



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

1338 5TH ST

1338 5TH STREET, SANTA MONICA, CA 90401

ARB SUBMITTAL 07.06.20

COVER SHEET

DATE
07.06.20

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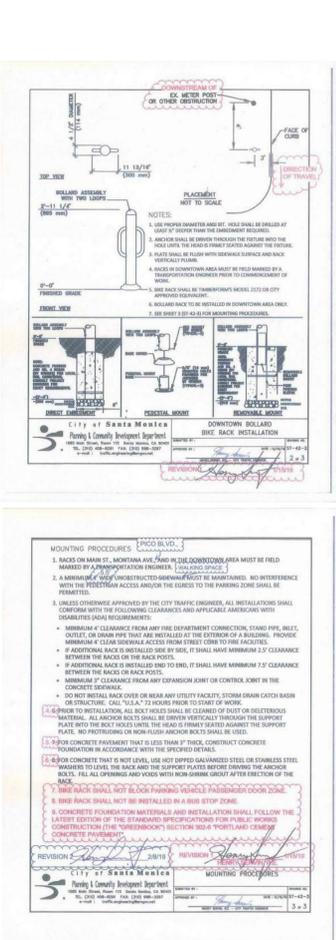
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1338 5TH STREET
SANTA MONICA, CA 90401

SRO UNIT SCHEDULE

1ST FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
101	TYPE A.1	312	235
102	TYPE A.1	310	235
103	TYPE A.1	312	235
104	TYPE A.1	310	235
105	TYPE A.1	310	235
106	TYPE B.1	317	235
1ST FLOOR SRO			6 UNITS
2ND FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
202	TYPE A.1	304	228
203	TYPE A.1	304	228
204	TYPE A.1	304	228
205	TYPE A.1	304	228
207	TYPE A.1	312	235
208	TYPE A.1	312	235
209	TYPE A.1	312	235
210	TYPE A.1	312	235
211	TYPE A.1	312	235
212	TYPE A.1	312	235
213	TYPE A.2	295	220
215	TYPE A.1	304	228
216	TYPE A.1	304	228
218	TYPE A.1	304	228
219	TYPE A.1	304	228
220	TYPE A.1	305	228
221	TYPE A.1	305	228
2ND FLOOR SRO			17 UNITS
3RD FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
302	TYPE A.1	304	228
303	TYPE A.1	304	228
304	TYPE A.1	304	228
306	TYPE A.1	312	234
307	TYPE A.1	312	235
308	TYPE A.1	312	235
309	TYPE A.1	312	235
310	TYPE A.1	312	235
311	TYPE A.1	312	235
314	TYPE A.1	305	235
315	TYPE A.2	297	220
316	TYPE C.1	299	220
317	TYPE C.1	299	220
318	TYPE A.1	304	228
319	TYPE A.1	304	228
320	TYPE A.1	305	228
321	TYPE A.1	305	228
3RD FLOOR SRO			17 UNITS
4TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
402	TYPE A.1	304	228
403	TYPE A.1	304	228
404	TYPE A.1	304	224
406	TYPE A.1	312	235
407	TYPE A.1	312	235
408	TYPE A.1	312	235
409	TYPE A.1	312	235
410	TYPE A.1	312	235
411	TYPE A.1	312	235
414	TYPE A.1	305	235
415	TYPE A.2	297	220
416	TYPE C.1	299	220
417	TYPE C.1	299	220
418	TYPE A.1	304	228
419	TYPE A.1	304	228
420	TYPE A.1	305	228
421	TYPE A.1	305	228
422	TYPE A.1	305	228
4TH FLOOR SRO			18 UNITS
5TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
502	TYPE A.1	304	228
503	TYPE A.1	304	228
504	TYPE A.1	304	228
506	TYPE B.2	311	234
507	TYPE A.1	312	235
508	TYPE A.1	312	235
509	TYPE A.1	312	235
510	TYPE A.1	312	235
511	TYPE A.1	312	235
514	TYPE A.1	312	235
515	TYPE A.2	297	220
516	TYPE C.1	299	220
517	TYPE C.1	299	220
518	TYPE A.1	304	228
519	TYPE A.1	304	228
520	TYPE A.1	305	228
521	TYPE A.1	305	228
522	TYPE A.1	305	228
5TH FLOOR SRO			18 UNITS
6TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
602	TYPE A.1	304	228
603	TYPE A.1	304	228
604	TYPE A.1	304	228
606	TYPE B.2	311	234
607	TYPE A.1	312	235
608	TYPE A.1	312	235
609	TYPE A.1	312	235
610	TYPE A.1	312	235
611	TYPE A.1	312	235
614	TYPE A.1	305	235
615	TYPE A.2	297	220
616	TYPE C.1	299	220
617	TYPE C.1	299	220
618	TYPE A.1	304	228
619	TYPE A.1	305	228
620	TYPE A.1	305	228
621	TYPE A.1	304	228
622	TYPE A.1	304	228
6TH FLOOR SRO			18 UNITS
TOTAL UNIT:	94 UNITS		
AVERAGE OF UNIT SIZE:	307 SF		
AVERAGE OF LIVING AREA:	230 SF		

SHORT TERM BIKE RACK



LONG TERM BIKE RACK



AUTOMOBILE PARKING

MAXIMUM ALLOWABLE PARKING PER SMMC TABLE 9.28.060 FOR DCP

RESIDENTIAL - MARKET RATE: 5 stalls / unit
STUDIO: 5 stalls / unit

RESIDENTIAL - AFFORDABLE: 25 stalls / unit
STUDIO: 25 stalls / unit

RESIDENTIAL - MARKET RATE: 1 BR: 5 stalls / unit
2 OR MORE BR: 1 stalls / unit

RESIDENTIAL - AFFORDABLE: 1 BR: 25 stalls / unit

GUEST PARKING - MARKET RATE: 1 stall / 15 units

GUEST PARKING - AFFORDABLE: 1 stall / 30 units

MAXIMUM ALLOWABLE RESIDENTIAL: 69 STALLS
MAXIMUM ALLOWABLE COMMERCIAL: 5 STALLS

TOTAL MAXIMUM ALLOWABLE PARKING: 74 STALLS

PROVIDED AUTOMOBILE PARKING

STALL TYPE	STALL SIZE	QTY
COMMERCIAL	(3) ACCESSIBLE	1
COMMERCIAL	COMPACT	1
COMMERCIAL	STANDARD	3
COMMERCIAL	STANDARD	5
RESIDENTIAL	ACCESSIBLE	3
RESIDENTIAL	COMPACT	39
RESIDENTIAL	STANDARD	62
RESIDENTIAL	STANDARD	104
RESIDENTIAL GUEST	COMPACT	2
RESIDENTIAL GUEST	STANDARD	5
RESIDENTIAL GUEST	STANDARD	7
GRAND TOTAL		116

116 (PROVIDED PARKING) - 74 (MAXIMUM ALLOWABLE PARKING) = 42 STALLS (ADDITIONAL PARKING PER SETTLEMENT AGREEMENT AND RELEASE, SECTION D. I)

BICYCLE PARKING

BICYCLE PARKING REQUIREMENTS PER SMMC SECTION 9.28.140

COMMERCIAL (RESTAURANT):
LONG TERM: 1 STALL / 3,000 SF, MIN OF 4 STALLS REQUIRED
SHORT TERM: 1 STALL / 4,000 SF, MIN OF 4 STALLS REQUIRED

LONG TERM: 2,703 SF / 3,000 = 4 STALLS
SHORT TERM: 2,703 SF / 4,000 = 4 STALLS

RESIDENTIAL:
LONG TERM: 1 / BEDROOM = 120 BR X 1 = 120 STALLS
SHORT TERM: .1 / BEDROOM = 120 BR X .1 = 12 STALLS

TOTAL LONG TERM: 124 STALLS*
TOTAL SHORT TERM: 16 STALLS

TOTAL BICYCLE REQUIRED: 140 STALLS

*10% OF WHICH REQ'D CARGO = 124 STALLS X .10 = 12 REQ'D CARGO STALLS

PROVIDED BICYCLE PARKING

COMMERCIAL (RESTAURANT):
LONG TERM: 4 STALLS
SHORT TERM: 4 STALLS

RESIDENTIAL:
LONG TERM: 108 STANDARD + 12 CARGO = 120 STALLS
SHORT TERM: 12 STALLS

TOTAL PROVIDED: 140 STALLS

PROVIDE BICYCLE WAYFINDING SIGNAGE PER SMMC SECTION 9.28.140(D)(7)

FAR

SITE AREA: 14,985 SF

ALLOWABLE FAR PER DCP NEIGHBORHOOD VILLAGE, TIER 3: 3.5 : 1

ALLOWABLE FLOOR AREA: 14,985 SF X 3.5 = 52,447 SF

TIER 1 SRO FAR ALLOWED: 2.25 FAR = 14,985 X 2.25 = 33,716 SF

FLOOR AREA

LEVEL	TYPE	AREA (SF)
COMMERCIAL		
1ST FLOOR	COMMERCIAL	2725
3RD FLOOR	COMMERCIAL	2725
RESIDENTIAL COMMON		
1ST FLOOR	RESIDENTIAL COMMON	2291
2ND FLOOR	RESIDENTIAL COMMON	317
3RD FLOOR	RESIDENTIAL COMMON	317
RESIDENTIAL COMMON		2925
TIER 1 SRO		
1ST FLOOR	TIER 1 SRO	1953
2ND FLOOR	TIER 1 SRO	5414
3RD FLOOR	TIER 1 SRO	5430
4TH FLOOR	TIER 1 SRO	5747
5TH FLOOR	TIER 1 SRO	5742
6TH FLOOR	TIER 1 SRO	5745
TIER 1 SRO		30031
TIER 2 RESIDENTIAL		
1ST FLOOR	TIER 2 RESIDENTIAL	1142
2ND FLOOR	TIER 2 RESIDENTIAL	2845
3RD FLOOR	TIER 2 RESIDENTIAL	3170
4TH FLOOR	TIER 2 RESIDENTIAL	3201
5TH FLOOR	TIER 2 RESIDENTIAL	3201
6TH FLOOR	TIER 2 RESIDENTIAL	3196
TIER 2 RESIDENTIAL		16755
GRAND TOTAL		52436

64.2% TIER 1 SRO FLOOR AREA (TIER 1 SRO FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA) (30,031 SF / 46,786 SF)

35.8% TIER 2 FLOOR AREA (TIER 2 FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA) (16,755 SF / 46,786 SF)

PROVIDED FLOOR AREA: TOTAL BUILDING AREA / SITE AREA = 52,436 / 14,985 = 3.50

COMMERCIAL AREA / TOTAL BLDG AREA = 2,725 / 52,436 = 5.2%

PROVIDED TIER 1 SRO FAR: (TIER 1 FLOOR AREA + TIER 1 FLOOR AREA X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (30,031 SF + 64.2% (2,725 SF + 2,925 SF)) / 14,985 SF = 33,668 SF = 2.25

PROVIDED TIER 2 RESIDENTIAL FAR: (TIER 2 FLOOR AREA + TIER 3 FLOOR AREA X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (16,755 SF + 35.8% (2,725 SF + 2,925 SF)) / 14,786 SF = 18,778 SF = 1.25

PROJECT INFORMATION

PROJECT NAME: 1338 5TH ST

ADDRESS: 1338 5TH ST
SANTA MONICA, CA 90401

OWNER: 1338 5TH STREET, LLC

PROJECT DESCRIPTION: 6-STORY MIXED-USE BUILDING WITH TOTAL OF 94 SRO UNITS & 26 TIER 2 UNITS, 2,725 SF GROUND FLOOR COMMERCIAL & 4 LEVELS OF SUBTERRANEAN PARKING

CURRENT ZONING: DCP-NV, TIER 1 SRO, TIER 2

LOT SIZE: 14,985 SF

UNIT COUNT: 120 UNITS (94 SRO + 26 TIER 2)

MAX HEIGHT ALLOWED PER SMMC TIER 2: 60 FT

PROPOSED HEIGHT: 60 FT (EXCLUDING VERTICAL PROJECTION)

PROPOSED RETAIL GROUND FLOOR HEIGHT: 11'-0"

OPEN SPACE

OPEN SPACE REQUIREMENTS PER DCP:
20% OF TOTAL BUILDABLE AREA = 14,985 SF X .20 = 2,997 SF

OPEN SPACE REQUIREMENTS PER IZO 2609 FOR TIER 1 SRO:
10 SF / LIVING AREA = 10 SF X 94 = 940 SF

AT LEAST 400 SF IN INTERIOR COMMON SPACE AT GROUND FLOOR ENTRY AREA

200 SF OF INTERIOR COMMON AREA PER FLOOR ABOVE GROUND FLOOR LEVEL.

*OPEN SPACE PROVIDED TO SATISFY DCP STANDARDS MAY ALSO BE USED TO SATISFY ANY AND ALL COMMON AREA REQUIREMENTS FOR THE TIER 1 SRO INCREMENT AS REQUIRED UNDER IZO NO. 2609.

OPEN SPACE PROVIDED

NAME	LEVEL	QTY	AREA
COMMON OPEN SPACE	1ST FLOOR	1	1087 SF
COMMON OPEN SPACE	ROOF	3	2876 SF
COMMON OPEN SPACE			3963 SF
PRIVATE OPEN SPACE	1ST FLOOR	7	338 SF
PRIVATE OPEN SPACE	2ND FLOOR	3	141 SF
PRIVATE OPEN SPACE	3RD FLOOR	8	696 SF
PRIVATE OPEN SPACE	4TH FLOOR	7	359 SF
PRIVATE OPEN SPACE	5TH FLOOR	7	361 SF
PRIVATE OPEN SPACE	6TH FLOOR	7	359 SF
PRIVATE OPEN SPACE			2254 SF
GRAND TOTAL			6217 SF

NOTE:
10% LOCATED AT GROUND FLOOR OR AT PODIUM 1 OR 2 LEVELS ABOVE GROUND AND 10% WITHOUT REGULATED LOCATIONS

14,985 SF X .10 = 1,499 SF REQ'D OPEN SPACE AT LEVEL 1 OR 2

1,087 SF + 338 SF + 141 SF = 1,566 SF OPEN SPACE PROVIDED AT LEVELS 1-2

COMMON SPACE PROVIDED - TIER 1 SRO

NAME	LEVEL	QTY	AREA
INTERIOR COMMON AREA	2ND FLOOR	1	305 SF
INTERIOR COMMON AREA	3RD FLOOR	1	305 SF
INTERIOR COMMON AREA			610 SF
INTERIOR COMMON SPACE AS BLDG ENTRY	1ST FLOOR	1	406 SF
INTERIOR COMMON SPACE AS BLDG ENTRY			406 SF
GRAND TOTAL			1016 SF

NOTE:
COMMON AREA OF THE SAME SIZE (200 SF) DEDICATED FOR SUCH ACTIVITIES PROVIDED ON THE ROOF SHALL SATISFY THE REQUIREMENT FOR ONE INDIVIDUAL FLOOR IN A STRUCTURE. COMMON AREA ON THE ROOF SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF MUNICIPAL CODE.

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L100 LANDSCAPE CONCEPT
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L200 MATERIALS
L300 IRRIGATION PLAN
L400 PLANT LEGEND
L410 PLANTING PLAN
L500 PLANT PALETTE
L600 ELEVATION WITH PLANT MATERIAL AT INSTALLATION AND 2 YEARS

LIGHTING

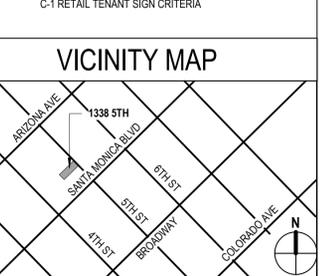
EL-000 RENDERING
EL-001 LIGHTING SPECIFICATIONS
EL-002 LIGHTING SPECIFICATIONS

SIGNAGE

SP- SITE PLAN
Sp-F SIGNAGE DIMENSIONS AND SQUARE FOOTAGE
Colors COLORS
1 SIGN TYPE 1 PROJECT ADDRESS
1.1 5TH STREET ELEVATION
2 SIGN TYPE 2 PARKING ENTRANCE / EXIT ID
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3 SIGN TYPE 3 LOADING AREA ID
C-1 C-1 RETAIL TENANT SIGN CRITERIA

TITLE SHEET
SITE PLAN
SIGNAGE DIMENSIONS AND SQUARE FOOTAGE
COLORS
SIGN TYPE 1 PROJECT ADDRESS
SIGN TYPE 2 PARKING ENTRANCE / EXIT ID
SIGN TYPE 3 LOADING AREA ID
C-1 RETAIL TENANT SIGN CRITERIA

VICINITY MAP



REFUSE AND RECYCLING

REFUSE & RECYCLING ROOM REQUIREMENTS PER SMMC 9.21.130 RESOURCE RECOVERY AND RECYCLING STANDARDS

MIXED USE DEVELOPMENTS SHALL INCLUDE A REFUSE AND RECYCLING ROOM WITH THE MINIMUM DIMENSIONS STATED IN TABLE 9.21.130.B, OR SHALL PROVIDE EQUIVALENT SPACE AVAILABLE IN A CENTRALIZED AREA

PER TABLE 9.21.130.B: AGGREGATE FLOOR AREA OF 20,001-40,000 SQ.FT. REQUIRES MINIMUM TRASH ROOM DIMENSIONS OF 28'-0"X20'-0"X10'-0". ANY DEVELOPMENT WITH MORE THAN 40 RESIDENTIAL UNITS OR WITH MORE THAN 40,000 SQ.FT. OF FLOOR AREA SHALL BE REVIEWED BY THE DIRECTOR OF PUBLIC WORKS.

AFFORDABLE HOUSING

COMPROMISE PROJECT AFFORDABILITY REQUIREMENTS PER SETTLEMENT AGREEMENT AND RELEASE

20% OF THE TOTAL TIER 2/3 DWELLING UNIT INCREMENT UNITS FOR AFFORDABLE HOUSHOLD.
26 X 20% = 6 UNITS

15% OF THE TOTAL TIER 1 SRO INCREMENT UNITS FOR LOW INCOME RESIDENTS.
94 X 15% = 14 UNITS

PROVIDED AFFORDABLE UNITS

6 ONE BEDROOM TIER 2 DWELLING UNITS

14 TIER 1 SRO UNITS

UNIT COUNT

REQUIRED UNIT MIX FOR TIER 3 DWELLING UNITS PER SMMC 9.10.070.C.1.b:

- At least 15% of the units shall be three-bedroom units;
- At least 20% of the units shall be two-bedroom units;
- No more than 15% of the units shall be studio units

REQUIRED UNIT MIX FOR 26 TOTAL TIER 2 UNITS:

26 UNITS X .15 = MINIMUM (4) 3BR UNITS REQUIRED
26 UNITS X .20 = MINIMUM (5) 2 BR UNITS REQUIRED
26 UNITS X .15 = MAXIMUM (4) STUDIO UNITS ALLOWED

UNIT COUNT		
UNIT TYPE	QTY	PERCENTAGE
1 BR	16	61.5%
2 BR	6	23.0%
3 BR	4	15.4%
SRO	94	
TOTAL: 120		120

PROJECT INFORMATION

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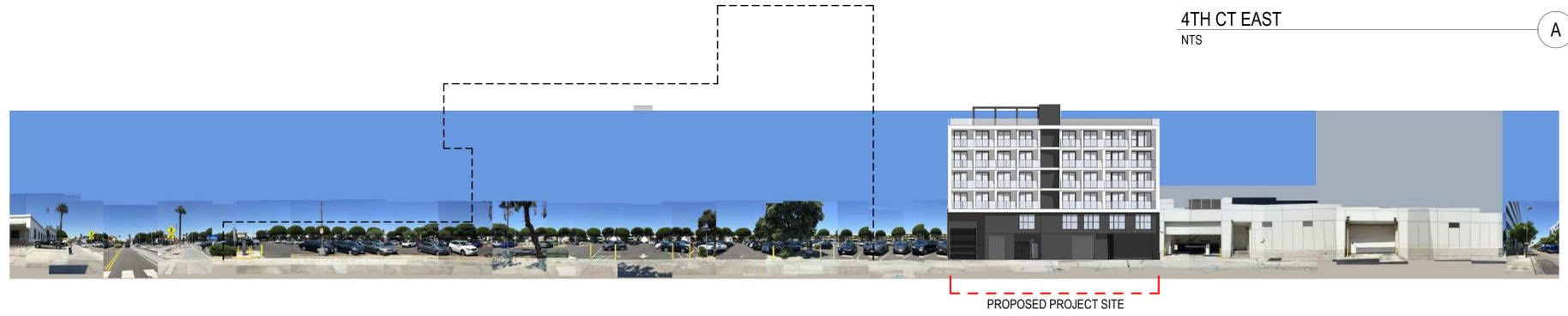
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4TH CT EAST
NTS (A)



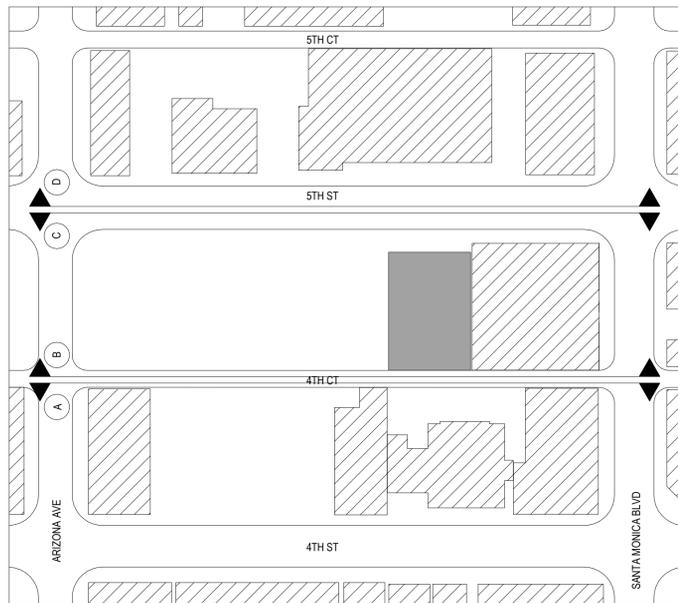
4TH CT WEST
NTS (B)



5TH STREET EAST
NTS (C)

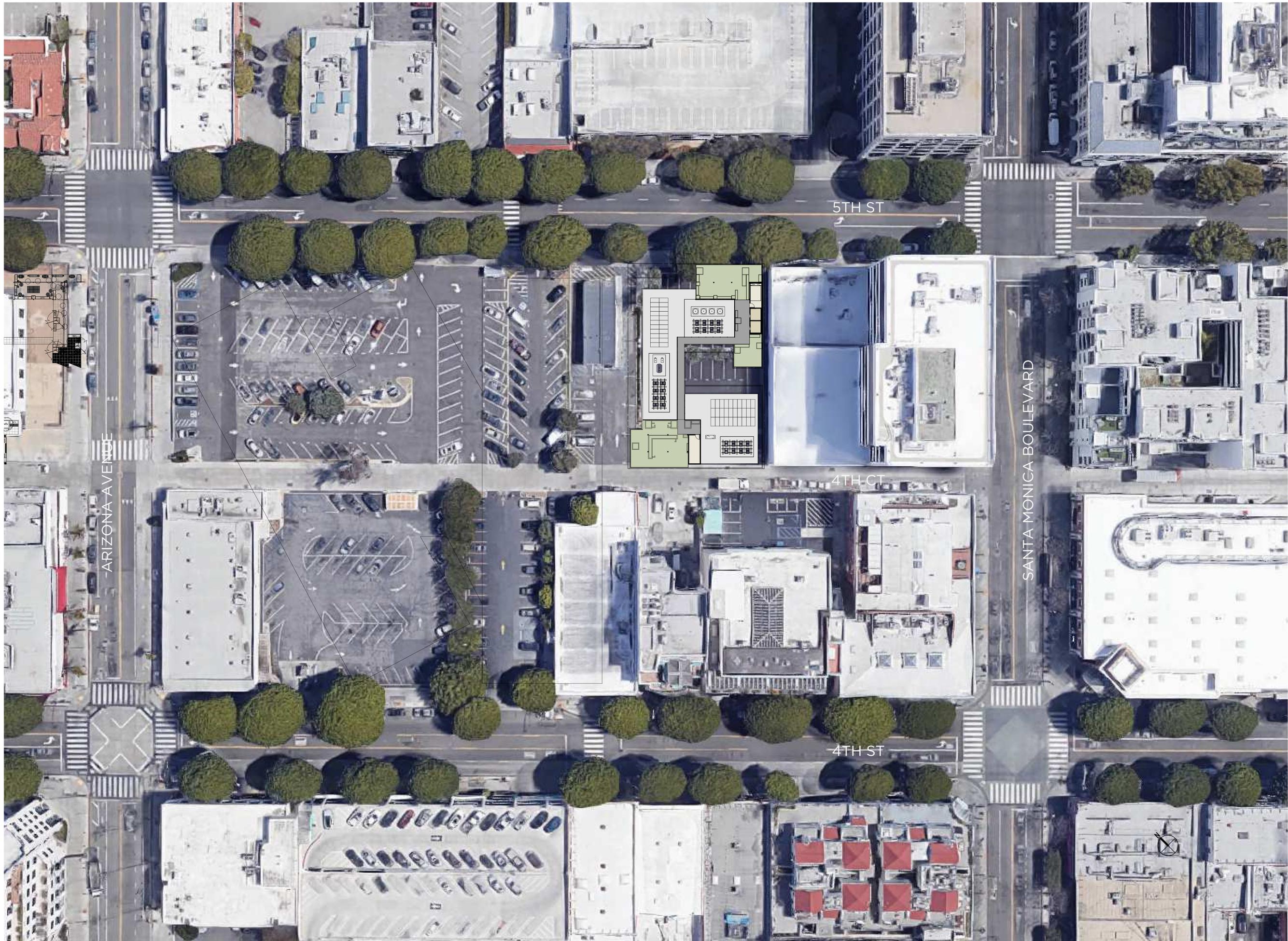


5TH STREET WEST
NTS (D)



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AERIAL VIEW

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1323 5TH STREET

- ANGLED, PROJECTING BALCONIES
- VERTICALS WITH RIDGED ARTICULATION
- CABLE RAILINGS



NEIGHBORHOOD CONTEXT

- HEAVY HORIZONTAL BANDING
- HIGH CONTRAST FACADES
- LARGE, BOLD, COMMERCIAL FORMS



SANTA MONICA POST OFFICE

- HEAVY VERTICAL PILASTERS
- RIDGED ARTICULATION
- REGULAR RHYTHM



1338 5TH STREET

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SANTA MONICA, CA 90401



THE PLAZA AT SANTA MONICA

- HEAVY HORIZONTAL BANDING
- ANGLED MASSING

SHEET
CONTEXT

SCALE

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FAR

SITE AREA: 14,985 SF
 ALLOWABLE FAR PER DCP NEIGHBORHOOD VILLAGE, TIER 3: 3.5 : 1
 ALLOWABLE FLOOR AREA: 14,985 SF X 3.5 = 52,447 SF
 TIER 1 SRO FAR ALLOWED: 2.25 FAR = 14,985 X 2.25 = 33,716 SF

FLOOR AREA		
LEVEL	TYPE	AREA (SF)
COMMERCIAL		
1ST FLOOR	COMMERCIAL	2725
COMMERCIAL		2725
RESIDENTIAL COMMON		
1ST FLOOR	RESIDENTIAL COMMON	2291
2ND FLOOR	RESIDENTIAL COMMON	317
3RD FLOOR	RESIDENTIAL COMMON	317
RESIDENTIAL COMMON		2925
TIER 1 SRO		
1ST FLOOR	TIER 1 SRO	1953
2ND FLOOR	TIER 1 SRO	5414
3RD FLOOR	TIER 1 SRO	5430
4TH FLOOR	TIER 1 SRO	5747
5TH FLOOR	TIER 1 SRO	5742
6TH FLOOR	TIER 1 SRO	5745
TIER 1 SRO		30031
TIER 2 RESIDENTIAL		
1ST FLOOR	TIER 2 RESIDENTIAL	1142
2ND FLOOR	TIER 2 RESIDENTIAL	2845
3RD FLOOR	TIER 2 RESIDENTIAL	3170
4TH FLOOR	TIER 2 RESIDENTIAL	3201
5TH FLOOR	TIER 2 RESIDENTIAL	3201
6TH FLOOR	TIER 2 RESIDENTIAL	3196
TIER 2 RESIDENTIAL		16755
GRAND TOTAL		52436

64.2% TIER 1 SRO FLOOR AREA
 (TIER 1 SRO FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
 (30,031 SF / 46,786 SF)

35.8% TIER 2 FLOOR AREA
 (TIER 2 FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
 (16,755 SF / 46,786 SF)

PROVIDED FLOOR AREA: TOTAL BUILDING AREA / SITE AREA = 52,436 / 14,985 = 3.50

COMMERCIAL AREA / TOTAL BLDG AREA = 2,725 / 52,436 = 5.2%

PROVIDED TIER 1 SRO FAR: (TIER 1 FLOOR AREA + TIER 1 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (30,031 SF + 64.2% (2,725 SF + 2,925 SF)) / 14,985 SF = 33,638 SF = 2.25

PROVIDED TIER 2 RESIDENTIAL FAR: (TIER 2 FLOOR AREA + TIER 3 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (16,755 SF + 35.8% (2,725 SF + 2,925 SF)) / 14,985 SF = 18,778 SF = 1.25

- COMMERCIAL
- RESIDENTIAL COMMON
- TIER 1 SRO
- TIER 2 RESIDENTIAL



FAR CALCULATIONS

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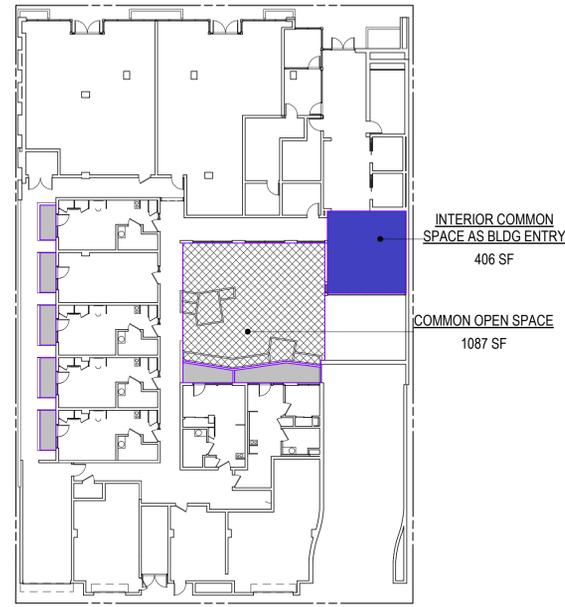
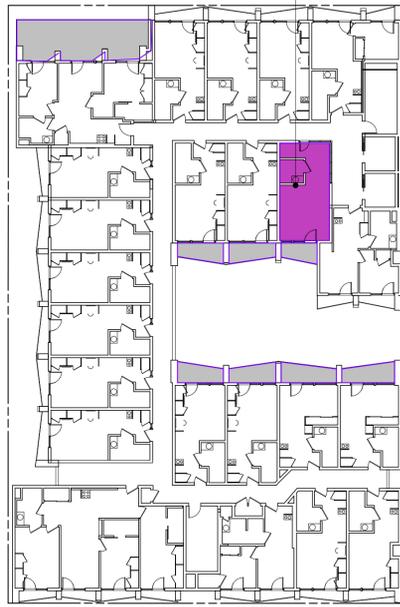
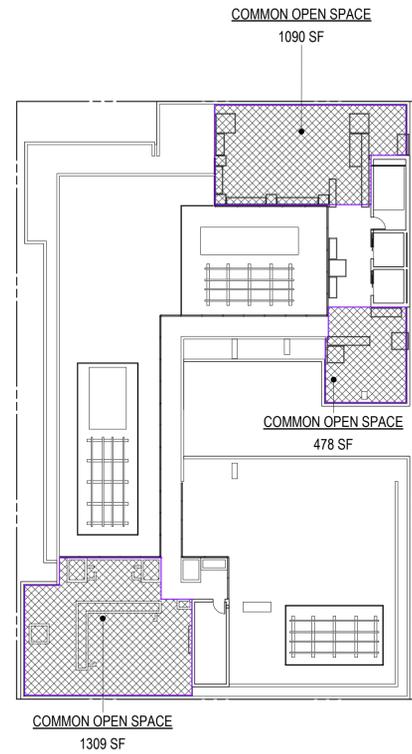
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OPEN SPACE

OPEN SPACE REQUIREMENTS PER DCP:

20% OF TOTAL BUILDABLE AREA = 14,985 SF X .20 = 2,997 SF

OPEN SPACE REQUIREMENTS PER IZO 2609 FOR TIER 1 SRO :

10 SF / LIVING AREA = 10 SF X 94 = 940 SF

AT LEAST 400 SF IN INTERIOR COMMON SPACE AT GROUND FLOOR ENTRY AREA

200 SF OF INTERIOR COMMON AREA PER FLOOR ABOVE GROUND FLOOR LEVEL.

*OPEN SPACE PROVIDED TO SATISFY DCP STANDARDS MAY ALSO BE USED TO SATISFY ANY AND ALL COMMON AREA REQUIREMENTS FOR THE TIER 1 SRO INCREMENT AS REQUIRED UNDER IZO NO. 2609.

OPEN SPACE PROVIDED

NAME	LEVEL	QTY	AREA
COMMON OPEN SPACE	1ST FLOOR	1	1087 SF
COMMON OPEN SPACE	ROOF	3	2876 SF
COMMON OPEN SPACE			3963 SF
PRIVATE OPEN SPACE	1ST FLOOR	7	338 SF
PRIVATE OPEN SPACE	2ND FLOOR	3	141 SF
PRIVATE OPEN SPACE	3RD FLOOR	8	696 SF
PRIVATE OPEN SPACE	4TH FLOOR	7	359 SF
PRIVATE OPEN SPACE	5TH FLOOR	7	361 SF
PRIVATE OPEN SPACE	6TH FLOOR	7	359 SF
PRIVATE OPEN SPACE			2254 SF
GRAND TOTAL			6217 SF

NOTE:
10% LOCATED AT GROUND FLOOR OR AT PODIUM 1 OR 2 LEVELS ABOVE GROUND AND 10% WITHOUT REGULATED LOCATIONS

14,985 SF X .10 = 1,499 SF REQ'D OPEN SPACE AT LEVEL 1 OR 2

1,087 SF + 338 SF + 141 SF = 1,566 SF OPEN SPACE PROVIDED AT LEVELS 1-2

COMMON SPACE PROVIDED - TIER 1 SRO

NAME	LEVEL	QTY	AREA
INTERIOR COMMON AREA	2ND FLOOR	1	305 SF
INTERIOR COMMON AREA	3RD FLOOR	1	305 SF
INTERIOR COMMON AREA			610 SF
INTERIOR COMMON SPACE AS BLDG ENTRY	1ST FLOOR	1	406 SF
INTERIOR COMMON SPACE AS BLDG ENTRY			406 SF
GRAND TOTAL			1016 SF

NOTE:
COMMON AREA OF THE SAME SIZE (200 SF) DEDICATED FOR SUCH ACTIVITIES PROVIDED ON THE ROOF SHALL SATISFY THE REQUIREMENT FOR ONE INDIVIDUAL FLOOR IN A STRUCTURE. COMMON AREA ON THE ROOF SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF MUNICIPAL CODE.

- PRIVATE OPEN SPACE
- COMMON OPEN SPACE
- INTERIOR COMMON AREA
- INTERIOR COMMON SPACE AS BLDG ENTRY

ROOF PLAN
3/64" = 1'-0"

18

5TH FLOOR
3/64" = 1'-0"

14

3RD FLOOR OPEN SPACE PLAN
3/64" = 1'-0"

10

1ST FLOOR OPEN SPACE PLAN
3/64" = 1'-0"

6



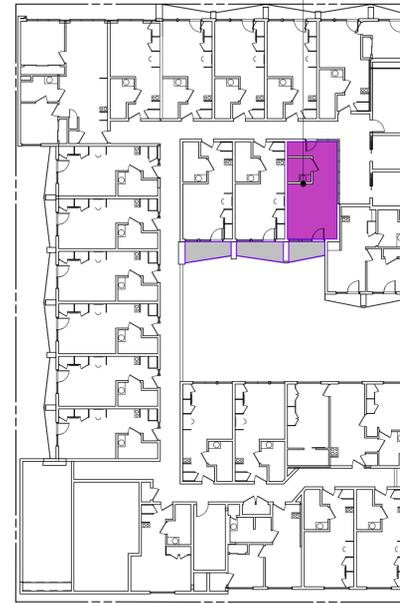
6TH FLOOR
3/64" = 1'-0"

16



4TH FLOOR OPEN SPACE PLAN
3/64" = 1'-0"

12



2ND FLOOR OPEN SPACE PLAN
3/64" = 1'-0"

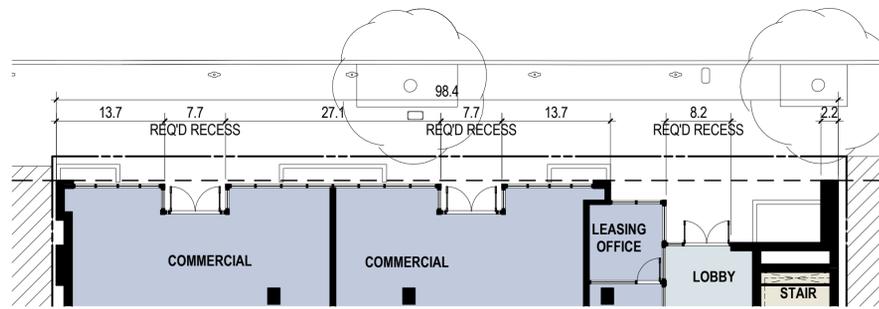
8

SHEET
**OPEN SPACE
CALCULATIONS**

SCALE
As indicated
DATE
07.06.20

SHEET
G030

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BUILD-TO LINE

BUILDINGS WITH NONRESIDENTIAL USES ON THE GROUND FLOOR AND NOT FACING A RESIDENTIAL DISTRICT SHALL BE CONSTRUCTED AT THE BUILDING FRONTAGE LINE FOR 70 PERCENT OF LINEAR STREET FRONTAGE. BUILDING ENTRIES REQUIRED TO BE RECESSED DUE TO TECHNICAL CODES MAY BE COUNTED TOWARDS THIS REQUIREMENT. THIS REQUIREMENT MAY MODIFIED UPON FINDING THAT:

- A. AN ALTERNATIVE CONFIGURATION CAN BE APPROVED BASED ON THE FINDINGS IN CHAPTER 9.43.020, MINOR MODIFICATIONS.
- B. THE ALTERNATIVE CONFIGURATION MEETS THE OBJECTIVES OF THE DCP DESIGN GUIDELINES.
- C. ENTRY COURTYARDS, PLAZAS, SMALL PARKS, ENTRIES, OUTDOOR EATING AND DISPLAY AREAS, OR OTHER UNCOVERED AREAS DESIGNED AND ACCESSIBLE FOR PUBLIC USE ARE LOCATED BETWEEN THE BUILD-TO LINE AND BUILDING, PROVIDED THAT THE BUILDINGS ARE BUILT TO THE EDGE OF THE COURTYARD, PLAZA, SMALL PARK, OR DINING AREA; AND
- D. THE BUILDING INCORPORATES AN ALTERNATIVE ENTRANCE DESIGN THAT CREATES A PEDESTRIAN-ORIENTED ENTRY FEATURE FACING THE STREET.

TOTAL FACADE LENGTH: 98.4'
 LENGTH OF ALLOWABLE FACADE RECESSES: 7.7' + 7.7' + 8.2' = 23.6'
 LENGTH OF REMAINING FACADE: 98.4' - 23.6' = 74.8'
 LENGTH OF FACADE REQUIRED TO BE CONSTRUCTED AT BUILDING FRONTAGE LINE: 74.8' X .70 = 52.4'
 LENGTH OF FACADE PROPOSED TO BE CONSTRUCTED AT BUILD-TO LINE: 13.7' + 27.1' + 13.7 + 2.2' = 56.7'

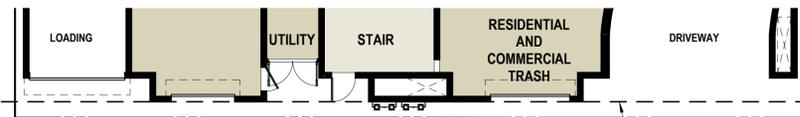
BUILD-TO-LINE

3/32" = 1'-0"

18



2ND FLOOR



1ST FLOOR



REAR SETBACKS

PER DCP 9.10.110.1.d, A MODIFICATION OF UP TO 10% OF THE REQUIRED FACADE AREA TO BE MODULATED MAY BE ALLOWED AS A MINOR MODIFICATION FOLLOWING THE DEVELOPMENT STANDARDS ESTABLISHED IN 9.10.060 OR SMMC CHAPTER 9.28

REQUIRED SETBACK = 2'-0" FOR FIRST 16'-0" OF BUILDING HEIGHT
 NO PROJECTION BEYOND THE REQUIRED 2'-0" REAR SETBACK LINE.

STEPBACKS - WEST ELEVATION

3/32" = 1'-0"

3

ALLOWABLE PROJECTIONS

COMBINED LENGTH OF HABITABLE AND NON-HABITABLE SPACES. THE TOTAL COMBINED LENGTH OF PROJECTIONS INTO THE BUILDING FRONTAGE LINE SHOULD NOT EXCEED 65% OF THE BUILDING FACE TO WHICH THEY ARE ATTACHED. HOWEVER, NO MORE THAN 50% OF THIS COMBINED LENGTH MAY BE HABITABLE PROJECTING SPACE.

TOTAL LENGTH OF FACADE = 97.9'
 65% ALLOWABLE PROJECTION PER FLOOR = 97.9' X .65 = 63.6'

ALLOWABLE LENGTH OF HABITABLE PROJECTION PER FLOOR = 63.6' X .5 = 31.8'

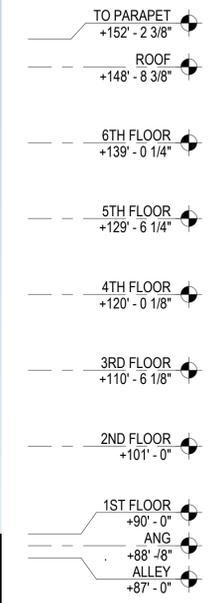


NON-HABITABLE PROJECTION

PROJECTIONS - EAST ELEVATION

3/32" = 1'-0"

1



MINIMUM 5 FEET STEPBACK AREA REQUIRED:
 15% OF THE FRONT FACADE BETWEEN ABOVE GROUND FLOOR AND 39'
 35% OF THE FRONT FACADE BETWEEN 39' AND OVERALL BUILDING HEIGHT

FACADE AREA BETWEEN 60' AND OVERALL BUILDING HEIGHT:
 97.9' X 23.2' = 2,271 SF

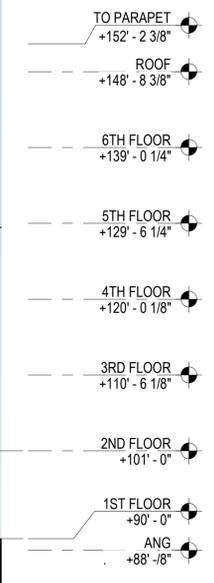
35% OF THE FRONT FACADE AREA BETWEEN 60' AND OVERALL BUILDING HEIGHT:
 2,271 SF X 0.35 = 872 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED BETWEEN 39' AND OVERALL BUILDING HEIGHT: 1,048 SF

FACADE AREA BETWEEN ABOVE GROUND FLOOR AND 39':
 97.9' X 49.0' = 2,741 SF

15% OF THE FRONT FACADE AREA BETWEEN ABOVE GROUND FLOOR AND 60':
 2,741 SF X 0.15 = 411 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED BETWEEN ABOVE GROUND FLOOR AND 39': 527 SF



STEPBACKS - EAST ELEVATION

3/32" = 1'-0"

2



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 310.399.7975

1338 5TH STREET

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 SANTA MONICA, CA 90401

BUILDING MODULATION CALCULATIONS

SCALE: As indicated
 DATE: 07.06.20

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1338 5TH STREET

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BUILDING MODULATION CALCULATIONS

SCALE:
As indicated

DATE:
07.06.20

SHEET:
G041

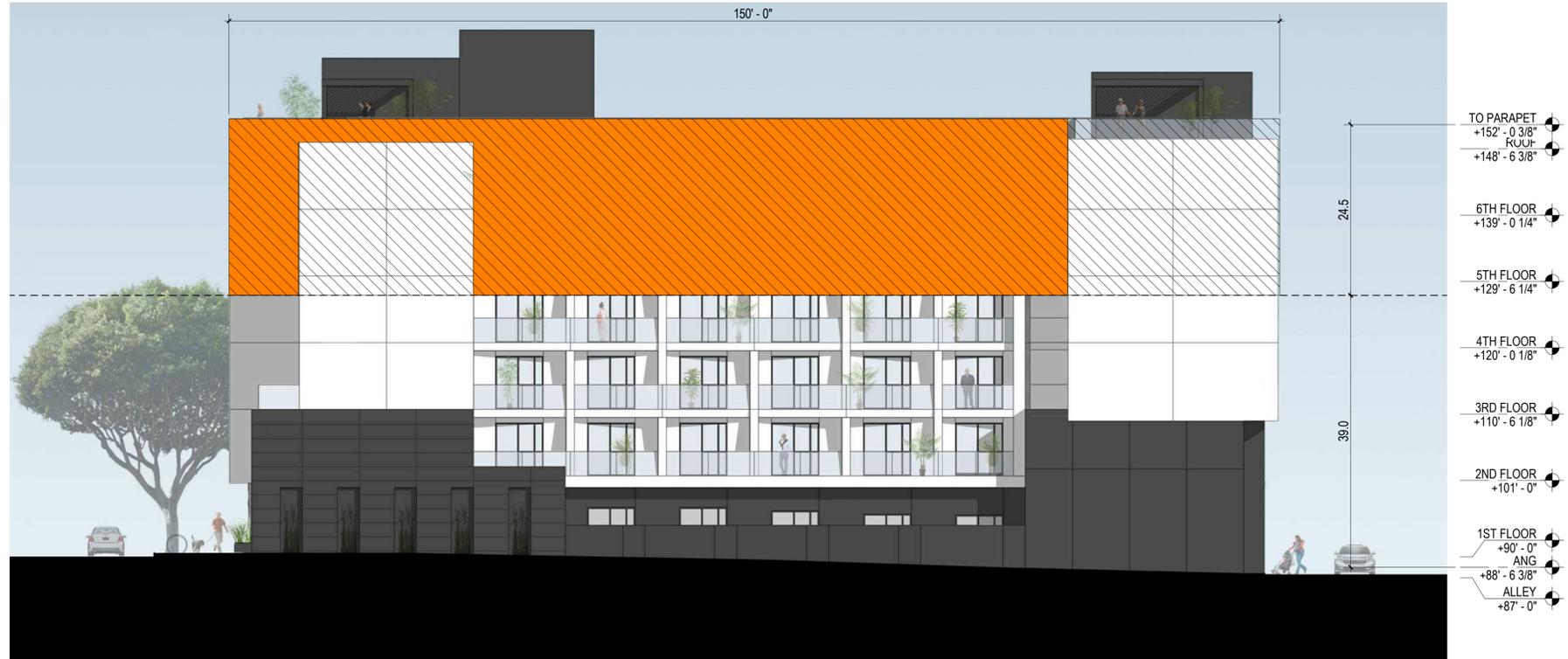
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MINIMUM 5 FEET STEPBACK AREA REQUIRED:
15% OF THE SIDE FACADE ABOVE 39 FEET HEIGHT

FACADE AREA BETWEEN 39 FEET AND OVERALL BUILDING HEIGHT:
150.0' X 24.5' = 3,730 SF

15% OF THE FRONT FACADE AREA BETWEEN 39 FEET AND OVERALL BUILDING HEIGHT:
3,730 X 0.15 = 560 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED ABOVE 39 FEET: 2,507 SF



STEPBACKS - NORTH ELEVATION
3/32" = 1'-0"

1

MINIMUM 5 FEET STEPBACK AREA REQUIRED:
15% OF THE SIDE FACADE ABOVE 39 FEET HEIGHT

FACADE AREA BETWEEN 39 FEET AND OVERALL BUILDING HEIGHT:
150.0' X 24.53' = 3,730 SF

15% OF THE FRONT FACADE AREA BETWEEN 39 FEET AND OVERALL BUILDING HEIGHT:
3,730 X 0.15 = 560 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED ABOVE 39 FEET: 325 SF

TOTAL 12 INCH STEPBACK AREA PROVIDED ABOVE 39 FEET = 100% = 3,730 SF

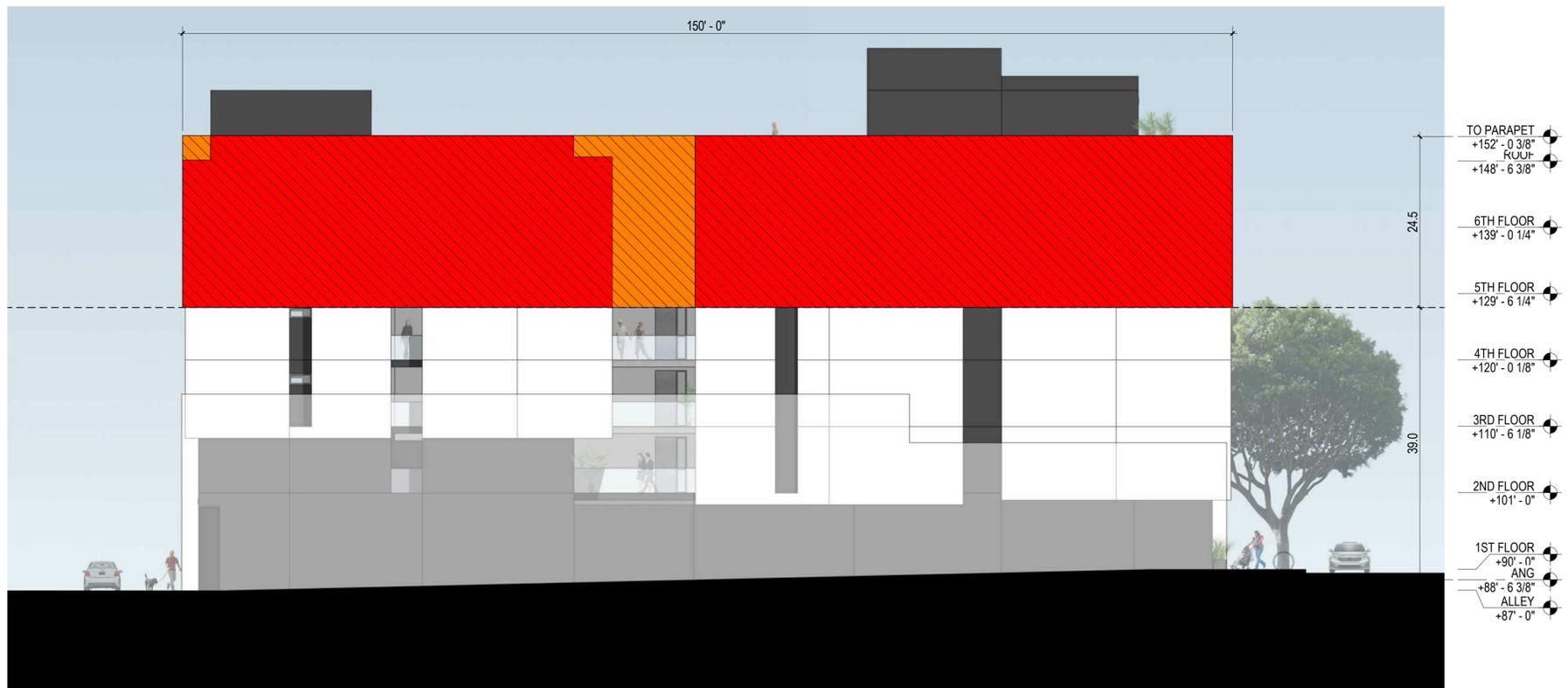
NOTE:

IN ORDER TO PROVIDE FLEXIBILITY FOR COMPLIANCE WITH THE SIDE INTERIOR STEPBACK REQUIREMENTS IS SUBSECTION C(5), IN ALL DISTRICTS THE SIDE INTERIOR STEPBACK MAY BE REDUCED TO 12" PROVIDED THAT THE OPEN SPACE REQUIREMENTS ESTABLISHED IN 9.10.060 B(1) ARE INCREASED TO THE FOLLOWING:

LOT WIDTH BETWEEN 51 AND 150 FEET: 25% TOTAL

OPEN SPACE PER SHEET G030:
REQUIRED OPEN SPACE = 2,997 SF
REQUIRED OPEN SPACE FOR USE OF ALTERNATIVE SIDE STEPBACK = 2,997 X 1.25 = 3,746 SF
PROVIDED OPEN SPACE = 6,217 SF

-  FACADE AREA BETWEEN 39' AND OVERALL BUILDING HEIGHT
-  PROVIDED 5 FEET STEPBACK AREA
-  PROVIDED 12 INCH STEPBACK AREA



STEPBACKS - SOUTH ELEVATION
3/32" = 1'-0"

2



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1338 5TH STREET

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PRELIMINARY TITLE REPORT

PRELIMINARY TITLE REPORT NO. 09171248-917-BLB-KRE, OCTOBER 19, 2017, PREPARED BY COMMONWEALTH LAND TITLE COMPANY, 888 S. FIGUEROA AVE., SUITE 2100, LOS ANGELES, CA 90071, WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

OWNER
TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:
THE CITY OF SANTA MONICA, A MUNICIPAL CORPORATION

BASIS OF BEARINGS
THE BEARING N 44°09'19"W OF THE CENTERLINE OF 5TH STREET AS SHOWN ON PWF# 1113 PAGE 367, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS SURVEY.

BENCHMARK # 201
P.K. NAIL IN LEAD NORTH CURB RETURN OF BROADWAY AND 7TH STREET 15.0 FEET NORTHEAST OF NORTHEAST CURB OF 7TH STREET 1.0 FOOT NORTHWEST OF NORTHWEST CURB OF BROADWAY.

ELEVATION = 89.445 FEET

FLOOD HAZARD STATEMENT

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 0603701500P DATED SEPTEMBER 26, 2008, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT "H" IN BLOCK 145 OF THE TOWN OF SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 80 AND 81 AND IN BOOK 39, PAGE 45, ET SEQ. MISCELLANEOUS RECORDS OF SAID COUNTY.

PARCEL 2:
LOT "I" IN BLOCK 145 OF THE TOWN OF SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 80 AND 81 AND IN BOOK 39, PAGE 45, ET SEQ. MISCELLANEOUS RECORDS OF SAID COUNTY.

APN(s): 4291-011-906 & 4291-011-907

ITEM NO. SUMMARY OF EXCEPTIONS (NOT SHOWN ON THIS SURVEY)

ITEM NO.	SUMMARY OF EXCEPTIONS (NOT SHOWN ON THIS SURVEY)	NOT PLOTTABLE
A AND B	TAX MATTERS, ASSESSMENTS (IF ANY) AND LENS (IF ANY)	NOT PLOTTABLE
1	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS	NOT PLOTTABLE
2	MATTERS CONTAINED IN DOCUMENT ENTITLED "COVENANT AND AGREEMENT" REC. OCTOBER 7, 1980 AS INSTRUMENT NO. 80-298332.019 (SEE SURVEYOR'S NOTE ON SET/LINE OF PARCEL 2)	AFFECTS PARCEL 2
3	ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS	NOT PLOTTABLE
4	DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS	NOT PLOTTABLE
5	ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT	NOT PLOTTABLE
6	MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF	NOT PLOTTABLE
7	PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.	NOT PLOTTABLE

SURVEYOR'S NOTES:

- THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THAT THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON THE LAND ADJUTING SAID PROPERTY EXCEPT AS SHOWN HEREON.
- THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH LAWS REGULATING SURVEYING IN THE STATE OF CALIFORNIA
- EXCEPT AS SHOWN, ALL VISIBLE UTILITIES SERVING THE SUBJECT PROPERTY ENTER THROUGH ADJOINING PUBLIC STREET(S) AND/OR RECORDED PUBLIC UTILITY EASEMENT(S).

WETLANDS STATEMENT

THERE DOES NOT APPEAR TO BE ANY WETLANDS ON THE SUBJECT PROPERTY. HOWEVER, THE UNDERSIGNED IS NOT AN AUTHORITY ON SUCH MATTERS AND WILL DEFER TO AN EXPERT IF AN OFFICIAL STATEMENT IS REQUIRED.

ZONING DESIGNATION

C3C (CITY OF SANTA MONICA)

NOTE: NO ZONING REPORT PROVIDED BY CLIENT

AREA

14,985 SQ. FT.

0.344 ACRES

PARKING SUMMARY

STANDARD 10

COMPACT 0

HANDICAPPED 0

TOTAL 10

ADDITIONAL SURVEYOR'S OBSERVATIONS

- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

SURVEYOR'S CERTIFICATE

TO: 1338 5th STREET, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
COMMONWEALTH LAND TITLE COMPANY, A CALIFORNIA CORPORATION
HANKEY CAPITAL, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 8, 9, 13, 14, 16, 17, AND 20 (\$1,000,000) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 11/06/17

DATE: NOVEMBER 22, 2017

Jeff S. Voorheis
JEFF S. VOORHEIS, L.S. 7570



VICINITY MAP
NOT TO SCALE

DATE	BY	DESCRIPTION
11/17/17	JV	UPDATED NEW PRELIMINARY TITLE REPORT & SITE INSPECTION

Client:
WNMS COMMUNITIES
1430 5th STREET, SUITE 102
SANTA MONICA, CA 90401
Phone:

ALTA/NPS LAND TITLE SURVEY
1342 5TH STREET
SANTA MONICA, CA 90401
DATE: 11/22/17 JOB NO. 1309M

VOORHEIS & VOORHEIS, INC.
PROFESSIONAL LAND SURVEYORS SINCE 1974
17049 Sunburst Street, Northridge, CA 91325
Phone: (818) 993-5611
mail@SurveyLA.com

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OF
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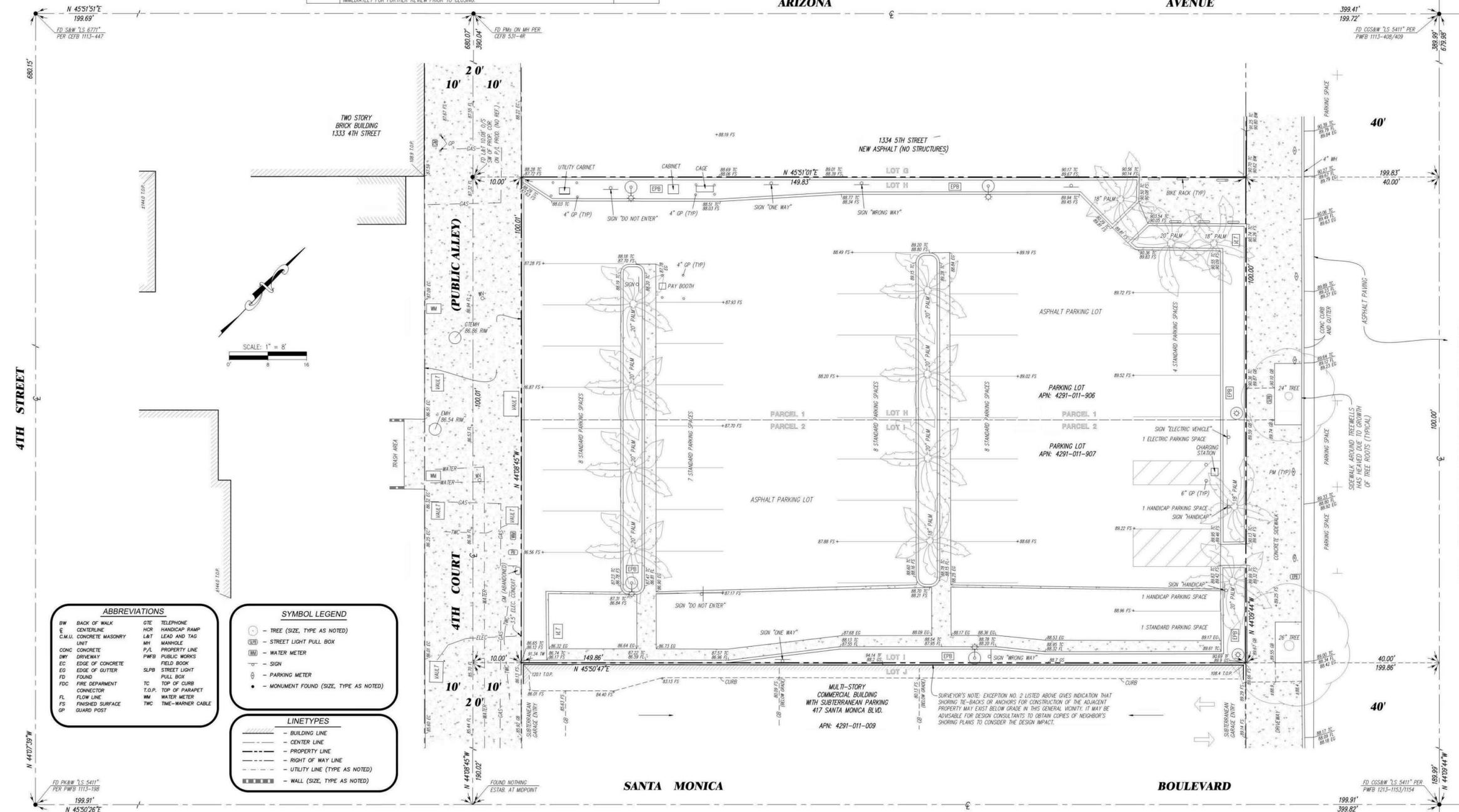
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SURVEY

SCALE

DATE
07.06.20

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ABBREVIATIONS

BW	BACK OF WALK	GTE	TELEPHONE
C	CENTRILINE	HCR	HANDICAP RAMP
C.M.U.	CONCRETE MASONRY	L&T	LEAD AND TAG
UNIT		MH	MANHOLE
CONC	CONCRETE	P/L	PROPERTY LINE
DRYV	DRIVEWAY	PWB	PUBLIC WORKS
EC	EDGE OF CONCRETE	FLD	FIELD BOOK
EG	EDGE OF GUTTER	SLPB	STREET LIGHT
FD	FOUND	PULL	PULL BOX
FDC	FIRE DEPARTMENT	TC	TOP OF CURB
CON	CONNECTOR	T.O.P.	TOP OF PARAPET
FL	FLOW LINE	WM	WATER METER
FS	FINISHED SURFACE	TWC	TIME-WARNER CABLE
GP	GUARD POST		

SYMBOL LEGEND

(Tree symbol)	TREE (SIZE, TYPE AS NOTED)
(Light symbol)	STREET LIGHT PULL BOX
(Water symbol)	WATER METER
(Sign symbol)	SIGN
(Meter symbol)	PARKING METER
(Monument symbol)	MONUMENT FOUND (SIZE, TYPE AS NOTED)

LINETYPES

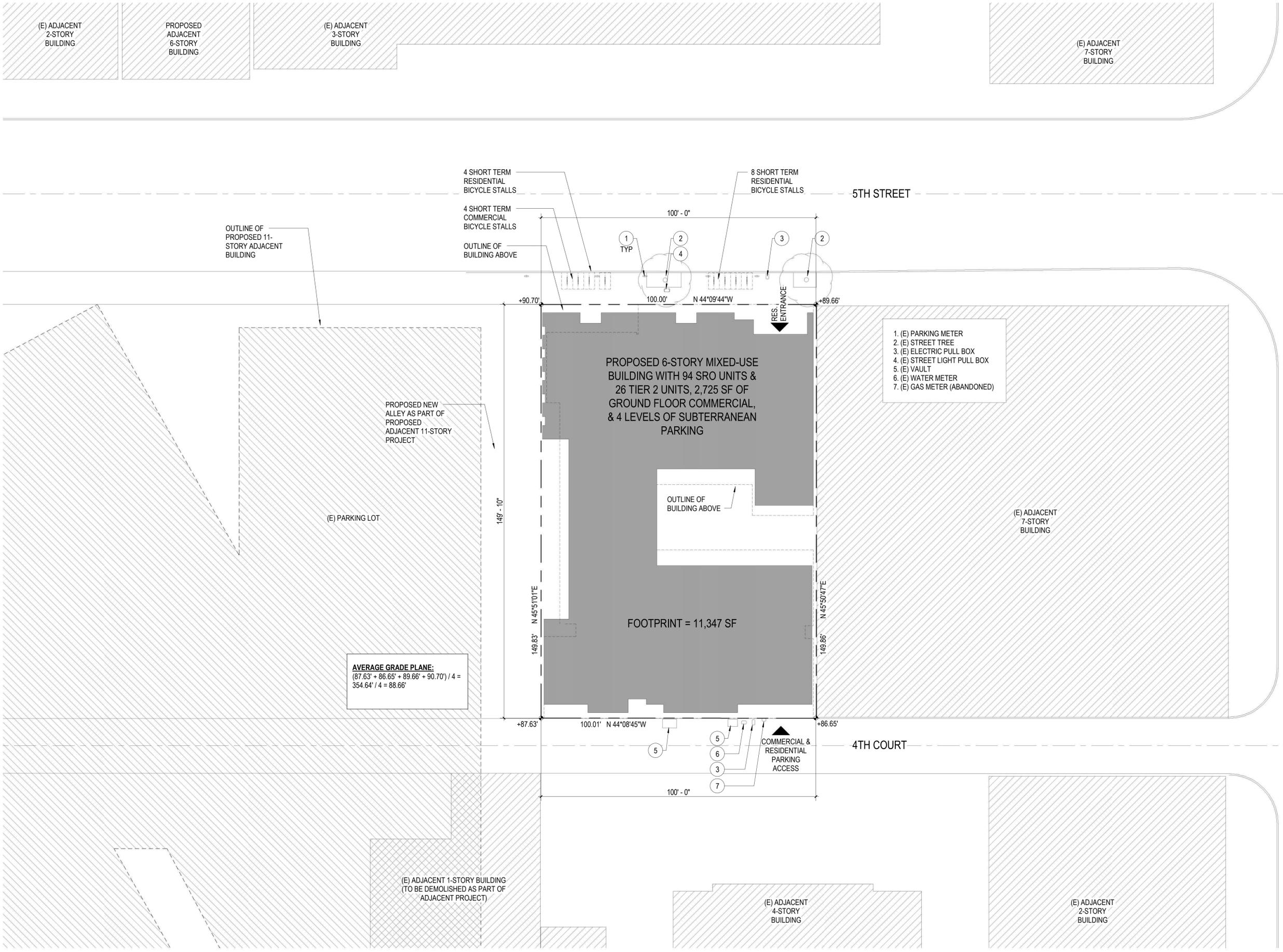
(Solid line)	BUILDING LINE
(Dashed line)	CENTER LINE
(Dotted line)	PROPERTY LINE
(Dash-dot line)	RIGHT OF WAY LINE
(Long-dash line)	UTILITY LINE (TYPE AS NOTED)
(Thick solid line)	WALL (SIZE, TYPE AS NOTED)



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- 1. (E) PARKING METER
- 2. (E) STREET TREE
- 3. (E) ELECTRIC PULL BOX
- 4. (E) STREET LIGHT PULL BOX
- 5. (E) VAULT
- 6. (E) WATER METER
- 7. (E) GAS METER (ABANDONED)

AVERAGE GRADE PLANE:
 $(87.63' + 86.65' + 89.66' + 90.70') / 4 =$
 $354.64' / 4 = 88.66'$

SITE PLAN

SCALE
1/16" = 1'-0"
DATE
07.06.20

SHEET
A000

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LEVEL P4 PLAN
1/8" = 1'-0"

1

SHEET
P4 PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20

SHEET
A100

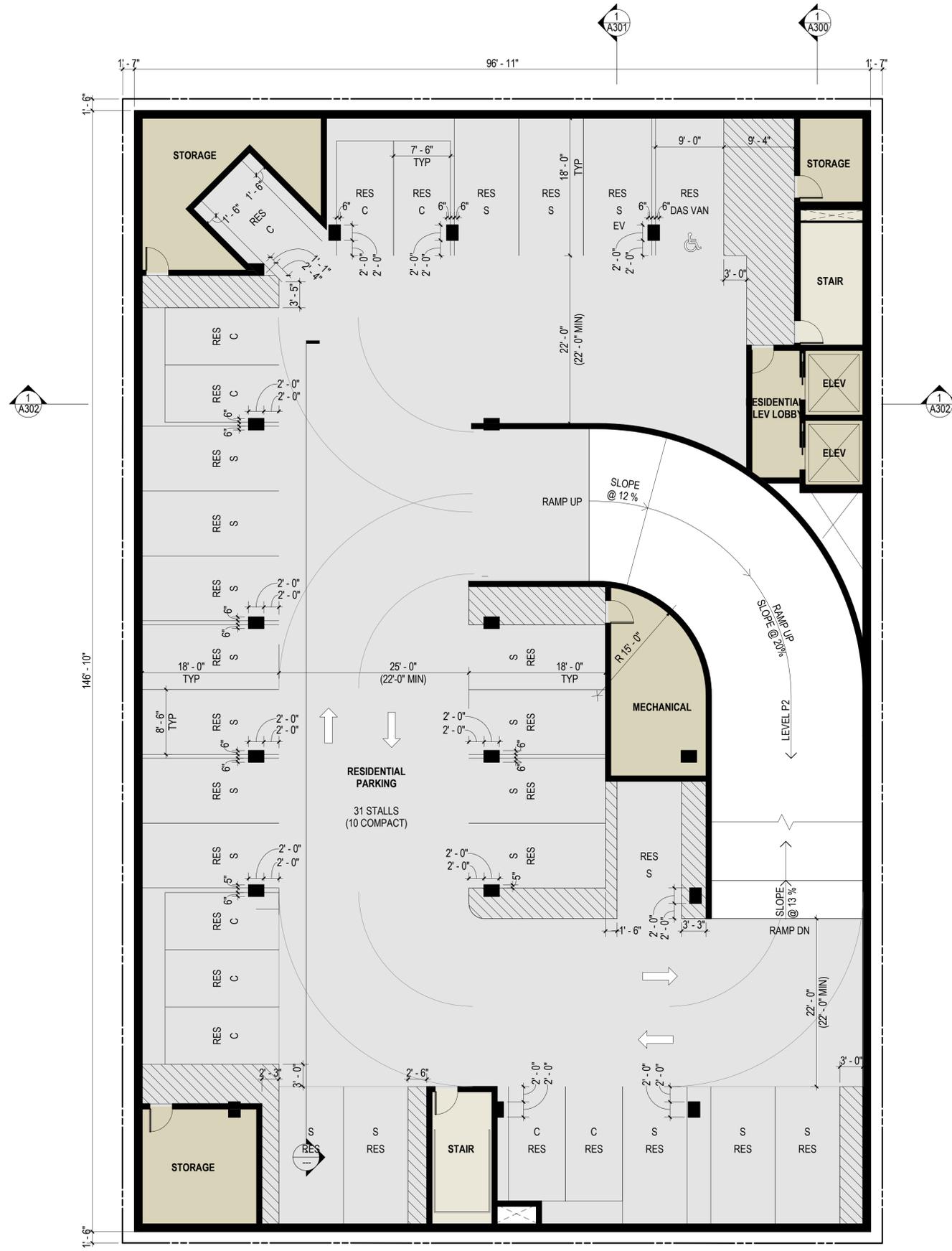
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LEVEL P3 PLAN
1/8" = 1'-0"

1

SHEET
P3 PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20

SHEET
A101

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LEVEL P2 PLAN
1/8" = 1'-0"

1

SHEET
P2 PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20

SHEET
A102

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SHEET
P1 PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20

SHEET
A103

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LEVEL P1 PLAN
1/8" = 1'-0"

1





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1338 5TH STREET

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SANTA MONICA, CA 90401

SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS

- TRASH ROOM NOTES:
1. PROVIDE CODE-REQUIRED SENSOR LIGHTING AND DRAINAGE
2. PROVIDE DIAMOND PLATE WALLS FROM 3'-0" - 6'-0" AFF AT TRASH ROOM
3. PROVIDE 10'-0" MIN CLR HEIGHT
4. OWNER UNDERSTANDS THERE WILL BE ONE COMBINED REFUSE BILL AT A HIGHER RATE FOR RESIDENTIAL AND COMMERCIAL
287 SF COMMERCIAL TRASH
287 SF RESIDENTIAL TRASH

2'-0" SETBACK FOR 1ST 16' OF BUILDING HEIGHT

5' X 5' HVO TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS OVER 24 INCHES PURSUANT TO SMMC 9.21.180



COURTYARD HEIGHT TO WIDTH RATIO
REQ'D MIN. HEIGHT TO WIDTH RATIO = 1.7 : 1
REQ'D COURTYARD WIDTH FOR 59.5' HIGH COURTYARD WALL = 59.5' / 1.7 = 35.00'
PROVIDED COURTYARD WIDTH = 35.00'
NOTE: PORTION OF COURTYARD THAT IS LESS THAN 35' MIN REQUIRED WIDTH IS EXCLUDED FROM OPEN SPACE CALCULATIONS

1ST FLOOR PLAN
1/8" = 1'-0"

1ST FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20
SHEET

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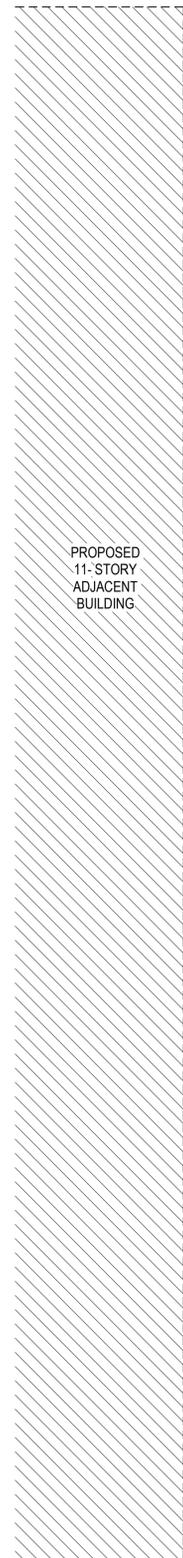
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1338 5TH STREET

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SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS



PROPOSED 11-STORY ADJACENT BUILDING



2ND FLOOR PLAN
1/8" = 1'-0"

1

2ND FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20

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1338 5TH STREET

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SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS



PROPOSED 11-STORY ADJACENT BUILDING

2 STORY PORTION OF (E) ADJACENT 7-STORY BUILDING

3RD FLOOR PLAN
1/8" = 1'-0"

1

3RD FLOOR PLAN

SCALE: 1/8" = 1'-0"
DATE: 07.06.20

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1338 5TH STREET

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SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS

PROPOSED 11-STORY ADJACENT BUILDING



4TH FLOOR PLAN
1/8" = 1'-0"

1

4TH FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20

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A140

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1338 5TH STREET

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SANTA MONICA, CA 90401

SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS

PROPOSED
11-STORY
ADJACENT
BUILDING



2 STORY
PORTION OF
(E) ADJACENT
7-STORY
BUILDING
BELOW

5TH FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20

A150

7/6/2020 11:44:04 PM

1





1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS

PROPOSED
11-STORY
ADJACENT
BUILDING

2 STORY
PORTION OF
(E) ADJACENT
7-STORY
BUILDING
BELOW



SHEET
6TH FLOOR PLAN

SCALE
1/8" = 1'-0"

DATE
07.06.20

SHEET
A160

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1



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1338 5TH STREET

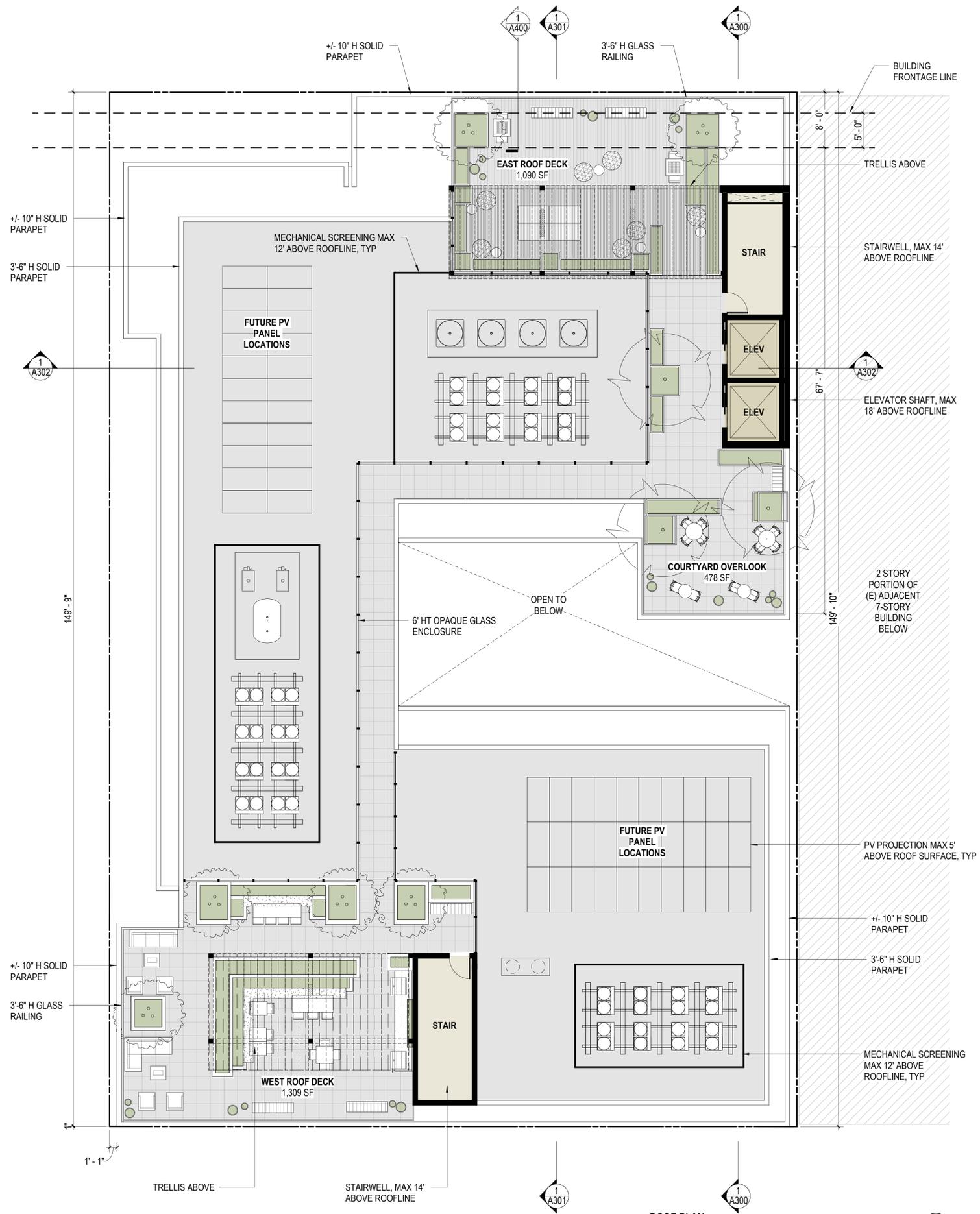
1338 5TH STREET
SANTA MONICA, CA 90401

ROOF PLAN

SCALE
1/8" = 1'-0"
DATE
07.06.20

SHEET
A170

7/6/2020 11:44:08 PM



ALLOWABLE PROJECTIONS ABOVE HEIGHT LIMITS PER TABLE 9.21.060

TOTAL ROOF AREA = 11,411 SF

15% MAX ALLOWABLE ELEVATOR SHAFTS AREA = 11,411 SF X .15 = 1,712 SF
PROVIDED ELEVATOR SHAFTS AREA = 189 SF (2%)

25% MAX ALLOWABLE STAIRWELLS AREA = 11,411 SF X .25 = 2,853 SF
PROVIDED STAIRWELLS AREA = 386 SF (3%)

30% MAX ALLOWABLE MECHANICAL SCREENED AREA = 11,411 SF X .30 = 3,423 SF
PROVIDED MECHANICAL SCREENED AREA = 2,377 SF (21%)

PHOTOVOLTAIC PANEL CALCULATIONS:

BUILDING FOOTPRINT = 11,347 SF
MIN WATT = 2 X BUILDING FOOTPRINT = 22,694 W
444 WATTS PER PANEL = 22,850 W / 444 WATTS PER PANEL = 51 REQUIRED PANELS

PROVIDED PANELS = 52

MINIMUM PANEL AREA

ROOF PLAN
1/8" = 1'-0"

1



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LEGEND

- | | | | |
|---|--|--|--|
| 1 ACRYLIC PLASTER
COLOR: WHITE
FINISH: SMOOTH | 3 ACRYLIC PLASTER
COLOR: DARK GREY
FINISH: SMOOTH | 5 CONCEALED FASTENER METAL
PANEL RAINSCREEN SYSTEM
COLOR: DARK GREY | 7 VINYL DOORS & WINDOWS
WITH CLEAR GLASS,
COLOR DARK GREY |
| 2 ACRYLIC PLASTER
COLOR: LIGHT GREY
FINISH: SMOOTH | 4 CLEAR FRAMLESS
GLASS RAILING | 6 ALUMINUM DOORS AND WINDOWS
WITH CLEAR GLASS
COLOR: DARK GREY | |

EAST ELEVATION
1/8" = 1'-0"

1

SHEET
ELEVATION

SCALE
1/8" = 1'-0"

DATE
07.06.20

SHEET
A200

7/6/2020 11:44:59 PM



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1338 5TH STREET

1338 5TH STREET
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LEGEND

- | | | | |
|---|--|--|--|
| 1 ACRYLIC PLASTER
COLOR: WHITE
FINISH: SMOOTH | 3 ACRYLIC PLASTER
COLOR: DARK GREY
FINISH: SMOOTH | 5 CONCEALED FASTENER METAL
PANEL RAINSCREEN SYSTEM
COLOR: DARK GREY | 7 VINYL DOORS & WINDOWS
WITH CLEAR GLASS,
COLOR DARK GREY |
| 2 ACRYLIC PLASTER
COLOR: LIGHT GREY
FINISH: SMOOTH | 4 CLEAR FRAMLESS
GLASS RAILING | 6 ALUMINUM DOORS AND WINDOWS
WITH CLEAR GLASS
COLOR: DARK GREY | |

NORTH ELEVATION
1/8" = 1'-0" 1

SHEET
ELEVATION

SCALE
1/8" = 1'-0"

DATE
07.06.20

SHEET
A201

7/6/2020 11:44:10 PM



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1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



LEGEND

- | | | | |
|---|--|--|--|
| 1 ACRYLIC PLASTER
COLOR: WHITE
FINISH: SMOOTH | 3 ACRYLIC PLASTER
COLOR: DARK GREY
FINISH: SMOOTH | 5 CONCEALED FASTENER METAL
PANEL RAINSCREEN SYSTEM
COLOR: DARK GREY | 7 VINYL DOORS & WINDOWS
WITH CLEAR GLASS,
COLOR DARK GREY |
| 2 ACRYLIC PLASTER
COLOR: LIGHT GREY
FINISH: SMOOTH | 4 CLEAR FRAMLESS
GLASS RAILING | 6 ALUMINUM DOORS AND WINDOWS
WITH CLEAR GLASS
COLOR: DARK GREY | |

WEST ELEVATION
1/8" = 1'-0"

1

SHEET
ELEVATION

SCALE
1/8" = 1'-0"

DATE
07.06.20

SHEET
A202

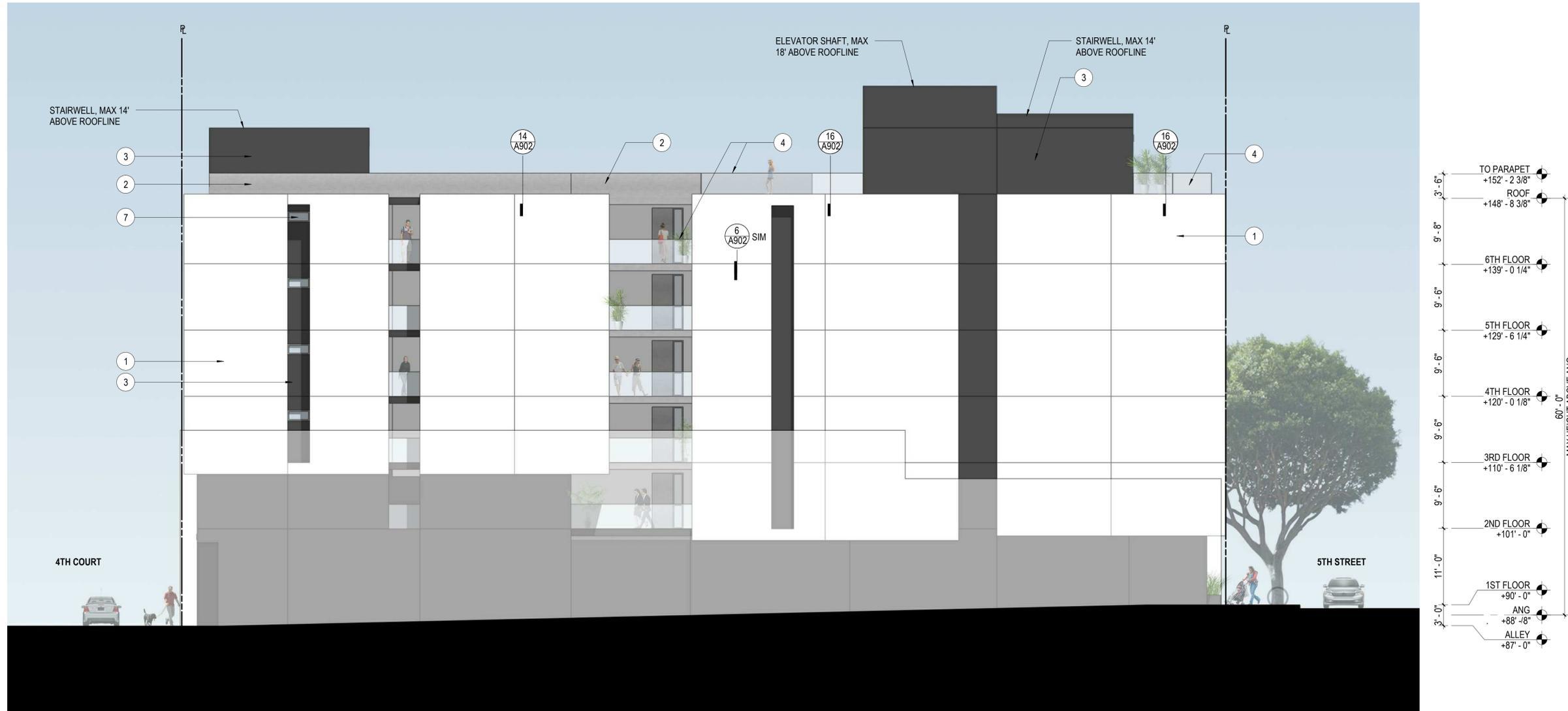
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1338 5TH STREET

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SANTA MONICA, CA 90401



LEGEND

- | | | | | | | | |
|---|--|---|---|---|---|---|---|
| 1 | ACRYLIC PLASTER
COLOR: WHITE
FINISH: SMOOTH | 3 | ACRYLIC PLASTER
COLOR: DARK GREY
FINISH: SMOOTH | 5 | CONCEALED FASTENER METAL
PANEL RAINSCREEN SYSTEM
COLOR: DARK GREY | 7 | VINYL DOORS & WINDOWS
WITH CLEAR GLASS,
COLOR DARK GREY |
| 2 | ACRYLIC PLASTER
COLOR: LIGHT GREY
FINISH: SMOOTH | 4 | CLEAR FRAMLESS
GLASS RAILING | 6 | ALUMINUM DOORS AND WINDOWS
WITH CLEAR GLASS
COLOR: DARK GREY | | |

SOUTH ELEVATION
1/8" = 1'-0"

1

SHEET
ELEVATION

SCALE
1/8" = 1'-0"

DATE
07.06.20

SHEET
A203

7/6/2020 11:44:11 PM

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



COURTYARD LOOKING WEST
1/8" = 1'-0"

3



COURTYARD LOOKING NORTH
1/8" = 1'-0"

2



COURTYARD LOOKING EAST
1/8" = 1'-0"

1

- TO PARAPET +152' - 2 3/8"
- ROOF +148' - 8 3/8"
- 9'-6"
- 6TH FLOOR +139' - 0 1/4"
- 5TH FLOOR +129' - 6 1/4"
- 4TH FLOOR +120' - 0 1/8"
- 3RD FLOOR +110' - 6 1/8"
- 2ND FLOOR +101' - 0"
- 1ST FLOOR +90' - 0"
- ANG +88' - 8"
- ALLEY +87' - 0"

LEGEND

- | | | | |
|--|---|---|---|
| 1 ACRYLIC PLASTER
COLOR: WHITE
FINISH: SMOOTH | 3 ACRYLIC PLASTER
COLOR: DARK GREY
FINISH: SMOOTH | 5 CONCEALED FASTENER METAL
PANEL RAINSCREEN SYSTEM
COLOR: DARK GREY | 7 VINYL DOORS & WINDOWS
WITH CLEAR GLASS,
COLOR DARK GREY |
| 2 ACRYLIC PLASTER
COLOR: LIGHT GREY
FINISH: SMOOTH | 4 CLEAR FRAMLESS
GLASS RAILING | 6 ALUMINUM DOORS AND WINDOWS
WITH CLEAR GLASS
COLOR: DARK GREY | |

SHEET ELEVATIONS

SCALE 1/8" = 1'-0"
DATE 07.06.20

SHEET A204



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1338 5TH STREET

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SHEET
RENDERING

SCALE

DATE
07.06.20

SHEET
A210

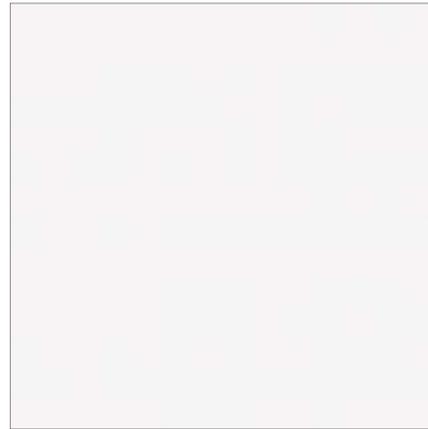
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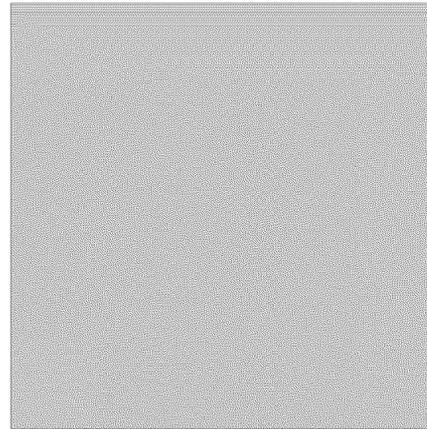
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1338 5TH STREET

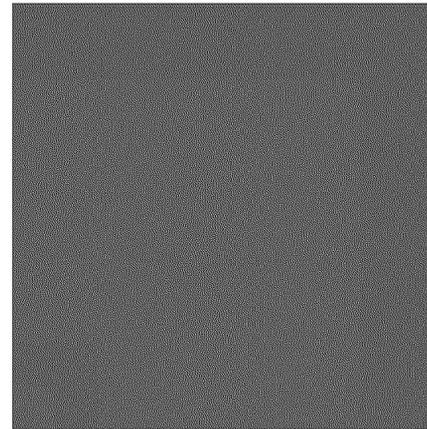
1338 5TH STREET
SANTA MONICA, CA 90401



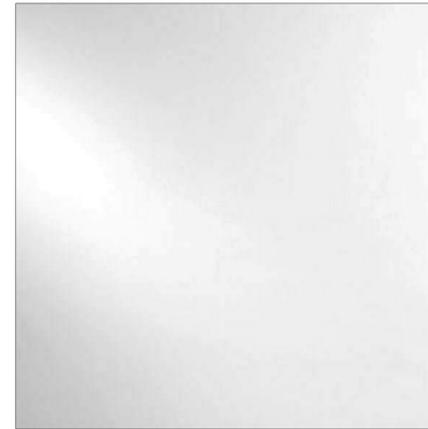
1 ACRYLIC PLASTER
COLOR: WHITE
FINISH: SMOOTH



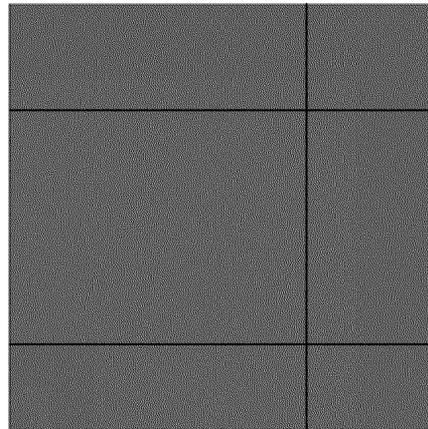
2 ACRYLIC PLASTER
COLOR: LIGHT GREY
FINISH: SMOOTH



3 ACRYLIC PLASTER
COLOR: DARK GREY
FINISH: SMOOTH



4 CLEAR GLASS FRAMELESS
RAILING



5 CONCEALED FASTENER METAL
PANEL RAINSCREEN SYSTEM
COLOR: DARK GREY



6 ALUMINUM DOORS & WINDOWS
WITH CLEAR GLASS
COLOR: DARK GREY



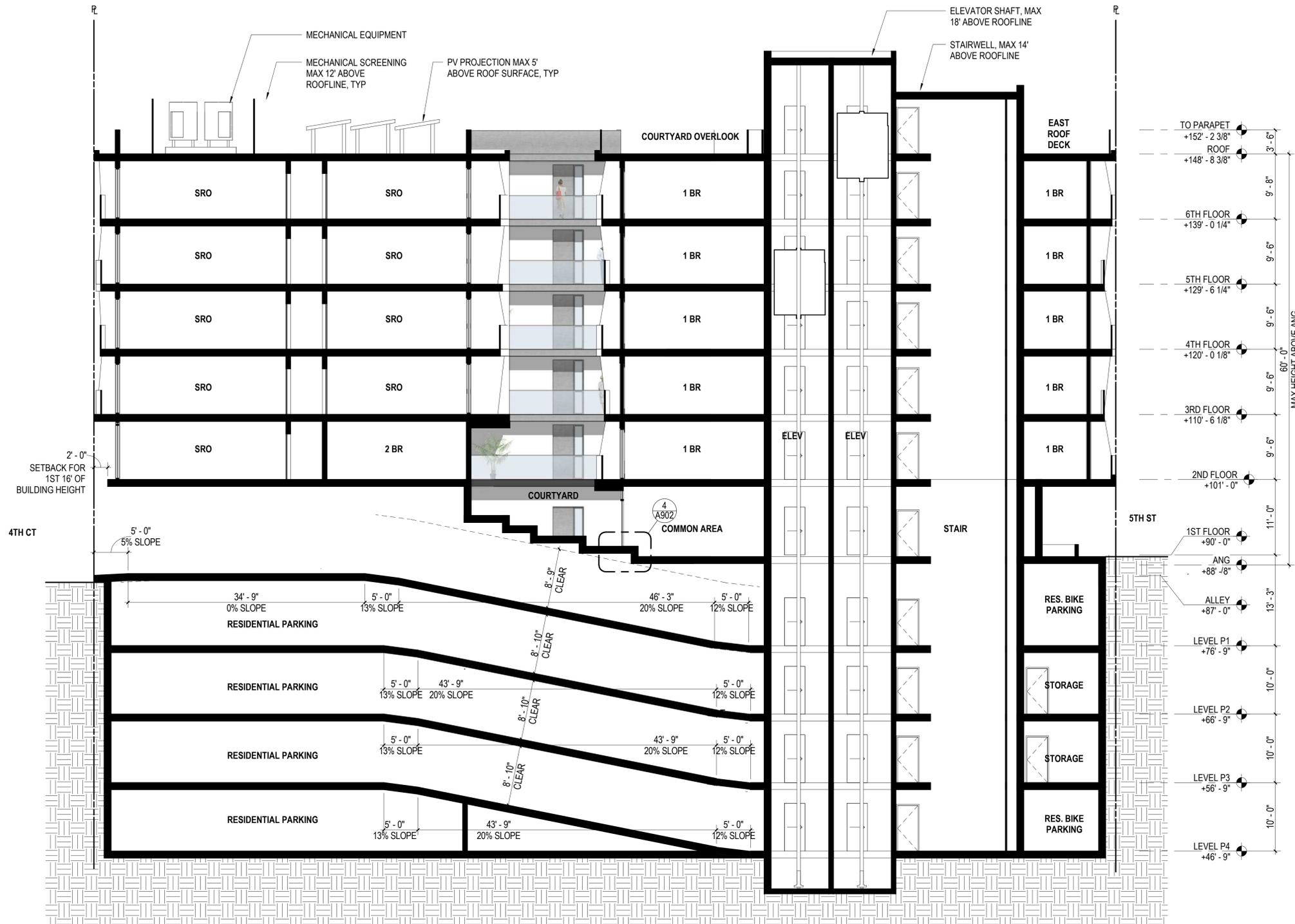
7 VINYL DOORS & WINDOWS WITH
CLEAR GLASS,
COLOR: DARK GREY



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1338 5TH STREET

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LONGITUDINAL SECTION AT PARKING RAMP
1/8" = 1'-0"

1

SHEET
BUILDING SECTION

SCALE
1/8" = 1'-0"

DATE
07.06.20

SHEET
A300

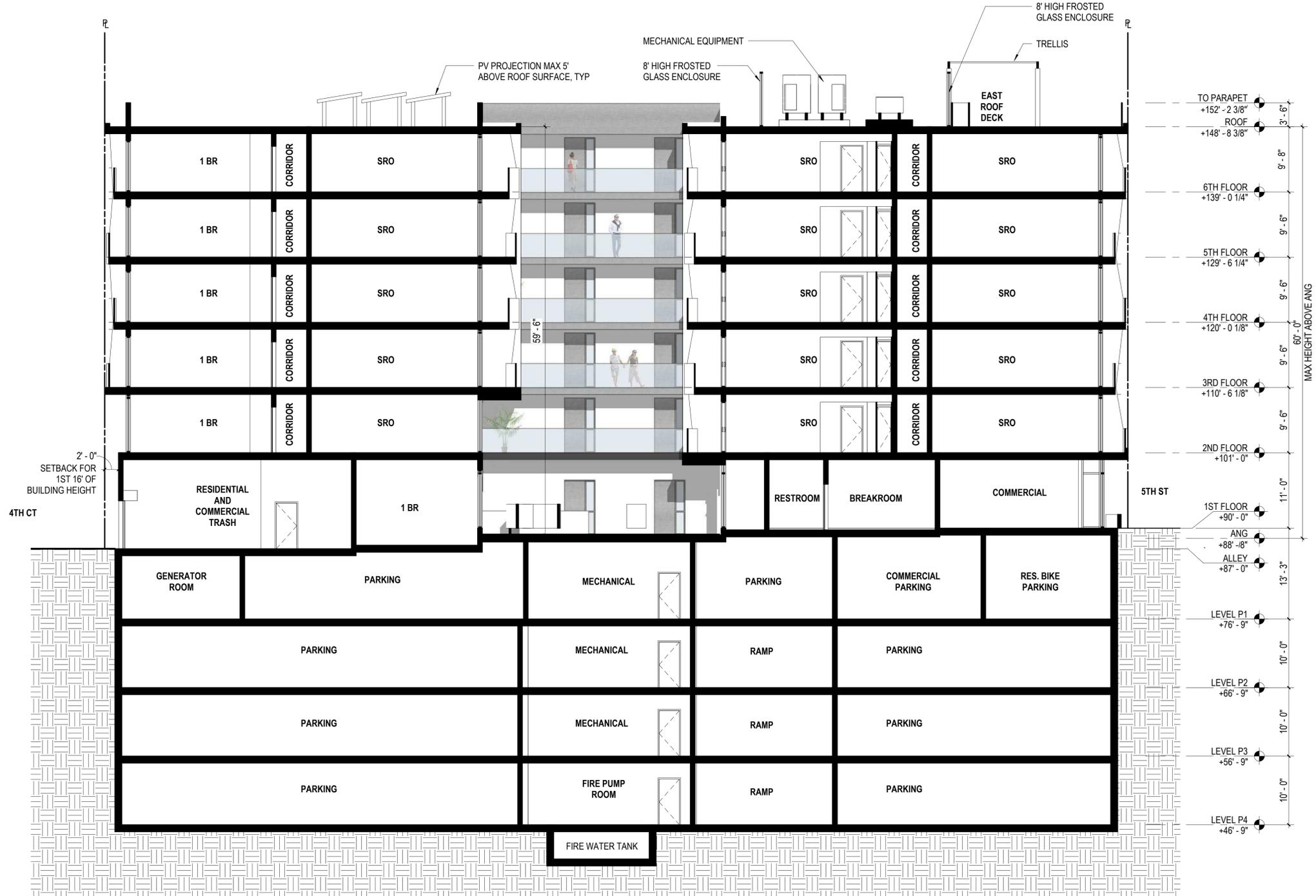
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LONGITUDIANL SECTION AT COURTYARD
1/8" = 1'-0"

1

SHEET
BUILDING SECTION

SCALE
1/8" = 1'-0"

DATE
07.06.20

SHEET
A301

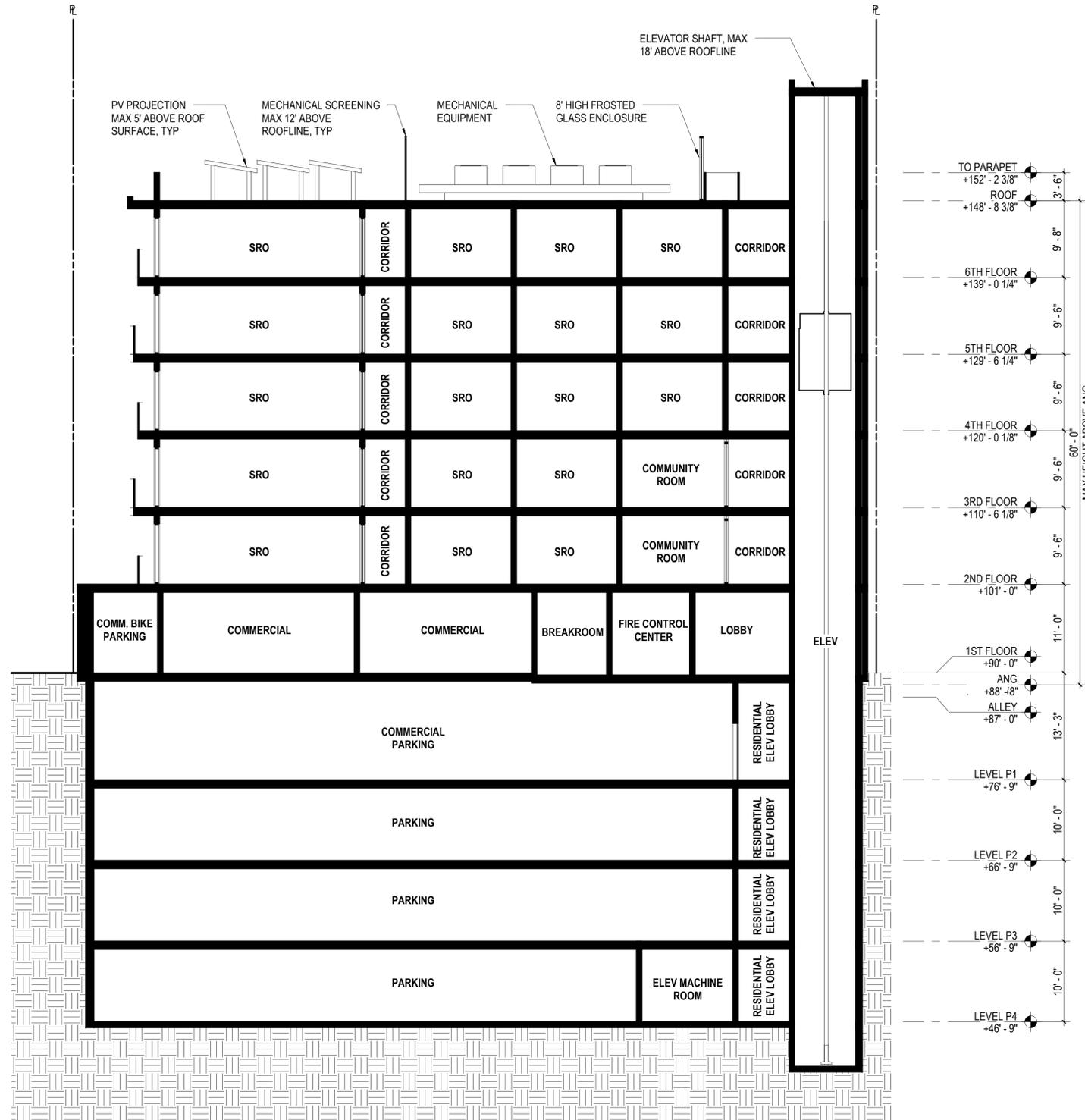
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CROSS SECTION AT COMMERCIAL
1/8" = 1'-0"

1

SHEET
BUILDING SECTION

SCALE
1/8" = 1'-0"
DATE
07.06.20

SHEET
A302

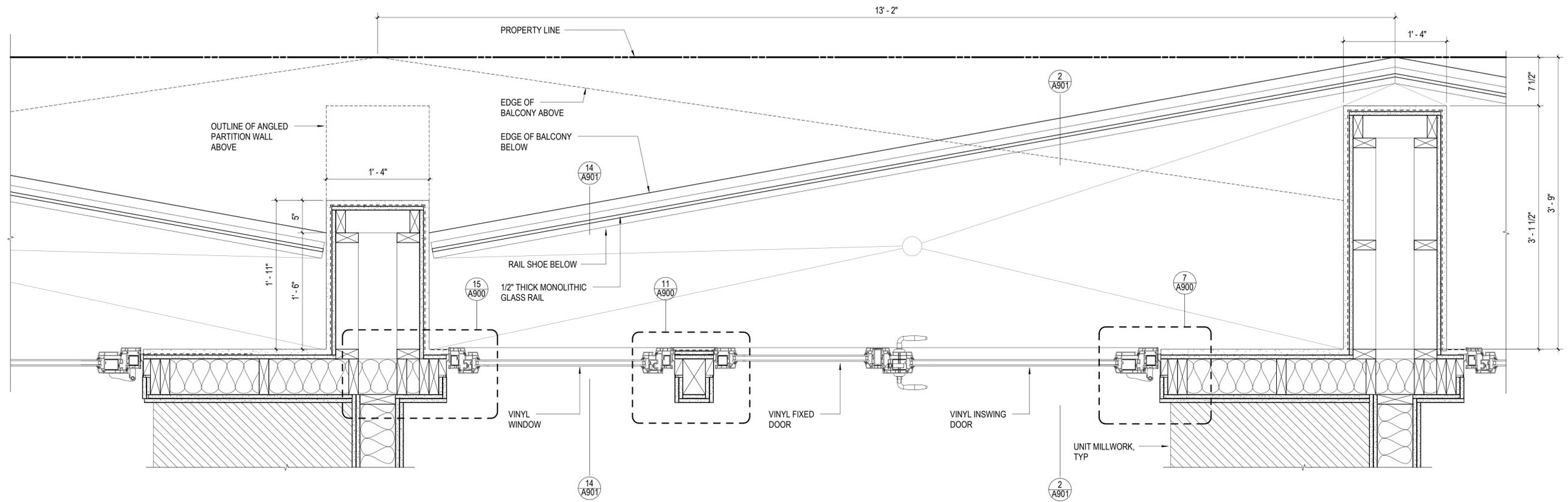
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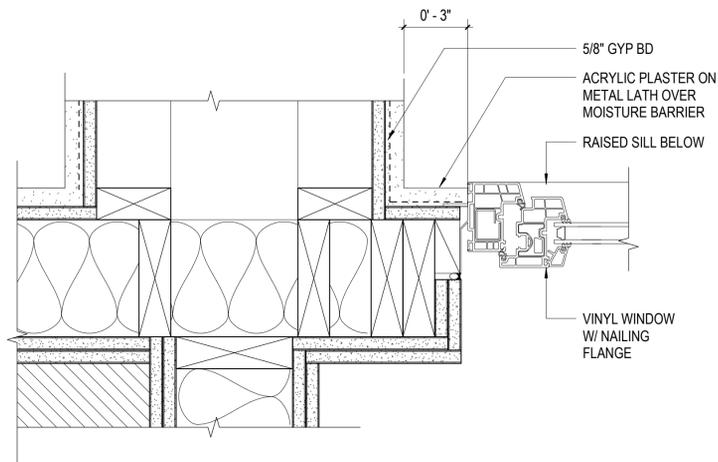
1338 5TH STREET

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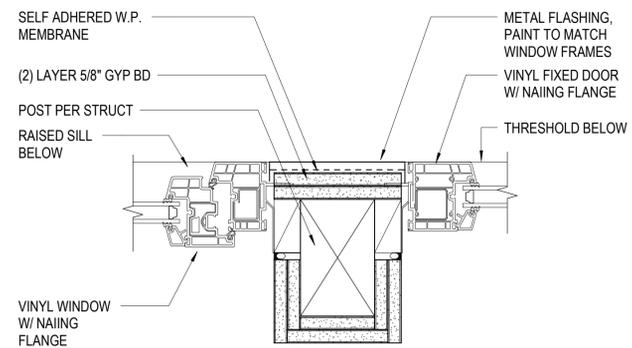
PLAN SECTION @ BALCONY, TYP
1 1/2" = 1'-0"

2



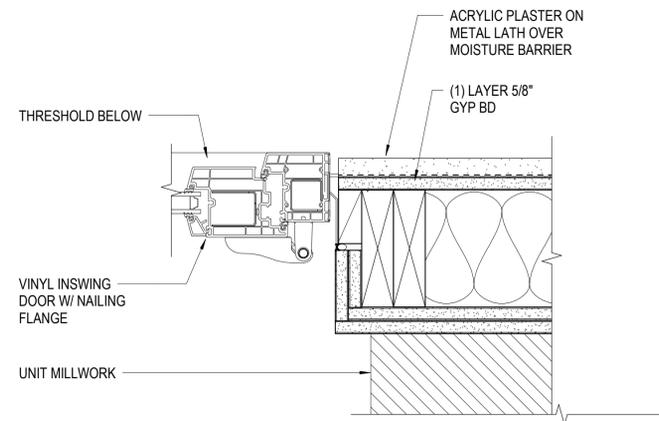
WINDOW JAMB TO VERTICAL
3" = 1'-0"

15



POST TO JAMB
3" = 1'-0"

11



DOOR JAMB TO VERTICAL
3" = 1'-0"

7

DETAILS

SCALE
As indicated
DATE
07.06.20

SHEET
A900

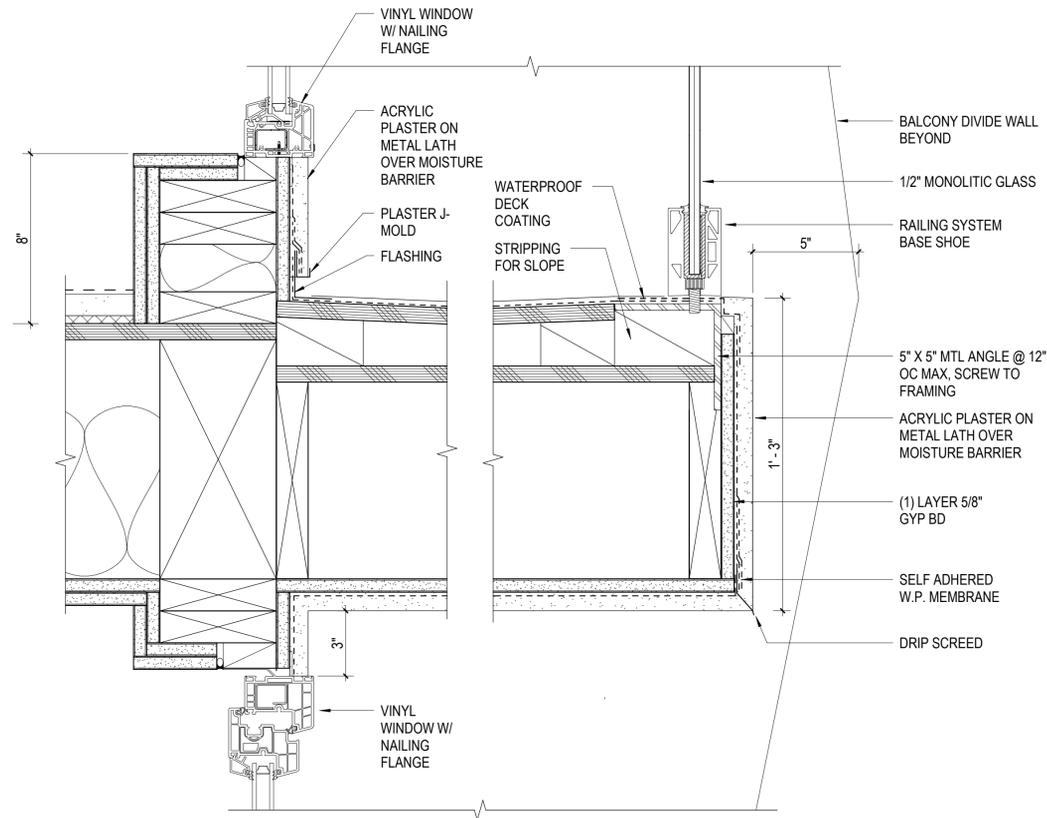
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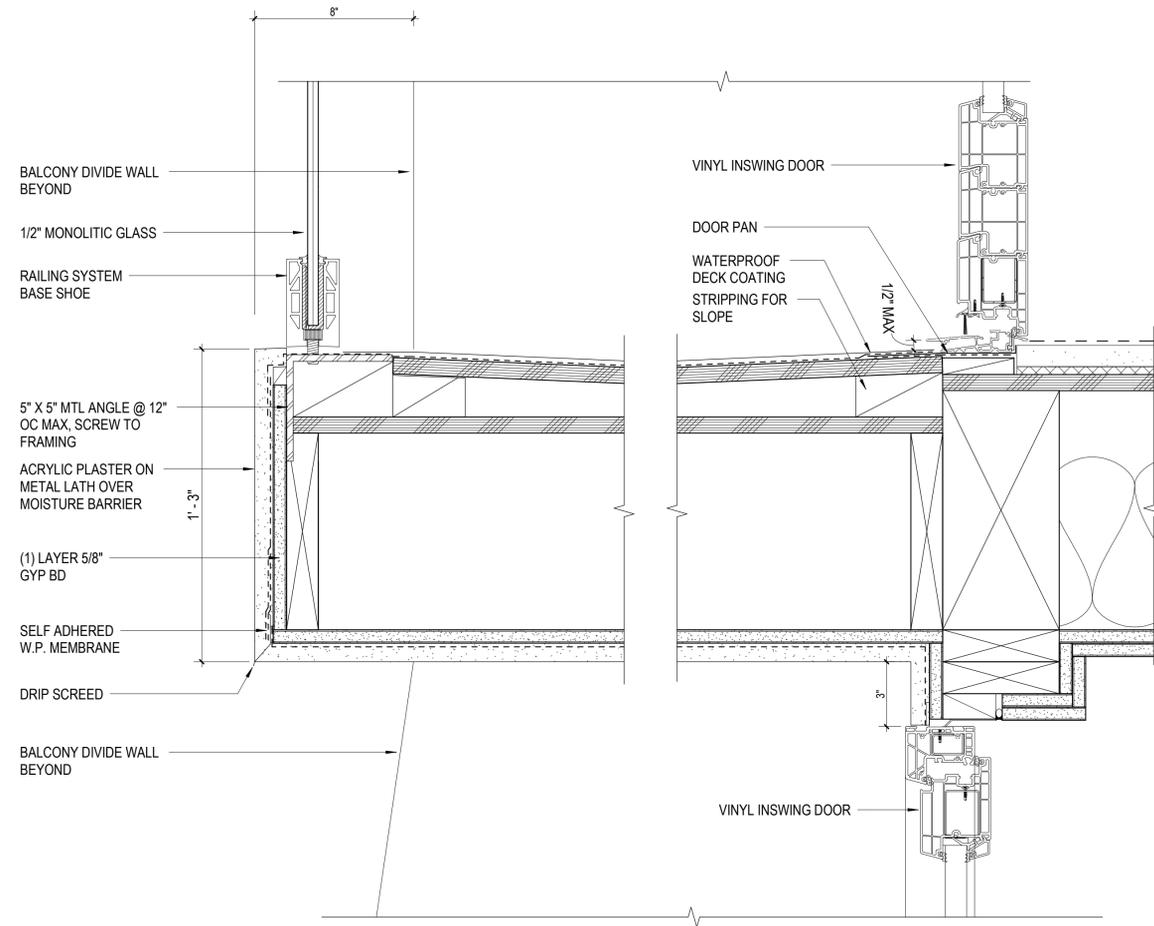
1338 5TH STREET

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SANTA MONICA, CA 90401



BALCONY SECTION
3" = 1'-0"

14



BALCONY SECTION
3" = 1'-0"

2

DETAILS

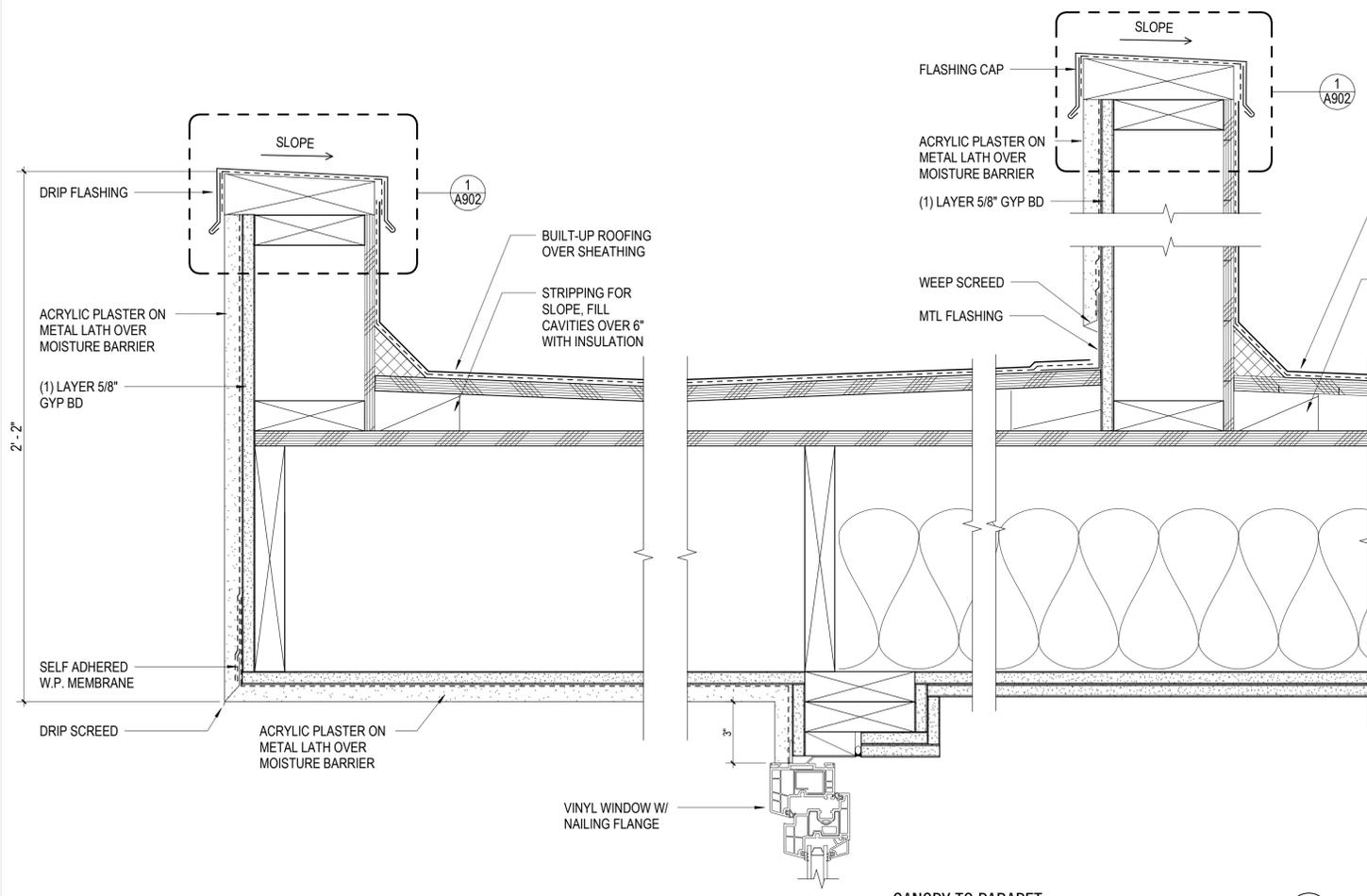
SCALE
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DATE
07.06.20

SHEET
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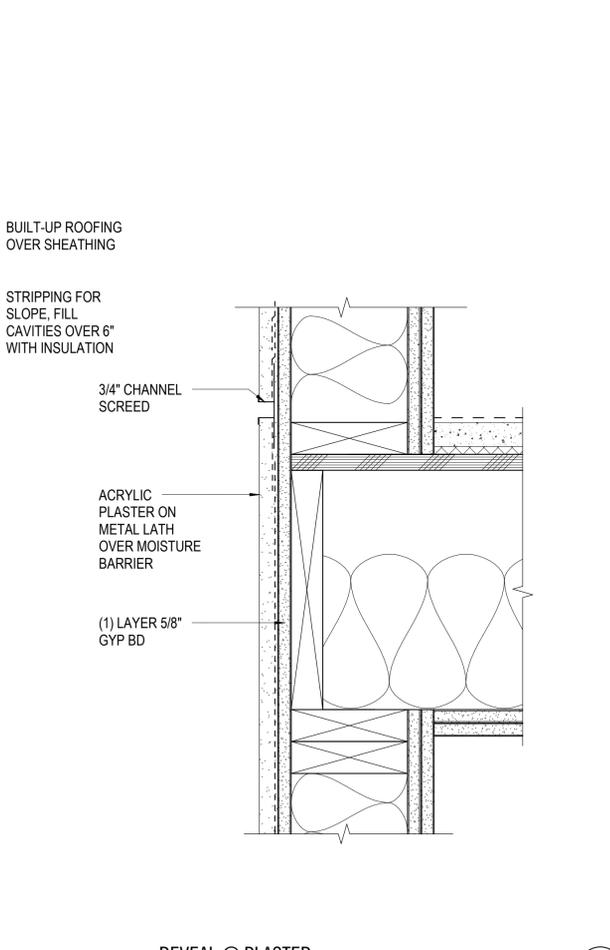


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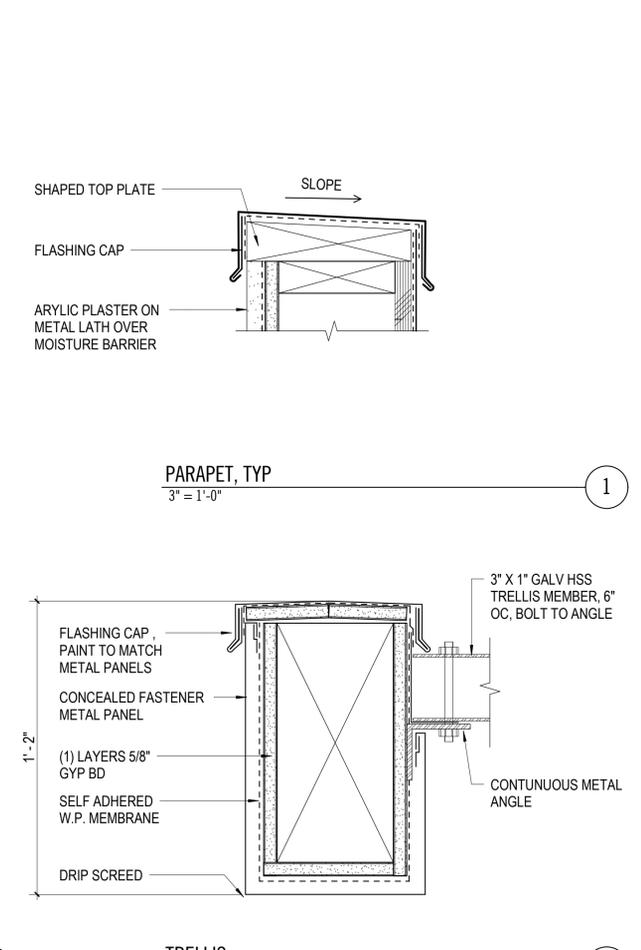
1338 5TH STREET
1338 5TH STREET
SANTA MONICA, CA 90401



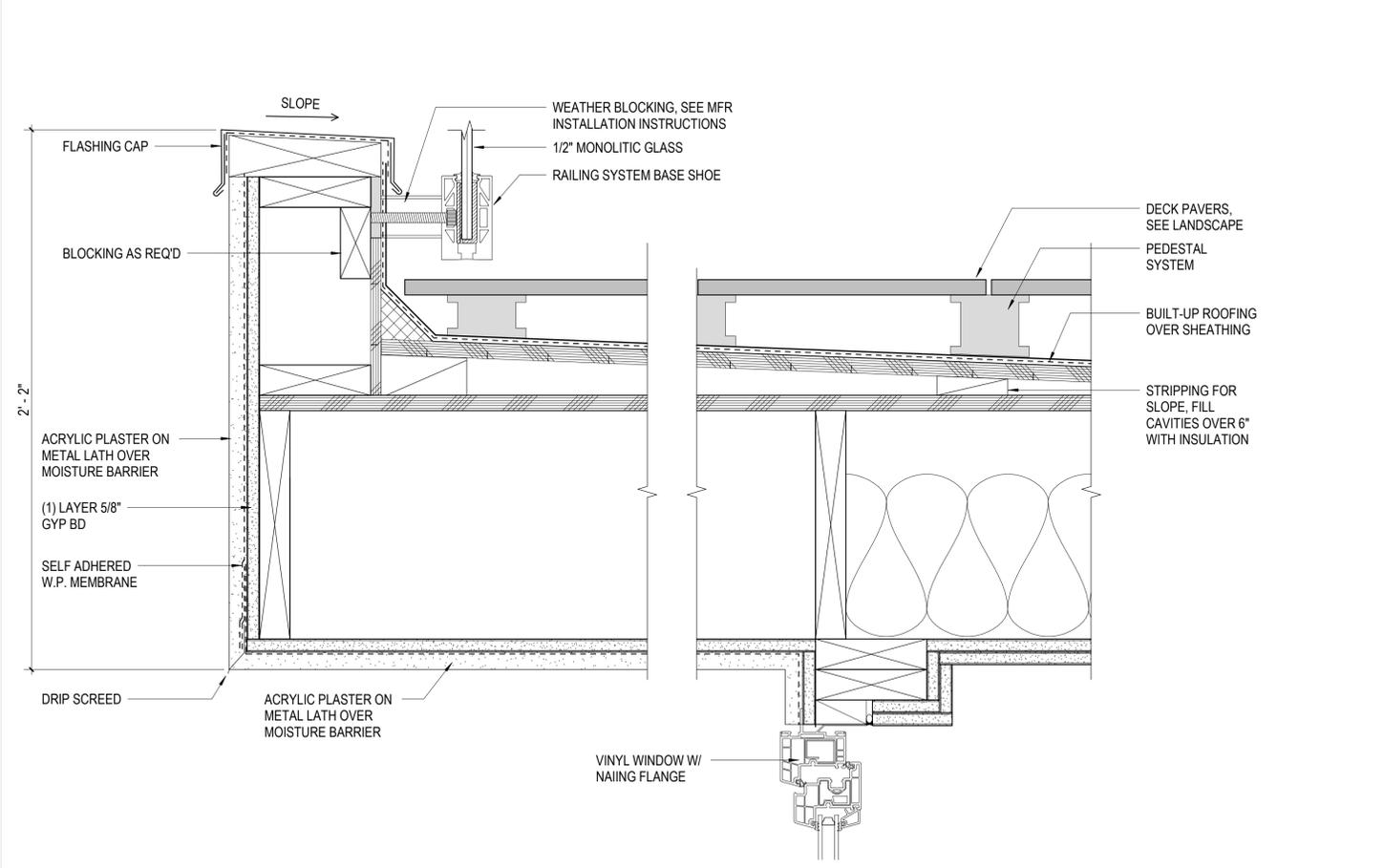
CANOPY TO PARAPET
3" = 1'-0" 14



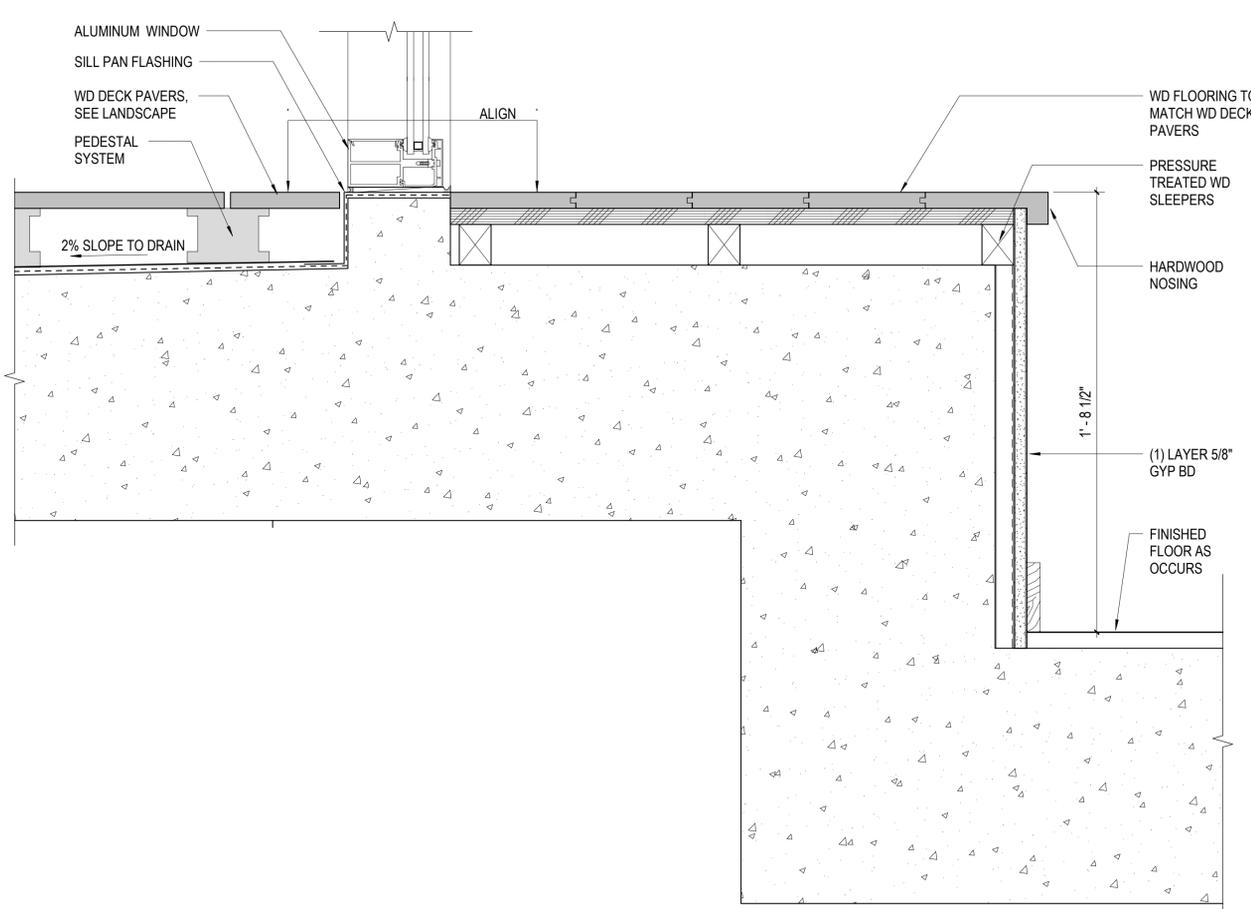
REVEAL @ PLASTER
3" = 1'-0" 6



TRELLIS
3" = 1'-0" 3



CANOPY TO ROOF DECK
3" = 1'-0" 16



SECTION @ TERRACE / BENCH
3" = 1'-0" 4

DETAILS

SCALE
3" = 1'-0"
DATE
07.06.20

A902

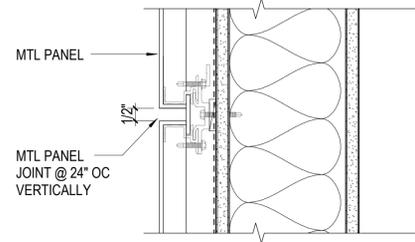
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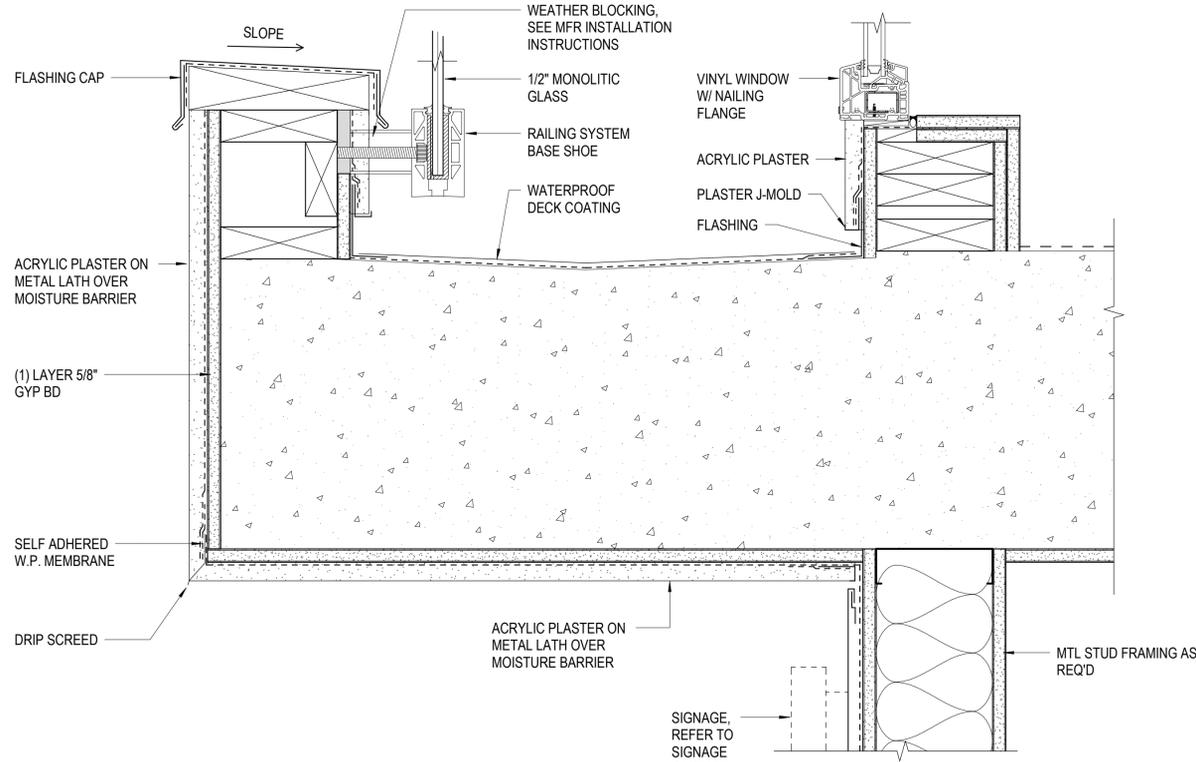
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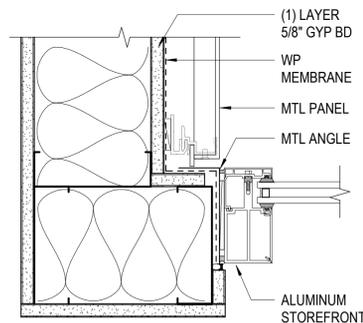
HORIZONTAL JOINT AT METAL PANELS
3" = 1'-0"

17



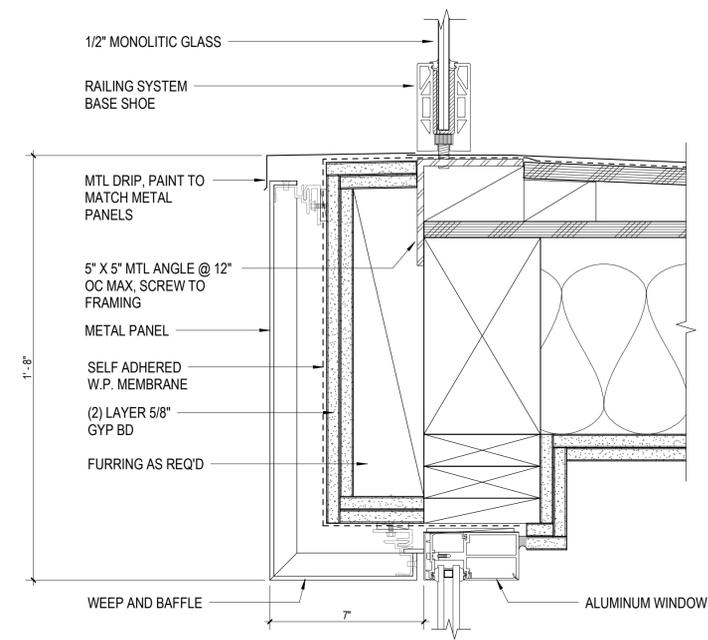
PLAN SECTION @ MTL FRAME OUTSIDE CORNER
3" = 1'-0"

15



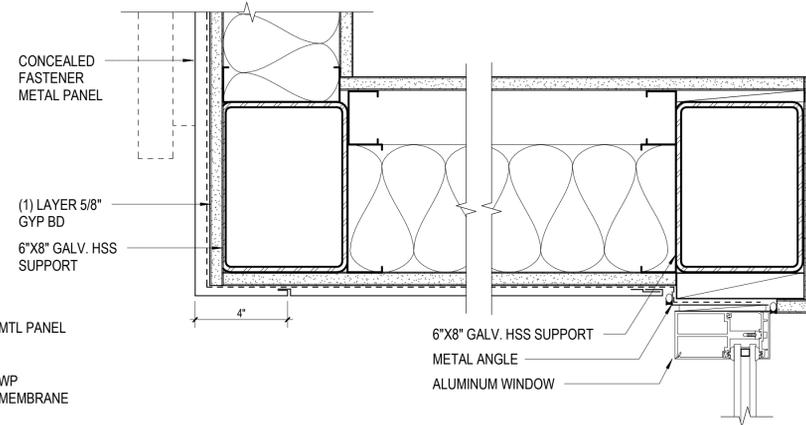
PLAN SECTION @ MTL FRAME INSIDE CORNER
3" = 1'-0"

16



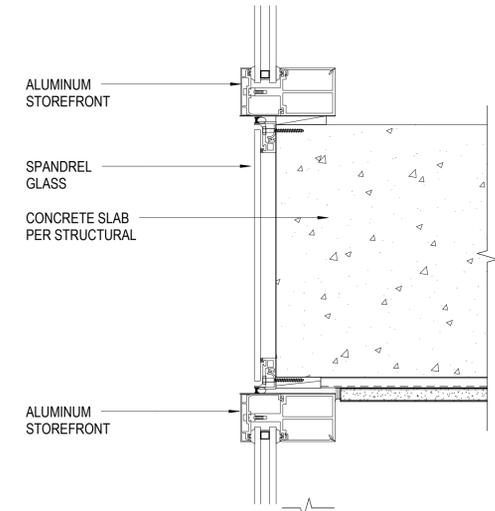
BALCONY RAIL TO STOREFRONT HEAD
3" = 1'-0"

2



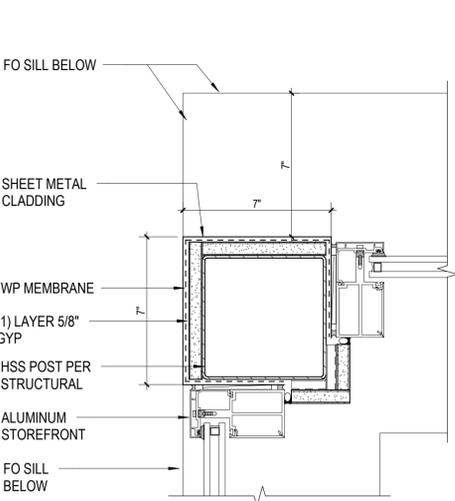
BALCONY EDGE AND RETAIL AWNING
3" = 1'-0"

10



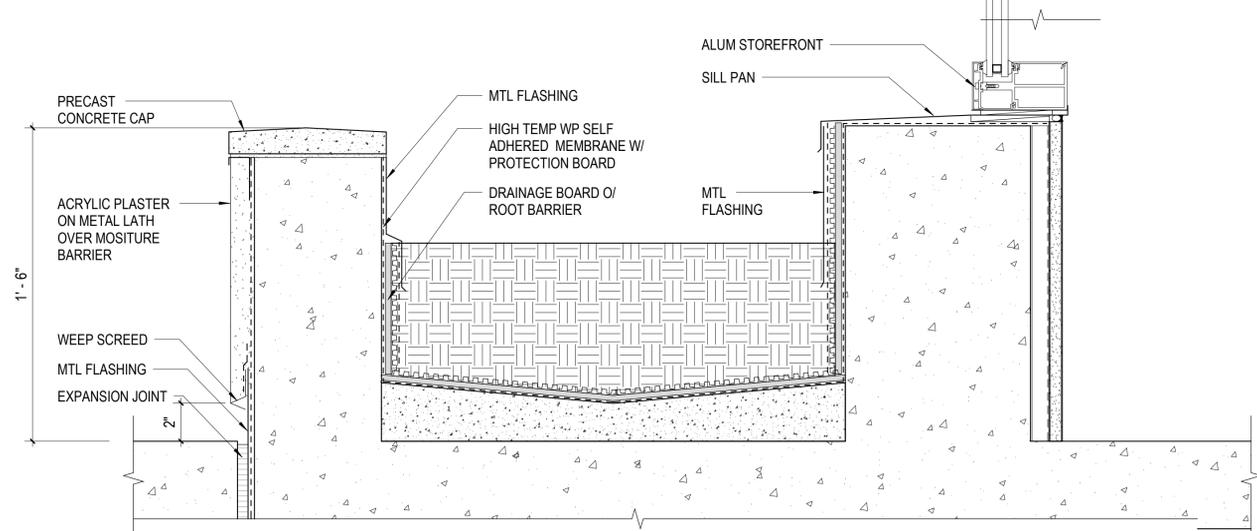
STOREFRONT SILL TO HEAD
3" = 1'-0"

3



PLAN SECTION @ STOREFRONT CORNER
3" = 1'-0"

19



STOREFRONT SILL AND PLANTER
3" = 1'-0"

4

DETAILS

SCALE
3" = 1'-0"
DATE
07.06.20

A903

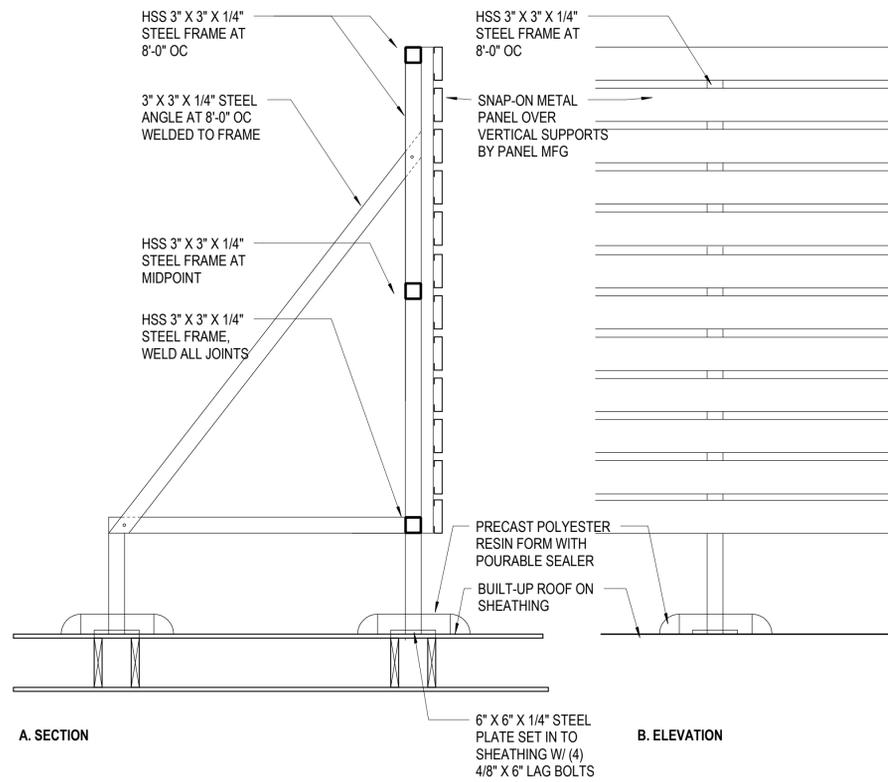
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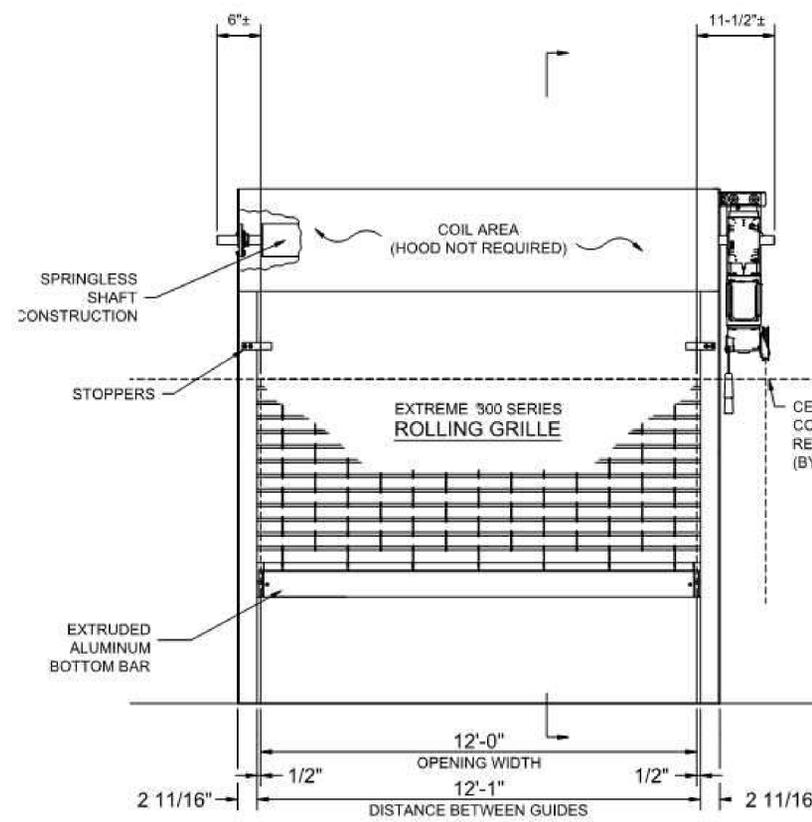
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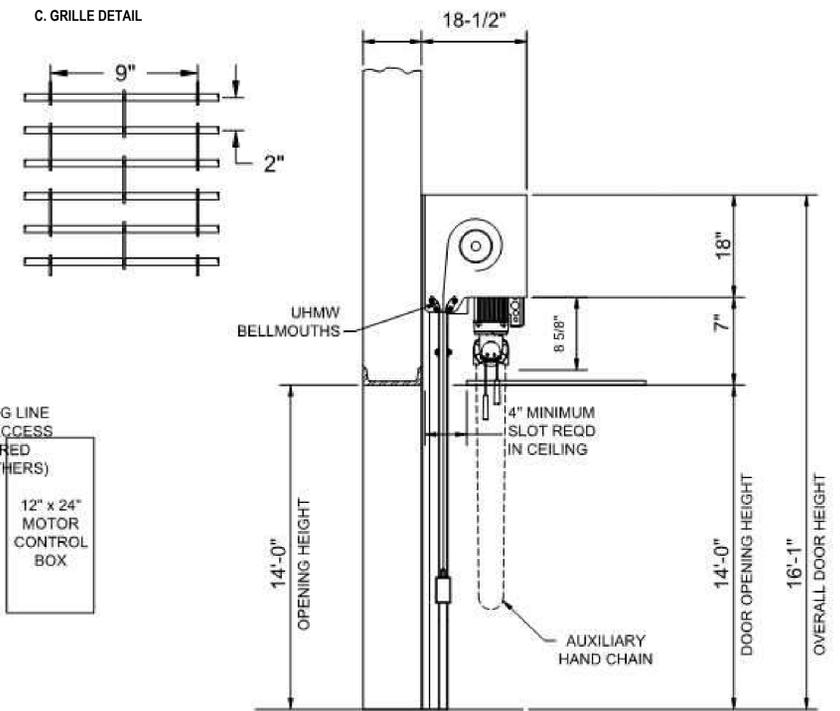


MECHANICAL EQUIP SCREEN AT ROOF
3/4" = 1'-0"

18



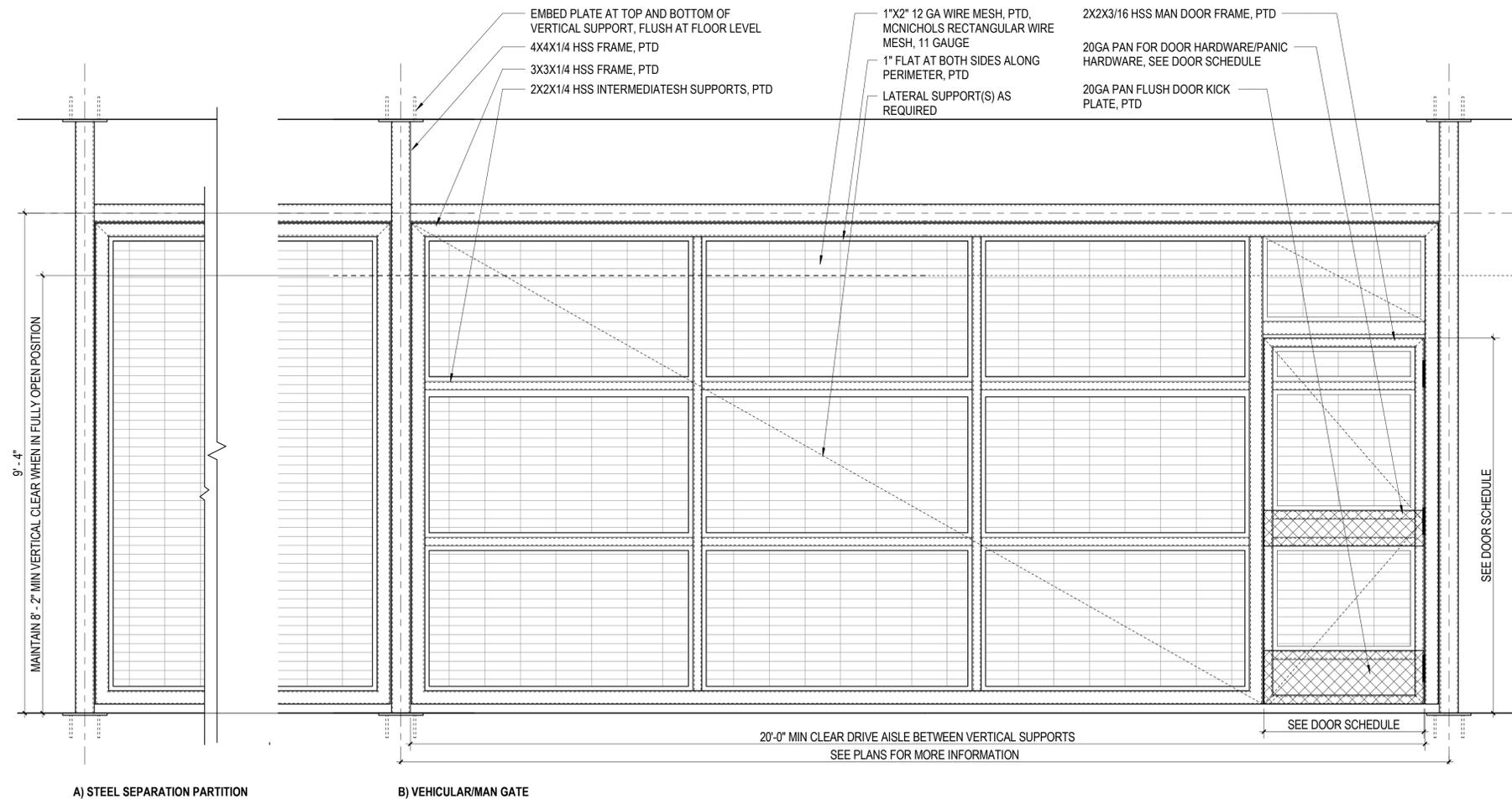
A. ELEVATION



B. SECTION

SCREENING AT LOADING
3/8" = 1'-0"

2



A) STEEL SEPARATION PARTITION

B) VEHICULAR/MAN GATE

TILT-UP GARAGE & MAN DOOR DETAIL
3/4" = 1'-0"

5

DETAILS

SCALE
As indicated
DATE
07.06.20
SHEET

A904
7/6/2020 11:44:26 PM



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DATE: 7/02/2020
REVISIONS:

ARB SUBMITTAL

XIR NUMBER:

SHEET TITLE:

IRRIGATION PLAN

SHEET NUMBER:
L300

IRRIGATION LEGEND



DESERT ADAPTED PLANTS - 755 SF



MODERATE WATER USE PLANTS (TREE, SHRUBS, VINES, GROUNDCOVERS, HEDGES) - 349 SF

WELIS WATER DEMAND CALCULATOR

Step 2: Determine the Percentages of Plant Material				
Based on the Plantable Landscape Area (PLA from Step 1 above) and ANSI/ASABE S623.1.				
Plant percentage restrictions for Single Family (SF) and Multi-family (MF) residential properties:				
<ul style="list-style-type: none"> 20% combined maximum for <i>High Water Using plants</i> Turfgrass, Annual Flowers, Bedding Plants 40% combined maximum for <i>High+Medium Water Using plants</i> Turfgrass, Annual Flowers, Bedding Plants, Trees, Shrubs, Vines, Groundcovers, Hedges, Herbaceous Perennials 				
Note: Desert Adapted, Vegetables, Fruit Trees and plants watered with alternative water sources do not have plant percentage restrictions.				
Plant Type (Refer to the Plant Legend on the Landsc)	Planted Area (sq. ft.)	% of PLA	% Totals on Restricted Plants	
			High Water Using	High+Medium Water Using
Restricted High Water Using	Turfgrass - Cool season (tall fescue, Ky. bluegrass, rye, bent)	0.0%	0.0% (20% max)	31.6% (40% max)
	Turfgrass - Warm season (bermuda, zoysia, St. Augustine, buffalo)	0.0%		
	Annual Flowers & Bedding Plants	0.0%		
Restricted Medium Water Using	Trees, Shrubs, Vines, Groundcovers, Hedges	349.0 sq. ft.	31.6%	
	Herbaceous Perennials		0.0%	
Desert Adapted Plants	755.0 sq. ft.	68.4%		
Deciduous Fruit Trees		0.0%		
Evergreen Fruit Trees		0.0%		
Vegetables crops		0.0%		
Plants irrigated with alternative water source (non-potable)		0.0%		
Subtotals	1104.0 sq. ft.	100.0%		
Notes	1104 sq. ft. max (PLA from Step 1)	100% max		
Area Totals				
Planted Area (from table above)		1104.0 sq. ft.		
Permeable Hardscape Areas		0.0 sq. ft.		
Total Plantable Landscape Area, PLA(Planting Area + Permeable Hardscape Areas)		1104.0 sq. ft.		

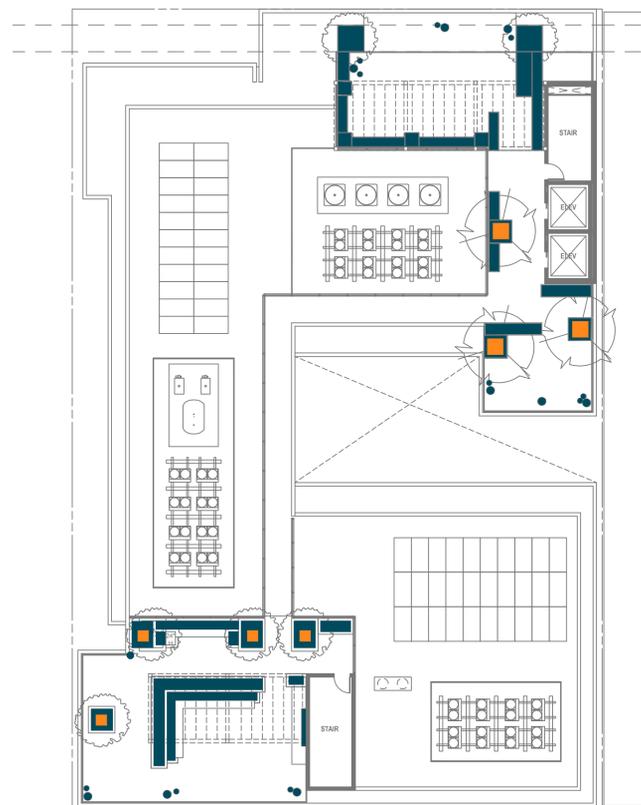
IRRIGATION PLAN DECLARATIONS

- "PRIOR TO BACKFILLING OR COVERING UP THE UNDERGROUND IRRIGATION PIPE LATERALS, CONTACT THE PRIVATE LANDSCAPE INSPECTOR AT (310) 458-8405."
- "AFTER IRRIGATION SYSTEM INSTALLATION IS COMPLETED INSTALLER SHALL TEST THE IRRIGATION SYSTEM TO VERIFY THAT IT MEETS THE APPROVED DESIGN AND SPECIFICATIONS."
- "AFTER IRRIGATION SYSTEM INSTALLATION IS COMPLETED INSTALLER MUST PROGRAM THE IRRIGATION CONTROLLER."
- "POST-INSTALLATION SOIL TEST RESULTS MUST BE SUBMITTED AT TIME OF FINAL SITE INSPECTION AND MUST CONTAIN THE FOLLOWING: PERCENTAGE (%) OF ORGANIC MATTER; SOIL TEXTURE; INFILTRATION RATE OR SOIL TEXTURE INFILTRATION RATE TABLE; PH; TOTAL SOLUBLE SALTS; SODIUM; AND RECOMMENDATIONS DETERMINED BY LABORATORY TEST." LANDSCAPES CONTAINED ENTIRELY IN PLANTERS OR CONTAINERS ARE EXEMPT FROM THIS REQUIREMENT.
- "A DETAILED IRRIGATION CONTROLLER MAP MUST BE INSTALLED INSIDE OR NEAR THE IRRIGATION CONTROLLER WITH A DESCRIPTION FOR EACH ZONE INCLUDING THE FOLLOWING AT A MINIMUM: PLANT MATERIAL, WATERING DEVICE, VALVE OR STATION NUMBER, RUN TIME FOR PEAK DEMAND MONTH AND PRECIPITATION RATE."
- "THE IRRIGATION SCHEDULE MUST BE POSTED INSIDE THE IRRIGATION CONTROLLER HOUSING UNIT BY THE INSTALLER."
- "THE IRRIGATION SYSTEM MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS."
- "THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION TO CHECK FOR ADHERENCE TO THE DESIGN, INCLUDING THAT THE PROPER INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY, MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS, AND SENSORS MEETS THE INTENT OF THE IRRIGATION DESIGN PLAN AS DESIGNED AND APPROVED."

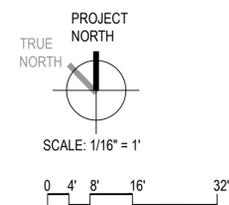
IRRIGATION HYDROZONES



1ST FLOOR



7TH FLOOR



1338 5TH STREET
 1338 5TH STREET
 SANTA MONICA, CA 90401



FRONT ELEVATION - PLANTING INSTALL



FRONT ELEVATION - PLANTING 2 YEARS' GROWTH



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 COPYRIGHTED WORK OF HELLER FLANNING ARCHITECTS AND MAY NOT
 BE REPRODUCED WITHOUT WRITTEN PERMISSION

DATE: 05/31/22
 RENEWAL DATE: 05/31/23
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**ELEVATION WITH
 PLANT MATERIAL AT
 INSTALLATION AND
 PLUS 2 YEARS**

L600



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

RENDERING

DATE
07.07.2020
SHEET
EL-000

7/7/2020 8:35:43 AM



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

dado SimpleLineLED 1.5, 2.5, 3.0, 4.0 or 6.0

Type: **Ordering**

Series

- S15 Simple line LED 1.5 inch width
- S25 Simple line LED 2.5 inch width
- S30 Simple line LED 3.0 inch width
- S40 Simple line LED 4.0 inch width
- S60 Simple line LED 6.0 inch width

Mounting

MCS New or Cut-in construction 5/8" drywall or thicker

Lamping (Delivered lumens)

- 3KL 880lm LED 2.5w/ft (8w/ft) (in 30 & 35K only)
- 1ML 1750lm LED 4.9w/ft (16w/ft)
- 2ML 3500lm LED 9.8w/ft (32w/ft)
- CA Constant Current LED up to 8.0w/ft (4850lm/ft)

Color

- 27 2700K, 85+ CRI
- 30 3000K, 85+ CRI
- 35 3500K, 85+ CRI
- 40 4000K, 85+ CRI
- 50 5000K, 85+ CRI

Wire Harness

- 1 Single
- W White
- TW3 3/8" Tall White (S15, S25 & S30 only)
- G Custom graphics, braile to be added to W or TW3 lens

Driver

- R Remote
- M Mid in End
- S Straight End
- ALxx Angle cut Left (degrees 1° to 45°)
- ARxx Angle cut Right (degrees 1° to 45°)
- AP Arrow Point End W lens only
- RHC Half Circle Radius End W lens only
- RIC 1/2" Radius Corner End W lens only
- REG Rectangular Fix XX" by XX" (see Ex. #4)
- PAT Use to denote patterns as drawn

Length

- xx xx is distance in inch or mm
- xxC Allows housing to be field cut for exact fit
- LTxx Left Turn same plane (degrees 66° to 179°)
- RTxx Right Turn same plane (degrees 66° to 179°)
- ICxx Inside Corner (degrees 90° to 179°)
- OC90 Outside Corner (degrees 90°)

Transition

- LTxx Left Turn same plane (degrees 66° to 179°)
- RTxx Right Turn same plane (degrees 66° to 179°)
- ICxx Inside Corner (degrees 90° to 179°)
- OC90 Outside Corner (degrees 90°)

Finish End

- mm mm
- in inches

Options

- CL2Pxx Longer length CL2P feed cable (std is 15ft)
- CP Chicago Flatnam
- EM Feed cable labeled for connection to EM circuit
- EF Feed cable exit end (10' or shorter housings)

Specify Power Supply on next page

Environmental Data

For 3KL lamping at 3000K:
W: 2.5W/ft (8W/m)
LUD: 50,000hrs @ 7050m
40H (6A) on one 100w driver

For 1KL lamping at 3000K:
W: 4.9W/ft (16W/m)
LUD: 50,000hrs @ 7050m
20H (6A) on one 100w driver

For 2ML lamping at 3000K:
W: 9.8W/ft (32W/m)
LUD: 50,000hrs @ 7050m
10H (3A) on one 100w driver

Temp range: 0° - 90°F (-20 - 30°C)
No Mercury, No LV, No Flicker
Warranty: 5 years
cETLus Damp Listed (C-Rated)

Specifications and dimensions subject to change without notice. Protected under U.S. Pat. 8,109,619 and other patents pending. info@dadolighting.com v11 877.323.4544

BLACKJACK LIGHTING 40" Starburst Chandelier

Project: _____ Type: _____ Quantity: _____

Note: SKU#: STB-40C- - -27U- - -

Description

Available on in Polished Chrome, our 40" Starburst Chandelier brings dazzling beauty to very large spaces.

Features

- Stainless Steel construction
- Available in Polished Chrome
- Diffused low glare illumination fills the room with light
- Includes 42" length adjustable stem kit and 12" wire length
- Fixture can accept up to four additional stem sections* for a maximum stem length of 110"
- Replaceable light source
- Direct located in canopy housing
- Hanging straight swivel attaches to top of stem
- Damp location rated

Specifications

- Color Rendering Index: 90 CRI
- LED color temperature: 3000K
- Input Voltage: 120 VAC 50/60Hz
- Wattage: 40w
- Delivered Lumens: 2900lm
- Dimming: TRAC, 0-10V or 0-10V dimmable
- Fixture weight: **NEED WEIGHT!**

Custom

- *Color temperature can be upgraded to 4000K
- *For recommended dimmers and downloadable IES & LM 79 files, visit blackjacklighting.com

ORDERING GUIDE

Family	Size/Type	Finish
STB	40C	PC

Example: STB-40C-PC-27U-30K

CUSTOM OPTIONS

Volts/Dimming	Color Temp.
27U	30K
27U 120-277VAC	30K 3000K
027U Standard	30K Standard

OPTIONAL ACCESSORIES

- 24" Additional Stem* Model No. 92005-24-PC (Polished Chrome)
- 39" Additional Stem* Model No. 92005-39-PC (Polished Chrome)
- Sloped Ceiling Swivel (0-90 degrees) Model No. 92004-PC (Polished Chrome)

BLACKJACK LIGHTING
1141 Barclay Blvd.
Burlington, VT 05403

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TEL: (847) 941-0568
TOLL FREE: (847) 396-3412
EMAIL: info@blackjacklighting.com

BLACKJACK LIGHTING
3000 Pin Oak Parkway
Aurora, IL, USA 60402
PHONE: (440) 653-6500
TOLL FREE: 1 (800) 446-6539
hinkley.com

VUE 12314BZ

LARGE WALL MOUNT LANTERN

Vue's contemporary linear LED design is constructed of extruded and die-cast aluminum and is offered in either Bronze or Titanium finishes. The seamless architectural form emits light from white acrylic side windows and sleek front silver. Incredibly versatile, the well-rated Vue can be mounted vertically or horizontally, inside or outdoors.

DETAILS

FINISH:	Bronze
MATERIAL:	Aluminum
GLASS:	Acrylic Lens

DIMENSIONS

WIDTH:	5"
HEIGHT:	26"
WEIGHT:	3.5 lbs.
BACK PLATE:	5"W X 6"H
EXTENSION:	0"
TOP TO OUTLET:	13"

LIGHT SOURCE

LIGHT SOURCE:	Integrated LED
LED NAME:	Q2 LMP-100 Outdoor
WATTAGE:	30w LED (Included)
VOLTAGE:	120v
COLOR TEMP:	2700
LUMENS:	2400
CRI:	96
INCANDESCENT EQUIVALENCY:	4-60w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.

SHIPPING

CARTON LENGTH:	7"
CARTON WIDTH:	5.5"
CARTON HEIGHT:	28"
CARTON WEIGHT:	4.5 lbs.

PRODUCT DETAILS:

- Mounting hardware is hidden on the backplate to ensure a clean silhouette.
- Fixture can be mounted horizontally.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Meets California Energy Commission 2016 Title regulations/JAB
- Fixture is ADA compliant and adheres to the standards and guidelines listed by the Americans with Disabilities Act.
- Exclusively available in High Performance LED
- 2 year finish warranty
- LED components carry a 5-year limited warranty when used in a residential application and 3-year limited warranty when used in a commercial application.

HINKLEY

3000 Pin Oak Parkway
Aurora, IL, USA 60402
PHONE: (440) 653-6500
TOLL FREE: 1 (800) 446-6539
hinkley.com

BeveLEDMini® Basic - B3RD-L2

3" Round Downlight

Field changeable between Trimmed / Trimless / Millwork

USA! Lighting

Trimmed - B3RDF **Trimless - B3RDL** **Millwork - B3RDM**

usa!lighting.com/minibasic

Introducing BeveLED Mini Basic, our newest LED downlight to deliver consistently classic white light with the same below ceiling appearance as our BeveLED Mini product line.

FEATURES

- 2700K, 3000K or 3500K color temperature options
- Downlight, wallwash and adjustable accent configurations
- Dry/damp/wet location rated for bathrooms and showers
- All of USA's dimming driver options including 0-10V digital, and phase dimming
- All housings are field convertible from trimless or millwork to trimmed installations in the field

DOWNLIGHT PERFORMANCE DATA

DELIVERED PERFORMANCE:	Classic White	Classic White	15W
Source Lumens:	1075	1575	
Lumens Per Watt:	83	77	
Delivered Lumens:	825	1200	
Color Consistency:	2-Step MacAdam Ellipse		

*Based on 3000K, 80+ CRI. Performance varies for each specific beamspread and color temperature. See IES files for exact values at usa!lighting.com.

CORRELATED COLOR TEMPERATURE MULTIPLIER

	2700K	3000K	3500K
Color Rendering Index:	80+	80+	80+
Multiplier for Lumen Output:	0.98	0.81	1.00
	0.84	1.02	0.98

usa!lighting.com 1-846-665-8500 1126 River Road
info@usa!lighting.com F 846-961-1130 New Windsor, NY 12553

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1 Recess mounted linear LED downlight (on the ceiling at typical units and at the residential entry)

2 Suspended decorative LED pendant

3 Decorative LED wall sconce at the retail entries

4 Recessed LED downlight at the retail entries

1338 5TH STREET

Exterior Signage Master Plan
and Retail Tenant Signing Criteria
ARB Submittal

REVISED July 7, 2020

BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 393 9325

247 Sixteenth Street Santa Monica California 90402

1338 5th Street - Sign Dimensions and Square Footage

Sign Type	Description	Quantity	Dimensions	Square Footage	Total Square Footage
<i>Building Signage:</i>					
1	Project Identification - Address	1	2'-0" h x 6'-6" w	2.5 sq ft	13
2	Parking Entrance / Exit Identification / Address	1	1'-6" h x 24'-0" w	36 sq ft	36
3	Loading Area Identification	1	2'-0" h x 2'-0" h	4 sq ft	4
Total Square Footage of All Building Signage					53 sq ft

Individual retail tenant signage not included in total:

C-1 Tenant Signs on Canopy: 25 sq ft maximum 2 tenant signs 50 sq ft

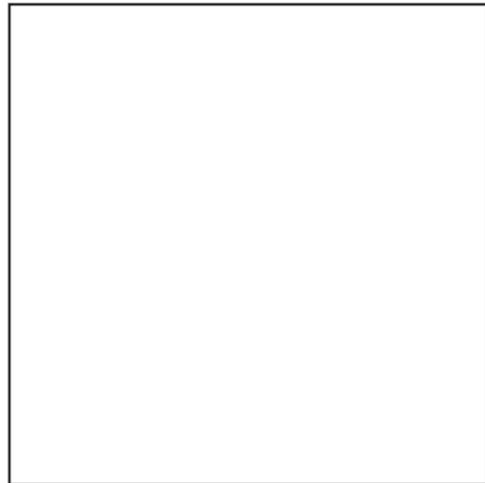
Street Frontage along 5th Street = 98'-6" feet

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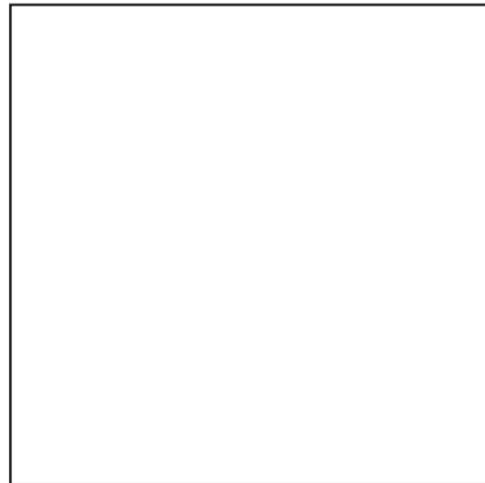
1338 5th Street
Santa Monica
1338 5th Street, LLC

Date July 7, 2020
 Job No: 656
 Scale
 Drawn By
 Check
 Revised

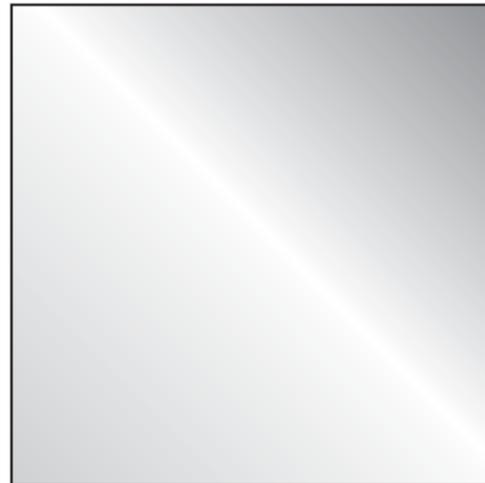
SqFt



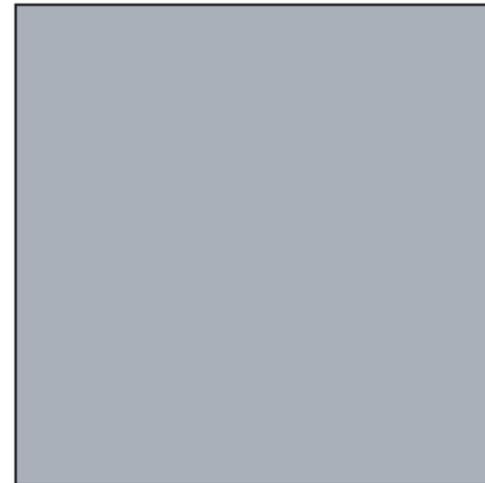
Project White - semi-gloss finish
(to match wall color)



Translucent White acrylic
for sign faces
Rhom & Hass or equal



#316 Alloy Stainless Steel
with #4 horizontal brushed finish



Project Light Gray - Semi-Gloss

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1338 5th Street
Santa Monica
1338 5th Street, LLC

Date July 7, 2020
Job No: 656
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Revised

Colors

BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 383 9325
247 Sixteenth Street Santa Monica California 90402



Sign Type 1 Project Address
Scale: 1"=1'-0"

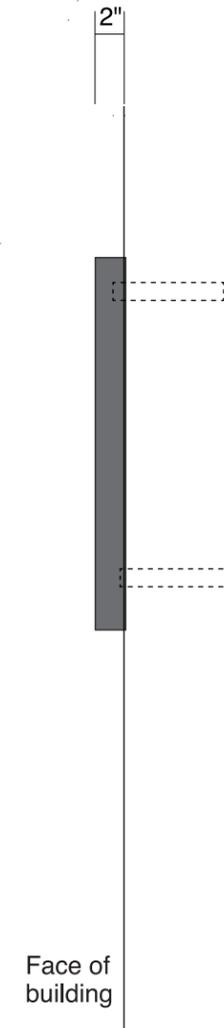
2" deep fabricated aluminum numbers painted Gray TBD

Numbers to mount flush to wall as required with mechanical fasteners to meet all codes

Verify all on-site conditions before fabrication

Type Style:
Futura Medium Condensed

See drawing 1.1 for elevation



Face of building

Side View

No visible fasteners allowed

Secure as required with rustproof tamperproof fasteners

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ST1
Project Address

C-1
Retail Tenant Signs

C-1
Retail Tenant Signs

5th Street Elevation
Not to Scale

1338 5th Street
Santa Monica
1338 5th Street, LLC

Date July 7, 2020
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1.1r3

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Telephone 310 383 9325
247 Sixteenth Street Santa Monica California 90402

See drawing 2.2 for full elevation

Verify all text on sign and bang bar with owner prior to fabrication

Type Styles:
Gil Sans Bold
Univers 49 Light Ultra Condensed

Circle cabinets raised up 1" above cabinet surface
No trim caps

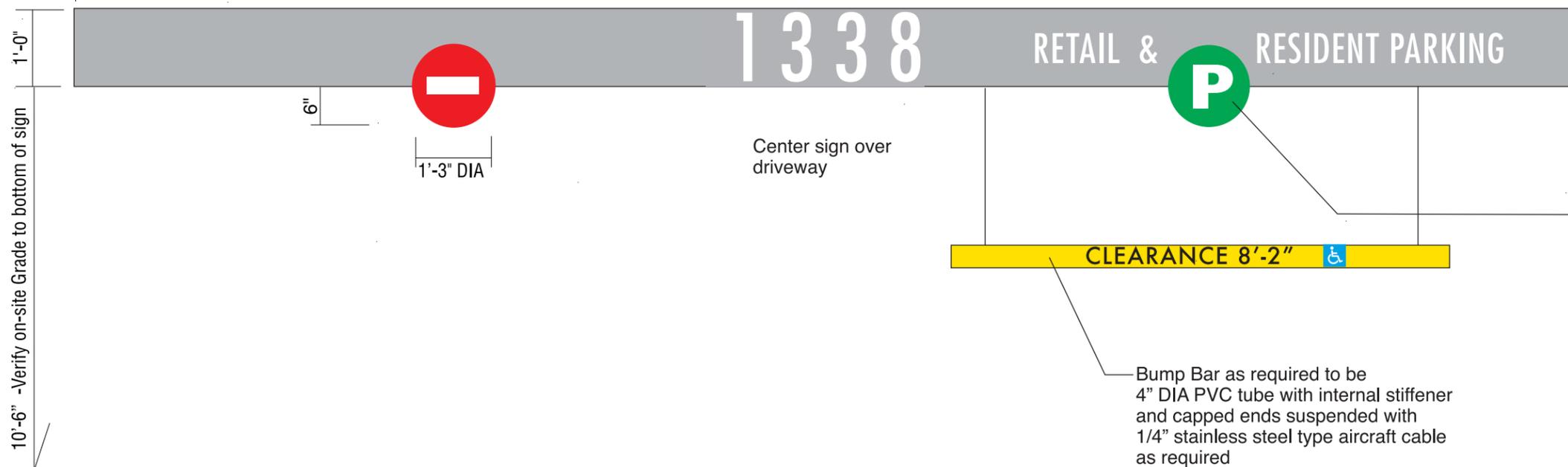
Owner will provide conduit & "J" box to site of signage with as required

Sign cabinet

Bang bar - Verify required height

Side Section

24'-0" verify before fabrication



10'-6" -Verify on-site Grade to bottom of sign

6"

1'-3" DIA

Center sign over driveway

CLEARANCE 8'-2"

Bump Bar as required to be 4" DIA PVC tube with internal stiffener and capped ends suspended with 1/4" stainless steel type aircraft cable as required

.090 Fabricated aluminum cabinet with butt joint seams painted project color Light Gray TBD with 1/2" thick routed and backed letters of White Lexan acrylic

15" DIA Symbols cabinets with illuminated Lexan faces and no trim caps
No vinyl applique allowed

Sign sets back 1'-0" from edge of building

Internal structure as required with finished back sides. No exposed fasteners on face or bottoms of cabinets

Access panels only on rear of cabinet
All hardware to be countersunk and flush with surface. Tamperproof fasteners painted cabinet color

Install as required to meet all codes

Sign is LED internally illuminated
240 volts, on dedicated 20 amp circuit
3500K lighting with time clock

Sign Type 2 Parking Entrance / Exit Identification
Scale: 1/2"=1'-0"

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Design Office

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1338 5th Street
Santa Monica
1338 5th Street, LLC

Date July 7, 2020
Job No: 656
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2r



5th Court - Alley Elevation
Not to Scale

ST 2
Loading Area
Identificationon

ST 2
Parking Entrance/ Exit
Identification

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**1338 5th Street
Santa Monica
1338 5th Street, LLC**

Date July 7, 2020
Job No: 656
Scale
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Sign Type 3 Loading Area Identification
Scale: 1 1/2"=1'-0"

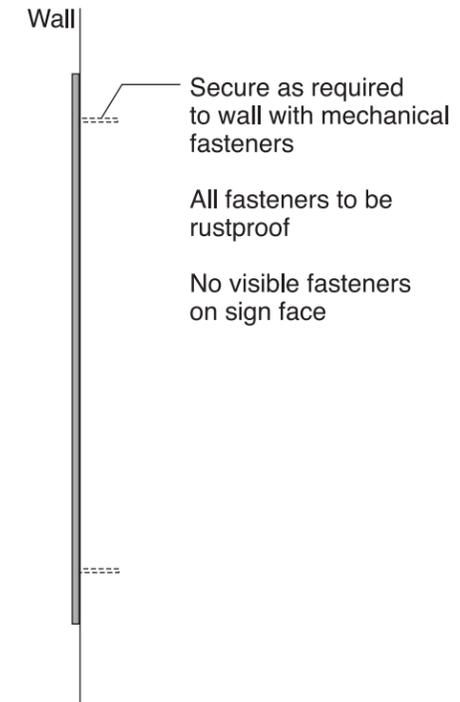
No visible fasteners
All hardware to be rustproof
All paint to be Matthews Acrylic Polyurethane semi-gloss with clear graffiti guard

1/8" painted aluminum panel with graphics digital graphics
Clear graffiti guard finish
Exterior sign location

White text and arrows
Background painted project Gray
Quantity: 1 sign
Arrows point into loading area

Loading sign on wall

See drawing 2.2 for elevation



Side View

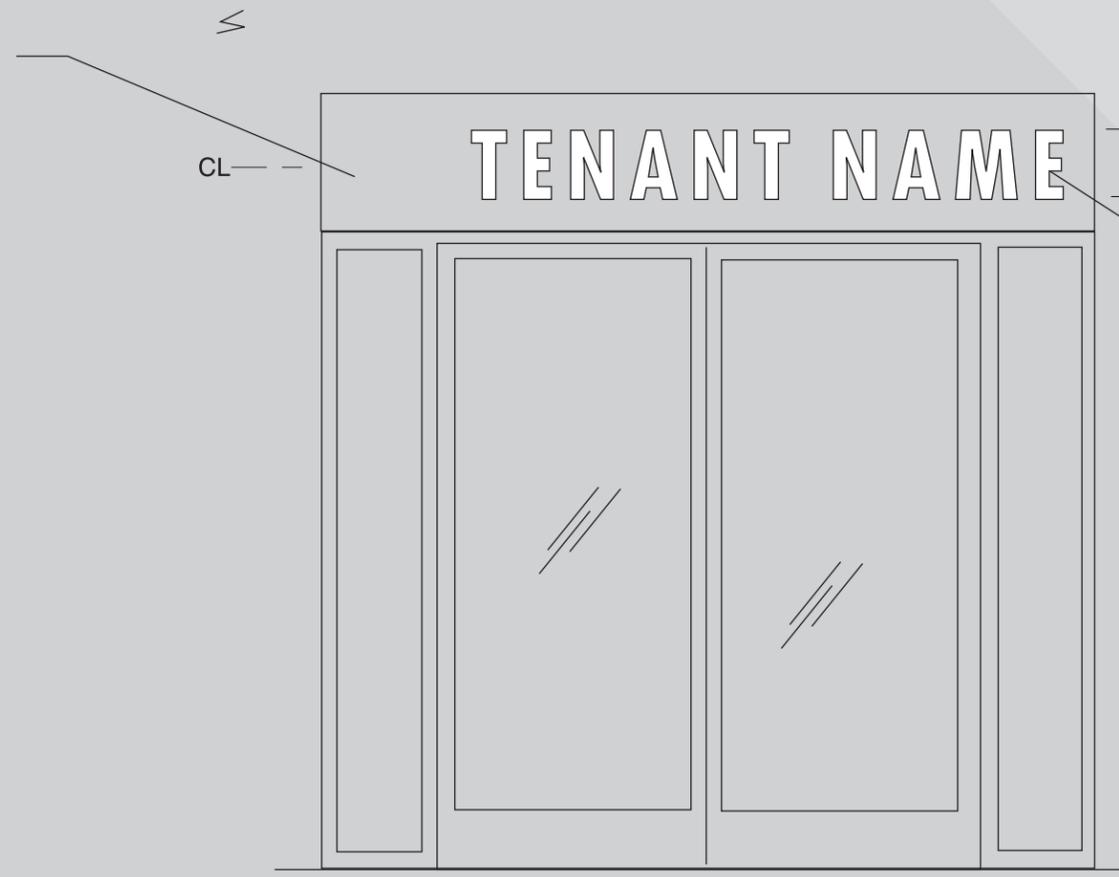
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247 Sixteenth Street Santa Monica California 90402



#316 alloy reverse channel brushed stainless steel letters pin mounted 2" off face of wall

