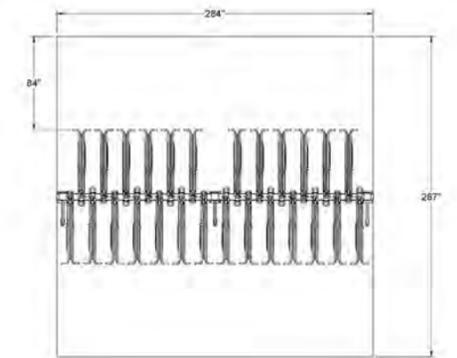
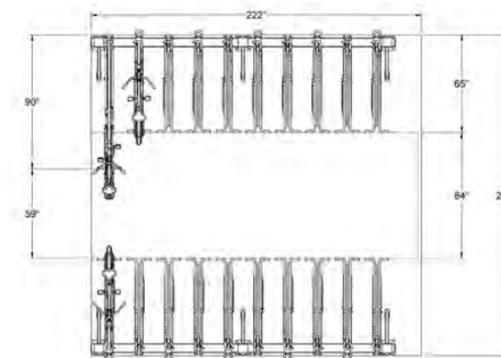


Parks 40 bikes in 18.5' x 18' area

Double-Sided Layout



Parks 52 bikes in 23 2/3' x 24' area



Downloadable product resources available online:



Bike Fixation by Saris 800.783.7257 www.bikefixation.com



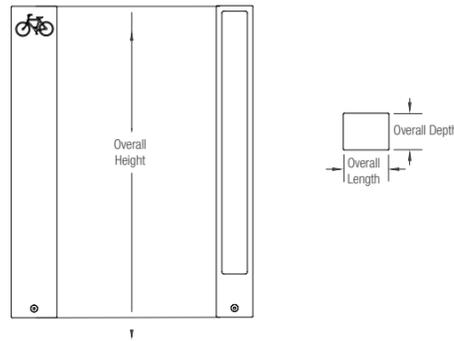
The Capitol Bike Rack's solid, corrosion-resistant cast aluminum body provides the strength necessary to stand up to continuous use while its simple, space-saving design allows it to engage with its surrounding environment as much or as little as desired. With a design perfect for cityscapes and other contemporary architectural settings, the Capitol Bike Rack is a solution for environments of all types.

MATERIAL & FINISHES

MATERIAL	FINISHES	GUIDELINES & SECURITY	INSTALLATION	MAINTENANCE
<ul style="list-style-type: none"> Body is made of corrosion-resistant cast aluminum with powdercoat finish. 	<ul style="list-style-type: none"> See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge. Due to the inherent nature of metal castings, gloss powdercoats are not offered for cast components. 	<ul style="list-style-type: none"> Meets Association of Pedestrian and Bicycle Professionals (APBP) guidelines. A locking point detail and mounting configurations that meet APBP guidelines can be found on page 1 and 2 of this document. 	<ul style="list-style-type: none"> Capitol Bike Racks must be surface mounted with embedded anchors. Stainless steel anchors and tamper-resistant stainless steel screws are included. 	<ul style="list-style-type: none"> Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

INSTALLATION & MAINTENANCE

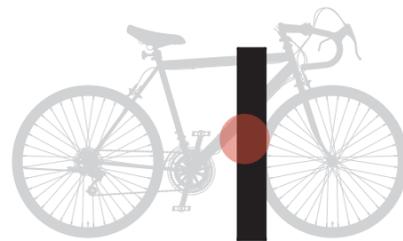
NOMINAL DIMENSIONS



OVERALL LENGTH	OVERALL DEPTH	OVERALL HEIGHT	WEIGHT
5" (127 mm)	4" (102 mm)	34" (864 mm)	25 lbs (11.4 kg)

LOCKING POINT AND CONFIGURATION EXAMPLES

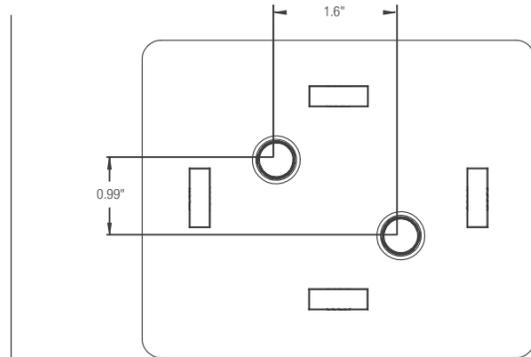
The Capitol Bike Rack was designed to allow for a multitude of locking point and configuration options to meet your individual needs. Please note that for optimal performance, Forms+Surfaces recommends a 36" center-to-center placement. See diagrams below and the separate installation instructions document for more details.



A standard U-lock can be locked at this location to meet APBP guidelines for security and functionality.

LOCKING POINT EXAMPLE

T 800.451.0410 | www.forms-surfaces.com



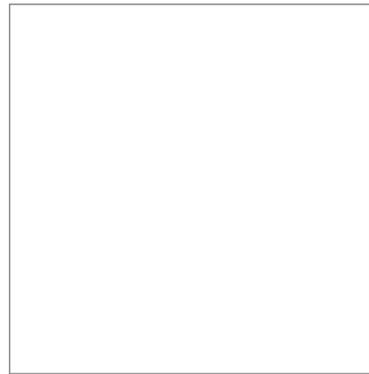
MOUNTING / HARDWARE DETAIL

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FORMS+SURFACES®



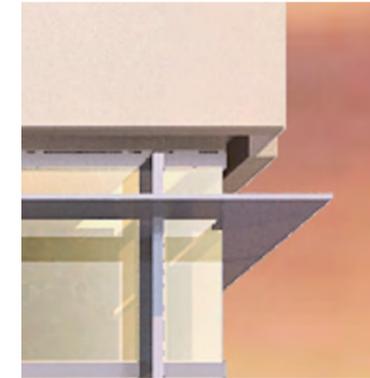
①

MATERIAL: STUCCO
COLOR: WHITE
TEXTURE: SMOOTH ACRYLIC
FINISH



④

MATERIAL: VINYL FRAME
GLASS WINDOW
COLOR: SILVER FRAME + CLEAR



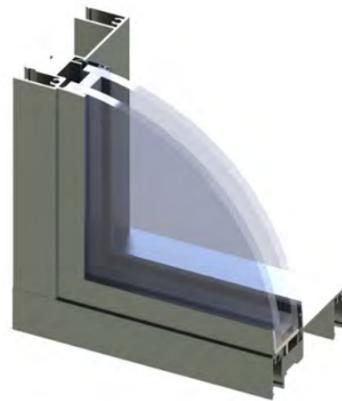
⑦

MATERIAL: ALUMINUM LOUVER
COLOR: SILVER + CLEAR
FINISH: CLEAR ANODIZED



②

MATERIAL: EXPANSION JOINT
COLOR: SILVER
TEXTURE: STAINLESS STEEL



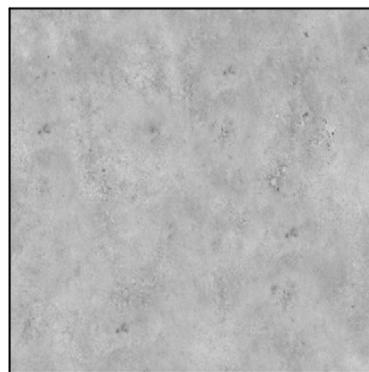
⑤

MATERIAL: STANDARD
ALUMINUM
STOREFRONT
COLOR: SILVER + CLEAR
FINISH: CLEAR ANODIZED



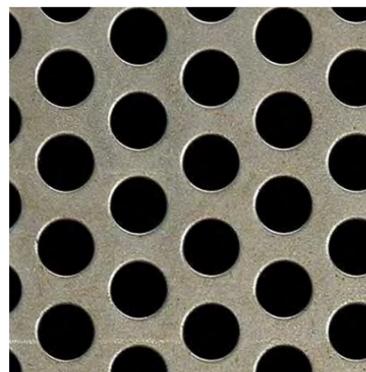
⑧

MATERIAL: GLASS PANEL W/
ALUMINUM FRAME
COLOR: SILVER + CLEAR
FINISH: CLEAR ANODIZED



③

MATERIAL: SMOOTH
CONCRETE
COLOR: GREY
TEXTURE: SMOOTH



⑥

MATERIAL: PERFORATED PANEL
COLOR: SILVER
TEXTURE: STAINLESS STEEL



⑨

MATERIAL: STRETCHED MESH
GUARDRAIL
COLOR: SILVER
FINISH: CLEAR ANODIZED

PRELIMINARY TITLE REPORT

PRELIMINARY TITLE REPORT NO. 09511699-09, DATED MARCH 26, 2012, PREPARED BY LAWYERS TITLE COMPANY, 888 S. FIGUEROA STREET, SUITE #2100, LOS ANGELES, CA 90017, WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

OWNERSHIP

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: CARRIERE HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP

PARKING SUMMARY

STANDARD	20
COMPACT	0
HANDICAPPED	1
TOTAL	21

AREA

14,963 SQ. FT.
0.344 ACRES

ZONING

C3 (DOWNTOWN COMMERCIAL)

BASIS OF BEARINGS

THE BEARING N 44°45'00"W OF THE CENTERLINE OF 7TH STREET AS PER TRACT NO. 53675, M.B. 1296 PAGES 11 AND 12, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK

P.K. NAIL IN LEAD SOUTHWEST CURB OF 6TH STREET 30.0 FEET NORTHWEST OF NORTHWEST CURB OF BROADWAY.

ELEV. = 82.80

FLOOD HAZARD STATEMENT

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06037C1590F DATED SEPTEMBER 26, 2008, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

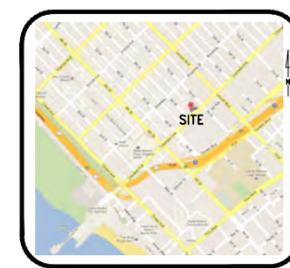
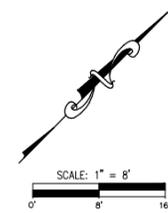
ALL OF LOTS "M" AND "N" IN BLOCK 193 OF SANTA MONICA, IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 80 AND 81 OF MAPS, AND IN BOOK 39, PAGES 45 TO 51 INCLUSIVE OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT 50 PERCENT OF ALL OIL, PETROLEUM, GAS, BREA, ASPHALTUM AND KINDRED SUBSTANCES AND OTHER MINERALS IN, ON AND UNDER SAID LAND BELOW A DEPTH OF 500 FEET, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED BY HOWARD W. CLARK, IN DEED RECORDED SEPTEMBER 5, 1972, AS INSTRUMENT NO. 328, OF OFFICIAL RECORDS.

APN: 4291-023-010

SUMMARY OF SCHEDULE "B" - SECTION B EXCEPTIONS NOT REPORTED IN THIS SURVEY

ITEM	SUBJECT
A-C	TAX MATTERS
1	ANY EASEMENTS NOT DISCLOSED BY THOSE PUBLIC RECORDS WHICH IMPACT CONSTRUCTIVE NOTICE AND WHICH ARE NOT VISIBLE AND APPARENT FROM AN INSPECTION OF THE SURFACE OF SAID LAND
2	WATER RIGHTS
3	TITLE SEARCH DISCLOSES NO OPEN DEEDS OF TRUST
4	ANY RIGHTS, INTERESTS OR CLAIMS OF THE PARTIES IN POSSESSION OF SAID LAND, INCLUDING BUT NOT LIMITED TO THOSE BASED ON AN UNRECORDED AGREEMENT, CONTRACT OR LEASE MATTERS WHICH MAY BE DISCLOSED BY AND INSPECTION OR BY A SURVEY OF SAID LAND THAT IS SATISFACTORY TO THIS COMPANY, OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
5	REFERS TO THIS SURVEY.



VICINITY MAP
NOT TO SCALE

ABBREVIATIONS

ASPH	ASPHALT	HR	HANDICAP RAMP
BW	BACK OF WALK	L&T	LEAD AND TAG
CB	CATCH BASIN	MH	MANHOLE
COL	COLUMN	PLTR	PLANTER
CONC	CONCRETE	SCD	SEWER CLEANOUT
DWY	DRIVEWAY	SL	STREET LIGHT
EC	EDGE OF CONCRETE	SLPB	STREET LIGHT PULL BOX
EG	EDGE OF GUTTER	SMH	SANITARY MANHOLE
ELEC	ELECTRIC	TO	TO TOP OF CURB
EM	ELECTRIC METER	TO	TO TOP OF GRATE
EP	EDGE OF PAVEMENT	TEL	TELEPHONE
FF	FINISHED FLOOR	T.O.S.	TOP OF STEP
FS	FINISHED SURFACE	TS	TRAFFIC SIGNAL
FH	FIRE HYDRANT	TSPB	TRAFFIC SIGNAL PULL BOX
FL	FLOW LINE	TW	TOP OF WALL
FW	FACE OF WALL	WV	WATER VALVE
FS	FINISHED SURFACE	WTF	WROUGHT IRON FENCE
GM	GAS METER	WM	WATER METER
GP	GUARD POST	WV	WATER VALVE
GS	GROUND SHOT		

SYMBOL LEGEND

(T)	TREE (SIZE, TYPE AS NOTED)
(M)	TELEPHONE MANHOLE
(S)	STORM/SANITARY MANHOLE (AS NOTED)
(*)	TRAFFIC SIGNAL
(SL)	STREET LIGHT/TRAFFIC SIGNAL
(EB)	ELECTRIC PULL BOX
(SLPB)	STREET LIGHT PULL BOX
(TSPB)	TRAFFIC SIGNAL PULL BOX
(GM)	GAS METER
(WM)	WATER METER
(FH)	FIRE HYDRANT
(WV)	WATER VALVE
(GP)	GUARD POST
(S)	SIGN
(M)	MONUMENT FOUND (SIZE, TYPE AS NOTED)

LINETYPES

(---)	BUILDING LINE
(---)	BUILDING LINE ABOVE
(---	CENTER LINE
(---	PROPERTY LINE
(---	RIGHT OF WAY LINE
(---	FENCE LINE (SIZE, TYPE AS NOTED)
(---	UTILITY LINE (TYPE AS NOTED)
(---	WALL (SIZE, TYPE AS NOTED)

SURVEYOR'S CERTIFICATE

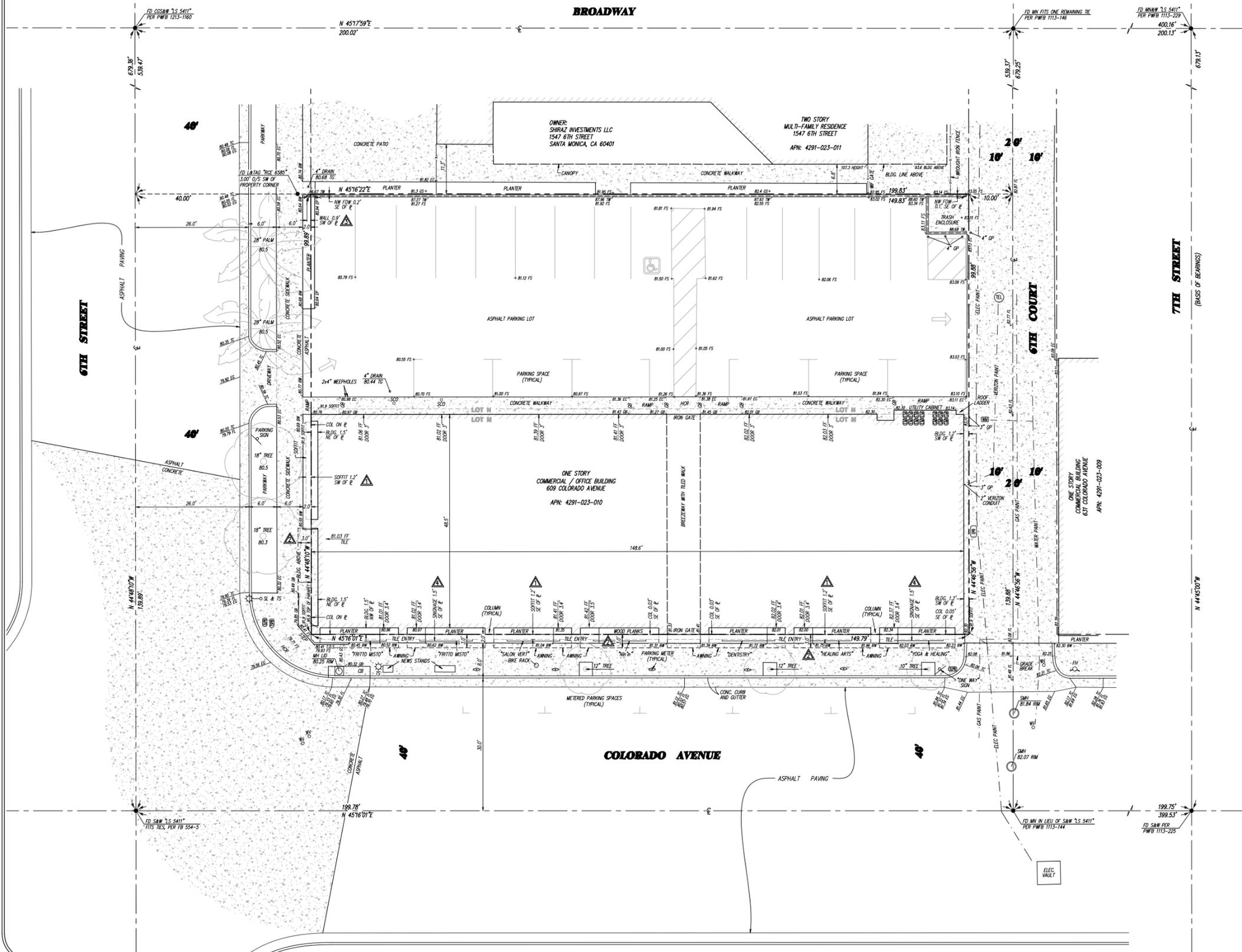
TO: NMS PROPERTIES, AND TO LAWYERS TITLE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 6(a), 7(a), 7(b)(1), 8, 11(a), 13, 14, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 14, 2012.

MAY 23, 2012
DATE:
JEFF S. VOORHEIS, L.S. 7570



ENCROACHMENTS

- ▲ SOFFITS ALONG SOUTHWEST AND SOUTHEAST PROPERTY LINES ENCR OACH 1.2 FEET INTO THE STREET RIGHT-OF-WAY.
- ▲ CANVAS AWNINGS ATTACHED TO SOUTHEAST AND SOUTHWEST FACADES ENCR OACH 3.0' INTO THE STREET RIGHT-OF-WAY.
- ▲ AT MOST WLY PROPERTY CORNER, THE END OF A MASONRY WALL EXTENDS 0.9 FEET INTO THE 6TH STREET RIGHT-OF-WAY.
- ▲ SIGNAGE AFFIXED TO SOFFITS ALONG SOUTHEAST PROPERTY LINE ENCR OACHES 1.5 FEET INTO THE RIGHT-OF-WAY OF COLORADO AVE.



REVISIONS:	DESCRIPTION

Client: NMS PROPERTIES
10599 WILSHIRE BLVD. #110
LOS ANGELES, CA 90024
Phone:
Fax:
DATE: 05/21/12 JOB NO. 1205E

ALTA/ACSM LAND TITLE SURVEY
609 COLORADO AVENUE
SANTA MONICA, CA 90401
DATE: 05/21/12 JOB NO. 1205E

VOORHEIS & VOORHEIS, INC.
PROFESSIONAL LAND SURVEYORS SINCE 1977
17049 Suburb Street, Northridge, CA 91325
Phone: (818) 982-5811 Fax: (818) 983-7038
mail@voorheisandvoorheis.com

PRELIMINARY TITLE REPORT

PRELIMINARY TITLE REPORT NO. 08010430, DATED AUGUST 29, 2013, PREPARED BY COMMONWEALTH LAND TITLE COMPANY, 888 S. FIGUEROA STREET, SUITE #2100, LOS ANGELES, CA 90017, WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

OWNERSHIP

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:
SHIRAZ INVESTMENT, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BASIS OF BEARINGS

THE BEARING N 44°45'00"W OF THE CENTERLINE OF 7TH STREET AS PER TRACT NO. 53675, M.B. 1296 PAGES 11 AND 12, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK #200

P.K. NAIL IN LEAD SOUTHWEST CURB OF 6TH STREET 30.0 FEET NORTHWEST OF NORTHWEST CURB OF BROADWAY.
ELEV. = 82.80

FLOOD HAZARD STATEMENT

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. D6037C1590F DATED SEPTEMBER 26, 2008, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT "O" IN BLOCK 193, IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 80 AND 81 AND IN BOOK 39, PAGES 45, ET SEQ., OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4291-023-011

PARKING SUMMARY

STANDARD	4
COMPACT	0
HANDICAPPED	1
TOTAL	5

AREA

7,483 SQ. FT.
0.172 ACRES

ZONING

C3 (DOWNTOWN COMMERCIAL)

OBSERVATIONS REGARDING TO ITEMS 16, 17 AND 18 OF TABLE A

- THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY.
- THERE WAS NO OBSERVATION OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- THERE ARE NO CURRENT PLANS FOR CHANGES IN RIGHT OF WAY WIDTHS.

SUMMARY OF SCHEDULE "B" - SECTION B EXCEPTIONS NOT REPORTED IN THIS SURVEY

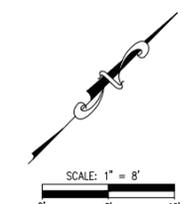
ITEM	SUBJECT
A-C	TAX MATTERS
1	WATER RIGHTS
2	A DEED OF TRUST RECORDED JUNE 9, 2003 AS INSTRUMENT NO. 03-1628304
3	ANY RIGHTS, OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS
4	DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY PUBLIC RECORDS
5	ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.
6	MATTERS WHICH MAY BE DISCLOSED BY AND INSPECTION OR BY A SURVEY OF SAID LAND THAT IS SATISFACTORY TO THIS COMPANY, OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. REFERS TO THIS SURVEY.

SURVEYOR'S CERTIFICATE

JEFF VOORHEIS, A REGISTERED LAND SURVEYOR, LICENSE NO. 7570, IN AND FOR THE STATE OF CALIFORNIA AND LEGALLY DOING BUSINESS IN LOS ANGELES COUNTY, DOES HEREBY CERTIFY TO COMERICA BANK, 601 COLORADO NMS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, COMMONWEALTH LAND TITLE COMPANY AND EACH OF THEIR RESPECTIVE SUCCESSORS AND ASSIGNS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 6(a), 7(a), 7(b)(1), 8, 11(a), 13, 14, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOV 12, 2013.

MARCH 18, 2014
DATE:
JEFF S. VOORHEIS, L.S. 7570



VICINITY MAP
NOT TO SCALE

ABBREVIATIONS

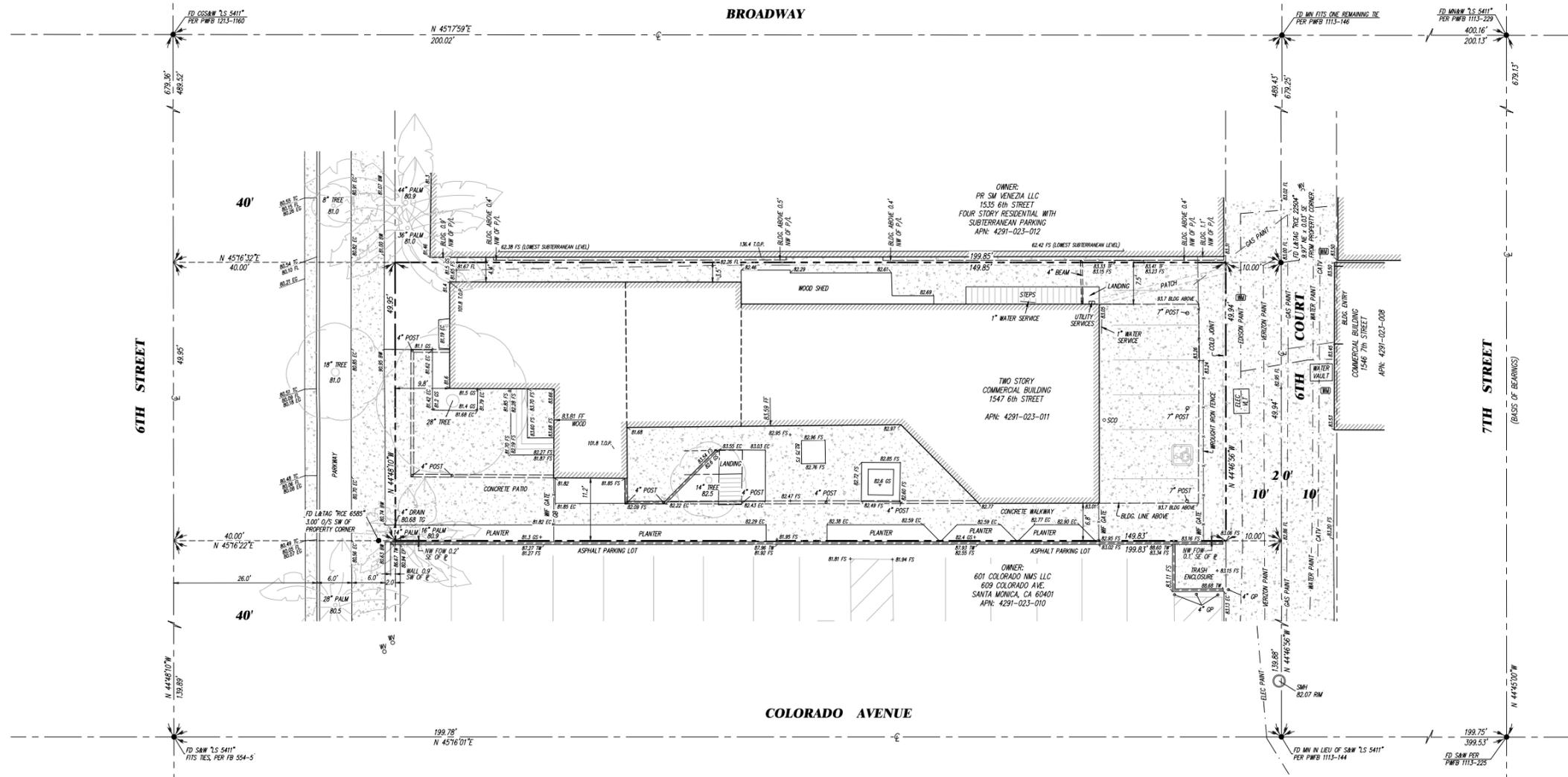
ASPH	ASPHALT	HR	HANDICAP RAMP
BW	BACK OF WALK	L&T	LEAD AND TAG
CB	CATCH BASIN	MH	MANHOLE
COL	COLUMN	PLTR	PLANTER
CONC	CONCRETE	SD	SEWER CLEANOUT
DW	DRIVEWAY	SL	STREET LIGHT
EC	EDGE OF CONCRETE	SLPB	STREET LIGHT PULL BOX
EG	EDGE OF GUTTER	SMH	SANITARY MANHOLE
ELEC	ELECTRIC	TC	TOP OF CURB
EM	ELECTRIC METER	TO	TOP OF GRATE
EP	EDGE OF PAVEMENT	TEL	TELEPHONE
FD	FINDING	T.O.S.	TOP OF STEP
FF	FINISHED FLOOR	TS	TRAFFIC SIGNAL
FH	FIRE HYDRANT	TSPB	TRAFFIC SIGNAL PULL BOX
FL	FLOW LINE	TW	TOP OF WALL
FW	FACE OF WALL	WV	WATER VALVE
FS	FINISHED SURFACE	WM	WATER METER
GM	GAS METER	WV	WATER VALVE
GP	GUARD POST		
GS	GROUND SHOT		

SYMBOL LEGEND

- (○) - TREE (SIZE, TYPE AS NOTED)
- (⊙) - TELEPHONE MANHOLE
- (⊗) - STORM/SANITARY MANHOLE (AS NOTED)
- (★) - TRAFFIC SIGNAL
- (⊙) - STREET LIGHT/TRAFFIC SIGNAL
- (E) - ELECTRIC PULL BOX
- (S) - STREET LIGHT PULL BOX
- (T) - TRAFFIC SIGNAL PULL BOX
- (G) - GAS METER
- (W) - WATER METER
- (H) - FIRE HYDRANT
- (V) - WATER VALVE
- (S) - SIGN
- (●) - MONUMENT FOUND (SIZE, TYPE AS NOTED)

LINETYPES

- BUILDING LINE
- BUILDING LINE ABOVE
- CENTER LINE
- PROPERTY LINE
- RIGHT OF WAY LINE
- - - - FENCE LINE (SIZE, TYPE AS NOTED)
- - - - UTILITY LINE (TYPE AS NOTED)
- ▬▬▬ WALL (SIZE, TYPE AS NOTED)



REVISIONS:

DATE	BY	DESCRIPTION
3/19/14	JV	ADDED NOTE REGARDING TABLE A ITEMS 16, 17 AND 18. NO FIELD OBSERVATION WAS MADE.

Client:
NMS PROPERTIES
10599 WILSHIRE BLVD. #110
LOS ANGELES, CA 90024
Phone:
Fax:

ALTA/ACSM LAND TITLE SURVEY
1547 6th STREET
SANTA MONICA, CA 90401
DATE: 03/18/14 JOB NO. 1311C

VOORHEIS & VOORHEIS, INC.
PROFESSIONAL LAND SURVEYORS SINCE 1877
17049 Suburban Street, Northridge, CA 91325
Phone: (818) 983-5811 Fax: (818) 983-7338
mail@voorheisandvoorheis.com



DUANE BORDER DESIGN
LANDSCAPE ARCHITECTURE

August 5, 2020

Landscape Design Narrative

Re: 601 Colorado, Santa Monica, CA

The landscape design of 601 Colorado draws inspiration from the natural coastal bluffs of Santa Monica, where the project is set, and uses organic forms and patterning to bring this natural feel into the built environment. As a way of both grounding the building and creating a juxtaposition to the architecture, the planters in each of the courtyards soften the orthogonal lines of the building and provide a human scale to each of these spaces. At the same time, these amorphous shapes play off the unexpected curvilinear moments in the architecture.

In the ground level retail courtyard, potential café seating and retail spill-out space are framed by mounded planters with built-in benches and seat walls. Tree Aloes provide height and a distinct sculptural quality within the space. A linear water feature serves as a backdrop to the public seating area and offers visual interest and atmosphere for the courtyard. In both the retail and residential courtyards, a depressed slab and mounded planters, provide the soil depth to accommodate the planting, while keeping sight lines open.

Throughout the courtyards, subtle variations in concrete color and patterning are reminiscent of the natural striations in the coastal bluffs nearby. These organic patterns provide continuity throughout the project, while bringing the warmth of tans and beiges that complement a Southern California plant palette.

On the podium level, mounded planters wrap the buildings and embrace the residents with a strong green backdrop. Various flexible seating areas are defined by this green envelope, with a quiet fire court in the north, a children's discovery play zone on the east, and a centrally located overlook seating court anchored by a water feature. Between these larger spaces, quiet nooks for seating and benches are provided throughout. As with the ground level, slab depressions and mounded soil give the sense of a hillside landscape and allow for a tree canopy that brings down the scale of the building. Ginkgo trees were selected to further define and enhance the property with their uniformity, durability in the most difficult urban environments, and unique seasonal characteristics, while Olive Trees and African Sumac provide that evergreen shade throughout the year.

At the roof deck, two outdoor kitchens serve the residents and dining terraces offer residents a place to take in the views of Santa Monica. Soft, layered planting wrap the spaces, while Olive and Acacia trees provide shade and anchor the corners. Beyond the outdoor dining amenity, edible garden planters along with lemon trees give residents the opportunity to grow and use fresh herbs and food, while a fire feature activates the space at night for residents.

The plant palette throughout the project takes advantage of the temperate coastal breeze by using a variety of flowing grasses and soft shrubs that add movement and a kinetic energy to the project. They act as a foil to the crisp lines of the building and soften the façade, while adding in agave and tree aloe to provide textural variety. The selected plant material was chosen for its drought tolerance and ability to thrive in this coastal climate, reducing the irrigation demands on site. Understated greens and golds, complemented by the warm hardscape tones, capture that sun-flecked quality of coastal Southern California landscapes.



SITE PLAN
NTS

MATERIALS SCHEDULE

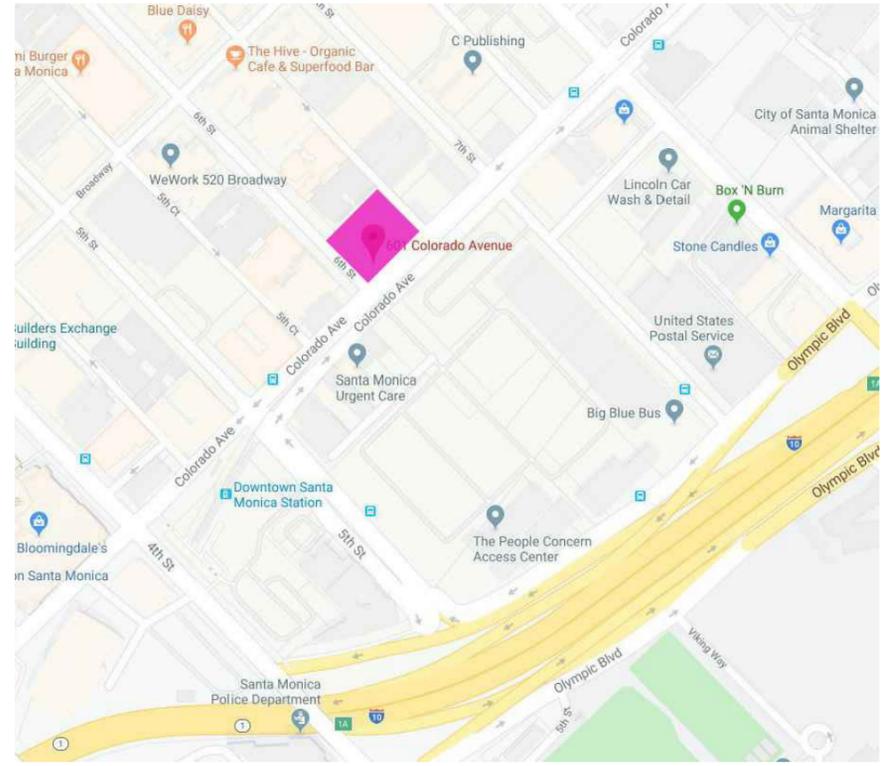
SYM	ITEM	MATERIAL	COLOR (SR)	FINISH	SIZE	MODEL	SUPPLIER
C-1	CONCRETE	CONCRETE	NATURAL GREY	MEDIUM BROOM	SCORED PER PLAN	N/A	N/A
C-2	CONCRETE	CONCRETE	ADOBE (61078)	SAND BLAST	SCORED PER PLAN	N/A	DAVIS COLORS (844.341.4780)
C-3	CONCRETE	CONCRETE	PALOMINO (5447)	SAND BLAST	SCORED PER PLAN	N/A	DAVIS COLORS (844.341.4780)
C-4	CONCRETE	CONCRETE	SANDSTONE (5237)	SAND BLAST	SCORED PER PLAN	N/A	DAVIS COLORS (844.341.4780)
C-5	CONCRETE	CONCRETE	DUNE (6058)	SANDBLAST	SCORED PER PLAN	N/A	DAVIS COLORS (844.341.4780)
C-6	SEAT WALL	CONCRETE	WHITE	SMOOTH TROWEL	N/A	N/A	DAVIS COLORS (844.341.4780)
T-1	PAVER	PORCELAIN TILE	MOUNTAINS	SMOOTH	24" X 48"	QUARTZITI 2.0	BELGARD/MIRAGE (909.355.6422)
T-2	PAVER	PORCELAIN TILE	GLACIER	STONE	12" X 24"	QUARTZITI 2.0	BELGARD/MIRAGE (909.355.6422)
T-3	PAVER	PORCELAIN TILE	WATERFALL	STONE	24" X 24"	QUARTZITI 2.0	BELGARD/MIRAGE (909.355.6422)
R-1	POURED RUBBER SURFACING	RECYCLED SBR	33% GOLD, 33% EGGSHELL, 33% TERRA COTTA	-	PER MANUF. SPEC	PlayBound™	SURFACE AMERICA (800-999-0555)
S-1	GRANITE COUNTER	GRANITE	WHITE ICE	SMOOTH	N/A	N/A	FERMOL (714.465.2048)



601 COLORADO AVENUE

601 COLORADO AVE.
SANTA MONICA, CA

CITY OF SANTA MONICA ARCHITECTURAL REVIEW BOARD



LOCATION MAP

SHEET INDEX

L-1.00	COVER SHEET
L-1.01	ILLUSTRATIVE PLAN - GROUND LEVEL
L-1.02	ILLUSTRATIVE PLAN - PODIUM LEVEL
L-1.03	ILLUSTRATIVE PLAN - ROOF LEVEL
L-1.11	MATERIALS AND LAYOUT PLAN - GROUND LEVEL
L-1.12	MATERIALS AND LAYOUT PLAN - PODIUM LEVEL
L-1.13	MATERIALS AND LAYOUT PLAN - ROOF LEVEL
L-2.00	MATERIALS AND SITE FURNISHINGS
L-3.00	IRRIGATION NOTES
L-3.01	IRRIGATION PLAN - GROUND LEVEL
L-3.10	IRRIGATION PLAN - PODIUM LEVEL
L-3.11	IRRIGATION PLAN - ROOF LEVEL
L-3.20	IRRIGATION DETAILS
L-3.21	IRRIGATION DETAILS
L-4.00	PLANTING LEGEND & IMAGERY
L-4.01	PLANTING PLAN - GROUND LEVEL
L-4.10	PLANTING PLAN - PODIUM LEVEL
L-4.11	PLANTING PLAN - ROOF LEVEL
L-4.20	PLANTING DETAILS

DUANE BORDER DESIGN
LANDSCAPE ARCHITECTURE
724 South Spring Street | Suite 404
Los Angeles | CA | 90014
t: 213.265.7246
www.duaneborder.com

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PROJECT

601 COLORADO AVE.

601 COLORADO AVE.
SANTA MONICA, CA 90401

601 COLORADO AVE.
601 COLORADO AVE.
SANTA MONICA, CA 90401

ISSUED FOR _____ DATE _____

INFO _____

JOB NO. _____

DRAWN BY: DBR/MC _____

CHECKED BY: DB _____

SCALE: AS NOTED _____

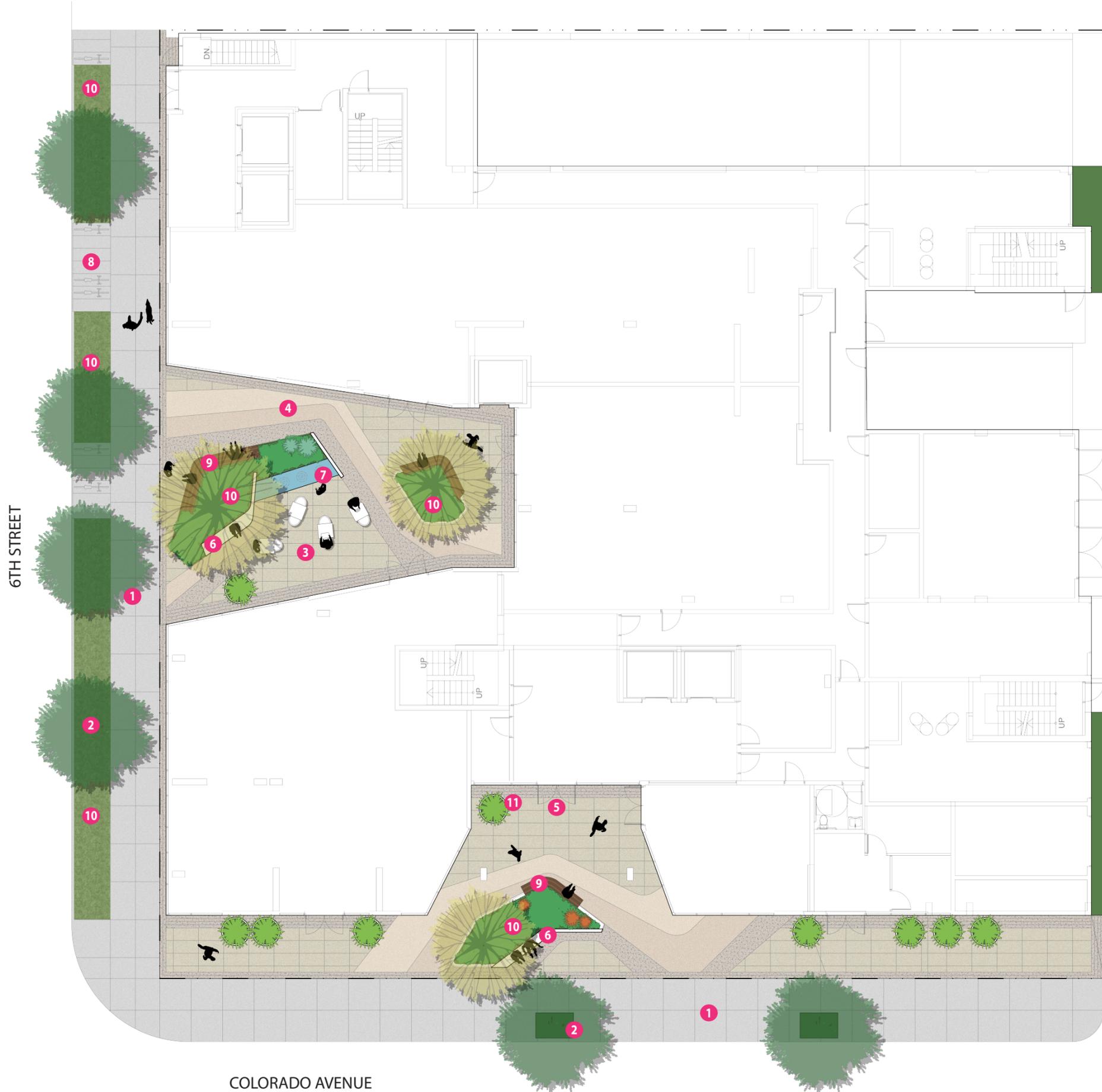
ORIGIN DATE: 12/18/19 _____

ORIGIN DATE: 12/18/19 _____

SHEET TITLE
COVER SHEET

SHEET NUMBER

L-1.00



Legend

- 1 Streetscape (Per City Standards)
- 2 Street Trees (Per City Standards)
- 3 Dining Patio
- 4 Retail Court
- 5 Residential Entry Plaza
- 6 Seat Wall
- 7 Water Feature
- 8 Bike Parking
- 9 Built-in Bench
- 10 Planting Area
- 11 Ornamental Pottery

601 COLORADO AVE.

601 COLORADO AVE.
SANTA MONICA, CA 90401

601 COLORADO AVE.
601 COLORADO AVE.
SANTA MONICA, CA 90401

ISSUED FOR _____ DATE _____

INFO _____

SCALE: AS NOTED

JOB NO: _____

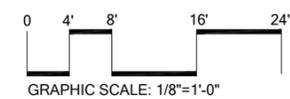
DRAWN BY: DBR/MIC

CHECKED BY: DB

ORIGIN DATE: 12/18/19

SHEET TITLE
**ILLUSTRATIVE PLAN -
GROUND LEVEL**

SHEET NUMBER



L-1.01

601 COLORADO AVE.
 601 COLORADO AVE.
 SANTA MONICA, CA 90401

601 COLORADO AVE.
 601 COLORADO AVE.
 SANTA MONICA, CA 90401

ISSUED FOR: _____ DATE: _____

INFO: _____

JOB NO: _____

DRAWN BY: DBR/MIC _____

CHECKED BY: DB _____

ORIGIN DATE: 12/18/19 _____

ORIGIN DATE: 12/18/19 _____

SHEET TITLE: _____

MATERIALS AND SITE SCHEDULE

MATERIALS



CONCRETE (C-1)
 COLOR: NATURAL GREY
 FINISH: MEDIUM BROOM



CONCRETE (C-2)
 COLOR: ADOBE
 FINISH: SAND BLAST
 MANUFACTURER: DAVIS COLOR



CONCRETE (C-3)
 COLOR: PALOMINO
 FINISH: SAND BLAST
 MANUFACTURER: DAVIS COLOR



CONCRETE (C-4)
 COLOR: SANDSTONE
 FINISH: SANDBLAST
 MANUFACTURER: DAVIS COLOR



CONCRETE (C-5)
 COLOR: DUNE
 FINISH: SAND BLAST
 MANUFACTURER: DAVIS COLOR



CONCRETE (C-6)
 COLOR: WHITE
 FINISH: SAND BLAST
 MANUFACTURER: DAVIS COLOR



PORCELAIN TILE (T-1)
 COLOR: MOUNTAINS
 FINISH: STONE
 MANUFACTURER: BELGARD/MIRAGE



PORCELAIN TILE (T-2)
 COLOR: GLACIER
 FINISH: STONE
 MANUFACTURER: BELGARD/MIRAGE



PORCELAIN TILE (T-3)
 COLOR: WATERFALL
 FINISH: STONE
 MANUFACTURER: BELGARD/MIRAGE



GRANITE COUNTER (S-1)
 COLOR: WHITE ICE
 FINISH: SMOOTH
 MANUFACTURER: FERMOL

SITE FURNISHINGS



FIBERGLASS PLANTER
 MODEL: ARROW PLANTER
 COLOR: GRAY
 MANUFACTURER: GREENFORM



FIBERGLASS PLANTER
 MODEL: KYOTO
 COLOR: WHITE
 MANUFACTURER: GREENFORM



CONCRETE PLANTER
 MODEL: DUANE
 COLOR: DAVIS COLOR SANDSTONE
 MANUFACTURER: KORNEGAY DESIGN



6TH STREET

6TH CT. (ALLEY)

COLORADO AVENUE

COMPOSITE LANDSCAPE PLAN

Scale: 1" = 10'-0"



L-2.00

601 COLORADO AVE.

601 COLORADO AVE.
SANTA MONICA, CA 90401

601 COLORADO AVE.
601 COLORADO AVE.
SANTA MONICA, CA 90401

ISSUED FOR DATE

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NOTE A:
LATERAL LINE PIPING WITHIN BUILDING SHALL BE A TYPE-K COPPER AND IS SHOWN FOR CLARITY ONLY. ACTUAL DESIGN AND ROUTING SHALL BE COMPLETED BY PLUMBING ENGINEER AND INSTALLED BY PLUMBING CONTRACTOR. EACH STUB-OUT WITHIN EACH PLANTER SHALL HAVE A COPPER FEMALE ADAPTER FOR THE LANDSCAPE CONTRACTOR CONNECTION. ALL PIPING THROUGH THE BUILDING TO EXTERIOR AND THROUGH BUILDING TO UPPER FLOOR SHALL BE PROVIDED BY PLUMBER.

NOTE B:
THESE PLANS ARE DIAGRAMMATIC. TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLAN AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
CONDUIT FROM CONTROLLER TO IRRIGATION VALVES / P.O.C. EQUIPMENT FOR CONTROL WIRES, MASTER VALVE WIRES, AND FLOW SENSOR WIRES. CONDUIT TO BE INSTALLED BY LICENSED ELECTRICAL CONTRACTOR.

CRITICAL ANALYSIS

Generated: 2020-06-05 06:33

P.O.C. NUMBER: 01
Water Source Information:

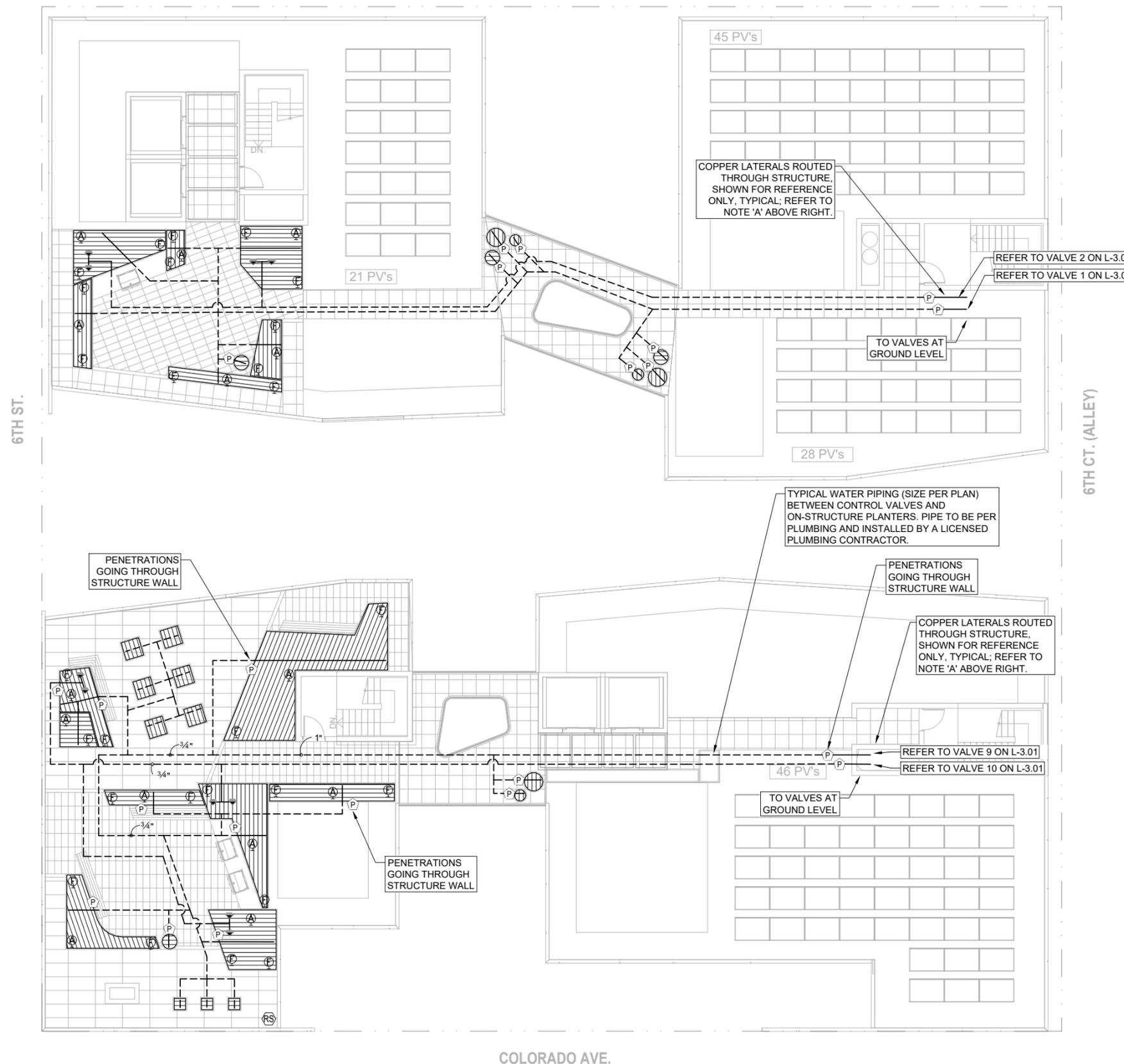
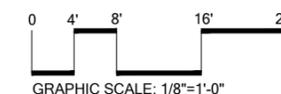
FLOW AVAILABLE
Point of Connection Size: 1-1/4"
Flow Available: 35.04 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 106.00 psi
Pressure Available: 106.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 9.93 gpm
Flow Available at POC: 35.04 gpm
Residual Flow Available: 25.11 gpm

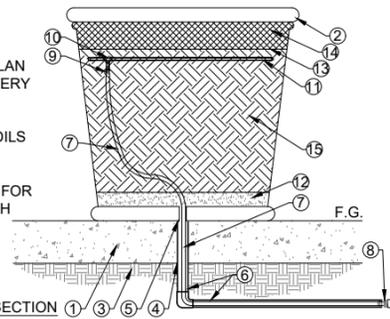
Critical Station: 10
Design Pressure: 30.00 psi
Friction Loss: 5.28 psi
Fittings Loss: 0.49 psi
Elevation Loss: 46.76 psi
Loss through Valve: 1.50 psi
Pressure Req. at Critical Station: 84.04 psi
Loss for Fittings: 0.01 psi
Loss for Main Line: 0.15 psi
Loss for POC to Valve Elevation: 1.30 psi
Loss for Backflow: 11.00 psi
Loss for Master Valve: 0.06 psi
Critical Station Pressure at POC: 96.56 psi
Pressure Available: 106.00 psi
Residual Pressure Available: 9.44 psi

FOR IRRIGATION LEGEND,
REFER TO SHEET L-3.01



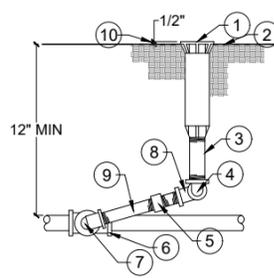
LEGEND:

1. CONCRETE, PER PLAN
2. DECORATIVE POTTERY - PER PLAN
3. COMPACTED SUBGRADE PER SOILS REPORT
4. PROVIDE HOLE IN PAVING TO ALLOW FOR SLEEVE. SEAL WITH SILICON
5. BORE 1" DIA. HOLE IN CENTER OF POT
6. PVC SLEEVING 2X DIA. OF PIPE
7. 1/2" POLYETHYLENE BLANK TUBING
8. PVC TO POLYETHYLENE ADAPTER FITTING
9. 3/4" PVC TO BARB FITTING
10. TEE BARB FITTING
11. DRIP LINE PER PLAN
12. PROVIDE 2" OF PEA GRAVEL AT BOTTOM OF POT
13. SOIL LEVEL
14. MIN. 3" LAYER OF MEDIUM GRIND BARK MULCH
15. POTTING SOIL



12 DRIPLINE IN POT

1" = 1'-0"



LEGEND:

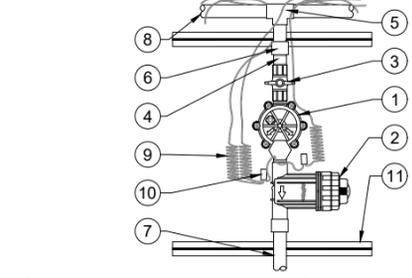
1. POP-UP HEAD W/ FLOOD BUBBLER.
2. FINISH GRADE.
3. SCH 80 PVC NIPPLE-LENGTH AS NECESSARY.
4. SCH 40 PVC TXT 90 DEGREE ELL. ANTI-DRAIN VALVE-ALL DOWN SLOPE HEADS IF NOT INSTALLED IN HEADS.
5. NON-PRESSURE LATERAL LINE AND FITTING.
6. MARLEX 90 DEGREE STREET ELL.
7. MARLEX 90 DEGREE STREET ELL.
8. SCH 80 PVC NIPPLE (6" LONG).
9. 1/2" ABOVE FINISH GRADE.
10. 1/2" ABOVE FINISH GRADE.

NOTES:

- A. USE TEFLON TAPE ON ALL MALE THREADS.
- B. INSTALL HEADS W/ INTERNAL CHECK VALVES AND/OR PRESSURE COMPENSATIONS FEATURES AS PER THE IRRIGATION PLAN.

9 POP-UP FLOOD BUBBLER

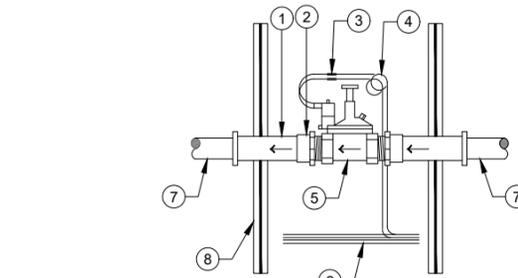
1/2" = 1'-0"



- | | |
|-------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| 1. REMOTE CONTROL VALVE (INCLUDED IN KIT) | 6. COPPER SLIP/THREAD FEMALE ADAPTER |
| 2. QUICK CHECK BASKET FILTER (INCLUDED IN KIT) | 7. COPPER LATERAL PIPE |
| 3. 1" BALL PLASTIC BALL VALVE (INCLUDED IN KIT) | 8. COPPER MAINLINE PIPE |
| 4. SCH 80 PVC NIPPLE, LENGTH AS REQUIRED | 9. 24" LINEAR LENGTH OF WIRE, COILED. |
| 5. COPPER TEE OR ELL | 10. WIRE NUTS |
| | 11. STEEL UNI-STRUT SQUARE TUBING, LENGTH AS REQUIRED. MOUNT TO CONCRETE WALL. USE UNI-STRUT HANGERS AS REQUIRED. |

6 WALL-MOUNT DRIP RCV

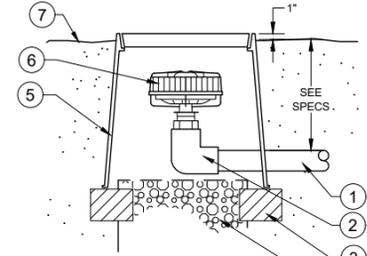
1" = 1'-0"



- LEGEND:**
1. TO SPRINKLER VALVES
 2. COPPER MALE ADAPTOR.
 3. WIRE SPLICES SHALL BE SCOTCH LOC PEN TITES OR APPROVED EQUAL W/ EXPANSION LOOPS INSTALLED.
 4. PIG TAIL EXPANSION LOOP (MIN. 24" LONG).
 5. ELECTRIC MASTER VALVE.
 6. CONTROL & COMMON WIRES RAN THROUGH CONDUIT INSIDE WALL. PRESSURE SUPPLY LINE.
 7. PRESSURE SUPPLY LINE.
 8. STEEL UNI-STRUT SQUARE TUBING, 36" LONG, MOUNT TO CONCRETE WALL, USE UNI-STRUT HANGERS AS REQUIRED

3 WALL-MOUNT MASTER CONTROL VALVE

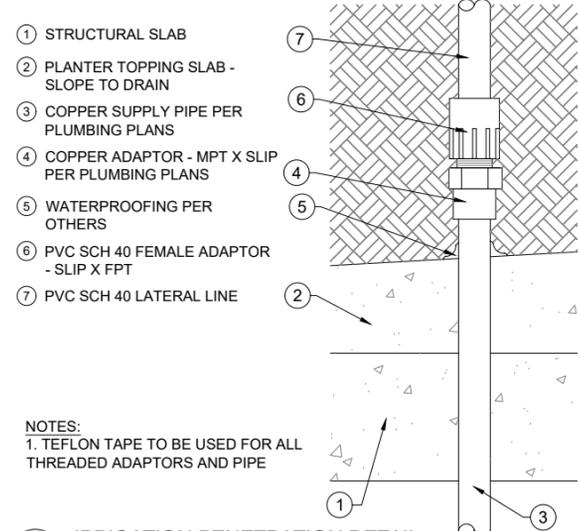
NTS



1. PVC LATERAL OR EXHAUST HEADER
2. S X 1/2" PVC 90 ELL (SIZE AS REQUIRED)
3. BRICK SUPPORTS (THREE)
4. 3/4" GRAVEL SUMP (1 CUBIC FOOT)
5. 6" ROUND PURPLE COVER VALVE BOX, HEAT BRAND "FV" ON LID IN 2-INCH HIGH LETTERS.
6. LINE FLUSHING VALVE #TL050MFV-1
7. FINISH GRADE

11 LINE FLUSHING VALVE

3" = 1'-0"

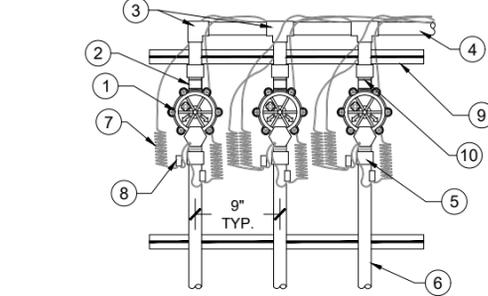


1. STRUCTURAL SLAB
2. PLANTER TOPPING SLAB - SLOPE TO DRAIN
3. COPPER SUPPLY PIPE PER PLUMBING PLANS
4. COPPER ADAPTOR - MPT X SLIP PER PLUMBING PLANS
5. WATERPROOFING PER OTHERS
6. PVC SCH 40 FEMALE ADAPTOR - SLIP X FPT
7. PVC SCH 40 LATERAL LINE

- NOTES:**
1. TEFLON TAPE TO BE USED FOR ALL THREADED ADAPTORS AND PIPE

8 IRRIGATION PENETRATION DETAIL

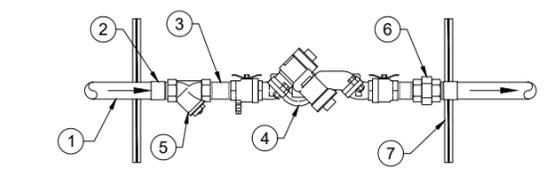
6" = 1'-0"



- | | |
|-------------------------------------------|------------------------------------------------------------------------------------------------------------------|
| 1. REMOTE CONTROL VALVE | 7. 24" LINEAR LENGTH OF WIRE, COILED. |
| 2. COPPER SLIP/THREAD FEMALE ADAPTER | 8. WIRE NUTS |
| 3. COPPER TEE OR ELL | 9. STEEL UNI-STRUT SQUARE TUBING, LENGTH AS REQUIRED. MOUNT TO CONCRETE WALL. USE UNI-STRUT HANGERS AS REQUIRED. |
| 4. COPPER MAINLINE PIPE | 10. SCH 80 PVC NIPPLES. LENGTH AS NEEDED. |
| 5. COPPER SLIP/THREAD FEMALE/MALE ADAPTER | |
| 6. COPPER LATERAL PIPE | |

5 WALL-MOUNT RCV

1" = 1'-0"



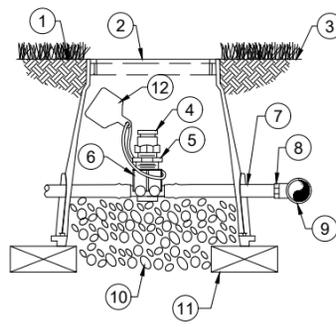
- | | |
|-------------------------------------------|-------------------------------------------------------------------------------------------------------|
| 1. COPPER IRRIGATION MAINLINE | 5. BRASS NIPPLES, SIZE AS NEEDED |
| 2. COPPER SLIP/THREAD MALE/FEMALE FITTING | 6. BRASS UNION, LINE SIZE |
| 3. BRASS NIPPLE, SIZE AS NEEDED | 7. STEEL UNI-STRUT SQUARE TUBING, 36" LONG, MOUNT TO CONCRETE WALL, USE UNI-STRUT HANGERS AS REQUIRED |
| 4. REDUCED PRESSURE BACKFLOW DEVICE | |

- NOTES:**
- INSTALL BACKFLOW PREVENTER PER LOCAL CODES, HEALTH DEPARTMENT STANDARDS, AND MANUFACTURER'S DIRECTIONS. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION. WHERE BACKFLOW DEVICE SIZE IS SMALLER THAN MAINLINE, ENTIRE APPARATUS TO BE SIZE OF MAINLINE. BUSH DOWN ONLY AT THE BACKFLOW DEVICE. FINAL LOCATION OF DEVICE TO BE DETERMINED IN THE FIELD.

2 WALL-MOUNT BACKFLOW PREVENTER

3/8" = 1'-0"

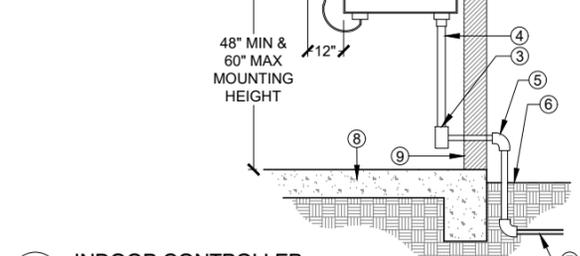
1. PLANTING AREA
2. PURPLE ROUND VALVE BOX W/ LOCKING COVER; HEAT BRAND LID
3. FINISH GRADE
4. 1/2" AIR RELIEF VALVE: RAIN BIRD ARV050 TO BE INSTALLED AT HIGH POINTS IN DRIP ZONE
5. 1/2" X 3/4" PVC REDUCER BUSHING
6. BARB X FEMALE THREAD CONNECTOR: RAIN BIRD XFD-TFA FITTING
7. 1/2" BLANK DRIPLINE TUBING: RAIN BIRD XF SERIES
8. BARB X MALE THREAD CONNECTOR: RAIN BIRD XFF-MA FITTING
9. PVC TEE CONNECTED TO PVC HEADER PIPE
10. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
11. BRICK (1 OF 2)
12. RECYCLED WATER ID TAG



10 RAIN BIRD AIR RELIEF VALVE

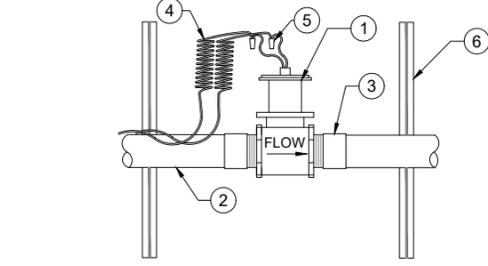
6" = 1'-0"

- LEGEND:**
1. LOCKABLE INDOOR IRRIGATION CONTROLLER. MOUNT TO GARAGE WALL ADJACENT TO GARAGE DOOR OR MAN DOOR.
 2. 120 VAC GFI OUTLET PROVIDED BY OTHERS.
 3. JUNCTION BOX WITH WATER TIGHT SLEEVE THROUGH WALL TO THE CONTROL VALVES AND RAIN SWITCH.
 4. 1" PVC SLEEVE. MOUNT TO WALL.
 5. PVC ELBOW.
 6. FINISH GRADE.
 7. DIRECT BURIAL WIRES TO VALVES.
 8. GARAGE FLOOR.
 9. BUILDING WALL.



7 INDOOR CONTROLLER

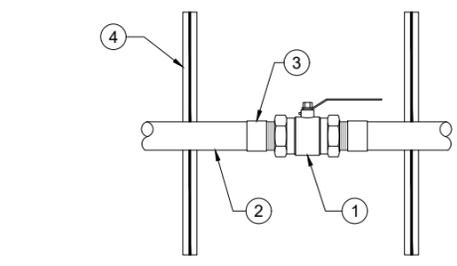
1/2" = 1'-0"



- | | |
|--------------------------------------|----------------------------------------------------------------------------------------------------------------|
| 1. FLOW SENSOR PER LEGEND | 5. WIRE NUTS |
| 2. COPPER MAINLINE - SIZE PER PLAN | 6. STEEL UNI-STRUT SQUARE TUBING, SIZE AS REQUIRED. MOUNT TO CONCRETE WALL. USE UNI-STRUT HANGERS AS REQUIRED. |
| 3. COPPER THREAD TO SLIP ADAPTORS | |
| 4. 24" LINEAR LENGTH OF WIRE, COILED | |

4 WALL-MOUNT FLOW SENSOR

1" = 1'-0"



- | | |
|-------------------------------------|----------------------------------------------------------------------------------------------------------------|
| 1. BALL VALVE PER IRRIGATION LEGEND | 4. STEEL UNI-STRUT SQUARE TUBING. SIZE AS REQUIRED. MOUNT TO CONCRETE WALL. USE UNI-STRUT HANGERS AS REQUIRED. |
| 2. COPPER MAINLINE - SIZE PER PLAN | |
| 3. COPPER THREAD TO SLIP ADAPTORS | |

1 WALL-MOUNT BALL VALVE

1" = 1'-0"

601 COLORADO AVE.
601 COLORADO AVE.
SANTA MONICA, CA 90401

ISSUED FOR	DATE
INFO	
SCALE: AS NOTED	
JOB NO.	
DRAWN BY: OBR/INC	
CHECKED BY: DB	
DATE: 12/19/19	

SHEET TITLE
IRRIGATION DETAILS

601 COLORADO AVE.

601 COLORADO AVE.
SANTA MONICA, CA 90401

601 COLORADO AVE.
601 COLORADO AVE.
SANTA MONICA, CA 90401

ISSUED FOR DATE

INFO

JOB NO.

CHECKED BY: DB

ORIGIN DATE: 10/18/19

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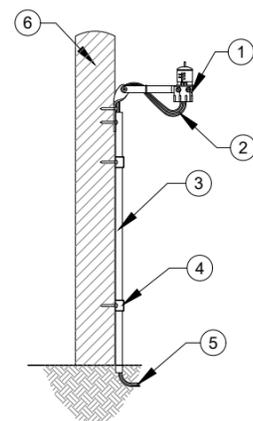
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LEGEND:

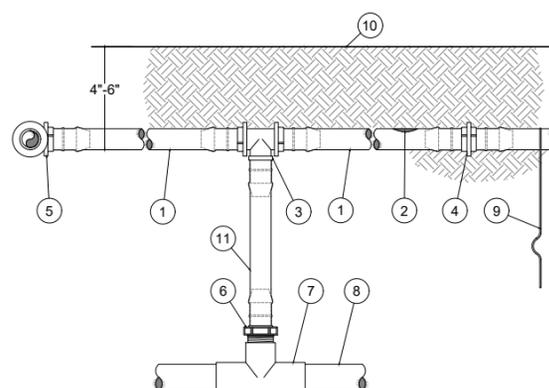
1. RAIN SENSOR - REFER TO PLANS FOR TYPE.
2. LEAD WIRES TO CONTROLLER OR VALVES.
3. UV RADIATION RESISTANT PVC CONDUIT.
4. CONDUIT STRAP - SCREW TO FENCE/ WALL.
5. BURY WIRES 18" BELOW GRADE.
6. WALL OR FENCE.

NOTES:

- A. MOUNT RAIN SENSOR OR ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN THE PATH OF SPRINKLER SPRAY.

3 RAIN SENSOR
1" = 1'-0"

H-DU-COL-1-28

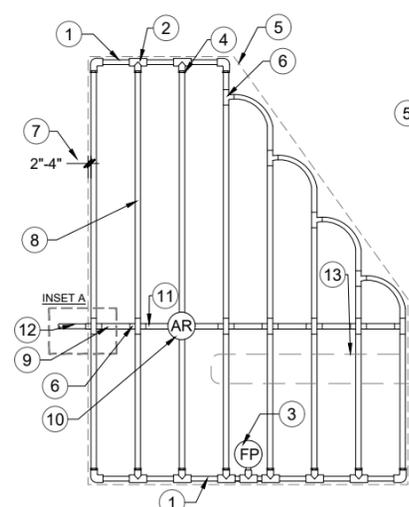


- 1 ON-SURFACE DRIPLINE:
RAIN BIRD XF SERIES DRIPLINE
POTABLE: XFS DRIPLINE
NON-POTABLE: XFSP DRIPLINE
- 2 INLINE DRIP EMITTER OUTLET. SEE PLANS FOR DRIPLINE OUTLET SPACING.
- 3 BARB TEE 17x17x17mm
RAIN BIRD XFF-TEE
- 4 BARB COUPLING 17x17mm
RAIN BIRD XFF-COUP
- 5 BARB ELBOW 17x17mm
RAIN BIRD XFF-ELBOW
- 6 BARB MALE ADAPTER
17mm X 1/2" MPT
RAIN BIRD XFF-MA-050
17mm X 3/4" MPT
RAIN BIRD XFF-MA-075
- 7 PVC TEE SxSxT
- 8 PVC LATERAL SUPPLY HEADER
- 9 TIE DOWN STAKE:
RAIN BIRD TDS-050 WITH BEND (TYPICAL)
- 10 FINISH GRADE
- 11 RAIN BIRD XF SERIES BLANK TUBING
LENGTH AS REQUIRED

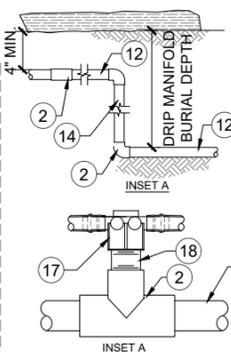
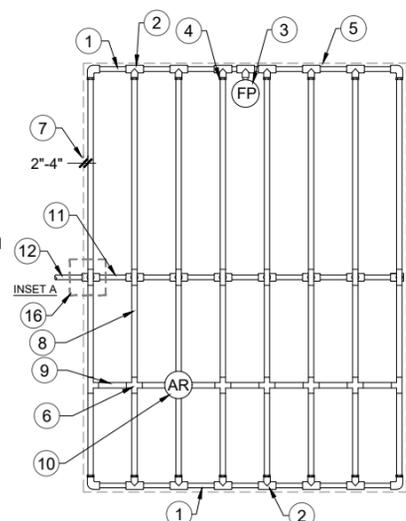
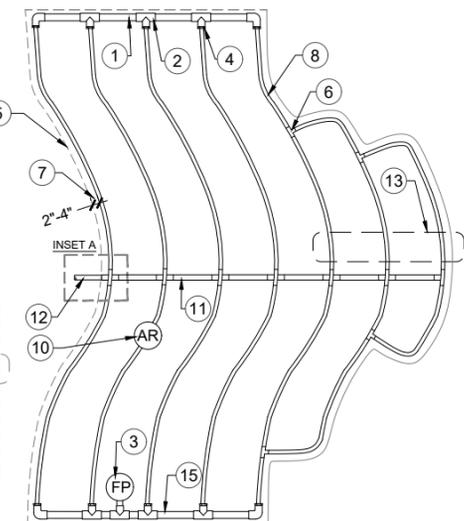
NOTES:

1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS. USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
3. SAVE YOUR HANDS. USE THE RAIN BIRD FITTINGS-TOOL XF INSERTION TOOL FOR FITTING ASSEMBLY.

2 XFS SUB-SURFACE DRIPLINE RISER ASSEMBLY
1" = 1'-0"



1 TYPICAL DRIPLINE LAYOUT
1 1/2" = 1'-0"



- NOTES:**
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH PER MANUFACTURER'S RECOMMENDATIONS.
 3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.

- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR ELL (TYPICAL)
- 3 FLUSH POINT (TYPICAL)
- 4 BARB X MALE FITTING
- 5 PERIMETER OF AREA
- 6 BARB X BARB INSERT TEE OR CROSS
- 7 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 8 SUB-SURFACE DRIPLINE
- 9 1/2" POLYETHYLENE BLANK TUBING
- 10 AIR RELIEF VALVE
- 11 PVC SUPPLY MANIFOLD
- 12 PVC SUPPLY PIPE FROM CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 13 TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH PER MANUFACTURER'S RECOMMENDATIONS
- 14 PVC SCH 40 RISER PIPE
- 15 PVC FLUSH HEADER
- 16 CONNECTION FROM SUPPLY MANIFOLD TO DRIPLINE
- 17 BARB X FEMALE FITTING
- 18 3/4" PVC NIPPLE, LENGTH AS NECESSARY

EXTERIOR LIGHTING CONCEPT



1 ILLUMINATED HANDRAIL

VENUS TC 3D IP67 Static White

LED LINEAR™ lighting solutions

3D bendable IP67 flexible dot free and perfectly homogeneous linear LED light line with a 0.71" x 0.61" (W x H) cross section. Opal polyurethane encapsulation offering a premium water proof sealing, UV resistance and chemical stability. True Color technology for an optimal rendition of the LED spectrum with no color shift. Vertical and horizontal bending as well as twisting, with radius of 5.9" offering the ideal solution for organic facade geometry. Usable for accent lighting or decorative applications requiring IP67 ingress. Freely configurable in length. Backside cable feed for an optimal fixture to fixture overlap. Light source assembled using Reel to Reel (R2R) production process supporting LED Linear™ Tj Away™ thin flexible circuit board technology. Outstanding lifetime of > 60,000 hrs L80/B10. Embeds high quality CSP LEDs with 3 step MacAdams (SDCM3) binning centered on target CCT (One Bin Only) with an extended photometric code of Wxsz/339 ensuring an exceptional color consistency over the rated lifetime. Premium color rendition with a CRI of 95. Consistent light intensity all along the strip length. Fully PWM dimmable. Engineered and produced in Germany.

3D - Universal Bend

Static White

Project name: _____
 Fixture type: _____ Phase: _____
 Specifier: _____ Date: _____

24 Select Models Only
 ETL Listed
 InnoTek ETL Listed

True Color
 No Color Shift

Integrated Circuit Driver
 Up to 300 mA/17.7 V DC
 Standard 5000K CCT

Reel-to-Reel R2R Production
 High Quality
 Super Fine Pitch

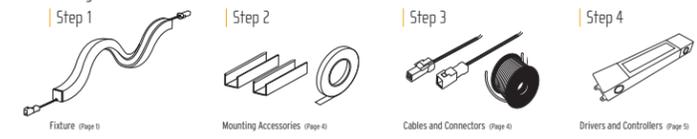
Tj Away™ Thermal Management
 Exceptional Thermal Dissipation

One Bin Only

L/B Lifetime
 L80/B10 > 60,000 hrs
 Max 350

4 Digit Photometric Code
 Wxsz/339
 DALI/DMX Compliant

Ordering Process



2 FLEXIBLE COVE LIGHTING @ PODIUM CANOPY



601 Colorado Blvd. | Santa Monica, CA

270 CORAL CIRCLE EL SEGUNDO, CA 90245 T 310.552.2191 F 310.552.2192 KGMlighting.com

EXTERIOR LIGHTING CONCEPT



1 ILLUMINATED HANDRAIL

VENUS TC 3D IP67 Static White

LED LINEAR™ lighting solutions

3D bendable IP67 flexible dot free and perfectly homogeneous linear LED light line with a 0.71" x 0.67" (W x H) cross section. Opal polyurethane encapsulation offering a premium water proof sealing, UV resistance and chemical stability. True Color technology for an optimal rendition of the LED spectrum with no color shift. Vertical and horizontal bending as well as twisting, with radius of 5.9" offering the ideal solution for organic facade geometry. Usable for accent lighting or decorative applications requiring IP67 ingress. Freely configurable in length. Backside cable feed for an optimal fixture to fixture overlap. Light source assembled using Reel to Reel (R2R) production process supporting LED Linear™ Tj Away™ thin flexible circuit board technology. Outstanding lifetime of > 60,000 hrs L80/B10. Embeds high quality CSP LEDs with 3 step MacAdams (SDCM3) binning centered on target CCT (One Bin Only) with an extended photometric code of Wxxx339 ensuring an exceptional color consistency over the rated lifetime. Premium color rendition with a CRI of 95. Consistent light intensity all along the strip length. Fully PWM dimmable. Engineered and produced in Germany.

3D - Universal Bend

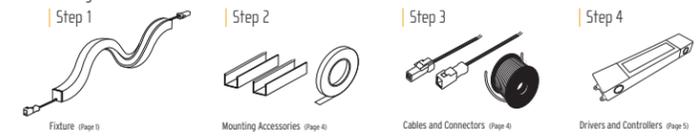
Static White

Project name: _____
 Fixture type: _____ Phase: _____
 Specifier: _____ Date: _____

Select Models Only

- 24 Year Warranty
- ETL Listed
- True Color
- Integrated Circuit Driver
- Best-to-Best PCB Production
- TjAway™ Thermal Management
- One Bin Only
- 4 Digit Photometric Code
- IES LM79/LM80
- ES Compliant

Ordering Process



2 FLEXIBLE COVE LIGHTING @ PODIUM CANOPY



601 Colorado Blvd. | Santa Monica, CA

270 CORAL CIRCLE EL SEGUNDO, CA 90245 T 310.552.2191 F 310.552.2192 KGMLighting.com

601 Colorado Avenue



Exterior Signage Master Plan
and Retail Tenant Signing Criteria

REVISED #2 June 12, 2020

BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 393 9325

247 Sixteenth Street Santa Monica California 90402



ST2
Parking
Entrance
Identification

ST3
Loading Space
Identification

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601 Colorado Avenue
Santa Monica
601 Colorado NMS, LLC

Date	June 12, 2020
Job	636
Scale	
Drawn By	
Check	
Revised	

601 Colorado Avenue - Sign Dimensions and Square Footage

Sign Type	Description	Quantity	Dimensions	Square Footage	Total Square Footage
<i>Building Signage:</i>					
1	Project Identification - Address	1	3'-0"h x 5'-0"w	18 sq ft	15
2	Parking Entrance / Exit Identification / Address	1	1'-0"h x 20'-0"w	20 sq ft	20
3	Passenger Loading Identification	1	2'-0"h x 2'-0"w	4 sq ft	4
4	Leasing Office Identification	1	6"h x 5'-0"w	2.5 sq ft	2.5
5	Resident Entrance Identification	2	3"h x 4'-0"w	1 sq ft	1
Total Square Footage of All Building Signage					42.5 sq ft

Individual retail tenant signage not included in total:

C-1 Tenant Sign under Canopy: 25 sq ft maximum each	7 tenant signs	175 sq ft
C-2 Tenant Blade Sign: 4 sq ft maximum per sign	TBD	

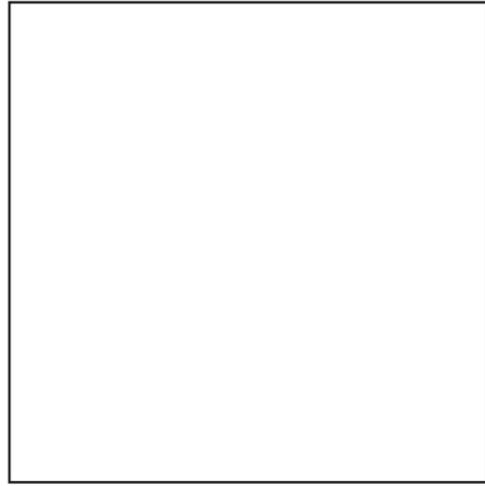
Street Frontage along Colorado Avenue = 150 feet - A corner location

Street Frontage along 6th Street = 150 feet

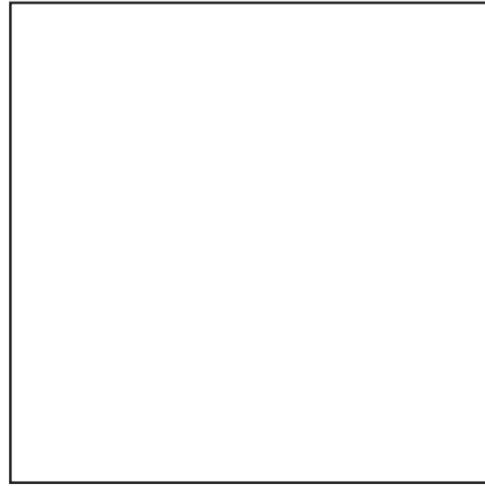
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601 Colorado Avenue
Santa Monica
601 Colorado NMS, LLC

Date June 12, 2020
 Job 636
 Scale
 Drawn By
 Check
 Revised



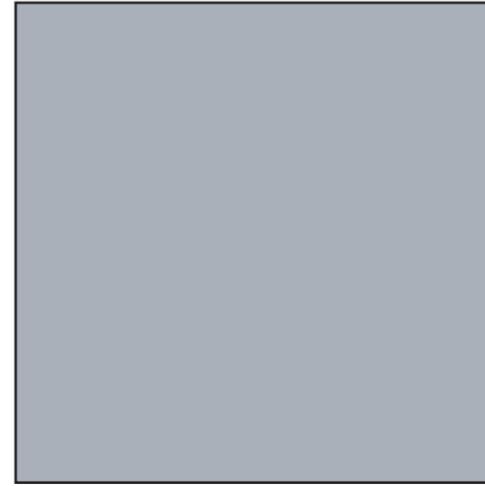
Project White - semi-gloss finish
(to match wall color)



Translucent White acrylic
for sign faces
Rhom & Hass or equal



#316 Alloy Stainless Steel
with #4 horizontal brushed finish



Project Light Gray - Semi-Gloss

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601 Colorado Avenue
Santa Monica
601 Colorado NMS, LLC

Date June 12, 2020
Job 636
Scale
Drawn By
Check
Revised

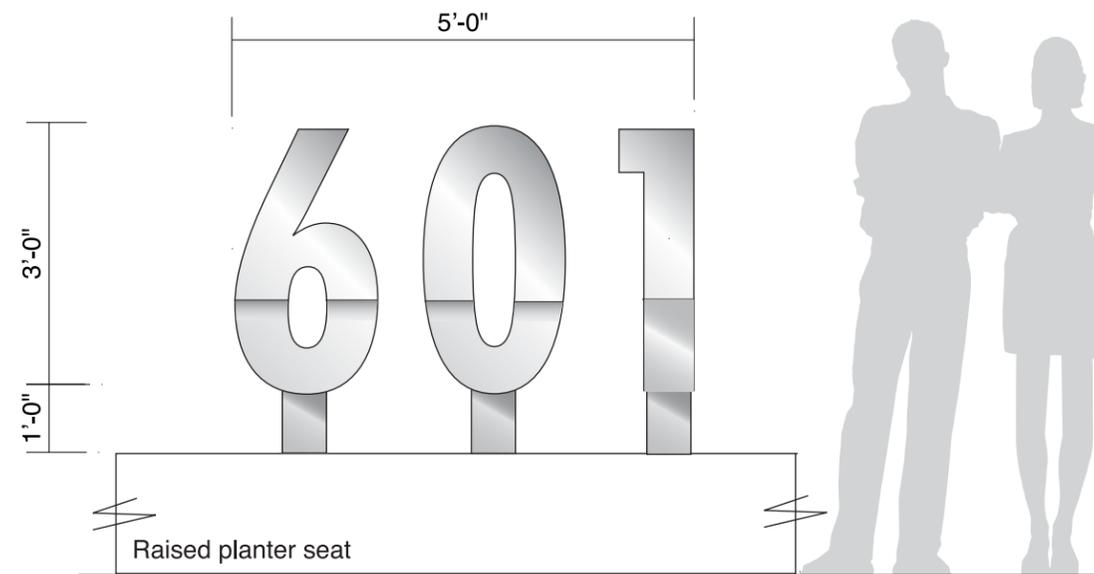
See drawing ST1.2
for elevation

.080 thick fabricated
#316 stainless steel alloy
sculptural numbers with
#4 horizontal brushed finish
All sides enclosed and finished

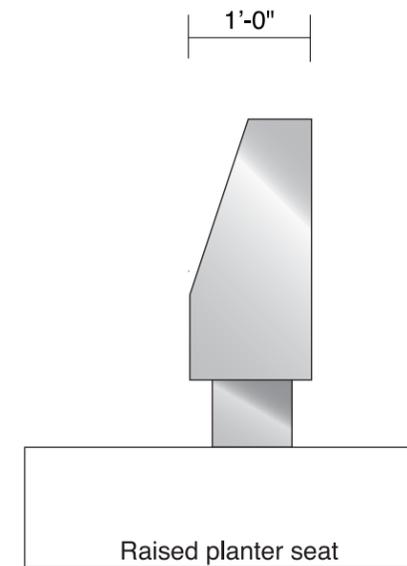
Letters to have finished
backsides to match sides

No exposed fasteners on face
or sides of letters

Type Style:
Futura BdCn BT



Front View



Side View

Sign Type 1 Building Address
Scale: 1/2"=1'-0"

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BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 383 9325
247 Sixteenth Street Santa Monica California 90402

601 Colorado Avenue
Santa Monica
601 Colorado NMS, LLC

Date June 12, 2020
Job 636
Scale
Drawn By
Check
Revised



C-1 Locations of future retail tenant signs under canopy

ST5 Resident Entrance Identification

ST1 Location of address sign in planter at resident entrance

C-1 Locations of future retail tenant signs under canopy

ST1 Location of Leasing Center sign

South Elevation - Colorado Avenue
Scale: 1/16"=1'-0"

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Santa Monica
601 Colorado NMS, LLC

Date	June 12, 2020
Job	636
Scale	
Drawn By	
Check	
Revised	



ST5
Resident Entrance
Identification

C-1 Locations of future
retail tenant signs under canopy

C-1 Locations of future
retail tenant signs under canopy

West Elevation - 6th Street
Scale: 1/16"=1'-0"

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601 Colorado Avenue
Santa Monica
601 Colorado NMS, LLC

Date June 12, 2020

Job 636

Scale

Drawn By

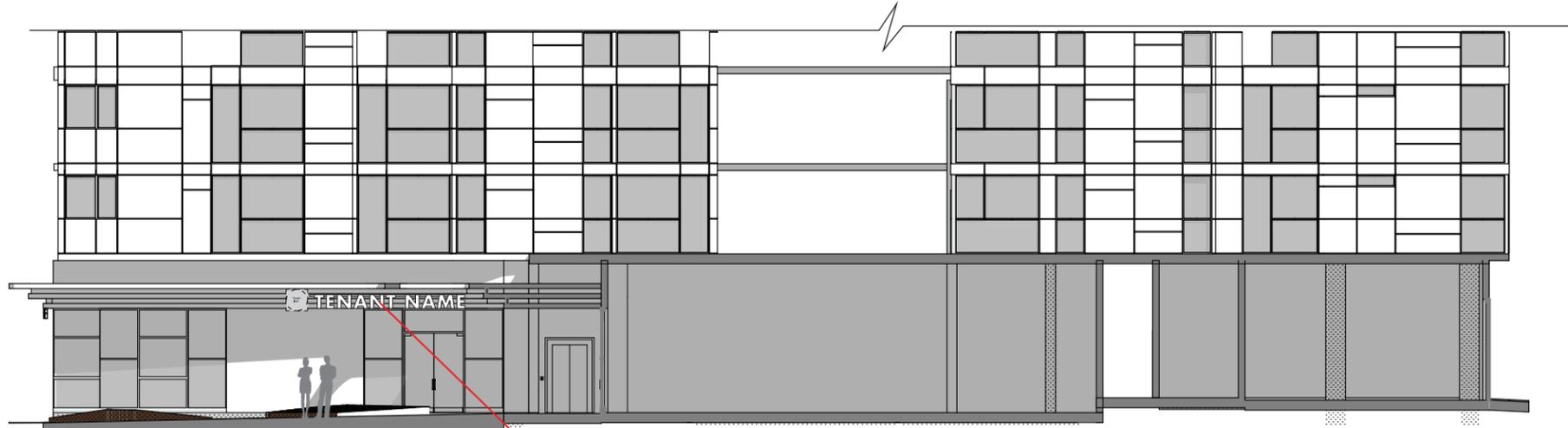
Check

Revised



South Courtyard Elevation
Scale: 1/16"=1'-0"

C-1 Locations of future
retail tenant signs under canopy



North Courtyard Elevation
Scale: 1/16"=1'-0"

C-1 Locations of future
retail tenant signs under canopy

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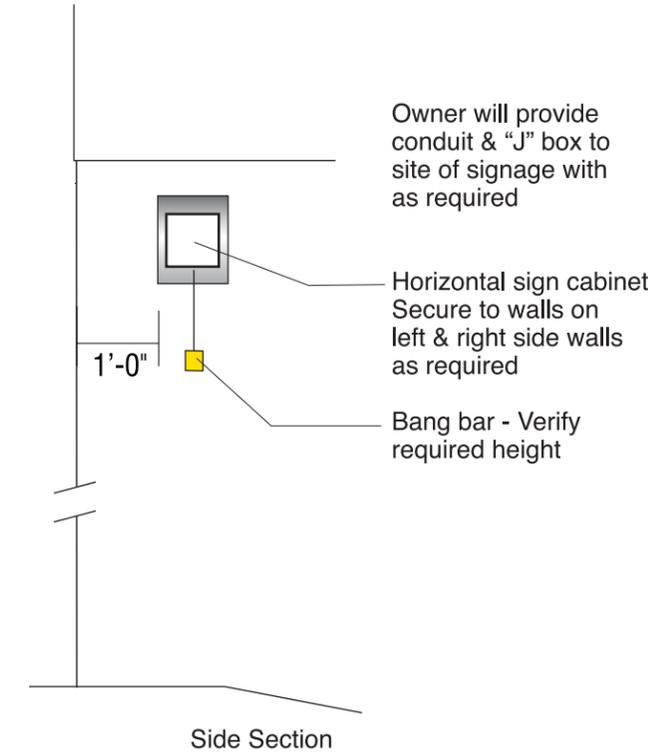
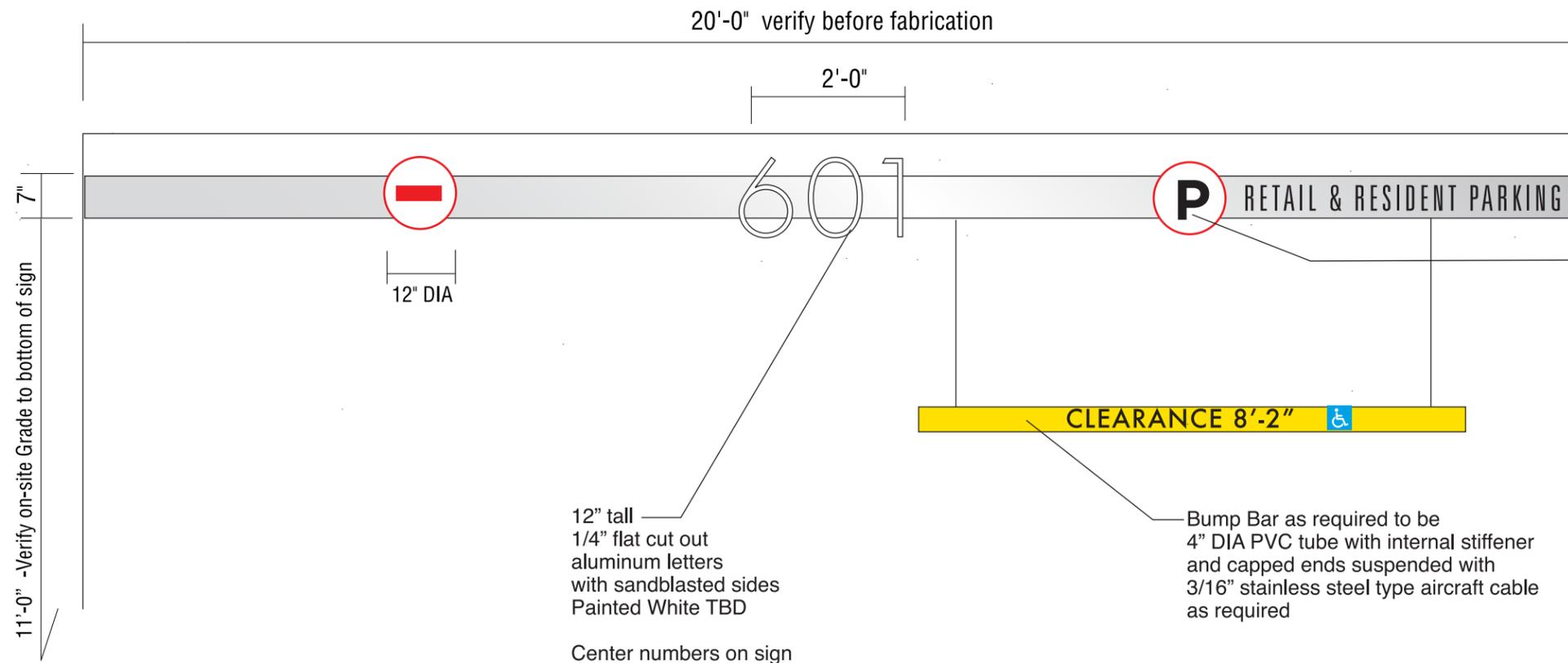
Scale

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See drawing 2.1 for elevation



Side Section

.090 Fabricated #316 alloy stainless steel cabinet with butt joint seams with #4 horizontal brushed finish with 1/2" thick routed and pushed through letters of White acrylic

12" DIA Symbols routed and backed with LED illuminated faces - No vinyl applique allowed

Sign sets back 1'-0" from edge of building

Internal structure as required with finished back sides. No exposed fasteners on face or bottoms of cabinets

Access panels only on rear of cabinet All hardware to be countersunk and flush with surface. Tamperproof stainless steel fasteners

No exposed fasteners on front or bottom of sign

Install as required to meet all codes

Sign is LED internally illuminated 240 volts, on dedicated 20 amp circuit 3500K lighting with time clock

12" tall 1/4" flat cut out aluminum letters with sandblasted sides Painted White TBD
Center numbers on sign

Bump Bar as required to be 4" DIA PVC tube with internal stiffener and capped ends suspended with 3/16" stainless steel type aircraft cable as required

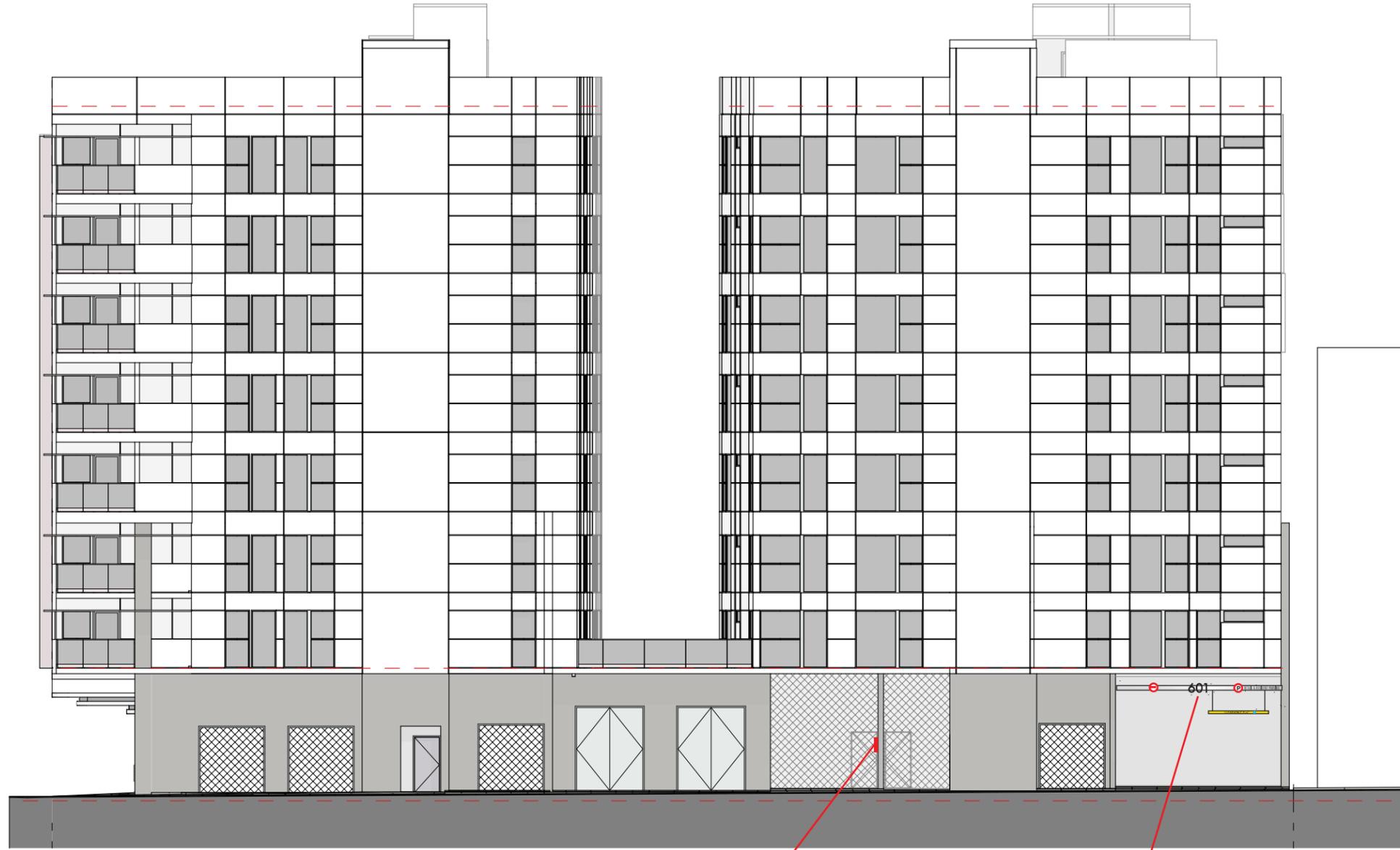
Verify all text on sign and bang bar with owner prior to fabrication

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Scale	
Drawn By	
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Revised	

Sign Type 2 Parking Entrance / Exit Identification
Scale: 1/2"=1'-0"



ST3 Location of
Loading Zone
Identification

ST2 Location of
Parking Entrance /
Exit Identification

East Elevation - Alley
Scale: 1/16"=1'-0"

601 Colorado Avenue
Santa Monica
601 Colorado NMS, LLC

Date June 12, 2020

Job 636

Scale

Drawn By

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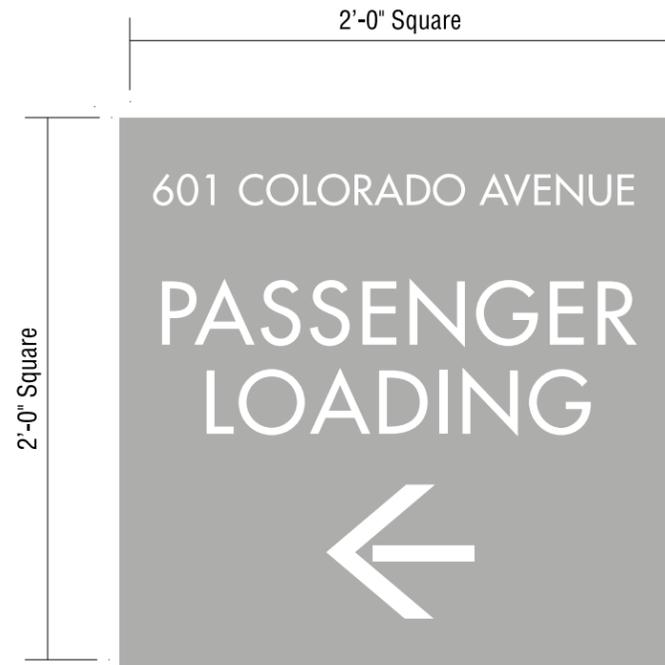
2.1

BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 383 9325
247 Sixteenth Street Santa Monica California 90402

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See drawing ST2.1
for elevation



Sign Type 3 Passenger Loading Identification
Scale: 1 1/2"=1'-0"

Verify heights for each location

No visible fasteners

All hardware to be rustproof

All paint to be Matthews Acrylic
Polyurethane semi-gloss with
clear graffiti guard

1/8" painted aluminum
panel with graphics
digital graphics

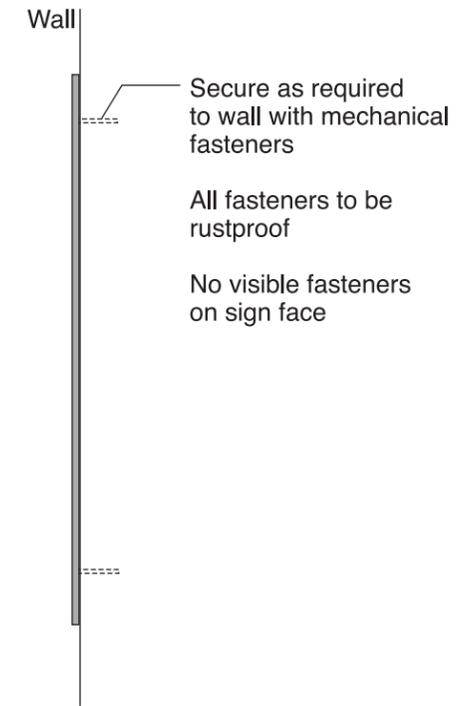
Clear graffiti guard finish

Exterior sign location

White text and arrows

Background painted
project Gray

Quantity: 1 signs
Arrows point into
loading area



Side View

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Date June 12, 2020

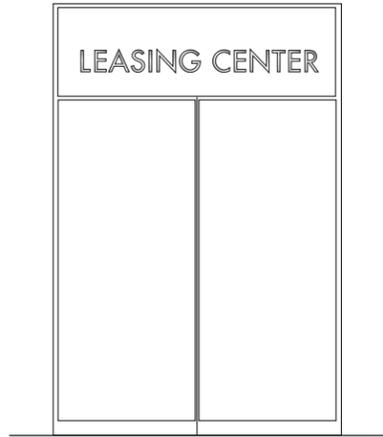
Job 636

Scale

Drawn By

Check

Revised

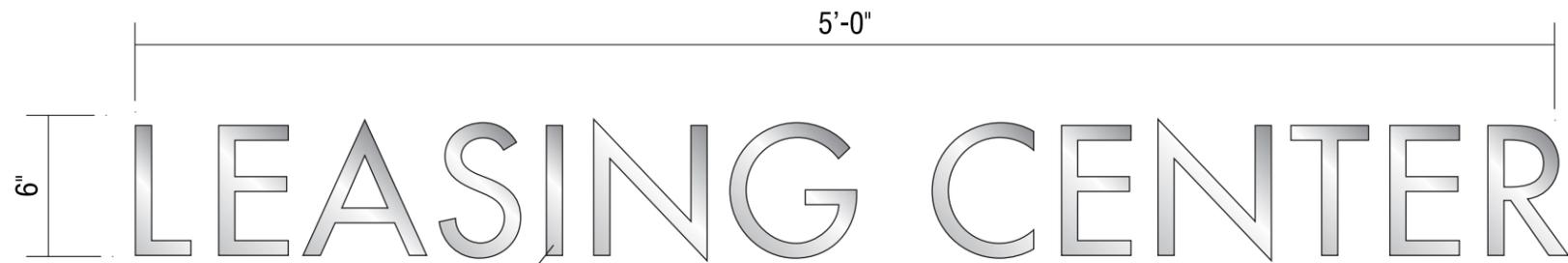


Elevation
Scale: 1/4"=1'-0"

Typical location
Final placement
TBD with designer

Verify conditions
before fabrication

See drawing ST1.2
for full elevation



1/8" thick #316 alloy
brushed stainless steel
flat cut out letters

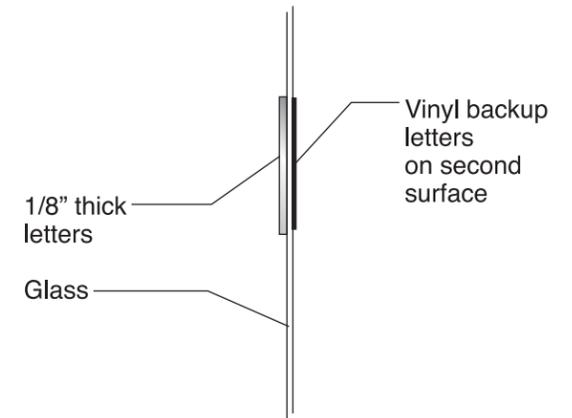
Secure as required directly to
glass panel above double doors

Install metallic brushed silver vinyl
on inside glass surface to conceal
adhesive on letters

No visible fasteners

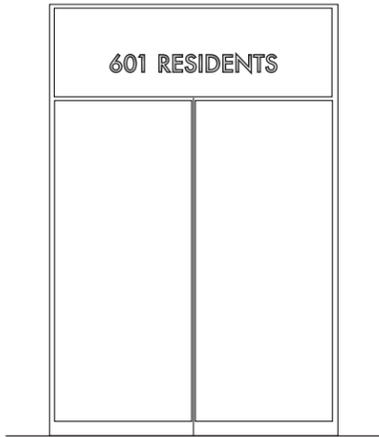
All hardware to be rustproof

Sign Type 4 Leasing Center Identification
Scale: 1 1/2"=1'-0"



Side View

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Elevation
Scale: 1/4"=1'-0"

Typical location
Final placement
TBD with designer

Verify conditions
before fabrication

See drawing ST1.2
for full elevation



1/8" thick #316 alloy
brushed stainless steel
flat cut out letters

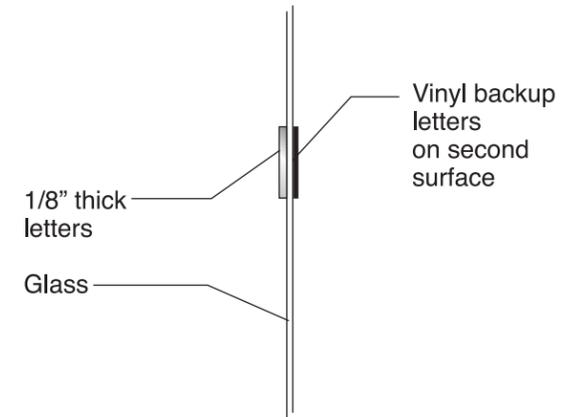
Secure as required directly to
glass panel above double doors

Install metallic brushed silver vinyl
on inside glass surface to conceal
adhesive on letters

No visible fasteners

All hardware to be rustproof

Sign Type 5 Residents Entrance Identification
Scale: 1 1/2"=1'-0"



Side View

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See drawings 1.1 and 1.3 for full elevations

Tenant logo shape not to exceed 1'-6" in height and width or a total of 6 sq ft

Square footage of logo is part of overall sign square footage allowed

Each tenant shall be allowed one square foot of signage for every foot of street frontage front and meet all City ordinances.

A maximum of 25 square foot of signage will be allowed per sign. Corner tenants may have a second sign on adjacent street front at owners discretion and if it meets code requirements

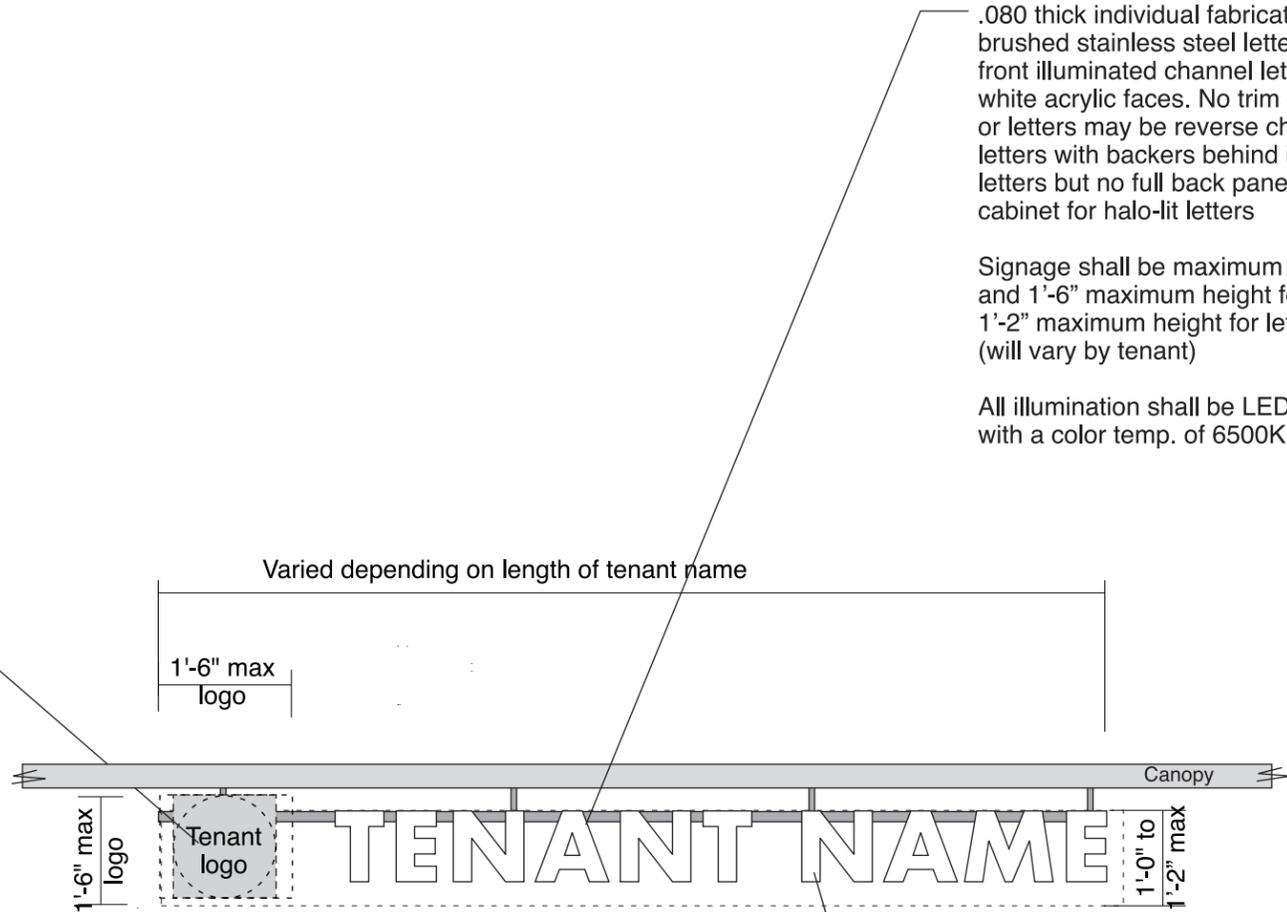
Signs to be centered over tenant's entrance or store front if possible

Tenant shall submit design drawings to owner for review and approval prior to submitting to City for a sign permit

All engineering and permits are the responsibility of the tenant

Each tenant sign shall be reviewed on an individual basis. Creativity, good design and high quality materials are encouraged

C-1 Retail Tenant Sign Criteria - Sign on Canopy
Scale: 1/4"=1'-0"



.080 thick individual fabricated #316 alloy brushed stainless steel letters with front illuminated channel letters with white acrylic faces. No trim caps. or letters may be reverse channel letters with backers behind individual letters but no full back panel or sign cabinet for halo-lit letters

Signage shall be maximum 4" deep and 1'-6" maximum height for logo 1'-2" maximum height for letters (will vary by tenant)

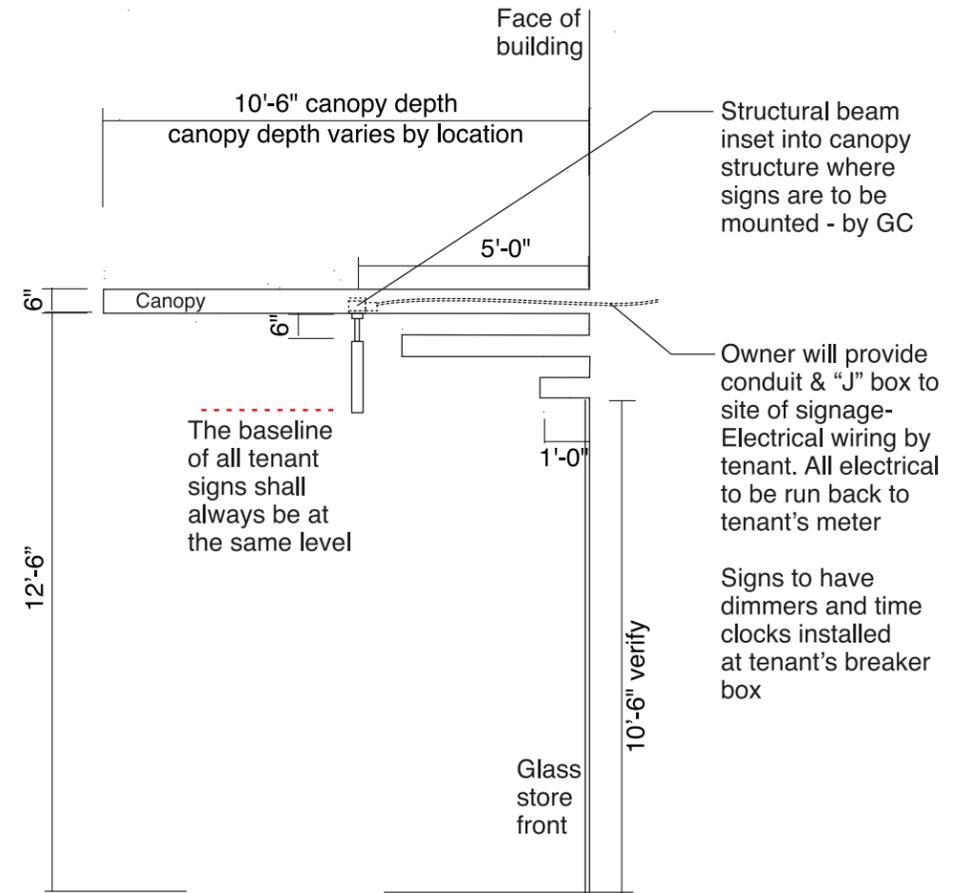
All illumination shall be LED with a color temp. of 6500K

Letters to be mounted beneath canopy with brushed stainless steel posts and raceway as required. LED Halo-lit individual letters with individual reflectors behind each letter allowed or individual channel letters with translucent white faces and internal LED front illumination No trim caps allowed

Signage shall consist of the tenants' name and logo only. No telephone numbers or .com's are allowed on the signage

Sign colors are limited to White acrylic faces or reverse channel brushed stainless steel letters. No other colors permitted.

All structural engineering is the responsibility of the tenant



Side Section

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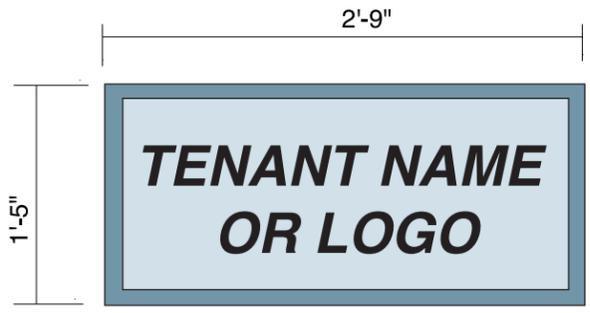
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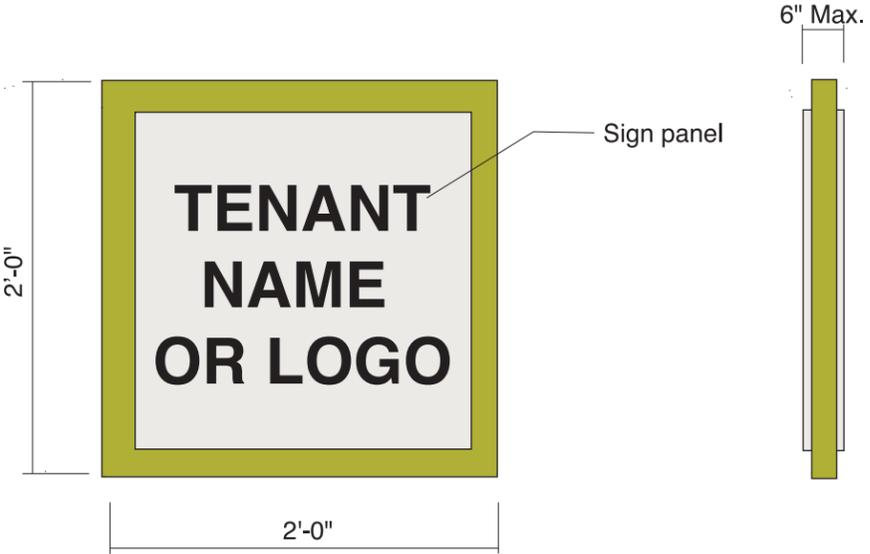
Revised



Shape Options - Side View
Scale: 1"=1'-0"



Shape Options - Side View
Scale: 1"=1'-0"



Front View

Side View

Each tenant shall be allowed ONE blade type sign in addition to their main identification signage.

A flag mounted blade sign can not exceed 4 square feet on each side and the square footage must be included in tenant's total allowed square footage as calculated by the City.

Creativity is encouraged in designing blade type signage. Dimensional signs are encouraged. Flat panels are discouraged.

Shapes are open and mounting shall be from a solid face of the building or the underside of the canopy. Mounting to be of contemporary style to compliment building design.

All structural and wind loads are to be approved prior to fabrication of any signs.

Locations of blade signs must be approved by owner prior to fabrication of the signs

Signs can be made from any non-combustable material as required by code

Each tenant shall be responsible for obtaining City approvals and permits at their own expense

The cost of all fabrication, installation and permits is the sole responsibility of the tenant. All electrical to be run back to tenant's meter.

Tenant shall obtain written approval from landlord prior to submitting signage to City for review and approval.

Signage shall consist of the tenants' name and logo only.

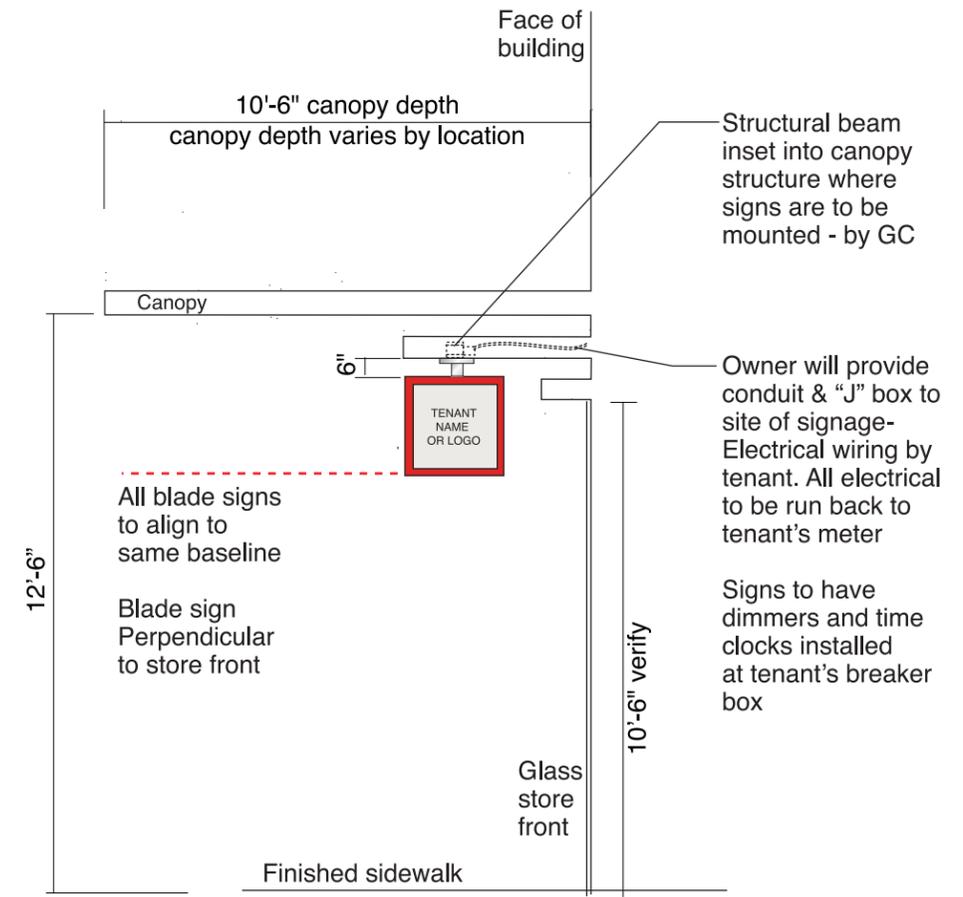
Sign to be double faced.

Color, style and typography are up to tenants' discretion.

Sign width is not to exceed 6"

All mounting hardware and fasteners must be rustproof.

Blade signs shall be NON-ILLUMINATED.



Side Section
Scale: 1/4"=1'-0"

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