

G-001 / TITLE / ISSUED - X

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PROJECT DATA

USE: MIXED-USE  
BUILDING HEIGHT: 30'-0"

**LEGAL DESCRIPTION:**  
APN: 4828-011-011  
LOT: LOT J BLK 140  
OCCUPANCY GROUP: Office: Group B  
TYPE OF CONSTRUCTION: Apt.: R3

ZONING: Office: V  
Apartment: 1st Flr Type I  
Upper Flr Type V  
w/ Fire Separation

**SITE DATA:**  
GC  
LOT SIZE (ACRES): 2.29 ACRES  
LOT SIZE (SF): 5000 SF

**FOOTAGE DATA:**  
PROPOSED BUILDING AREA:  
FLR 1 : OFFICE 427 SF  
FLR 2 : OFFICE 1005 SF  
APT 1604 SF  
MEZZANINE: 323 SF  
ROOF PATIO: 608 SF  
FOOTPRINT BLDG: 3604 SF  
PROPOSED LOT COVERAGE: 72%

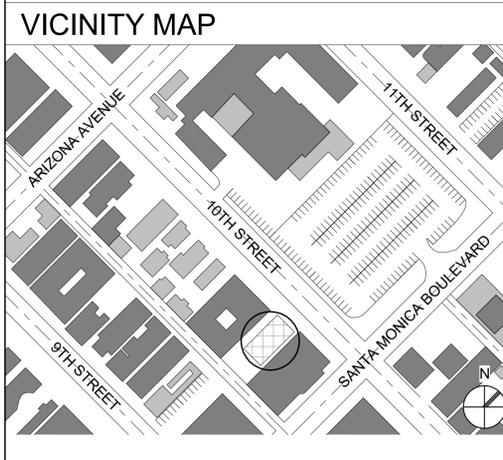
STORIES: 2  
DWELLING UNITS: 1 - SINGLE FAMILY UNIT  
MAIN HOUSE AREA: 1604 SF  
OFFICE AREA: 1432 SF  
PARKING SPACES: 7 OPEN

**ADDITIONAL INFORMATION:** MODERATE  
FIRE ZONE:

SCOPE OF WORK

Mixed use. Office building with 1432 sq ft. and a single dwelling unit on back side of parcel with 1604 sq ft.

VICINITY MAP



F.A.R. CALCULATION

# 10th Street

## 1348 10th St, Santa Monica, CA 90401

**LEVEL 1**

Apartment: Level 2: 1604 SF  
Mezzanines: 323 SF  
Total: 1927 SF

Office: Level 1: 427 SF  
Level 2: 1005 SF  
Total: 1432 SF

Covered Parking: 1640 SF  
Grand Total: 4679 SF  
Lot Size: 4999 SF  
Floor/Area: 4999 SF / 5000 SF = 0.9998  
Ratio: 0.9998  
Percentage: 99.98%

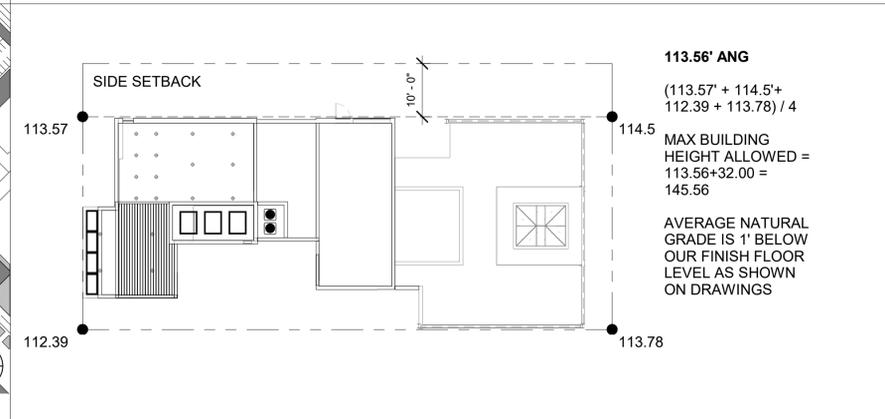
**LEVEL 2**

**MEZZANINE**

**AREA LEGEND**

- Covered Parking
- Vehicle Circulation
- Office
- Apt
- Mezzanine

HEIGHT CALCULATION



PROJECT DIRECTORY

**OWNER:**  
JOSEPH P. FERRY  
1348 10TH STREET  
SANTA MONICA, CA 90401  
(310)458-7548  
JPFATT@AOL.COM

**ARCHITECT:**  
MICHAEL FOX  
FOXLIN ARCHITECTS  
392 CAMINO DE ESTRELLA  
SAN CLEMENTE, CA 92672  
(949) 325-3001 TEL  
(949) 203-3339 FAX  
INFO@FOXLIN.COM

**SURVEYOR / CIVIL:**  
SAM A. SOLIVEN, P.L.S.  
2230 W. CHAPMAN AVE. #156  
ORANGE, CA 92868  
(714)376-7123  
SAM@THELANDSURVEYOR.COM

**SOILS:**  
GEOSYSTEMS, INC.  
1545 VICTORY BLVD.  
2ND FLOOR  
GLENDALE, CA 91201  
(818)500-9533  
INFO@GEOSYS1.COM

**CIVIL:**  
TOAL ENGINEERING  
139 AVENIDA NAVARRO.  
SAN CLEMENTE, CA, 96272  
(949)492-8586  
ATOAL@TOALENGINEERING.COM

GOVERNING CODES

2019 CALIFORNIA RESIDENTIAL CODE (CBC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)  
2019 CALIFORNIA ENERGY STANDARDS (CBEES)  
2019 CALIFORNIA GREEN BUILDING CODE (CalGreen)  
2019 CALIFORNIA FIRE CODE (CFC)

SANTA MONICA MUNICIPAL CODE

ADMINISTRATIVE APPROVAL NOTES

BUILDING & SAFETY DIVISION comments to be addressed during plan check

PUBLIC WORKS DEPARTMENT comments to be addressed during plan check

OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT comments to be addressed during plan check

PARKING MATRIX

**10th Street Parking Matrix**

Land Use	Square Footage	Parking Code Requirements	Required Parking Spaces	Parking Spaces Provided
Office	1432 sq. ft.	1 space per 300 sq. ft.	5	5
Residential	1604 sq. ft.	2 spaces per single dwelling unit	2	2
<b>TOTAL</b>			<b>7</b>	<b>7</b>
Standard Spots		minimum of 60% of spaces	4.2	5
Compact Spots		maximum of 40% of spaces	2.8	2
ADA Spots*		1 Van-ADA stall	1	1

Vehicle Parking	Square Footage	Bicycle Parking Code Requirements	Required Bicycle Parking Spaces	Parking Bicycle Spaces Provided
Office	1432 sq. ft.	Short-Term Parking: 1 space per 8000 sq. ft.; min 4 per project Long-Term Parking: 1 space per 2000 sq. ft.; min 4 per project	1	1
Residential	1604 sq. ft.	Short-Term Parking: 10% of Long-Term; min 2 spaces per project Long-Term Parking: 1 space per bedroom, including studios	0.3	1
		Additional Spots to reach minimum requirements		2
<b>TOTAL</b>			<b>8</b>	<b>8</b>
Short-term Spaces			4	4
Long-term Spaces			4	4
10' Spaces			1	1

Notes:  
\* included in the count for standard spaces  
\* included in the count for long-term spaces

PLANNING DEPARTMENT NOTES

1. NONE

SHEET LIST

#	SHEET NAME	REVISION
ARCHITECTURAL		
G-001	TITLE	C
A-001	GENERAL NOTES & CALGREEN NOTES	
A-002	BUILDING CODE ANALYSIS	
A-100.1	VICINITY PLAN	
A-100.2	SITE PLAN	
A-100A	FIGURE GROUND	
A-100B	SITE PLAN	B
A-101.1	ACCESSIBILITY- SITE	
A-101.2	ACCESSIBILITY- COMMON	
A-101.3	ACCESSIBILITY- STAIRS	
A-101.4	ACCESSIBILITY- SIGNAGE	
A-101.5	ACCESSIBILITY- RESTROOMS	
A-102.1	FIRE ACCESS SITE PLAN	
A-102.2	1ST FLOOR EGRESS PLAN	
A-102.3	2ND FLOOR EGRESS PLAN	
A-102.4	MEZZANINE EGRESS PLAN	
A-102.5	ROOF EGRESS PLAN	
A-103	DEMO PLAN	
A-104	1ST FLOOR PLAN	C
A-105	2ND FLOOR PLAN	A
A-106	MEZZANINE PLAN	A
A-107	ROOF PLAN	B
A-108	1ST FLOOR RCP	
A-109	2ND FLOOR RCP	
A-110	MEZZANINE RCP	
A-111	ROOF RCP	
A-112	SITE STAIRS	
A-201	EAST ELEVATION	B
A-202	SOUTH ELEVATION	B
A-203	WEST ELEVATION	B
A-204	NORTH ELEVATION	C
A-301	BUILDING SECTIONS	A
A-302	BUILDING SECTIONS	A
A-303	BUILDING SECTIONS	A
A-304	BUILDING SECTIONS	A
A-305	BUILDING SECTIONS	
A-306	BUILDING SECTIONS	
A-307	BUILDING SECTIONS	
A-400	BATHROOM PLANS & INTERIOR ELEVATIONS	
A-401	BATHROOM PLANS & INTERIOR ELEVATIONS	
A-402	KITCHEN PLANS & INTERIOR ELEVATIONS	
A-403	KITCHEN PLANS & INTERIOR ELEVATIONS	
A-404	TRASH ENCLOSURE FLOOR PLANS	C
A-500	WALL TYPE DETAILS	
A-501	RAILING DETAILS	
A-502	WINDOW & DOOR DETAILS	
A-503	DETAILS	
A-504	DETAILS	
A-505	DETAILS	
A-506	DETAILS	
A-507	DETAILS	
A-508	WALL SECTION	
A-601	DOOR SCHEDULE	
A-602	WINDOW SCHEDULE	
A-701	RENDERINGS	
E-1	ELECTRICAL PLAN	B
ELECTRICAL		
E-001		
MECHANICAL		
M-001		
PLUMBING		
P-001		
STRUCTURE		
S-001		
TITLE 24		
T-001		

ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. DRAWINGS REPRESENT DESIGN INTENT AND SHALL BE THE ARCHITECT'S RESPONSIBLE FOR MEANS AND METHODS.

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5.  
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.  
3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.  
4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE.

10th Street  
1348 10th St  
Santa Monica, CA 90401  
Joseph Ferry, Esquire  
1700

DISPOSITION	DATE
C AA Submittal 3	10/25/2019
B AA Submittal 2	08/16/2019
A AA Submittal 1	07/02/2019

REVISION SCHEDULE

#	REVISION DATES
C	10/25/2019
B	08/16/2019
A	07/02/2019



**ZONING LEGEND**

- GENERAL COMMERCIAL
- INSTITUTIONAL / PUBLIC LANDS
- MEDIUM DENSITY RESIDENTIAL

- GENERAL NOTES**
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  2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
  3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
  4. DRAWINGS REPRESENT DESIGN INTENT ONLY. ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.
  5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
  6. DRAWINGS REPRESENT DESIGN INTENT ONLY. ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
 1348 10th st  
 Santa Monica, CA 90401  
 Joseph Ferry, Esquire  
 1700

#	DISCRPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE
1					

10th Street

**PROJECT ADDRESS**  
 1348 10th st  
 Santa Monica, CA 90401

**CLIENT**  
 Joseph Ferry, Esquire

**DRAWING SET**  
 AGENCY



FIGURE GROUND 1" = 40'-0" 1

392 camino de estrella 949 325 3001 phone  
 san clemente, 949 203 3339 fax  
 california 92672  
 foxlin.com web  
 info@foxlin.com email

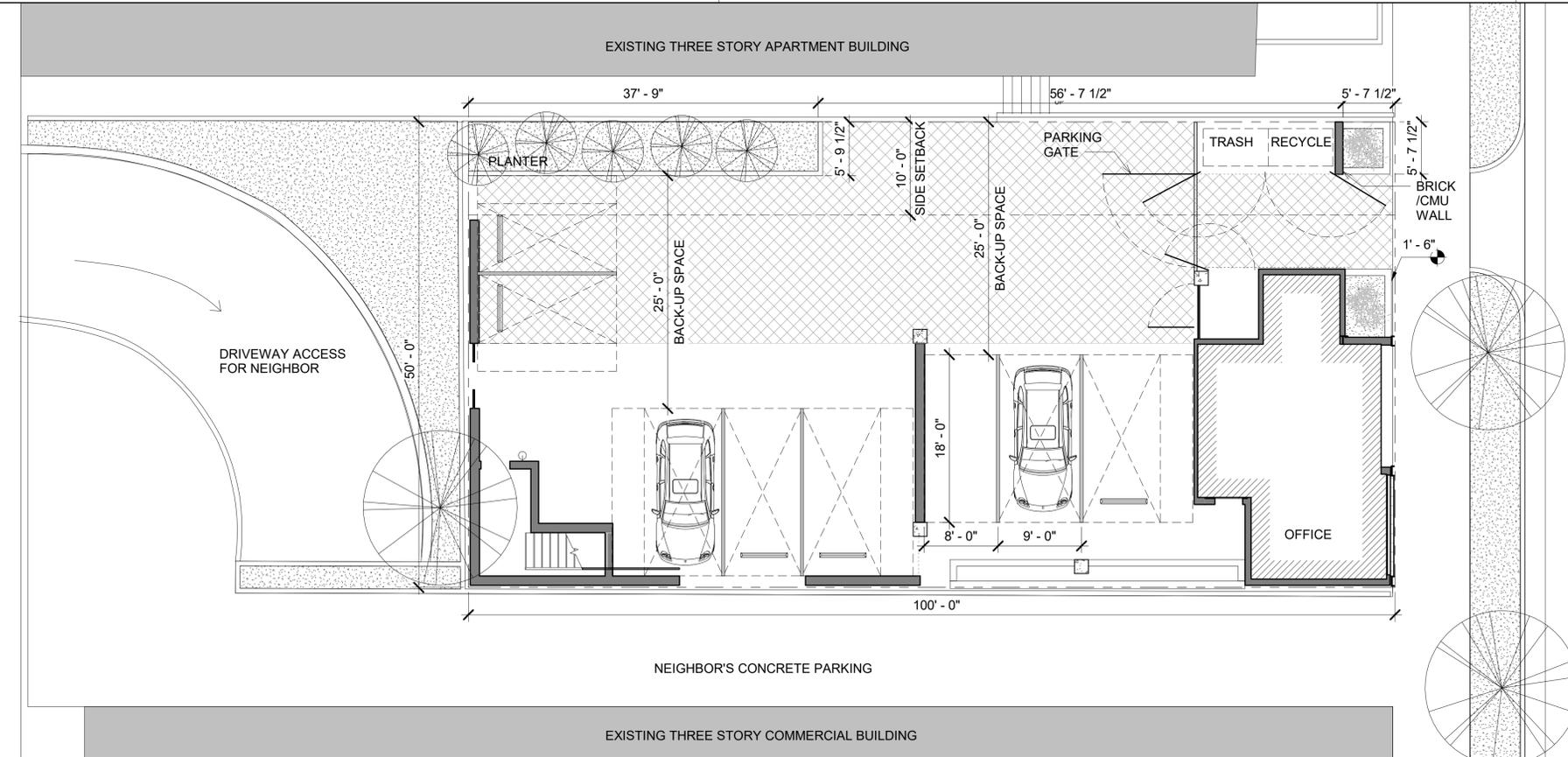
Date	5/31/2020 5:49:10 PM
Job #	1700
Revisions	05
Sheet Size	24" x 36"
Revision #	

Sheet Title  
 FIGURE GROUND

Sheet Number  
**A-100A**

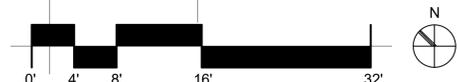
# REVISION DATE  
 REVISION DATES

9TH COURT



SIDEYARD LANDSCAPING CALCULATION:

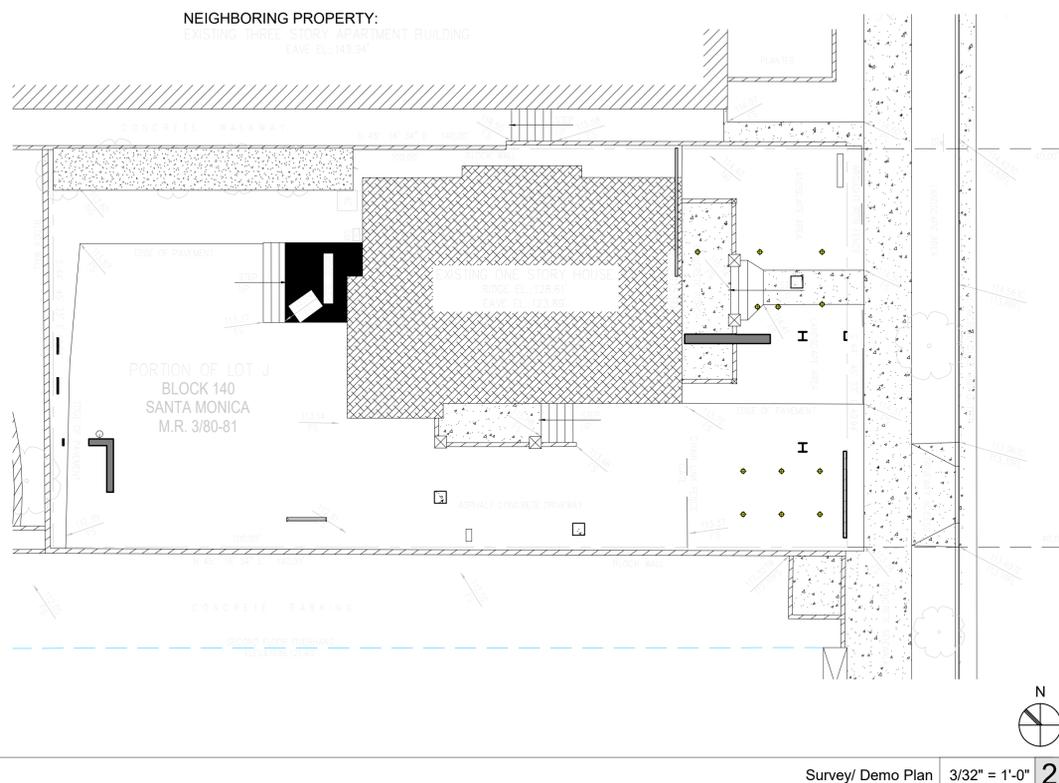
LANDSCAPING:	247.94 SF	24.8 %
[37' 9" x 5' 9.5"] + [5' 2.5" x 5' 7.5"] 218.64 SF + 29.3 SF = 247.94 SF		
PERMABLE PAVERS:	658.86 SF	65.9 %
[37' 9" x 4' 2.5"] + [40' 6" x 10"] + [21' 8.5" x 4' 4.5"] 158.86 SF + 405 SF + 95 SF = 533 SF		
HARDSCAPE:	92.8 SF	9.3 %
16' 6" x 5' 7.5" = 92.8 SF		
TOTAL SIDEYARD:	1000 SF	



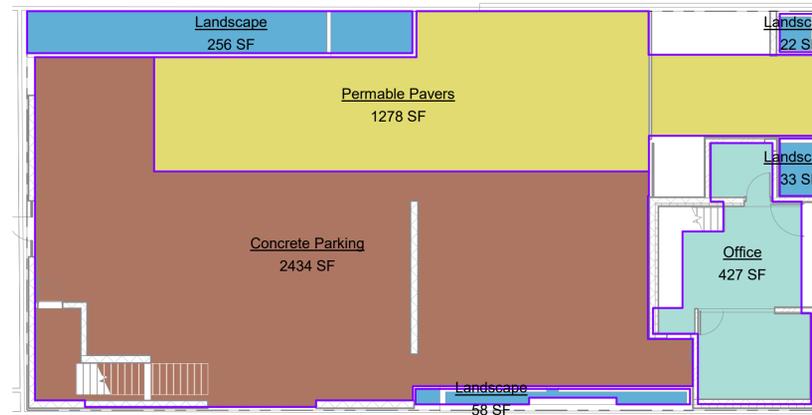
1. ALL NOTES LABELED NOT IN PERMIT (NIP) ARE NOT PART OF THIS APPLICATION. THESE ARE CARRIED OVER FROM THE RHODES CDP.
2. SOILS EXCAVATION, RECOMPACTION, AND GRADING TO FOLLOW PARAMETERS STATED IN GEOLOGICAL REPORT/UPDATE PREPARED BY GEOSOLIS, INC. DATED APRIL 16, 2010.
3. ALL NEW GRADED SLOPES SHALL BE NO STEEPER THAN 2H:1V.
4. ALL SURFACE WATER MUST DRAIN AWAY FROM BUILDING. A MINIMUM OF 5% WITHIN FIRST 10' HORIZONTAL (2% FOR IMPERVIOUS SURFACES).
5. ALL LOOSE FOUNDATION EXCAVATION MATERIAL SHALL BE REMOVED PRIOR TO COMMENCEMENT OF FRAMING. SLOPES DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED.
6. ALL RETAINING WALLS SHALL BE PROVIDED WITH A SUBDRAIN SYSTEM TO PREVENT POSSIBLE HYDROSTATIC PRESSURE BEHIND THE WALL.
7. ALL ROOF AND PAD DRAINAGE SHALL BE CONDUCTED TO THE STREET IN AN ACCEPTABLE MANNER. IF WATER SHALL BE DISPERSED ON TO DESCENDING SLOPES, ACQUIRE SPECIFIC APPROVAL FROM THE GRADING SECTION AND THE CONSULTING GEOLOGIST AND/OR SOIL ENGINEER.
8. ALL DECK DRAINAGE SHALL BE COLLECTED AND CONDUCTED TO AN APPROVED LOCATION IN A NON-EROSIVE DEVICE.
9. CONTRACTOR TO REVIEW BOTH PROPOSED SITE DRAINAGE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS THAT DO NOT ALLOW FOR POSITIVE DRAINAGE AWAY FROM BUILDING AND OTHER STRUCTURES. DO NOT COMMENCE SITE DRAINAGE WORK UNTIL ALL DISCREPANCIES AND CONDITIONS HAVE BEEN REVIEWED BY ARCHITECT.
10. ALL PIPING SHALL BE 4-INCH DIAMETER, U.O.N. NOTIFY ARCHITECT OF DISCREPANCIES OR UNDERSIZED PIPING SYSTEMS.
11. ALL SOLID DRAINAGE PIPING SHALL HAVE A MINIMUM SLOPE OF 2% UNLESS OTHERWISE NOTED.
12. 5% DRAINAGE AROUND/AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 10'. ALTERNATIVELY, SWALES WITH SLOPE OF 2% SHALL BE LOCATED WITHIN 10' OF BUILDING FOUNDATION.
13. ALL EXISTING TREES TO REMAIN, UNLESS OTHERWISE NOTED. PROTECT EXISTING TREES DURING ALL CONSTRUCTION OPERATIONS, AS NEEDED.
14. ARCHITECT TO VERIFY ALL DRAIN LOCATIONS PRIOR TO THEIR INSTALLATION.
15. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM E.
16. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
17. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

10th Street	10th Street	1700
1348 10th st	1348 10th st	1700
Santa Monica, CA 90401	Santa Monica, CA 90401	1700
Joseph Ferry, Esquire	Joseph Ferry, Esquire	1700

GENERAL NOTES

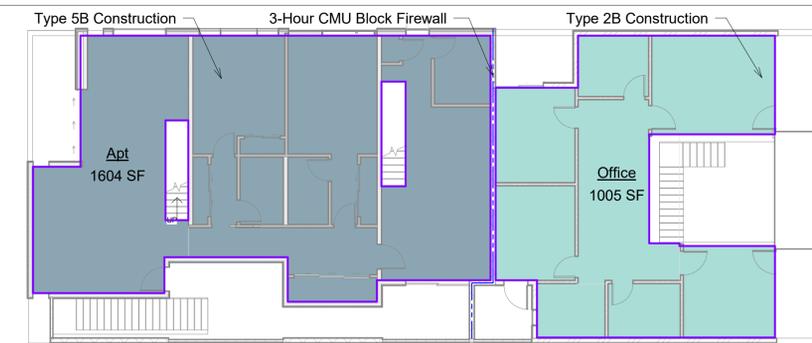


Survey/ Demo Plan 3/32" = 1'-0" 2



SITE PLAN 1/8" = 1'-0" 1		SITE NOTES	
<b>AREA LEGEND</b>			
	Concrete Parking		Landscape
	Office		Permable Pavers
<b>SITE LEGEND</b>			
	P.L. PROPERTY LINE		SETBACK
	BUILDING FOOTPRINT		PERMEABLE PAVERS
	TREE / FOLIAGE		HOSE BIB
	METAL FENCE		WOOD FENCE
	EXISTING UTILITIES		PROPOSED UTILITIES
	ELEVATION		

Level 1 Area Plan 3/32" = 1'-0" 5



Level 2 Area Plan 3/32" = 1'-0" 3	
<b>AREA LEGEND</b>	
	Apt
	Office

B	08/16/2019
A	07/02/2019

10th Street

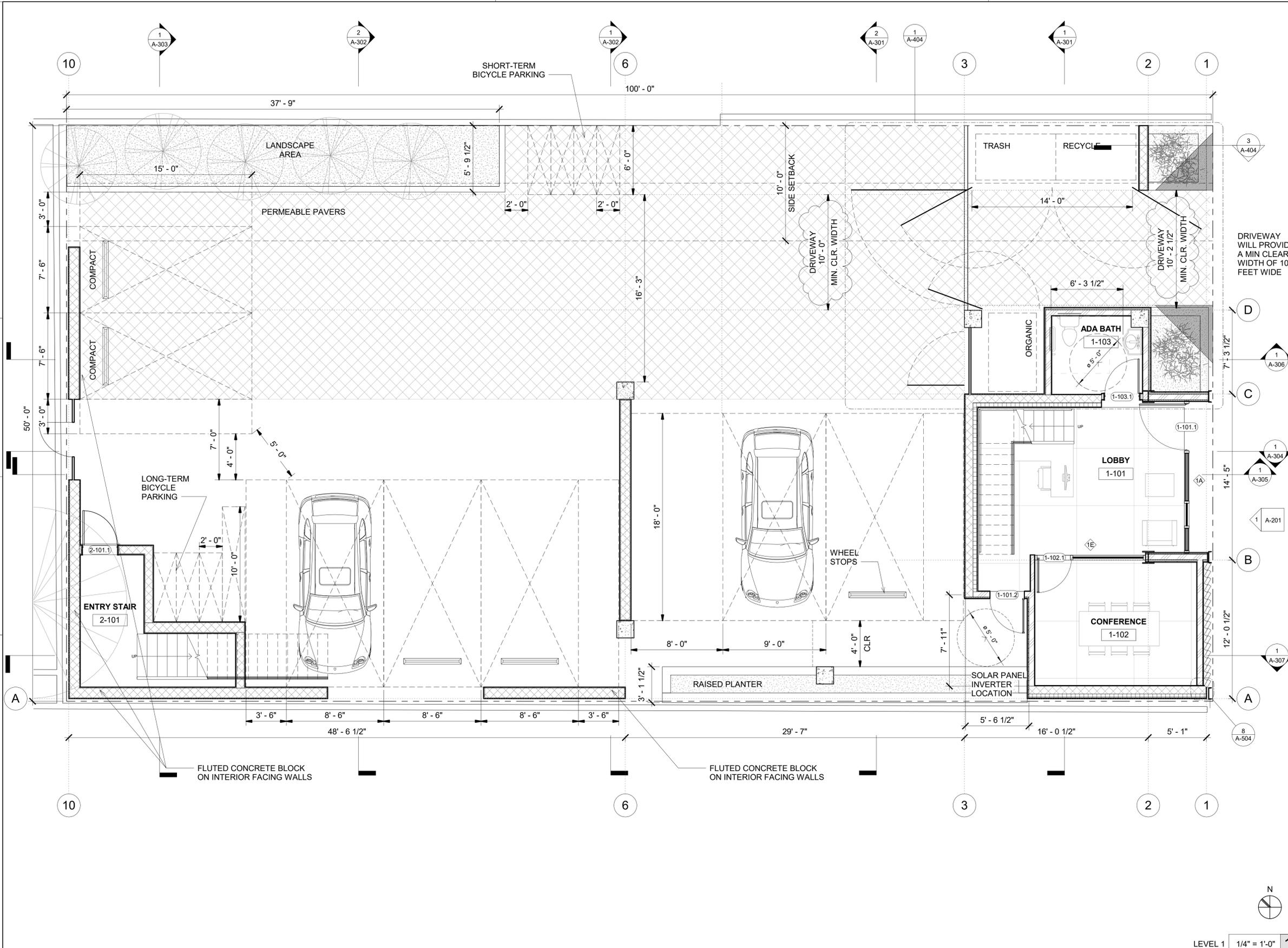
<b>PROJECT ADDRESS</b>	<b>CLIENT</b>
1348 10th st Santa Monica, CA 90401	Joseph Ferry, Esquire

<b>DRAWING SET</b>	<b>AGENCY</b>
architecture design consulting	foxlin

392 camino de estrella 949 325 3001 phone san clemente, 949 203 3339 fax california 92672 foxlin.com web info@foxlin.com email
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Date	Job #	Revisions	Revision #
5/31/2020 5:49:15 PM	1700	24" x 36"	B
			AA Submittal 2

Sheet Title	Sheet Number	#	REVISION DATE
SITE PLAN	A-100B		REVISION DATES



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT

WALL LEGEND	
[Pattern]	2X4 WOOD STUD - WALL
[Pattern]	2X6 WOOD STUD - WALL
[Pattern]	2X4 METAL STUD - WALL
[Pattern]	2X6 METAL STUD - WALL
[Pattern]	8" CMU
[Pattern]	12" CMU
[Pattern]	4" GLASS BLOCK
[Pattern]	OVERHEAD
[Symbol]	D.S. DOWNSPOUT

NOTES	
[Symbol]	# TO STRUCTURE
[Symbol]	# TO FINISH

1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.
5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5" LOWER THAN THE DOOR THRESHOLD.
6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATED COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.
7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS, ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.
10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.
11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.
12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.
14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/ 12" FOR BOTTOM OF THE COMPARTMENT ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
19. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
20. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
21. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
22. PROVIDE COMBUSTION AIR FOR WATER HEATER W/ 12" FOR BOTTOM OF THE COMPARTMENT
23. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARS TO DRAIN TO GREYWATER.
24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5.  
 2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE ARCHITECT PRIOR TO PROCEEDING WITH ARCHITECTURE. 6.  
 3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE. DRAWINGS REPRESENT DESIGN INTENT. 6.  
 4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK. 6.  
 5. ANY INCONSISTENCIES OR UNFOUNDED CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH ARCHITECTURE. 6.  
 6. DRAWINGS REPRESENT DESIGN INTENT. 6.  
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS.

GENERAL NOTES	
10th Street	
1348 10th st	
Santa Monica, CA 90401	
Joseph Ferry, Esquire	
1700	

#	DISPOSITION	BY	ISSUED TO	DATE
C	AA Submittal 3	FL	City	10/25/2019
B	AA Submittal 2	FL	City	08/16/2019
A	AA Submittal 1	FL	City	07/02/2019

# 10th Street

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY



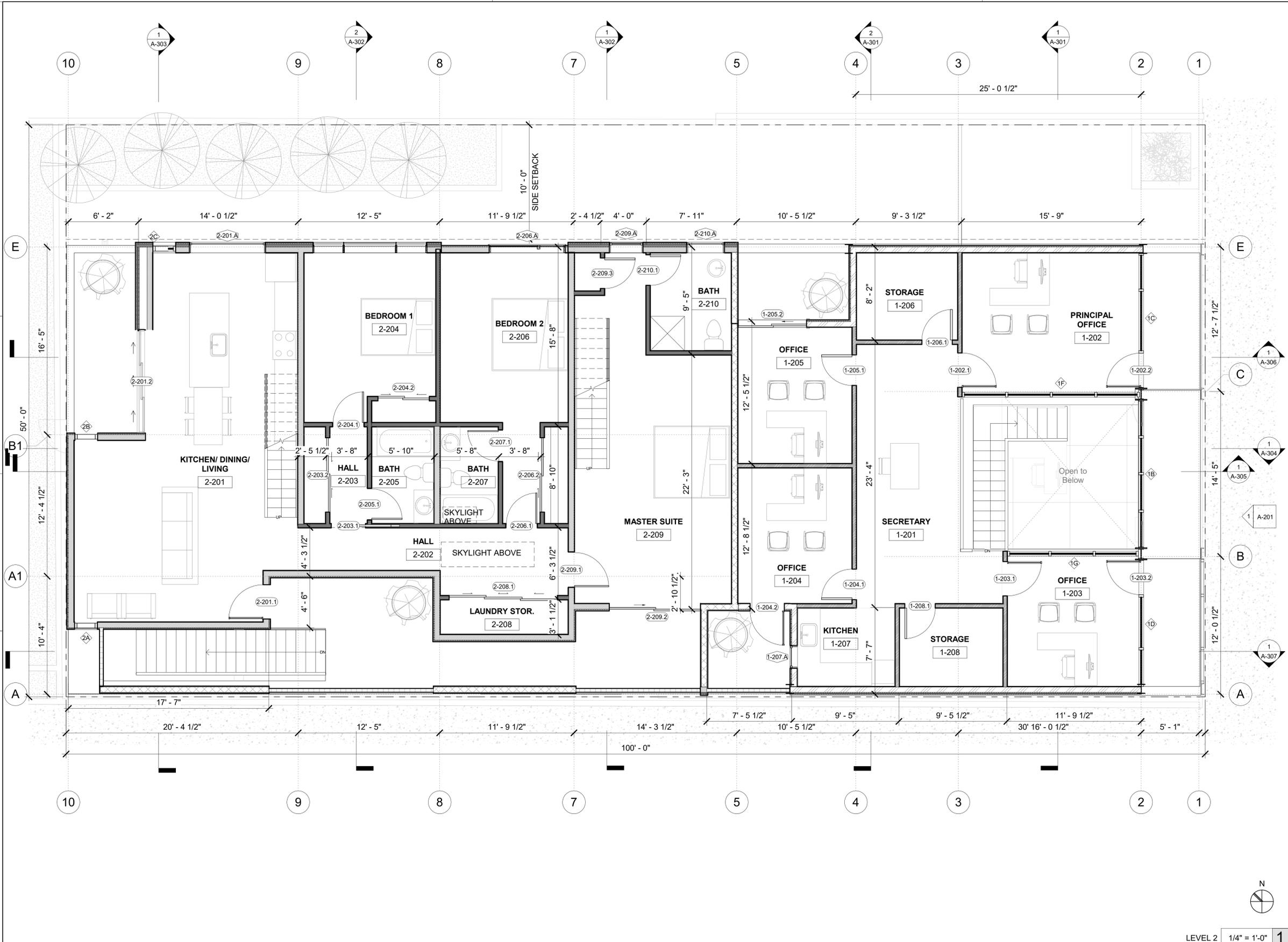
392 camino de estrella 949 325 3001 phone  
san clemente, 949 203 3339 fax  
california 92672 foxlin.com web  
info@foxlin.com email

Date Job # 1700 24" x 36"  
5/31/2020 5:49:19 PM  
Revision # C  
AA Submittal 3

LEVEL 1 1/4" = 1'-0" 1

Sheet Title	Sheet Number
1ST FLOOR PLAN	A-104

#	REVISION DATE
C	10/25/2019
B	08/16/2019
A	07/02/2019



KEYNOTE LEGEND

KEY	KEYNOTE TEXT
(Symbol)	2X4 WOOD STUD - WALL
(Symbol)	2X6 WOOD STUD - WALL
(Symbol)	2X4 METAL STUD - WALL
(Symbol)	2X6 METAL STUD - WALL
(Symbol)	8" CMU
(Symbol)	12" CMU
(Symbol)	4" GLASS BLOCK
(Symbol)	OVERHEAD
(Symbol)	D.S. DOWNSPOUT

WALL LEGEND

WALL TYPE	NOTES
(Symbol)	2X4 WOOD STUD - WALL
(Symbol)	2X6 WOOD STUD - WALL
(Symbol)	2X4 METAL STUD - WALL
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NOTES

1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.
5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5" LOWER THAN THE DOOR THRESHOLD.
6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATED COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.
7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS, ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.
10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.
11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.
12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.
14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/ 12" FOR BOTTOM OF THE COMPARTMENT ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
19. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
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24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.

ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. DRAWINGS REPRESENT DESIGN INTENT AND SHALL BE THE ARCHITECT'S RESPONSIBLE FOR MEANS AND METHODS.

5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. DRAWINGS REPRESENT DESIGN INTENT AND SHALL BE THE ARCHITECT'S RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
1348 10th st  
Santa Monica, CA 90401  
Joseph Ferry, Esquire  
1700

DATE	REVISION	SCHEDULE
07/02/2019	AA Submittal 1	REVISION SCHEDULE
07/02/2019	AA Submittal 1	REVISION SCHEDULE

**10th Street**

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY

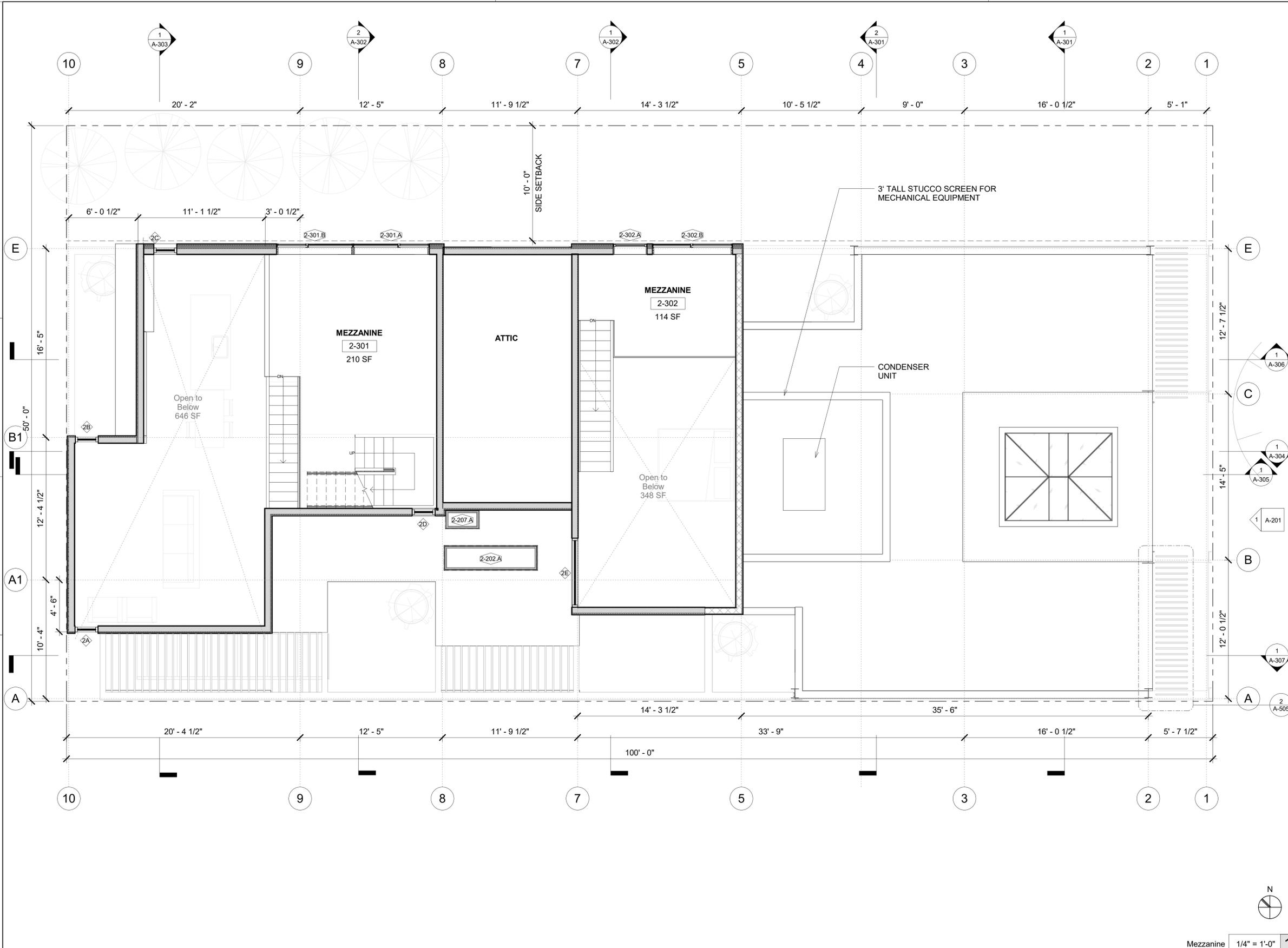
**foxlin** architecture design consulting

392 camino de estrella 949 325 3001 phone  
san clemente, 949 203 3339 fax  
california 92672  
foxlin.com web  
info@foxlin.com email

**Job #** 1700  
**Rev** 05  
**Date** 5/31/2020 5:49:27 PM

**Sheet Title** 2ND FLOOR PLAN  
**Sheet Number** A-105

**LEVEL** 2  
**SCALE** 1/4" = 1'-0"  
**REVISION #** 1  
**REVISION DATE** 07/02/2019



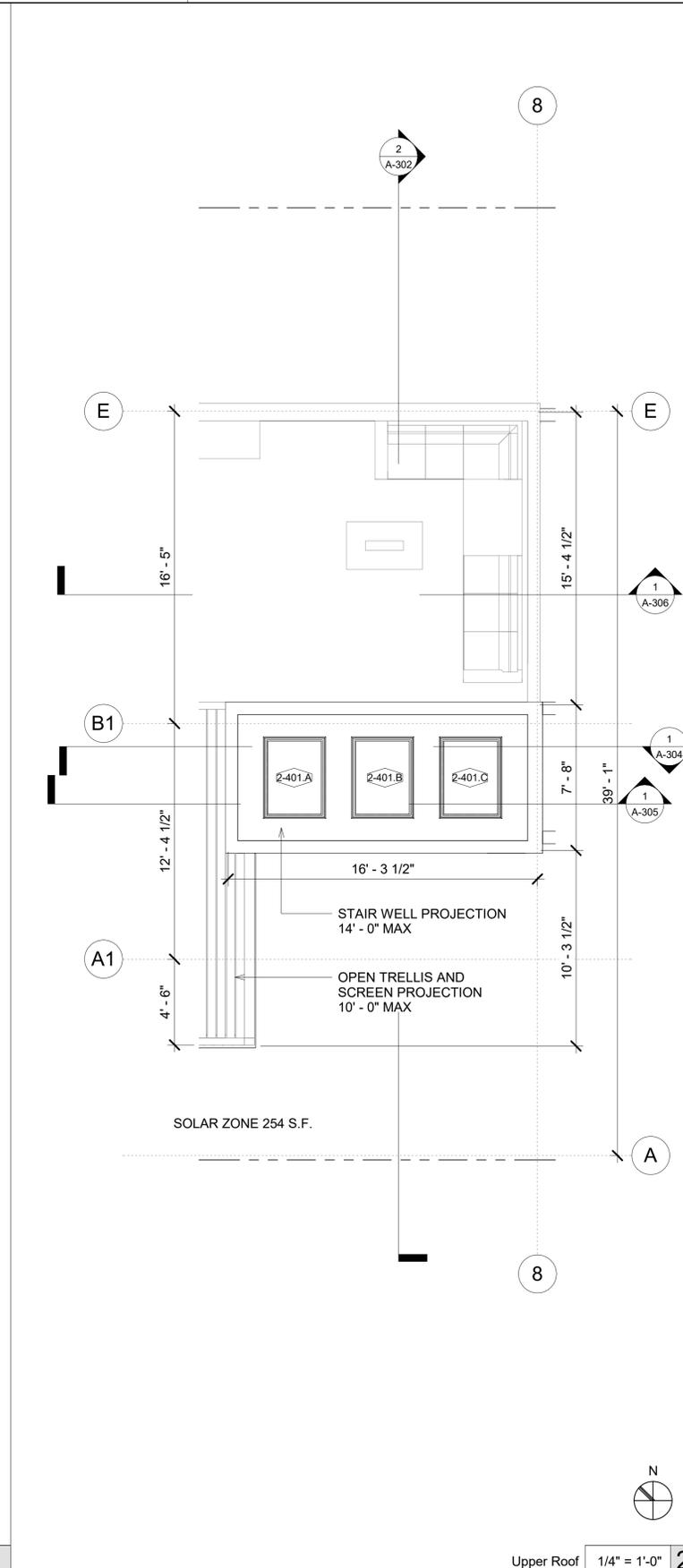
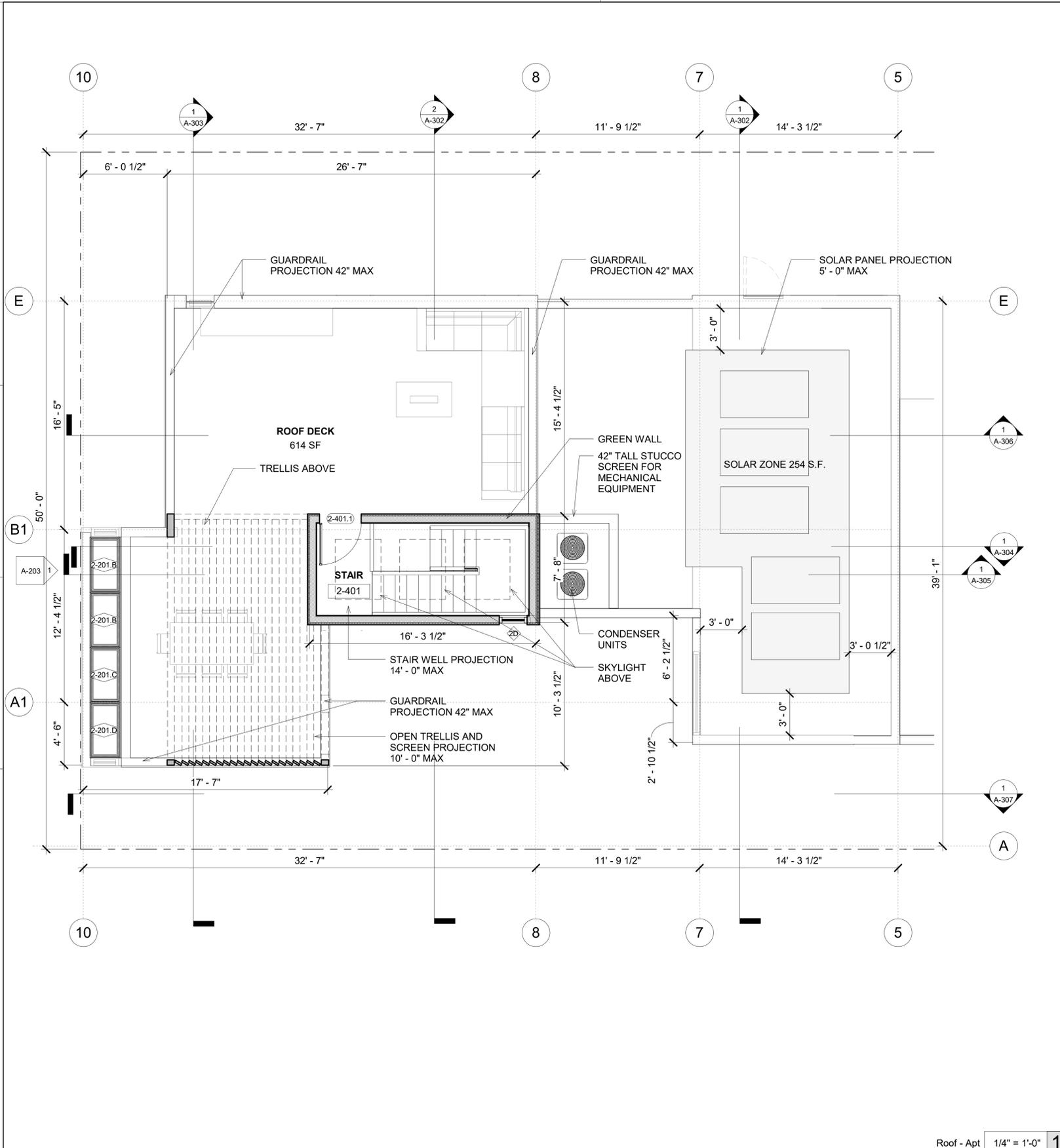
KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
(Symbol)	2X4 WOOD STUD - WALL
(Symbol)	2X6 WOOD STUD - WALL
(Symbol)	2X4 METAL STUD - WALL
(Symbol)	2X6 METAL STUD - WALL
(Symbol)	8" CMU
(Symbol)	12" CMU
(Symbol)	4" GLASS BLOCK
(Symbol)	OVERHEAD
(Symbol)	D.S. DOWNSPOUT

WALL LEGEND	
(Symbol)	2X4 WOOD STUD - WALL
(Symbol)	2X6 WOOD STUD - WALL
(Symbol)	2X4 METAL STUD - WALL
(Symbol)	2X6 METAL STUD - WALL
(Symbol)	8" CMU
(Symbol)	12" CMU
(Symbol)	4" GLASS BLOCK
(Symbol)	OVERHEAD
(Symbol)	D.S. DOWNSPOUT

NOTES	
(Symbol)	TO STRUCTURE
(Symbol)	TO FINISH

1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
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8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
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11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.
12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
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15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
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24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5.		<b>GENERAL NOTES</b> 10th Street 1348 10th st Santa Monica, CA 90401 Joseph Ferry, Esquire 1700
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.		
3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE.		07/02/2019
4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.		DATE
5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.		FL City
6. DRAWINGS REPRESENT DESIGN INTENT AND SHALL BE USED AS A GUIDE FOR MEANS AND METHODS.		BY
		REVISION SCHEDULE
		#
		DISCRIPTION
		DATE
		REVISION DATE
		REVISION DATES



**KEYNOTE LEGEND**

KEY	KEYNOTE TEXT
[Symbol]	2X4 WOOD STUD - WALL
[Symbol]	2X6 WOOD STUD - WALL
[Symbol]	2X4 METAL STUD - WALL
[Symbol]	2X6 METAL STUD - WALL
[Symbol]	8" CMU
[Symbol]	12" CMU
[Symbol]	4" GLASS BLOCK
[Symbol]	OVERHEAD
[Symbol]	D.S. DOWNSPOUT

**WALL LEGEND**

**NOTES**

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24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.

**GENERAL NOTES**

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2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE.
4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
5. ANY INCONSISTENCIES OR UNFOUNDED CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. DRAWINGS REPRESENT DESIGN INTENT AND SHALL NOT BE USED AS A MEANS FOR MEANS AND METHODS.

NO.	DESCRIPTION	DATE
B	AA Submittal 2	08/16/2019
A	AA Submittal 1	07/02/2019

10th Street  
1348 10th st  
Santa Monica, CA 90401  
Joseph Ferry, Esquire  
1700

10th Street

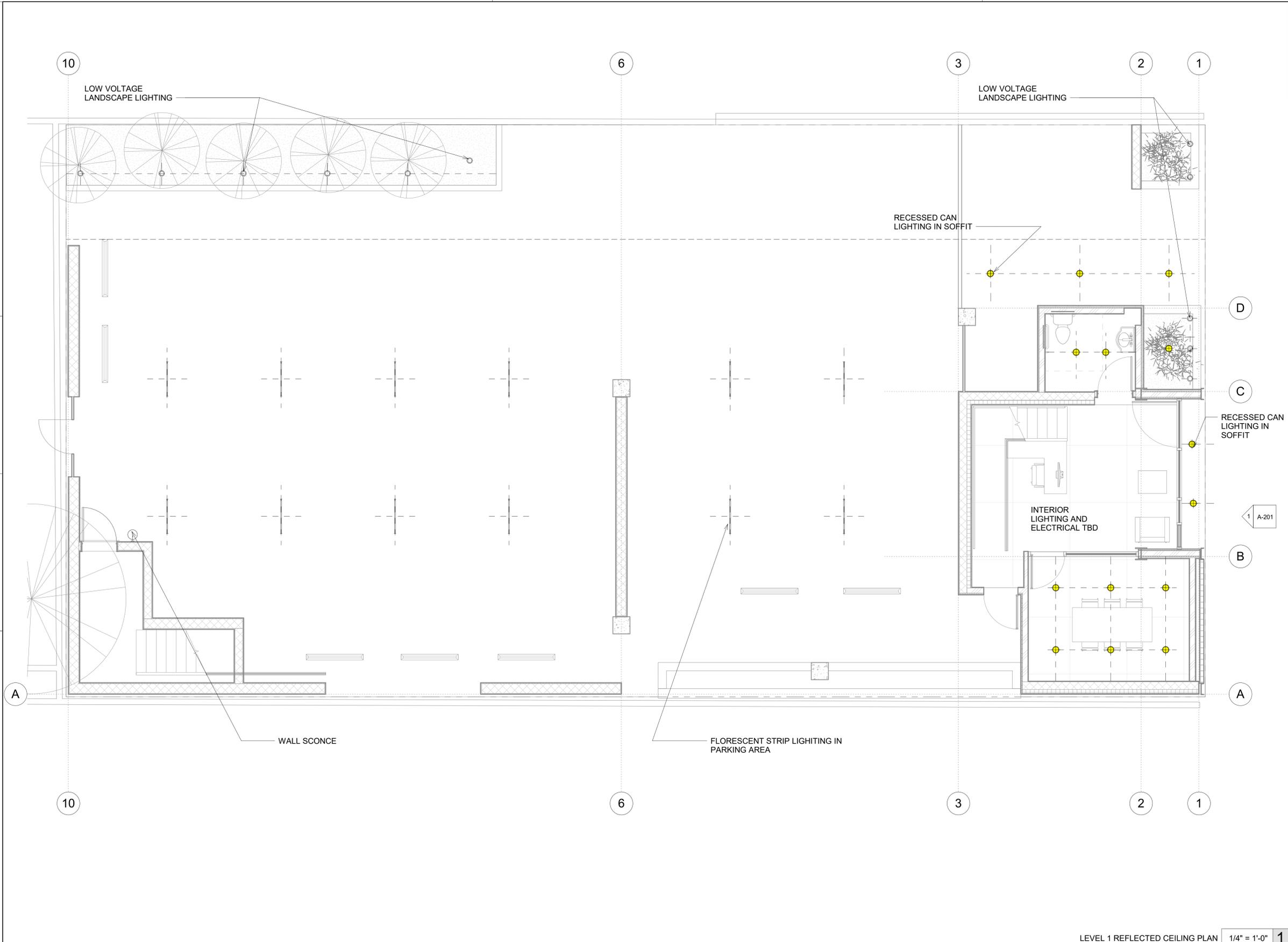
<b>PROJECT ADDRESS</b> 1348 10th st Santa Monica, CA 90401	<b>CLIENT</b> Joseph Ferry, Esquire	<b>DRAWING SET</b> AGENCY
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392 camino de estrella 949 325 3001 phone  
san clemente, 949 203 3339 fax  
california 92672  
foxlin.com web  
info@foxlin.com email

Date	5/31/2020 5:49:33 PM
Job #	1700
Revisions	24" x 36"
Revision #	B
Revision Description	AA Submittal 2

Sheet Title	ROOF PLAN	Sheet Number	A-107	#	REVISION DATE
					REVISION DATES



RCP LEGEND

- DROP CEILING
- 2X4 WALL
- 2X6 WALL
- OVERHEAD

RCP LEGEND

1. ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.
2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.
3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.
4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.

RCP NOTES

- SURFACE MOUNTED LIGHT
- RECESSED CEILING CAN
- FLUORESCENT STRIP FIXTURE
- RECESSED CEILING SPOT FIXTURE
- WATERPROOF RECESSED CEILING FIXTURE
- WALL MOUNTED FIXTURE
- RECESSED WALL FIXTURE
- PENDANT FIXTURE WITH PULL CHAIN
- PENDANT FIXTURE
- FAN/LIGHT COMBO FIXTURE
- CHANDELIER FIXTURE
- WELL LIGHT FIXTURE

RCP KEY

1 A-201

LEVEL 1 REFLECTED CEILING PLAN 1/4" = 1'-0" 1

10th Street

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY



392 camino de estrella 949 325 3001 phone  
san clemente, 949 203 3339 fax  
california 92672  
foxlin.com web  
info@foxlin.com email

**Job #** 1700 **Size** 24" x 36"  
**Date** 5/31/2020 5:49:37 PM **Revision #**

Sheet Title	Sheet Number	#	REVISION DATE
1ST FLOOR RCP	A-108		REVISION DATES

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
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10th Street  
1348 10th st  
Santa Monica, CA 90401  
Joseph Ferry, Esquire  
1700



RCP LEGEND	
	DROP CEILING
	2X4 WALL
	2X6 WALL
	OVERHEAD

- RCP LEGEND
- ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.
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RCP NOTES

	SURFACE MOUNTED LIGHT
	RECESSED CEILING CAN
	FLUORESCENT STRIP FIXTURE
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	WALL MOUNTED FIXTURE
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RCP KEY

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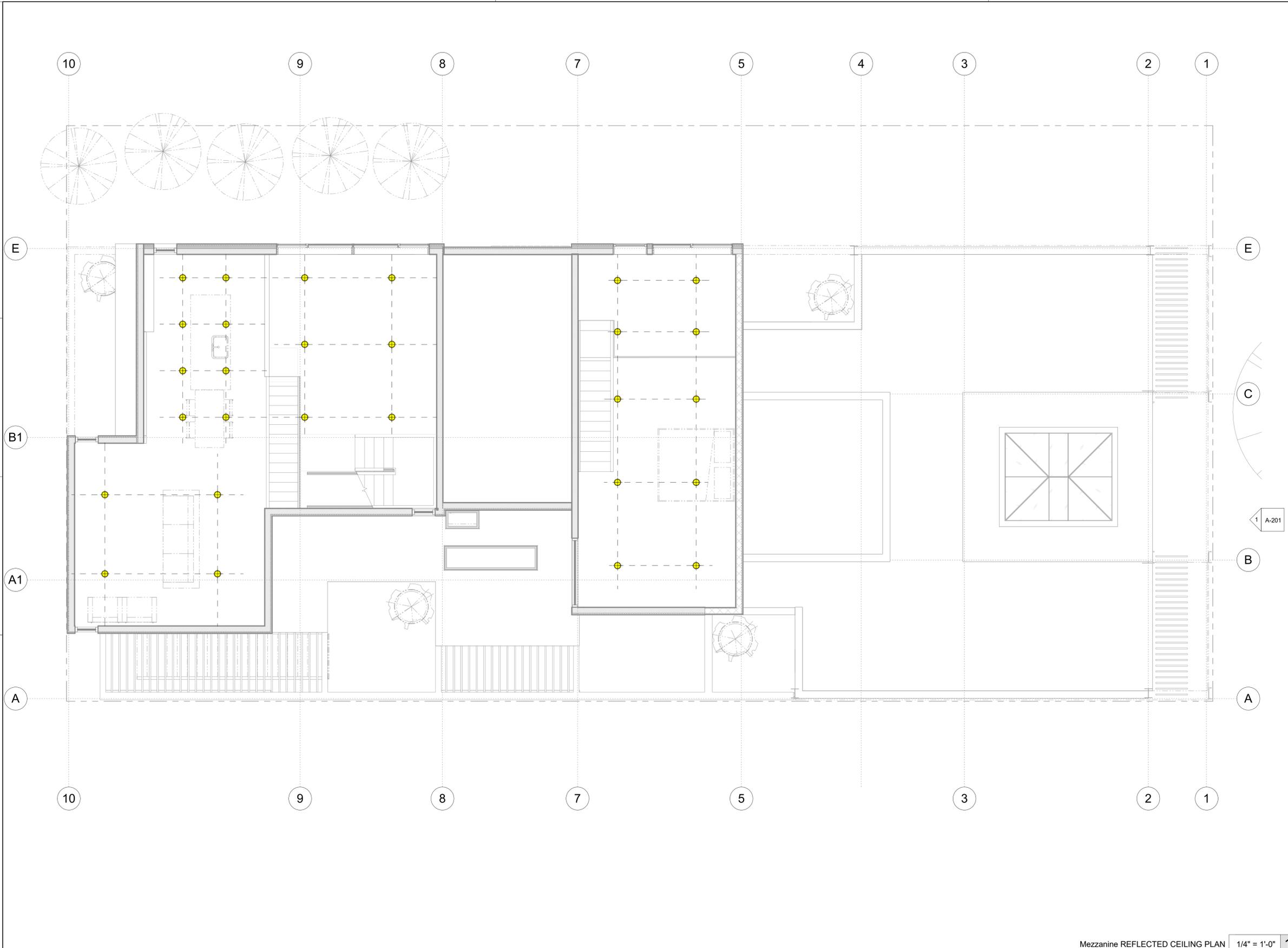
10th Street	
1348 10th st	
Santa Monica, CA 90401	
Joseph Ferry, Esquire	
1700	

LEVEL 2 REFLECTED CEILING PLAN 1/4" = 1'-0" 1

A-110 // MEZZANINE RCP // ISSUED: 01/08/20

5/31/2020 5:49:47 PM

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**RCP LEGEND**

- DROP CEILING
- 2X4 WALL
- 2X6 WALL
- OVERHEAD

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10th Street  
1348 10th st  
Santa Monica, CA 90401  
Joseph Ferry, Esquire  
1700

Mezzanine REFLECTED CEILING PLAN 1/4" = 1'-0" 1

10th Street

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY



392 camino de estrella 949 325 3001 phone  
san clemente, 949 203 3339 fax  
california 92672  
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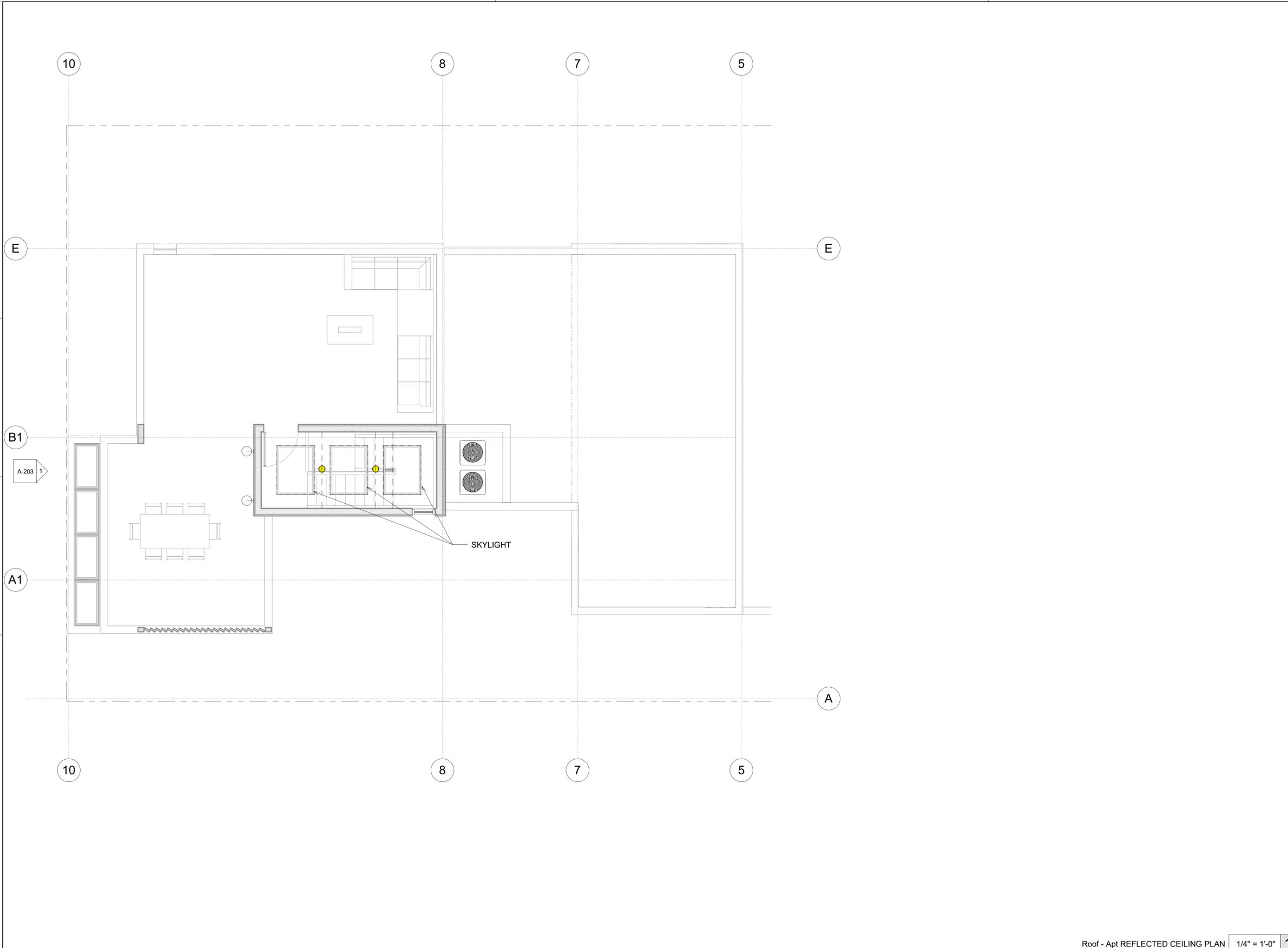
**Job #** 1700 **Size** 24" x 36"  
**Date** 5/31/2020 5:49:47 PM  
**Revision #**

Sheet Title  
MEZZANINE RCP

Sheet Number  
A-110

# REVISION DATE  
REVISION DATES

# DISCRPTION BY ISSUED TO REVISION SCHEDULE DATE



RCP LEGEND

- DROP CEILING
- 2X4 WALL
- 2X6 WALL
- OVERHEAD

RCP LEGEND

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2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.
3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.
4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.

RCP NOTES

- SURFACE MOUNTED LIGHT
- RECESSED CEILING CAN
- FLUORESCENT STRIP FIXTURE
- RECESSED CEILING SPOT FIXTURE
- WATERPROOF RECESSED CEILING FIXTURE
- WALL MOUNTED FIXTURE
- RECESSED WALL FIXTURE
- PENDANT FIXTURE WITH PULL CHAIN
- PENDANT FIXTURE
- FAN/LIGHT COMBO FIXTURE
- CHANDELIER FIXTURE
- WELL LIGHT FIXTURE

RCP KEY

ANY INCONSISTENCIES OR UNFORESSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. DRAWINGS REPRESENT DESIGN INTENT ONLY. ARCHITECT NOT RESPONSIBLE FOR MEANS AND METHODS.

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5.  
 2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.  
 3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

**GENERAL NOTES**

10th Street  
 1348 10th st  
 Santa Monica, CA 90401  
 Joseph Ferry, Esquire  
 1700

#	DISCRPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE

Roof - Apt REFLECTED CEILING PLAN 1/4" = 1'-0" 1

10th Street

**PROJECT ADDRESS**  
 1348 10th st  
 Santa Monica, CA 90401

**CLIENT**  
 Joseph Ferry, Esquire

**DRAWING SET**  
 AGENCY



392 camino de estrella 949 325 3001 phone  
 san clemente, 949 203 3339 fax  
 california 92672  
 foxlin.com web  
 info@foxlin.com email

Job #	1700	Size	24" x 36"
Date	5/31/2020 5:49:49 PM	Revision #	

Sheet Title  
 ROOF RCP

Sheet Number  
**A-111**

# REVISION DATE  
 REVISION DATES



### MATERIALS



**SMOOTH STUCCO**  
PAINTED BLACK



**WOOD TRELLIS**  
NATURAL COLOR



**EXPOSED STEEL STRUCTURE**  
PAINTED BLACK - MATTE FINISH



**ALUMINUM DOORS AND WINDOWS**  
BRONZE ANODIZED ALUMINUM FRAMES



**BRICK SIDING**  
PAINTED BLACK



**WOOD SCREEN**  
NATURAL COLOR



**FIBER CEMENT PANELING**  
DARK GREY - MATTE FINISH

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5.  
 2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE  
 ARCHITECT PRIOR TO PROCEEDING WITH  
 CONSTRUCTION. 6.  
 3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE  
 DRAWINGS REPRESENT DESIGN INTENT  
 CONTRACTOR IS RESPONSIBLE FOR  
 MEANS AND METHODS.

10th Street  
 1348 10th st  
 Santa Monica, CA 90401

REVISION #	DISCRIPTION	BY	ISSUED TO	DATE
B	AA Submittal 2	FL	City	08/16/2019
A	AA Submittal 1	FL	City	07/02/2019

REVISION #	REVISION DATE
B	08/16/2019
A	07/02/2019

### GENERAL NOTES

10th Street

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY



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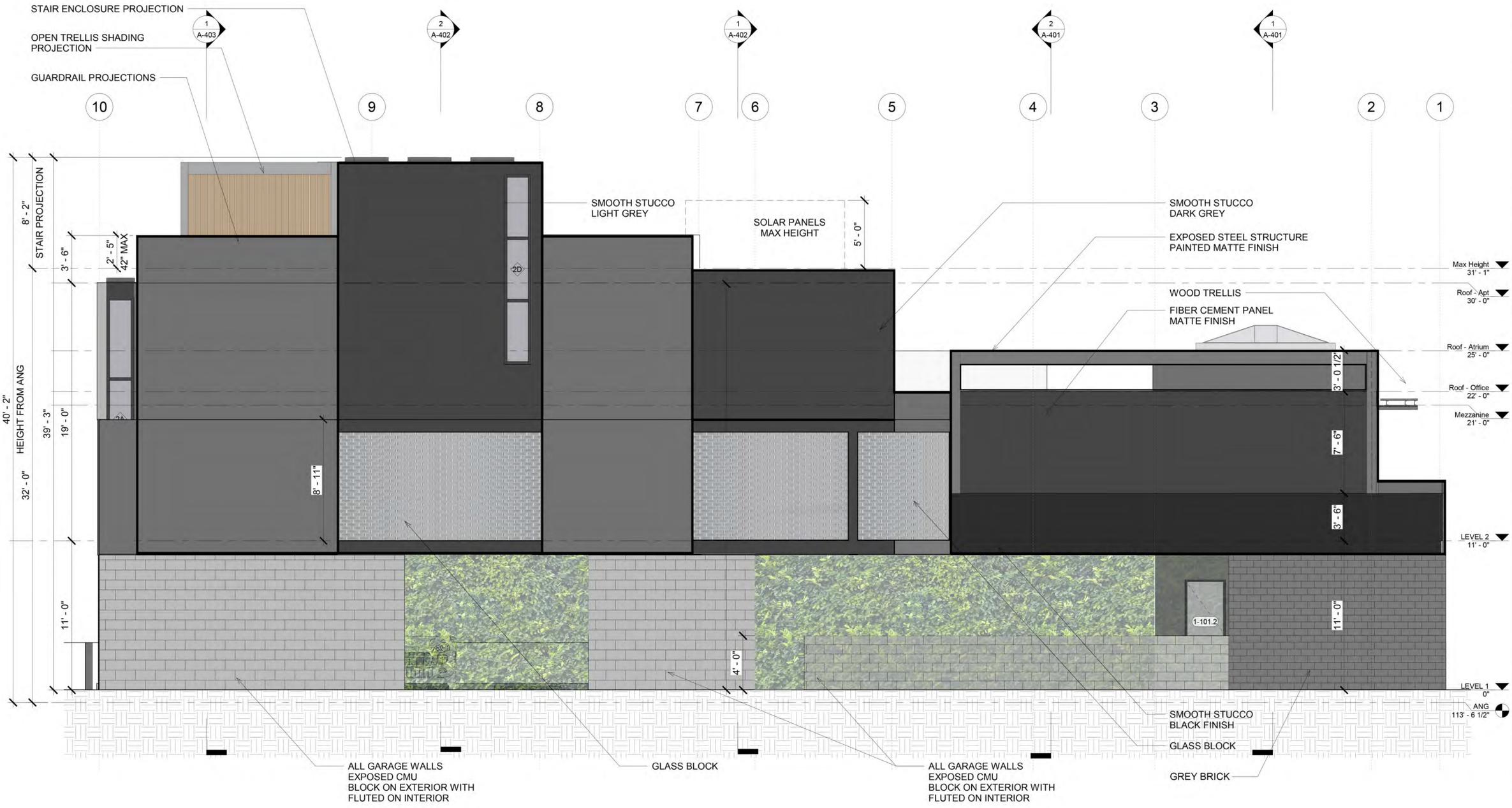
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Job #	1700
Size	24" x 36"
Revision #	B
Revision #	AA Submittal 2

Elevation - East 1/4" = 1'-0" 1

Sheet Title  
EAST ELEVATION

Sheet Number  
**A-301**

# REVISION DATE  
REVISION DATES



**MATERIALS**



**SMOOTH STUCCO**  
PAINTED BLACK



**WOOD TRELLIS**  
NATURAL COLOR



**EXPOSED STEEL STRUCTURE**  
PAINTED BLACK - MATTE FINISH



**ALUMINUM DOORS AND WINDOWS**  
BRONZE ANODIZED ALUMINUM FRAMES



**BRICK SIDING**  
PAINTED BLACK



**WOOD SCREEN**  
NATURAL COLOR



**FIBER CEMENT PANELING**  
DARK GREY - MATTE FINISH

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
4. DRAWINGS REPRESENT DESIGN INTENT ONLY. ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
1348 10th st  
Santa Monica, CA 90401

Joseph Ferry, Esquire  
1700

DISCREPTION	ISSUED TO	DATE	REVISION SCHEDULE
B AA Submittal 2	FL City	08/16/2019	
A AA Submittal 1	FL City	07/02/2019	

#	REVISION DATE
B	08/16/2019
A	07/02/2019

**10th Street**

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY



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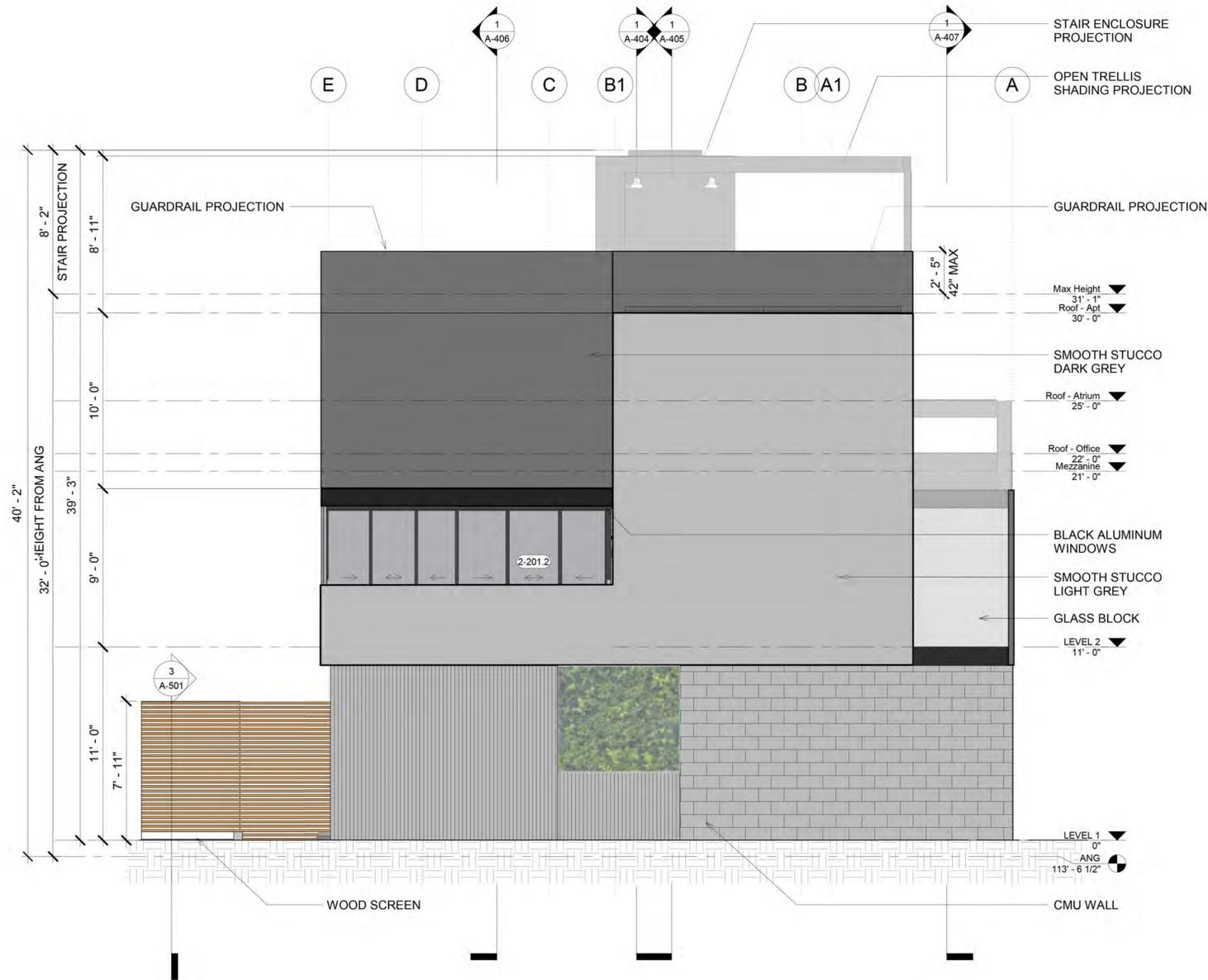
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Job # 1700  
Site 24" x 36"  
Revision # B  
AA Submittal 2

Elevation - South 1/4" = 1'-0" 1

Sheet Title  
SOUTH ELEVATION

Sheet Number  
**A-302**

# REVISION DATE  
REVISION DATES



**MATERIALS**



**SMOOTH STUCCO**  
PAINTED BLACK



**WOOD TRELLIS**  
NATURAL COLOR



**EXPOSED STEEL STRUCTURE**  
PAINTED BLACK - MATTE FINISH



**ALUMINUM DOORS AND WINDOWS**  
BRONZE ANODIZED ALUMINUM FRAMES



**BRICK SIDING**  
PAINTED BLACK



**WOOD SCREEN**  
NATURAL COLOR



**FIBER CEMENT PANELING**  
DARK GREY - MATTE FINISH

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
4. DRAWINGS REPRESENT DESIGN INTENT. CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
1348 10th st  
Santa Monica, CA 90401

Joseph Ferry, Esquire  
1700

08/16/2019	DATE
07/02/2019	DATE
BY	REVISION SCHEDULE
DISCRPTION	

B	08/16/2019
A	07/02/2019
#	REVISION DATE
	REVISION DATES

**10th Street**

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY



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california 92672 foxlin.com web  
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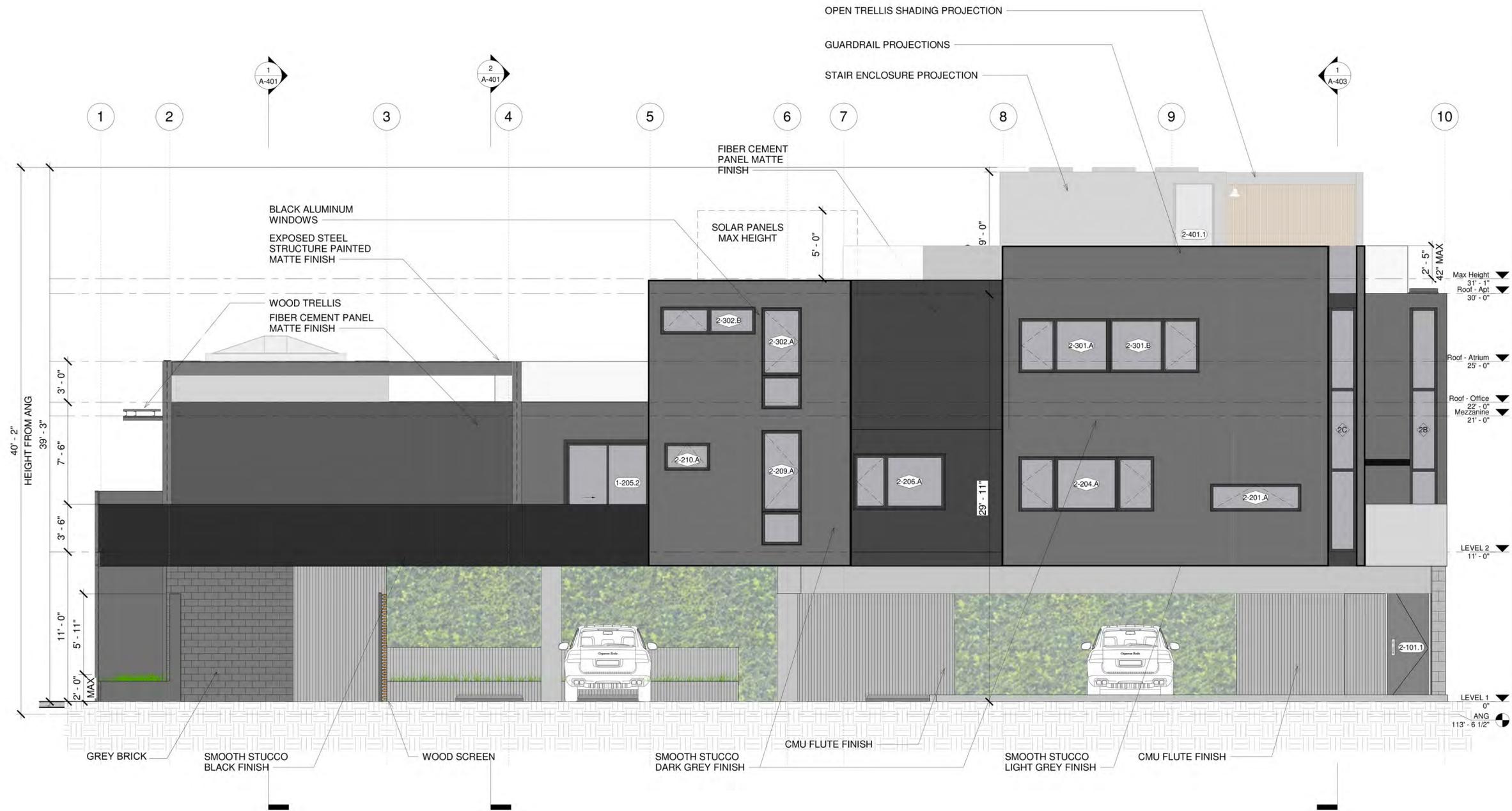
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Elevation - West 1/4" = 1'-0" 1

**Revision #** B  
AA Submittal 2

**Sheet Title**  
WEST ELEVATION

**Sheet Number**  
A-303



### MATERIALS



SMOOTH STUCCO  
PAINTED BLACK



WOOD TRELLIS  
NATURAL COLOR



EXPOSED STEEL STRUCTURE  
PAINTED BLACK - MATTE FINISH



ALUMINUM DOORS AND WINDOWS  
BRONZE ANODIZED ALUMINUM FRAMES



BRICK SIDING  
PAINTED BLACK



WOOD SCREEN  
NATURAL COLOR



FIBER CEMENT PANELING  
DARK GREY - MATTE FINISH

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNRESOLVED CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. 6. DRAWINGS REPRESENT DESIGN INTENT AND SHALL NOT BE RESPONSIBLE FOR MEANS AND METHODS.

2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED. 3. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

10th Street  
1348 10th st  
Santa Monica, CA 90401

Joseph Ferry, Esquire  
1700

#	DISCRIPTION	BY	ISSUED TO	DATE	REVISION SCHEDULE
B	AA Submittal 2	FL	City	08/16/2019	
A	AA Submittal 1	FL	City	07/02/2019	

#	REVISION DATE
B	08/16/2019
A	07/02/2019

## 10th Street

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY



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california 92672  
foxlin.com web  
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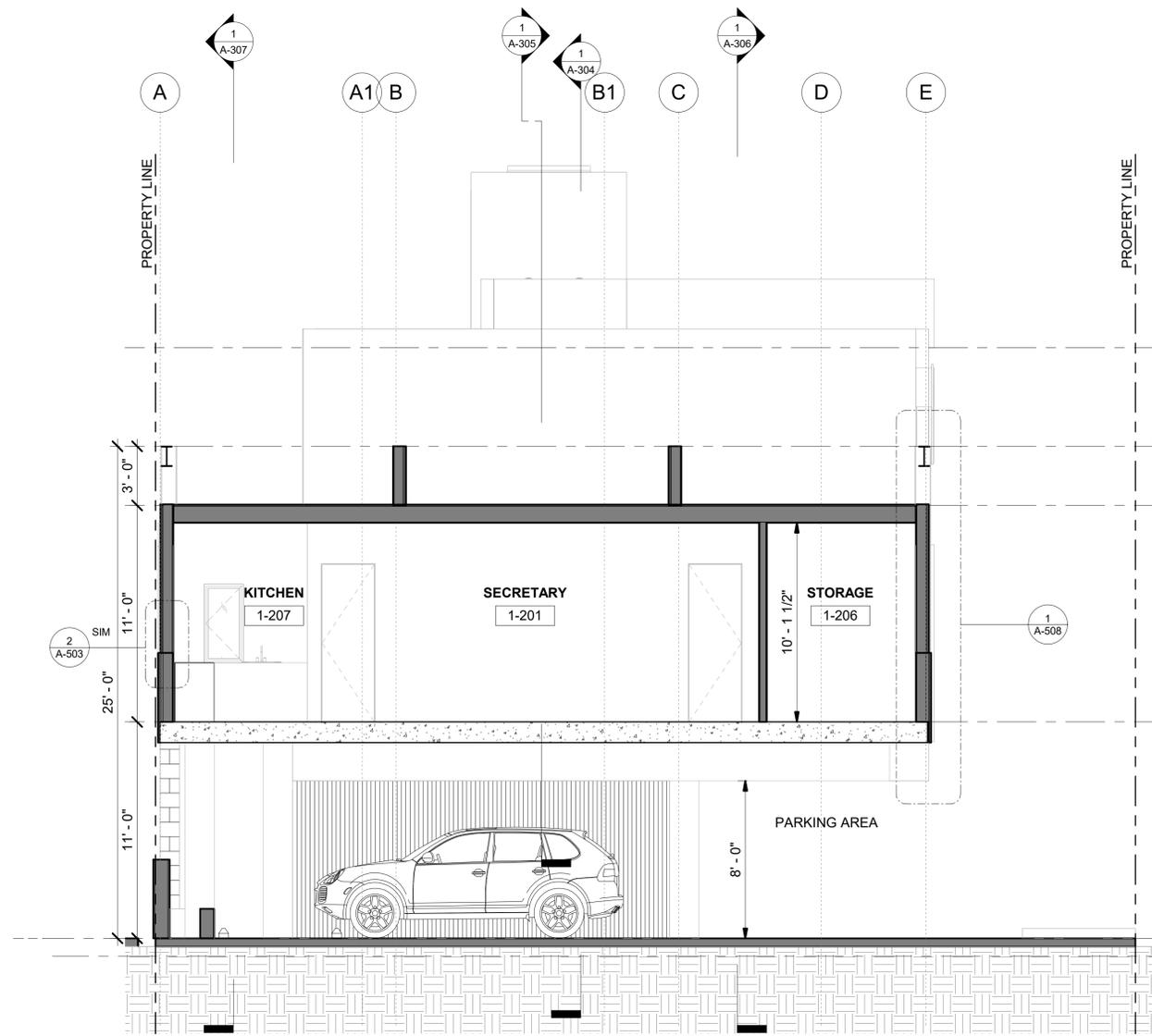
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Job #	1700
Size	24" x 36"
Revision #	B
Revision	AA Submittal 2

Elevation - North 1/4" = 1'-0" 1

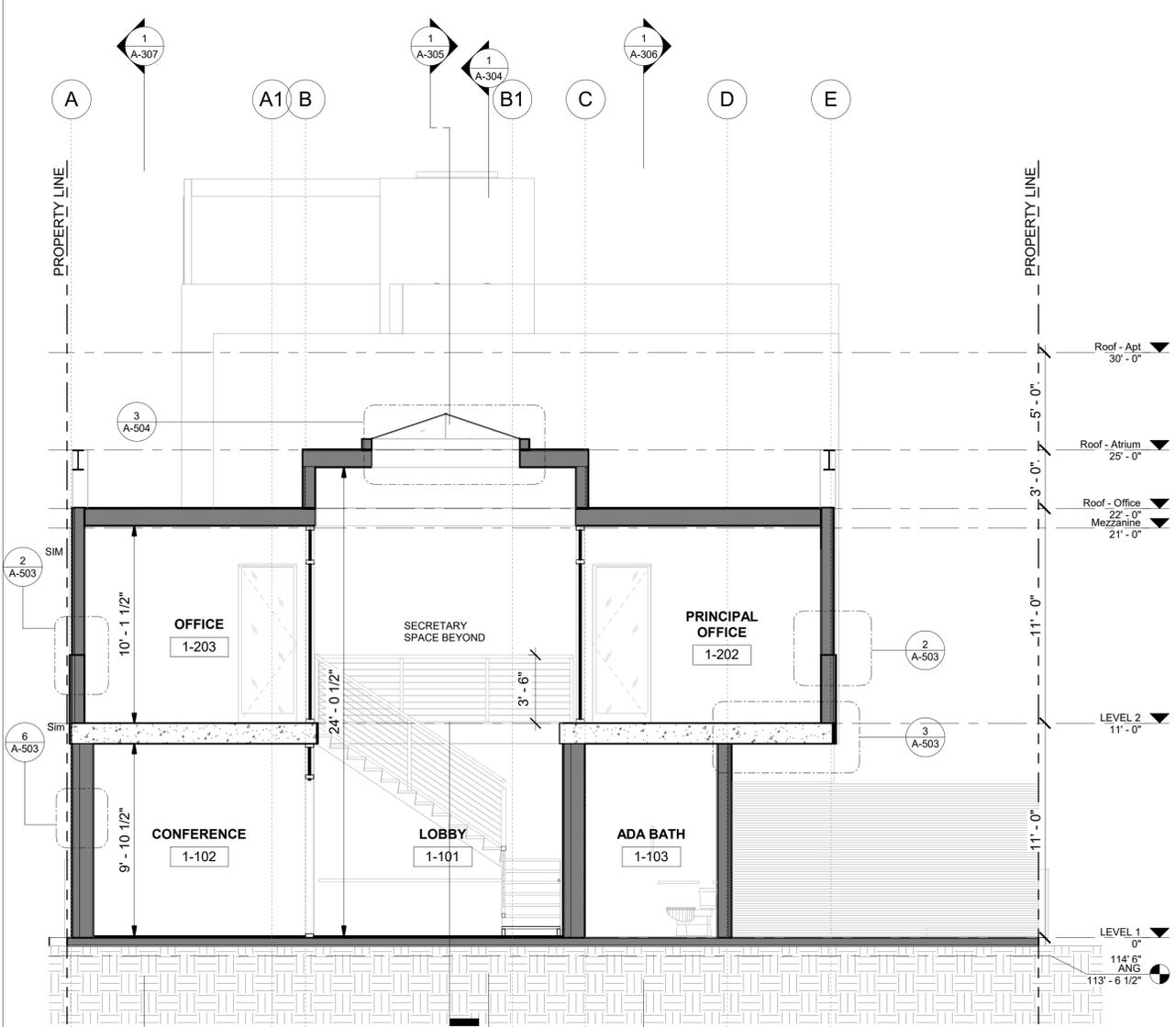
Sheet Title  
NORTH ELEVATION

Sheet Number  
**A-304**

# REVISION DATES



Section 2 1/4" = 1'-0" 2



Section 1 1/4" = 1'-0" 1

# 10th Street

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
AGENCY



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california 92672  
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**Job #** 1700  
**Date** 5/31/2020 5:52:23 PM  
**Size** 24" x 36"  
**Revision #** A  
AA Submittal 1

**Sheet Title**  
BUILDING SECTIONS

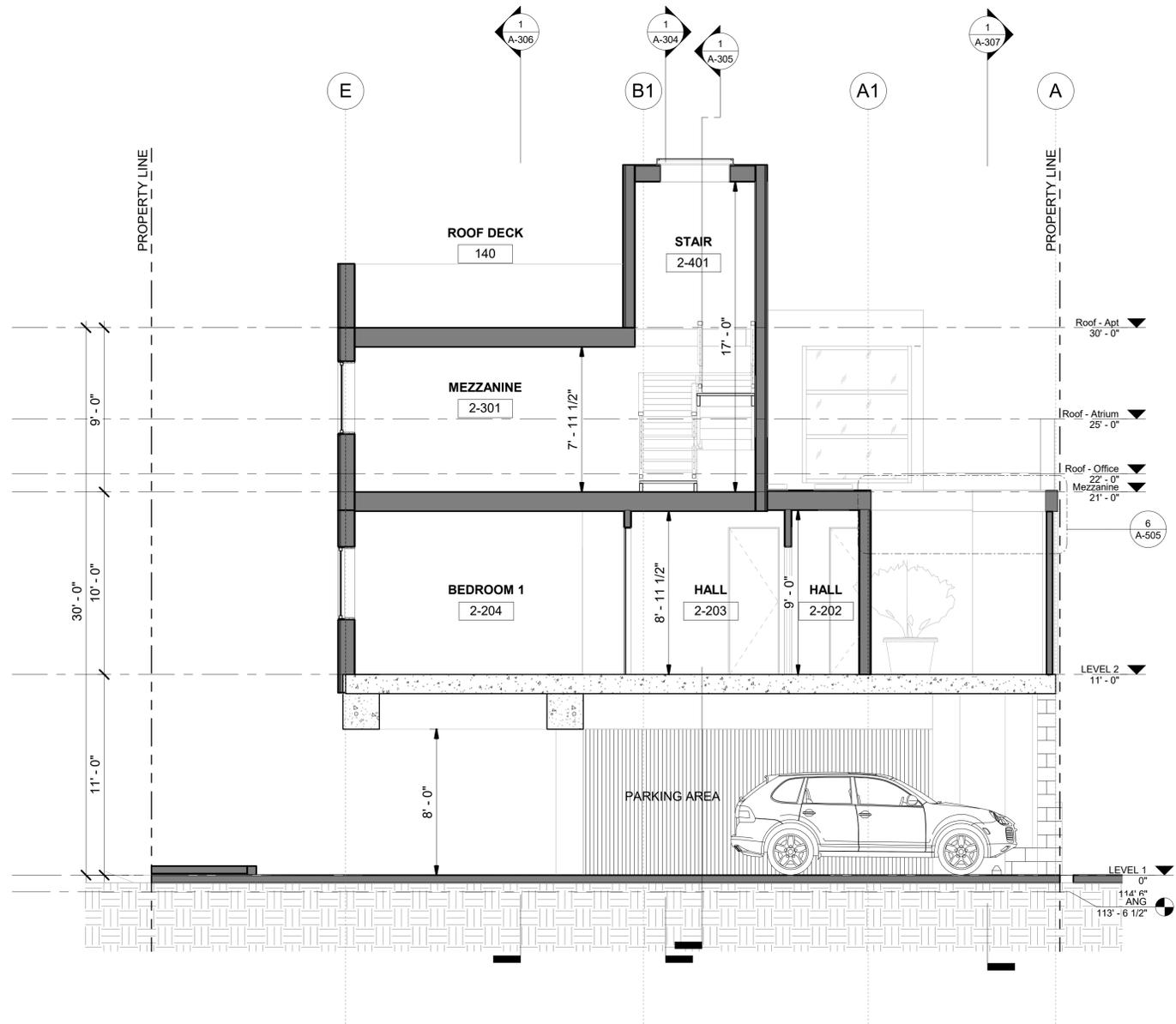
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A-301

#	REVISION DATE
1	07/02/2019

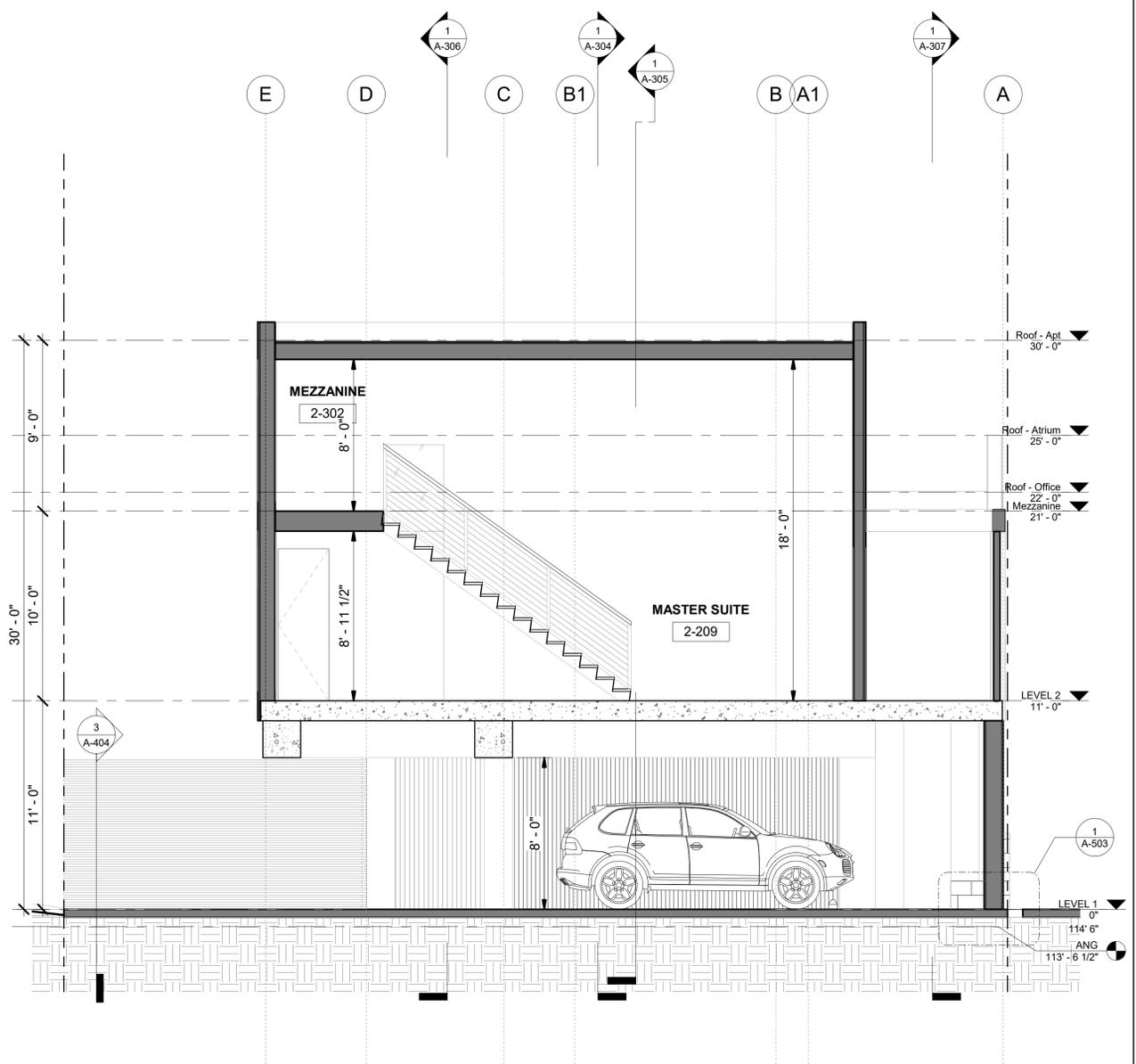
- GENERAL NOTES**
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
  2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
  3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
  4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
  5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
  6. DRAWINGS REPRESENT DESIGN INTENT AND ARE NOT RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
1348 10th st  
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Joseph Ferry, Esquire  
1700

AA Submittal #	FL City	BY	ISSUED TO	DATE	REVISION SCHEDULE
1	FL	BY	ISSUED TO	07/02/2019	DATE



Section 4 1/4" = 1'-0" 2



Section 3 1/4" = 1'-0" 1

# 10th Street

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

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AGENCY



architecture  
design  
consulting

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**Date** 5/31/2020 5:52:26 PM  
**Job #** 1700  
**Size** 24" x 36"  
**Revision #** A  
AA Submittal 1

**Sheet Title**  
BUILDING SECTIONS

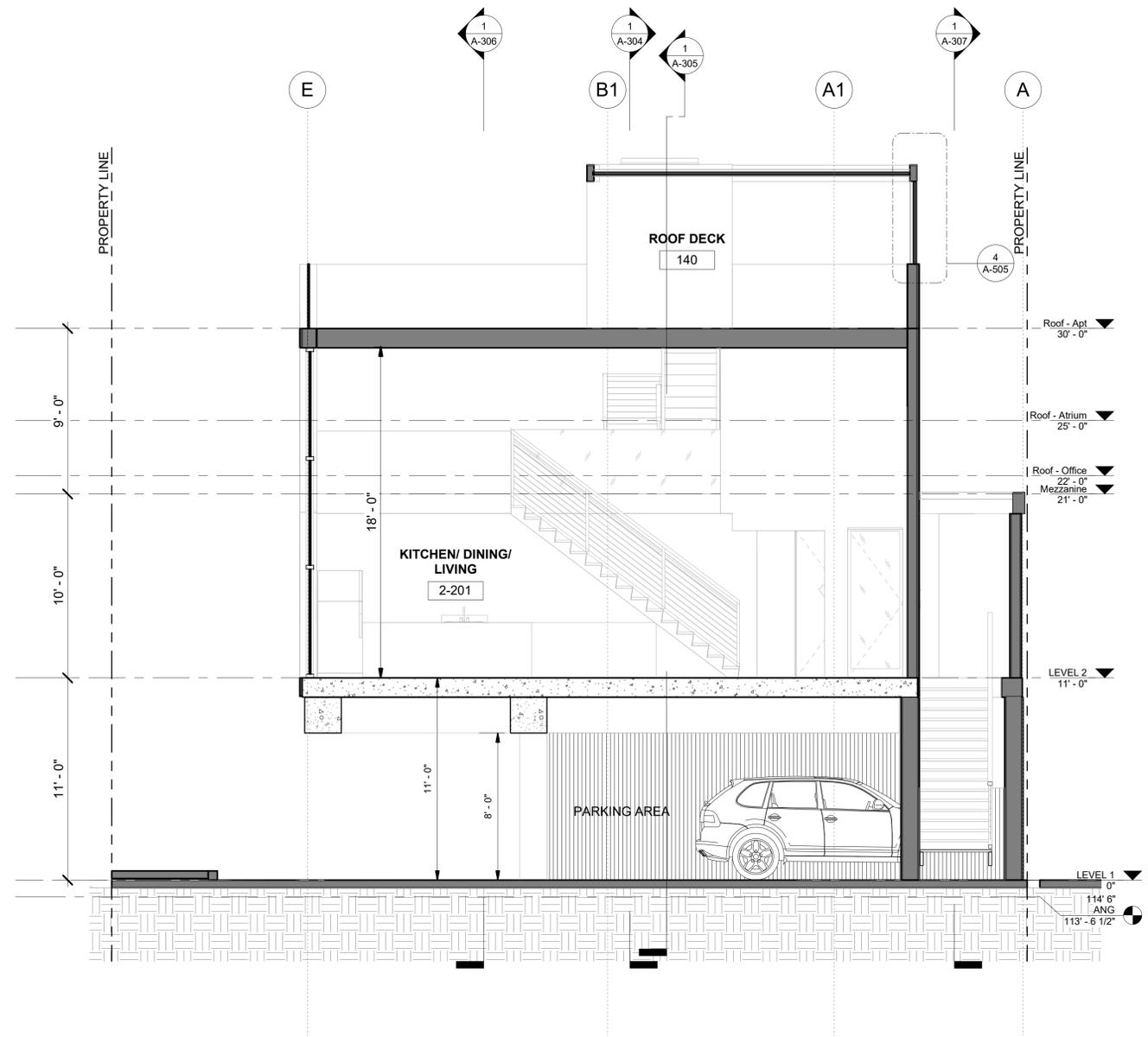
**Sheet Number**  
A-302

**REVISION DATES**  
# 07/02/2019  
REVISION DATE

- GENERAL NOTES**
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
  2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
  3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
  4. ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. DRAWINGS REPRESENT DESIGN INTENT AND ARE NOT RESPONSIBLE FOR MEANS AND METHODS.
  5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
  6. BEFORE PROCEEDING WITH THE WORK.

10th Street  
1348 10th st  
Santa Monica, CA 90401  
Joseph Ferry, Esquire  
1700

AA Submittal #	FL City	BY	ISSUED TO	DATE
1	FL	BY	ISSUED TO	DATE



Section 5 1/4" = 1'-0" 1

10th Street

**PROJECT ADDRESS**  
1348 10th st  
Santa Monica, CA 90401

**CLIENT**  
Joseph Ferry, Esquire

**DRAWING SET**  
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392 camino de estrella 949 325 3001 phone  
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**Date** 5/31/2020 5:52:28 PM  
**Job #** 1700  
**Size** 24" x 36"  
**Revision #** A

AA Submittal 1

**Sheet Title**  
BUILDING SECTIONS

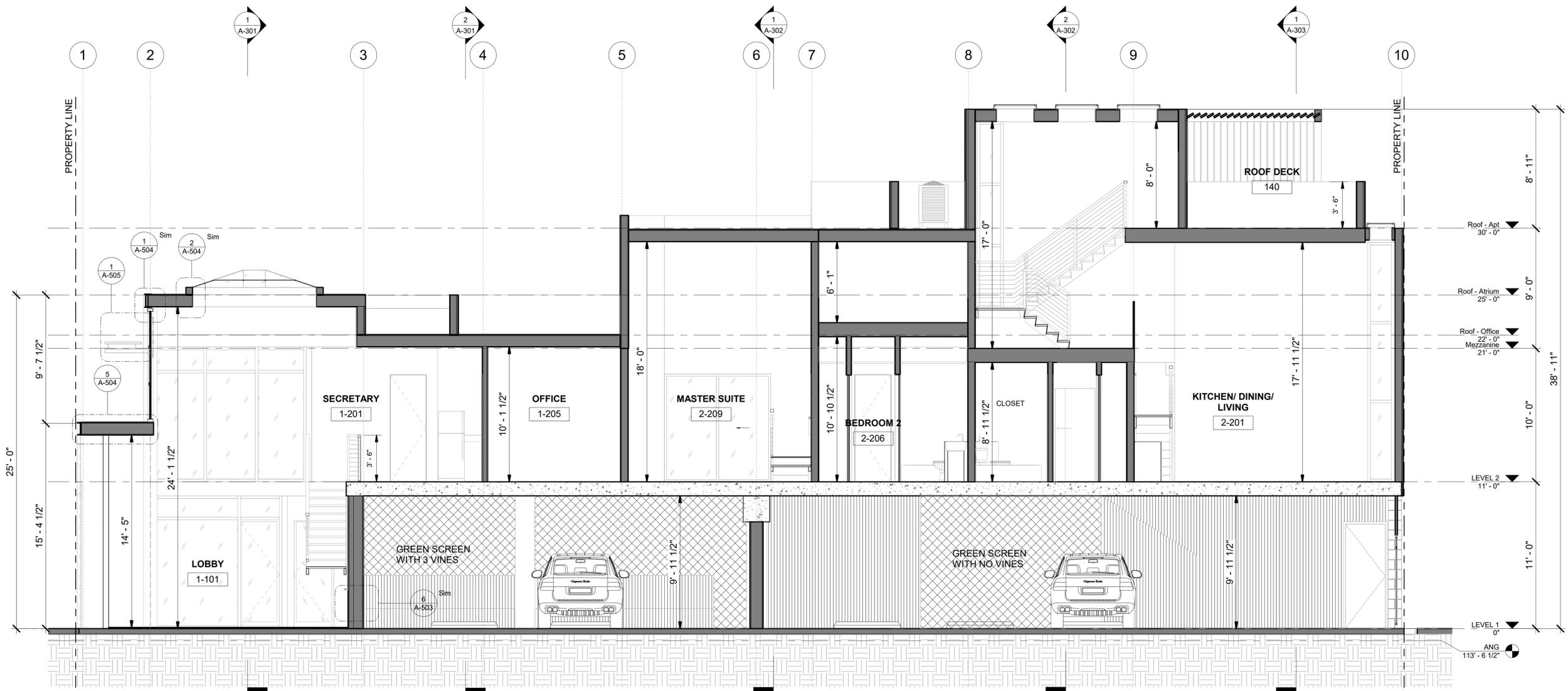
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A-303

**#** 1  
**REVISION DATE**  
07/02/2019

- GENERAL NOTES**
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
  2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
  3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
  4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
  5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
  6. DRAWINGS REPRESENT DESIGN INTENT AND ARE NOT RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
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Santa Monica, CA 90401  
Joseph Ferry, Esquire  
1700

AA Submittal #	FL	City	BY	ISSUED TO	REVISION SCHEDULE	DATE
1						07/02/2019



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE.
4. BEFORE PROCEEDING WITH THE WORK, DRAWINGS REPRESENT DESIGN INTENT AND SHALL BE USED AS A GUIDE. THE ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
 1348 10th st  
 Santa Monica, CA 90401  
 Joseph Ferry, Esquire  
 1700

AA Submittal #	FL	City	BY	ISSUED TO	REVISION SCHEDULE	DATE
1						07/02/2019

Section	Scale	Sheet Title	Sheet Number	Revision #	Revision Date
Section 6	1/4" = 1'-0"	BUILDING SECTIONS	A-304	A	07/02/2019

10th Street

**PROJECT ADDRESS**  
 1348 10th st  
 Santa Monica, CA 90401

**CLIENT**  
 Joseph Ferry, Esquire

**DRAWING SET**  
 AGENCY



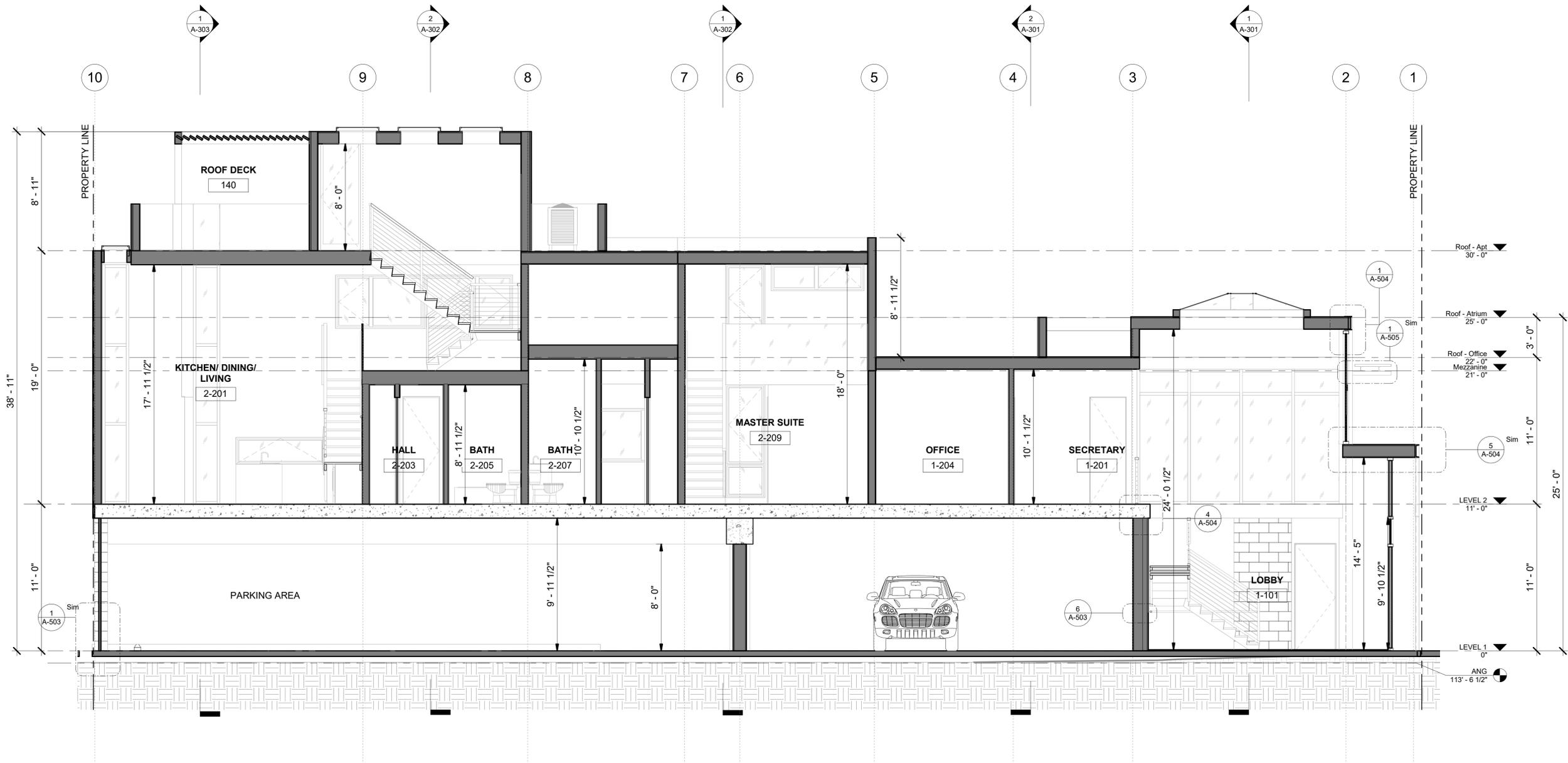
392 camino de estrella 949 325 3001 phone  
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 california 92672 foxlin.com web  
 info@foxlin.com email

Date	5/31/2020 5:52:30 PM
Job #	1700
Size	24" x 36"
Revision #	A
Revision	AA Submittal 1

Sheet Title  
 BUILDING SECTIONS

Sheet Number  
**A-304**

#	REVISION DATE



- GENERAL NOTES**
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
  2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
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  4. BEFORE PROCEEDING WITH THE WORK, DRAWINGS REPRESENT DESIGN INTENT AND THE ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
 1348 10th st  
 Santa Monica, CA 90401  
 Joseph Ferry, Esquire  
 1700

#	DISCRIPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE
1					

**10th Street**

**PROJECT ADDRESS**  
 1348 10th st  
 Santa Monica, CA 90401

**CLIENT**  
 Joseph Ferry, Esquire

**DRAWING SET**  
 AGENCY



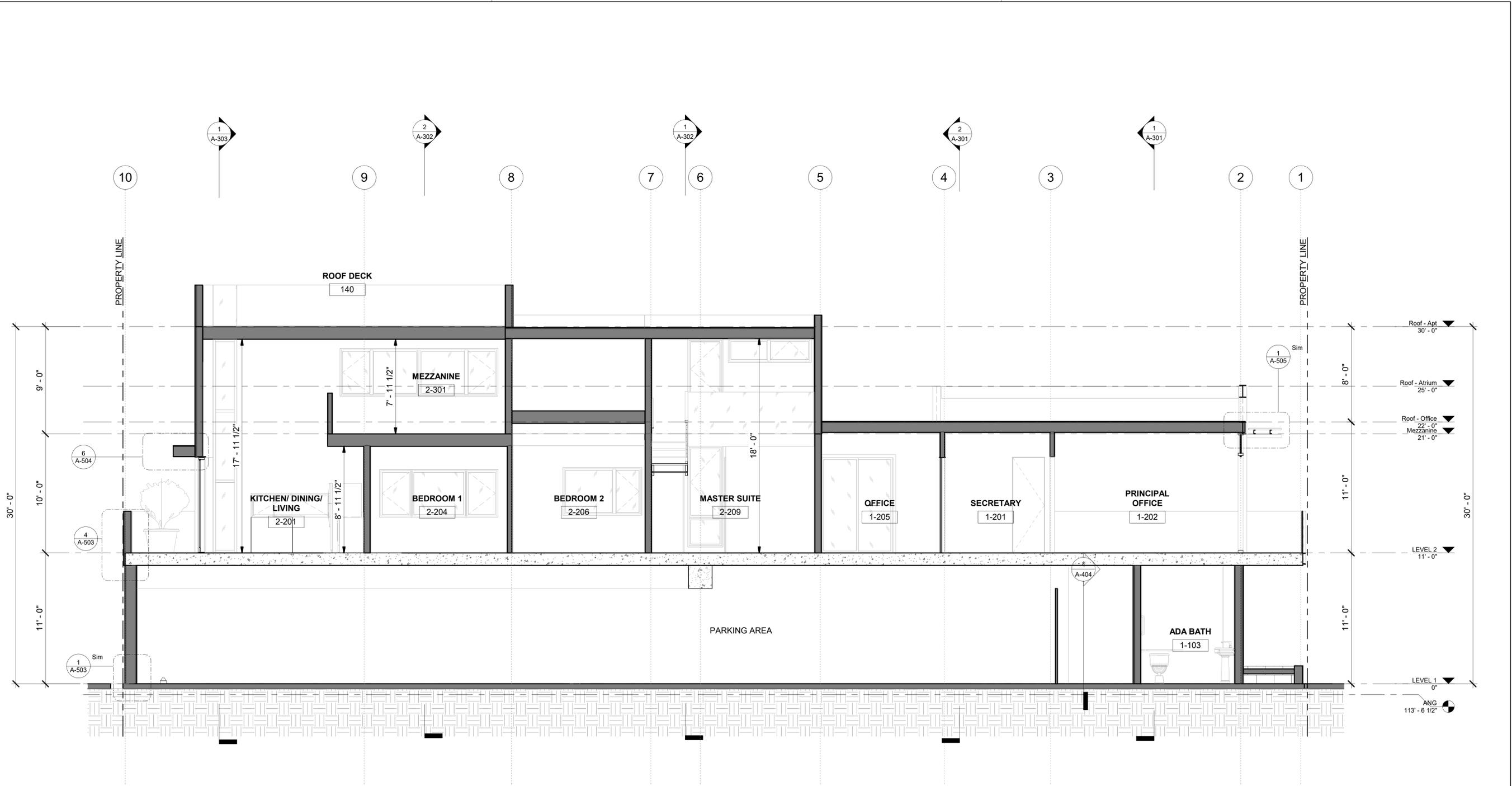
392 camino de estrella 949 325 3001 phone  
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 california 92672  
 foxlin.com web  
 info@foxlin.com email

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Job #	1700
Size	24" x 36"
Revision #	

Sheet Title  
 BUILDING SECTIONS

Sheet Number  
**A-305**

#	REVISION DATE



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. 6. DRAWINGS REPRESENT DESIGN INTENT AND SHALL NOT BE RESPONSIBLE FOR MEANS AND METHODS.

2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED. 3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

10th Street  
 1348 10th st  
 Santa Monica, CA 90401  
 Joseph Ferry, Esquire

#	DISCRIPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE
1700					

#	REVISION DATE

10th Street

**PROJECT ADDRESS**  
 1348 10th st  
 Santa Monica, CA 90401

**CLIENT**  
 Joseph Ferry, Esquire

**DRAWING SET**  
 AGENCY



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 san clemente, 949 203 3339 fax  
 california 92672 foxlin.com web  
 info@foxlin.com email

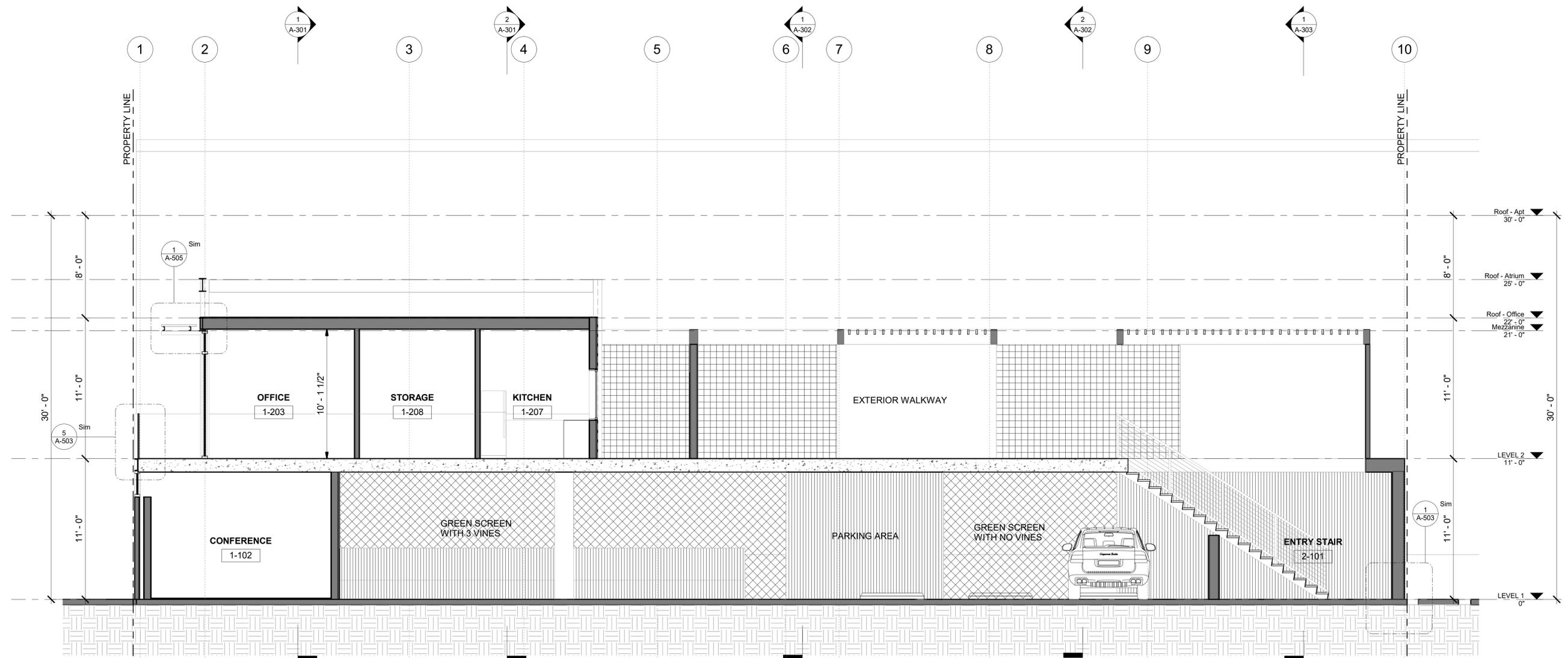
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Revision #	

Sheet Title  
 BUILDING SECTIONS

Section 9  
 1/4" = 1'-0"  
**A-306**

Sheet Number  
 # 1700  
 REVISION DATES

GENERAL NOTES



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
4. DRAWINGS REPRESENT DESIGN INTENT. THE ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.
5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES

10th Street  
 1348 10th st  
 Santa Monica, CA 90401

Joseph Ferry, Esquire  
 1700

#	DISCRPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE
1					

Section 10 1/4" = 1'-0" 1

10th Street

PROJECT ADDRESS  
 1348 10th st  
 Santa Monica, CA 90401

CLIENT  
 Joseph Ferry, Esquire

DRAWING SET  
 AGENCY



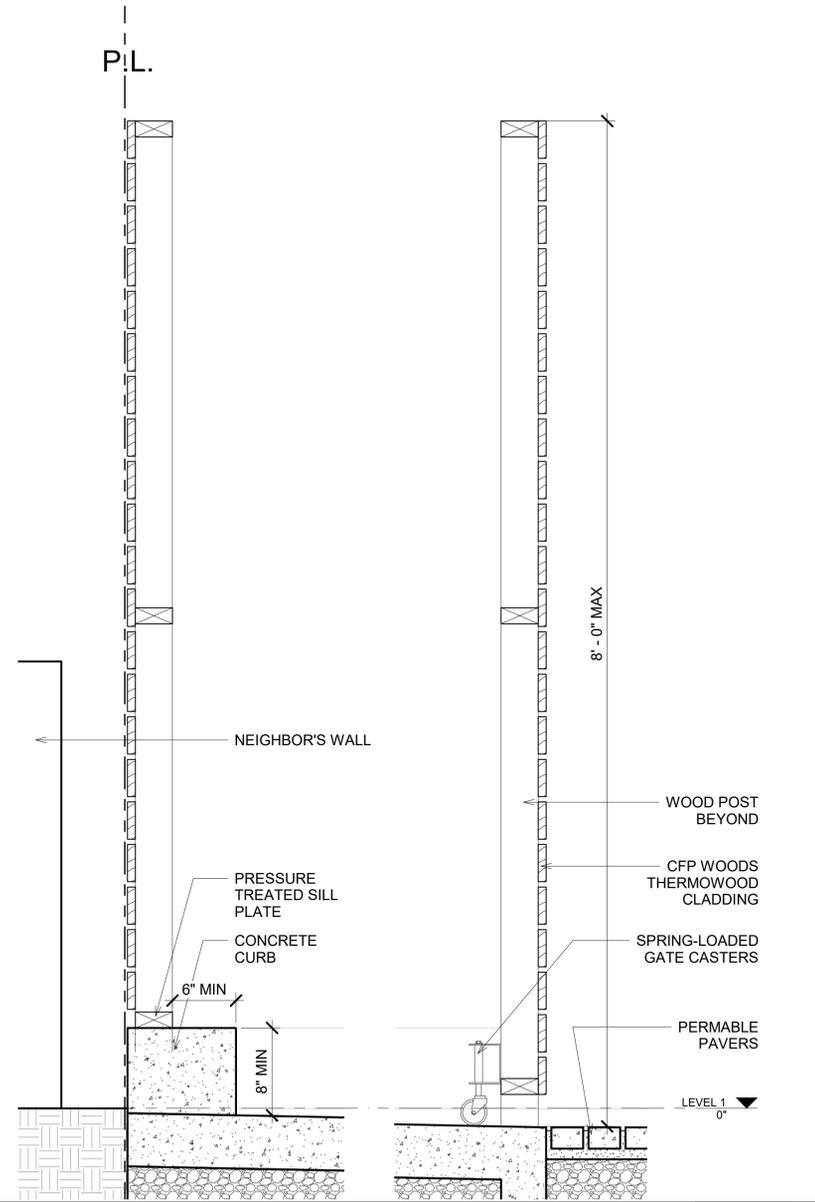
392 camino de estrella 949 325 3001 phone  
 san clemente, 949 203 3339 fax  
 california 92672 foxlin.com web  
 info@foxlin.com email

Date	5/31/2020 5:52:36 PM
Job #	1700
Size	24" x 36"
Revision #	

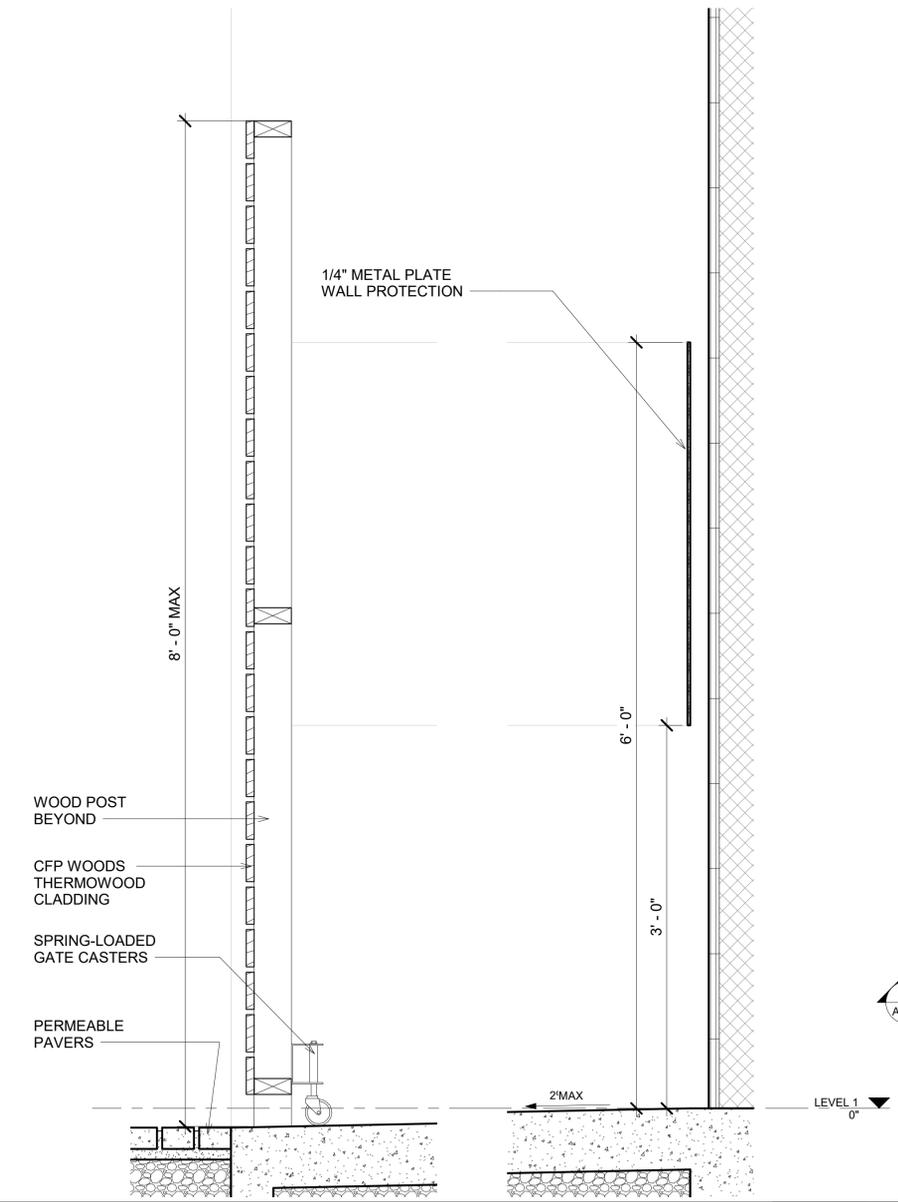
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Sheet Number  
**A-307**

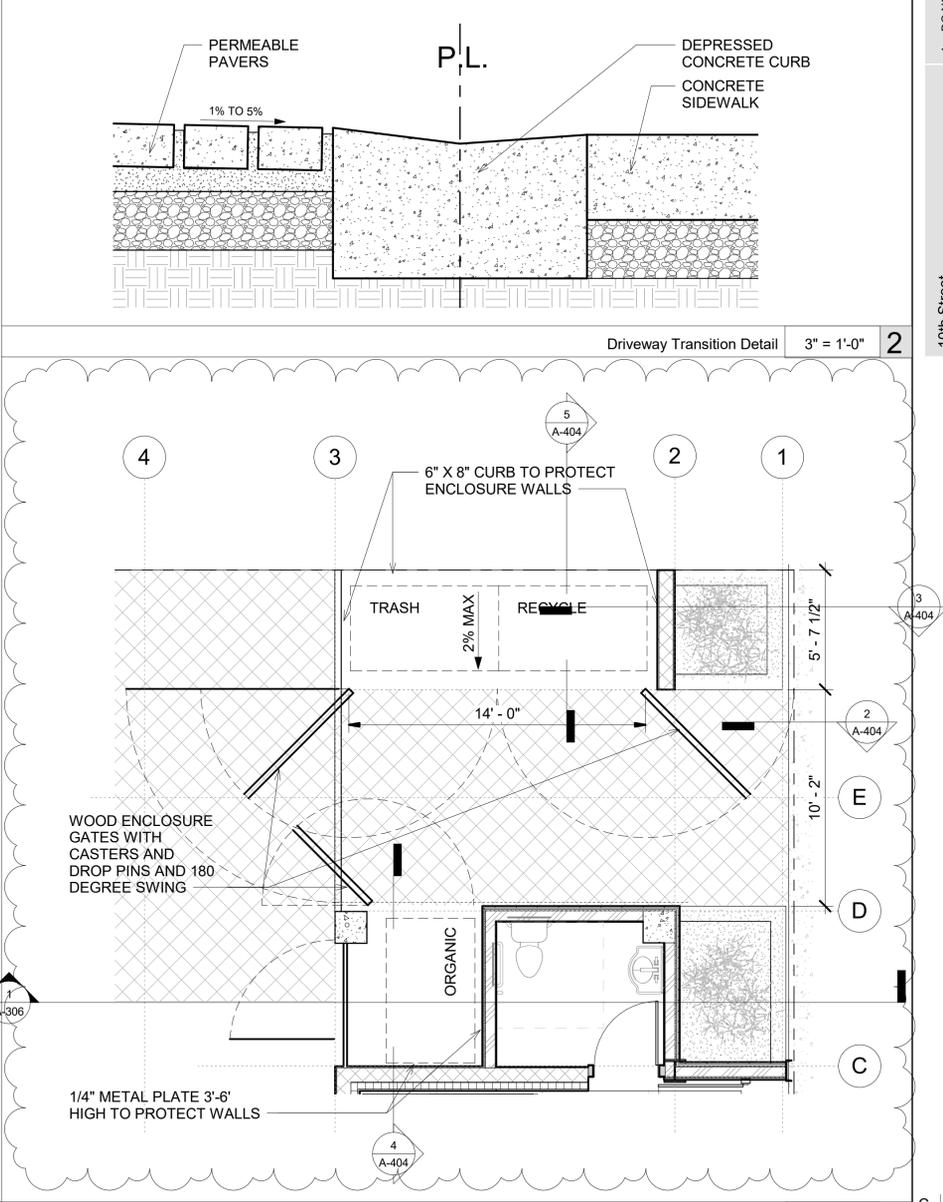
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1	REVISION DATES



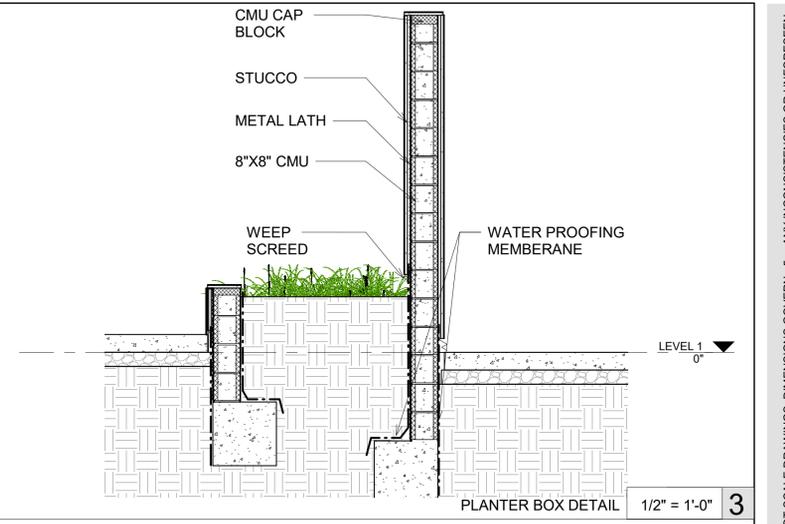
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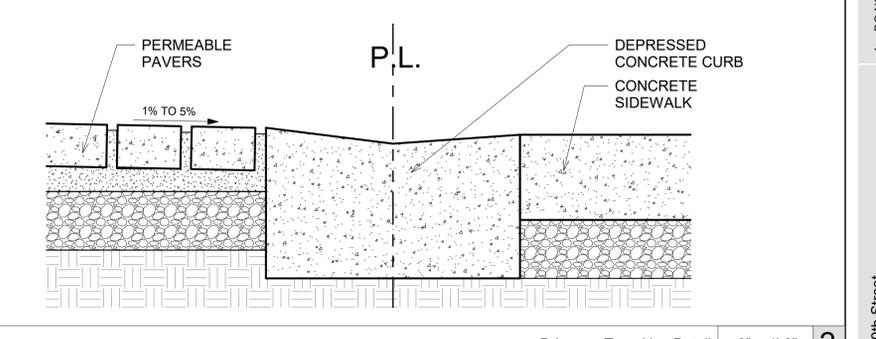
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Trash Enclosure Plan 1/4" = 1'-0" 1



PLANTER BOX DETAIL 1/2" = 1'-0" 3



Driveway Transition Detail 3" = 1'-0" 2

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORESSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH ARCHITECTURE, CONSTRUCTION, DRAWINGS REPRESENT DESIGN INTENT FOR THE PROJECT. ARCHITECT IS RESPONSIBLE FOR MEANS AND METHODS.

2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.

3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE.

4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

10th Street  
1348 10th st  
Santa Monica, CA 90401

Joseph Ferry, Esquire  
1700

#	DISCRPTION	ISSUED TO	DATE	REVISION SCHEDULE
C	AA Submittal 3	FL City	10/25/2019	
B	AA Submittal 2	FL City	08/16/2019	

#	REVISION DATE
C	10/25/2019
B	08/16/2019

10th Street

PROJECT ADDRESS  
1348 10th st  
Santa Monica, CA 90401

CLIENT  
Joseph Ferry, Esquire

DRAWING SET  
AGENCY



392 camino de estrella 949 325 3001 phone  
san clemente, 949 203 3339 fax  
california 92672  
foxlin.com web  
info@foxlin.com email

Date 5/31/2020 5:52:43 PM  
Job # 1700  
Revisions 05  
Sheet Size 24" x 36"

Revision # C  
AA Submittal 3

Sheet Title  
TRASH ENCLOSURE FLOOR PLANS

Sheet Number  
A-404

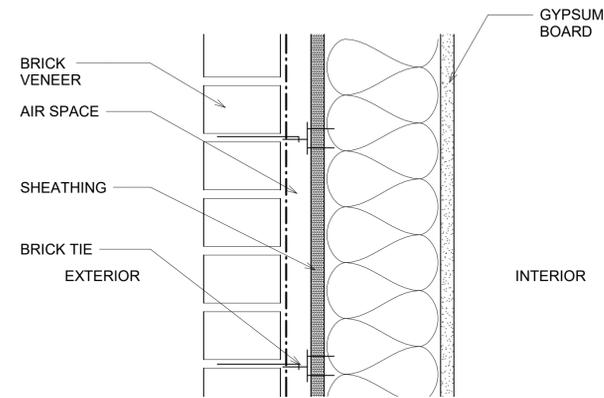
REVISION DATES

GENERAL NOTES

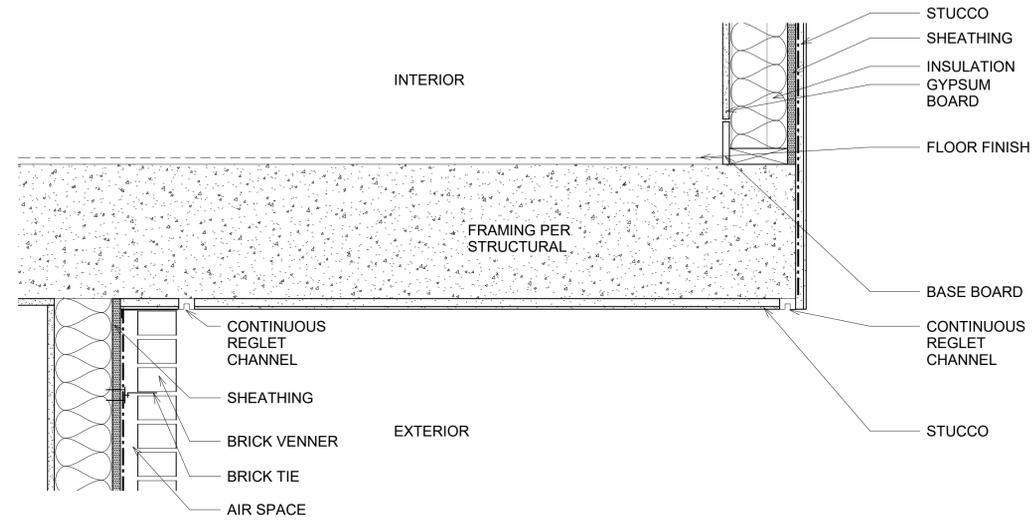
A-503 // DETAILS // ISSUED: 12/09/19

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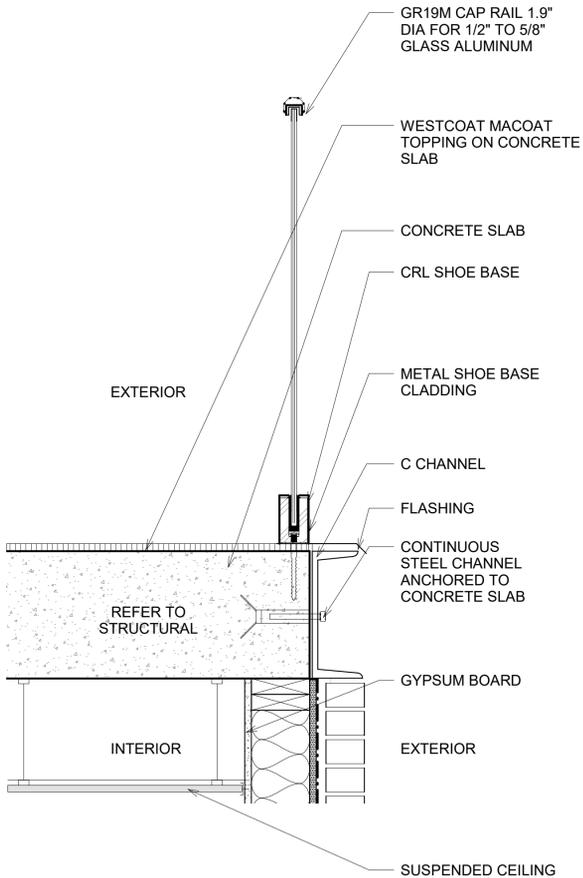
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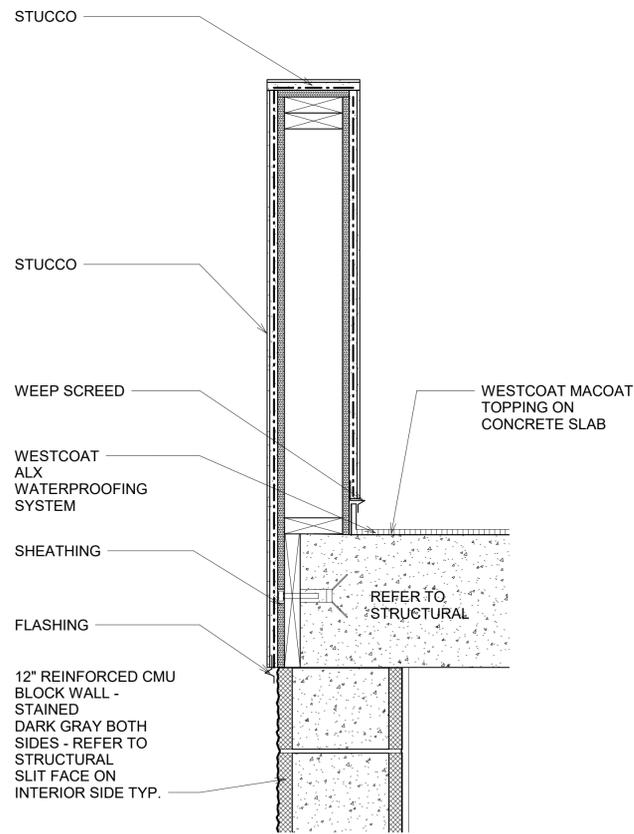
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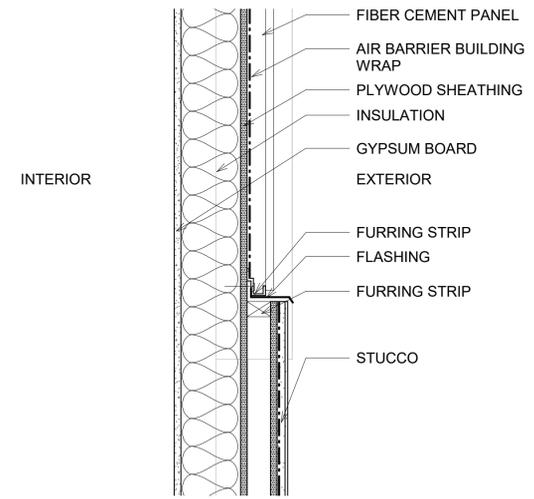
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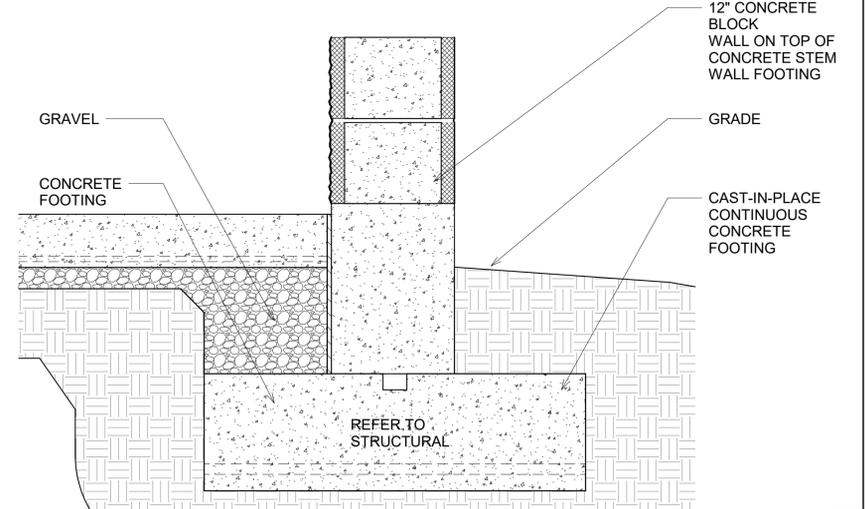
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BACK GUARDRAIL DETAIL 1 1/2" = 1'-0" 4



STUCCO TO FIBER CEMENT WALL DETAIL 1 1/2" = 1'-0" 2



FOUNDATION DETAIL 1 1/2" = 1'-0" 1

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4. DRAWINGS REPRESENT DESIGN INTENT. ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.
5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES

10th Street  
 1348 10th st  
 Santa Monica, CA 90401  
 Joseph Ferry, Esquire  
 1700

# DISCRPTION BY ISSUED TO REVISION SCHEDULE DATE

10th Street

PROJECT ADDRESS  
 1348 10th st  
 Santa Monica, CA 90401

CLIENT  
 Joseph Ferry, Esquire

DRAWING SET  
 AGENCY



392 camino de estrella 949 325 3001 phone  
 san clemente, 949 203 3339 fax  
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Job # 1700  
 Date 5/31/2020 5:52:46 PM  
 Size 24" x 36"  
 Revision #

Sheet Title  
 DETAILS

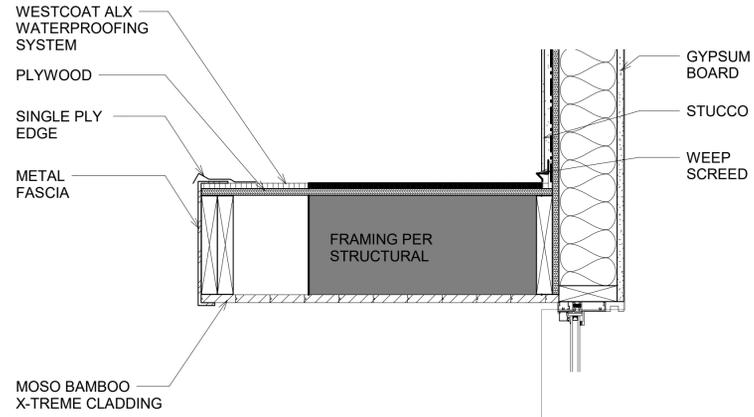
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# REVISION DATE  
 REVISION DATES

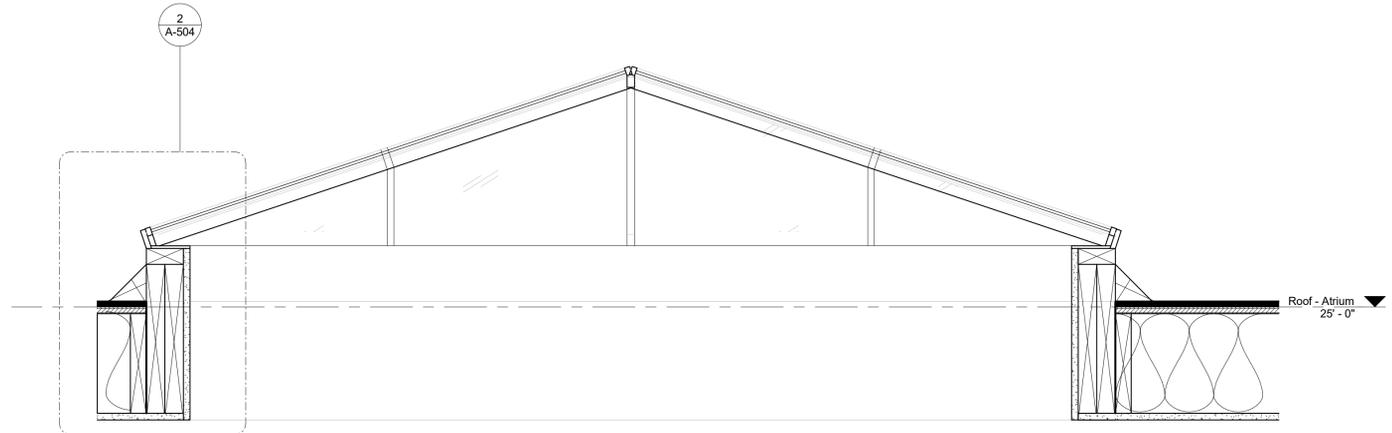
A-504 // DETAILS // ISSUED: 01/09/20

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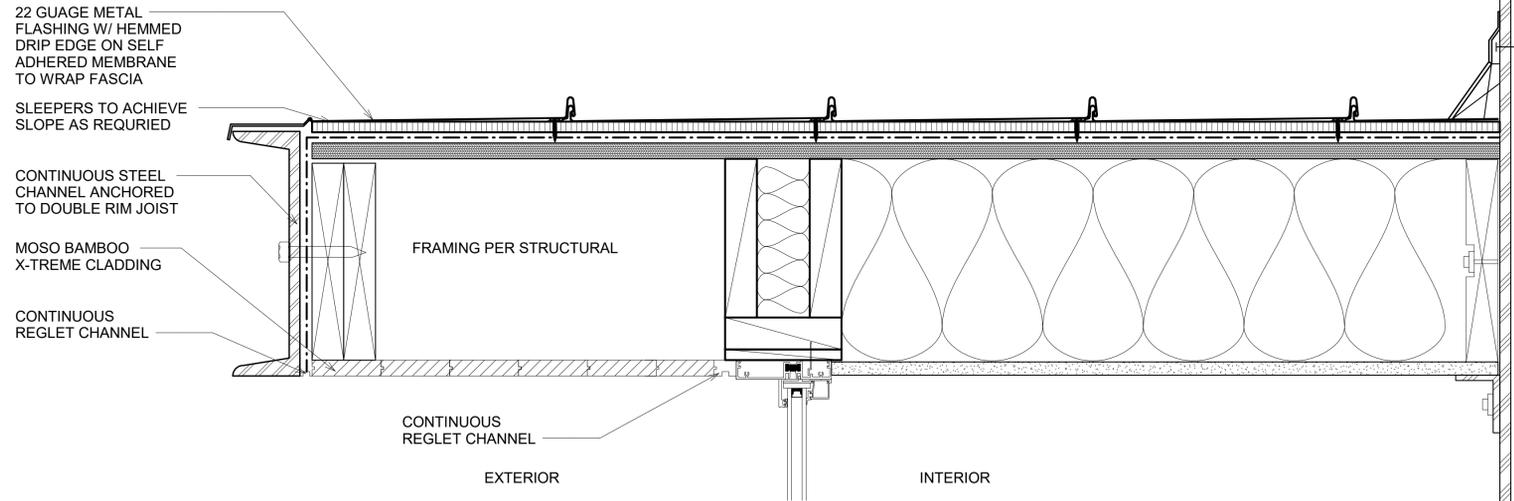
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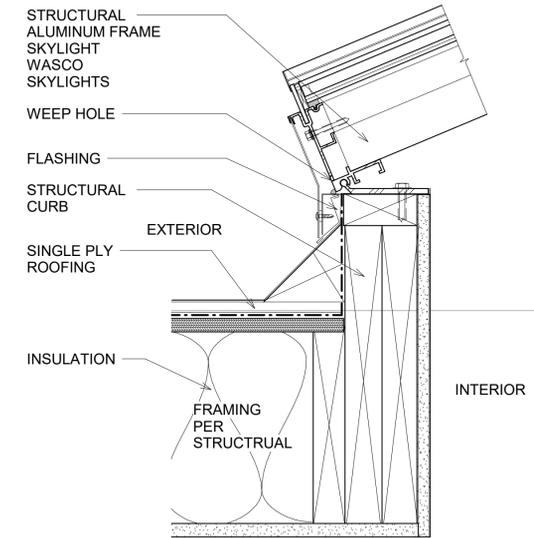
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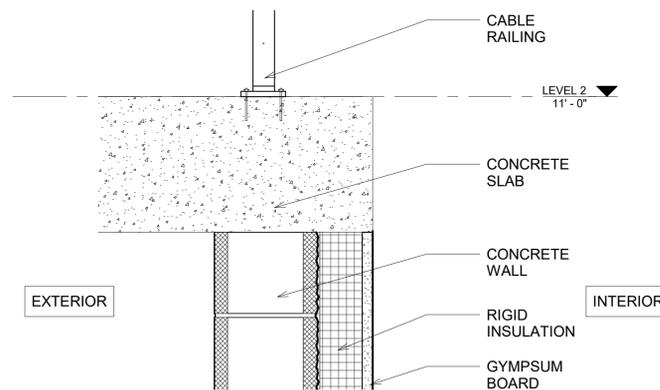
SKYLIGHT DETAIL 1 1/2" = 1'-0" 3



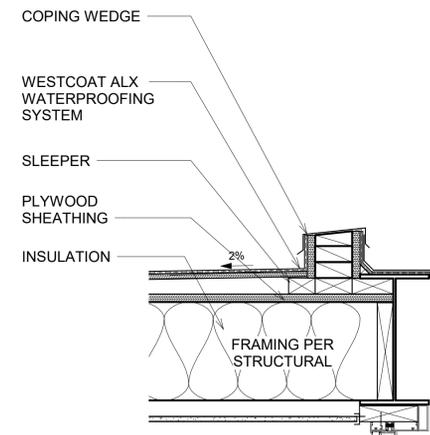
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SKYLIGHT JOINTS DETAIL 3" = 1'-0" 2



CONCRETE WALL AND FLOOR JOINT DETAIL 1 1/2" = 1'-0" 4



FRONT ROOF DETAIL 1 1/2" = 1'-0" 1

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNRESOLVED CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH ARCHITECTURE. 6. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK. MEANS AND METHODS.

10th Street  
1348 10th st  
Santa Monica, CA 90401  
Joseph Ferry, Esquire  
1700

# DISCRPTION BY ISSUED TO REVISION SCHEDULE DATE

10th Street

PROJECT ADDRESS  
1348 10th st  
Santa Monica, CA 90401

CLIENT  
Joseph Ferry, Esquire

DRAWING SET  
AGENCY



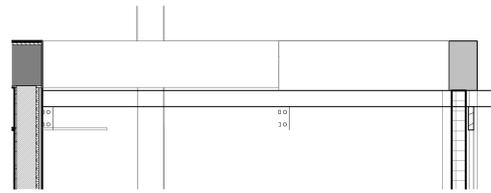
392 camino de estrella 949 325 3001 phone  
san clemente, 949 203 3339 fax  
california 92672  
foxlin.com web  
info@foxlin.com email

Job # 1700  
Date 5/31/2020 5:52:49 PM  
Revision # 24" x 36"

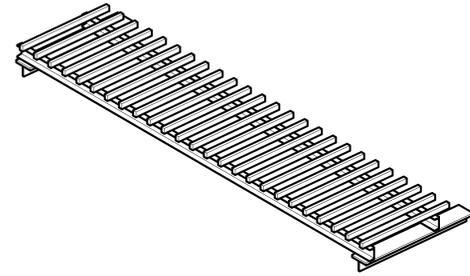
Sheet Title  
DETAILS

Sheet Number  
A-504

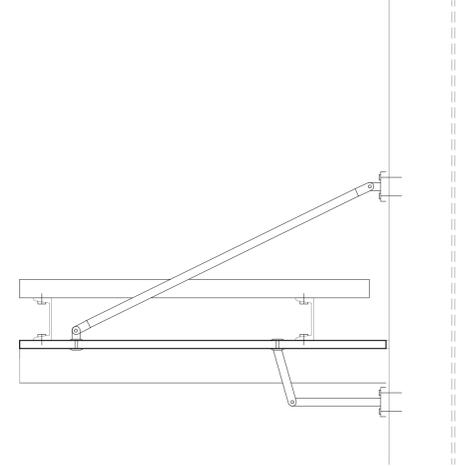
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REVISION DATES



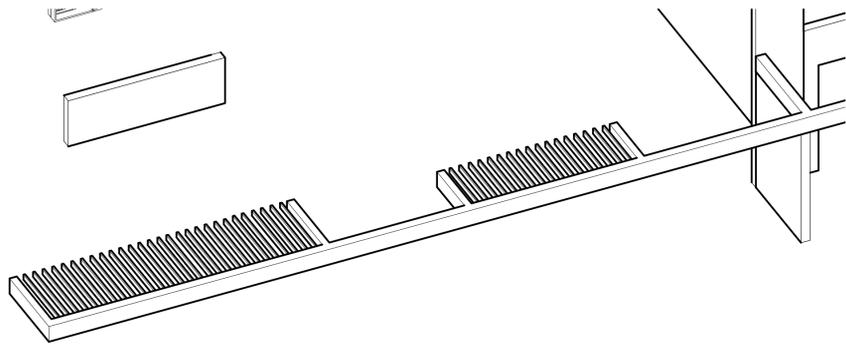
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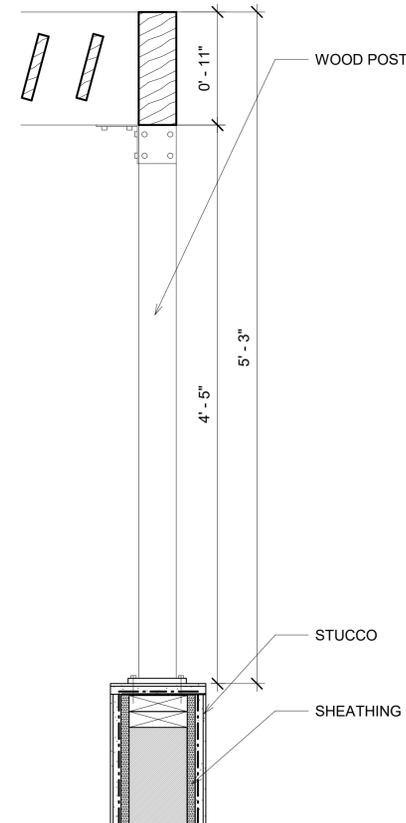
FRONT TRELLIS AXON 3



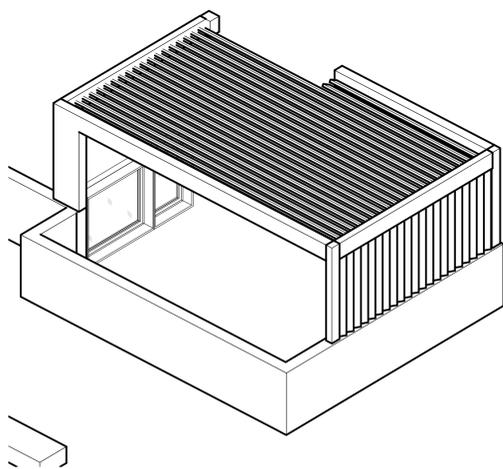
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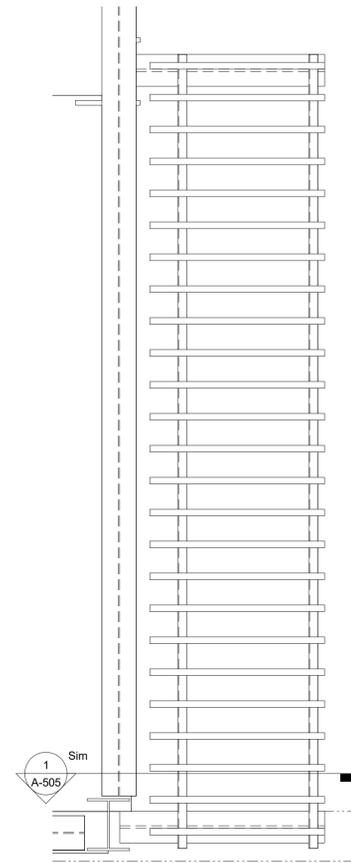
LOWER DECK TRELLIS AXON 7



ROOF DECK TRELLIS DETAIL 1 1/2" = 1'-0" 4



ROOF DECK TRELLIS AXON 5



MEZZANINE PLAN DETAIL 3/4" = 1'-0" 2

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3. AS-BUILT CONDITIONS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
4. DRAWINGS REPRESENT DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.
5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES

10th Street  
 1348 10th st  
 Santa Monica, CA 90401  
 Joseph Ferry, Esquire  
 1700

#	DISCRIPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE

10th Street

PROJECT ADDRESS  
 1348 10th st  
 Santa Monica, CA 90401

CLIENT  
 Joseph Ferry, Esquire

DRAWING SET  
 AGENCY



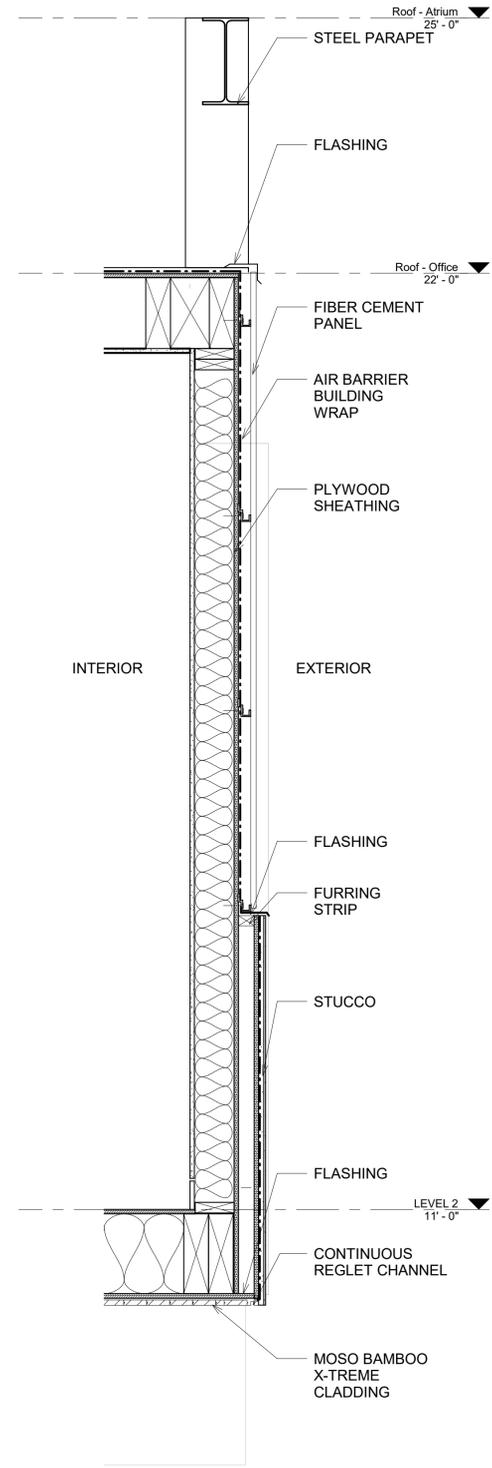
392 camino de estrella 949 325 3001 phone  
 san clemente, 949 203 3339 fax  
 california 92672  
 foxlin.com web  
 info@foxlin.com email

Date	5/31/2020 5:52:51 PM
Job #	1700
Revisions	05
Sheet Size	24" x 36"
Revision #	

Sheet Title  
 DETAILS

Sheet Number  
**A-505**

# REVISION DATE  
 REVISION DATES



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. DRAWINGS REPRESENT DESIGN INTENT AND SHALL NOT BE RESPONSIBLE FOR MEANS AND METHODS.
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10th Street  
 1348 10th st  
 Santa Monica, CA 90401  
 Joseph Ferry, Esquire

#	DISCRIPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE
1700					

#	REVISION DATE
	REVISION DATES

# 10th Street

**PROJECT ADDRESS**  
 1348 10th st  
 Santa Monica, CA 90401

**CLIENT**  
 Joseph Ferry, Esquire

**DRAWING SET**  
 AGENCY



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 san clemente, 949 203 3339 fax  
 california 92672 foxlin.com web  
 info@foxlin.com email

Date	5/31/2020 5:52:53 PM
Job #	1700
Size	24" x 36"
Revision #	1

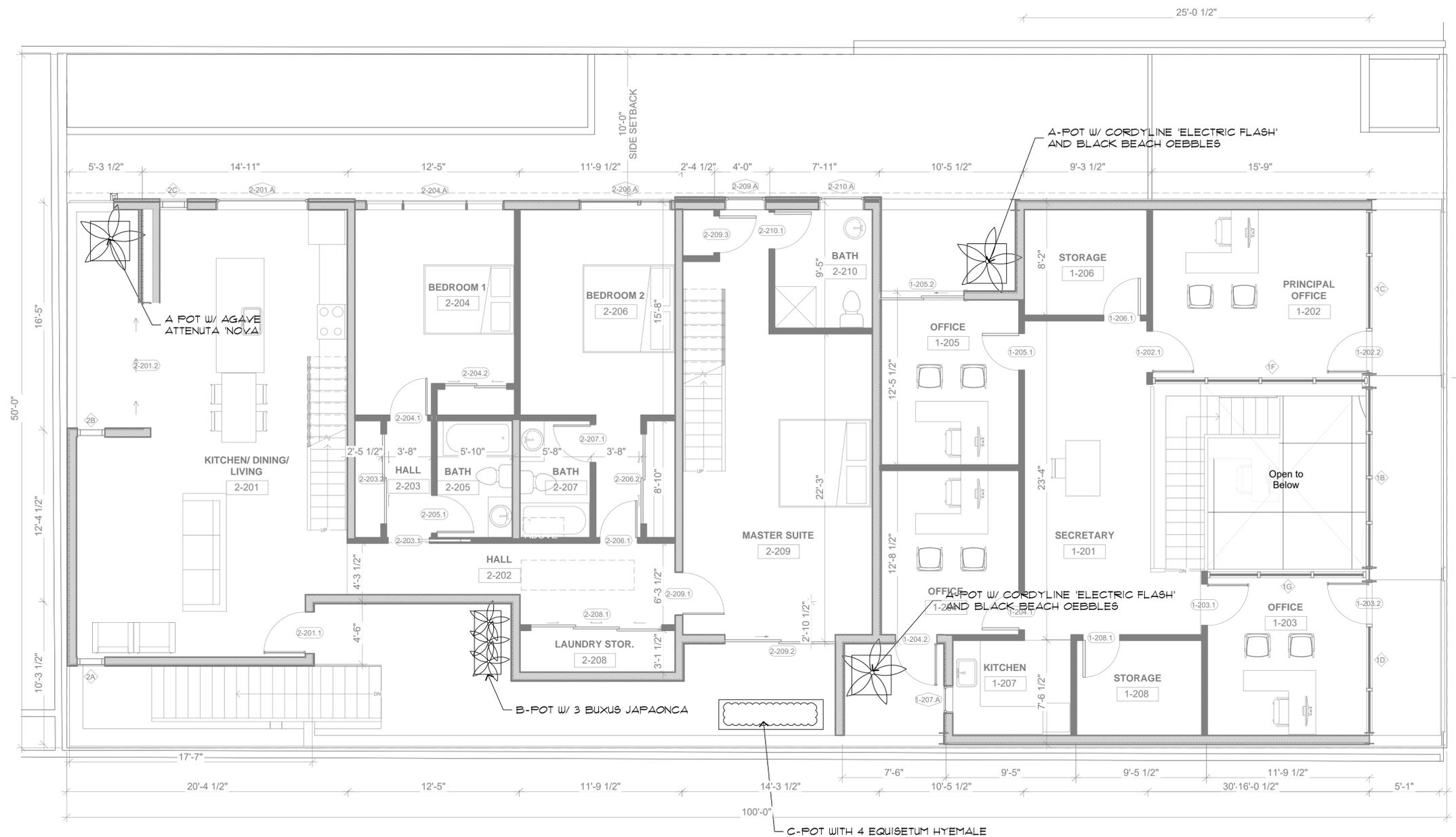
Sheet Title  
 WALL SECTION

Sheet Number  
**A-508**

WALL SECTION 1 1" = 1'-0" 1

### GENERAL NOTES





**POT LEGEND**

- A** - SQUARE POT  
URBAN COLLECTION BY TOURNESOL \* UR/UCR-2400 - MATERIAL FRP, SIZE - 24" X 19" X 21" W/ FRP FIBER GLASS COLOR W/ MMP BRONZE. USE A T-O FRP FIBER GLASS FINISH.
- B** - LINEAR POT  
URBAN COLLECTION BY TOURNESOL \* UR/UCR-XX SIZE - 24" X 24" X 48" LENGTH 24" H. X 24" W. X 4'-0" LONG W/ FRP FIBER GLASS COLOR W/ MMP BRONZE. USE A T-O FRP FIBER GLASS FINISH.
- C** - (2) EXTRA LINEAR POT  
URBAN COLLECTION BY TOURNESOL \* UR/UCR 24" X 24" X 60" LENGTH - MATERIAL FRP, SIZE - 24" X 24" X 60" W/ FRP FIBER GLASS COLOR W/ MMP BRONZE. USE A T-O FRP FIBER GLASS FINISH.

NOTE: POTS WHERE EXISTING CONCRETE IS BELOW, POT WILL REQUIRE AN INTERNAL IRRIGATION DRAINAGE MODULE / INSERTS. SEE DESIGN PACKAGE DETAILS. CONTACT JOHN WILLINGHAM @ TOURNESOL jwillingham@tournesolnetworks.com / (CELL) 714-743-2913

**TREE LEGEND**

SYMBOL	BOTANICAL/COMMON NAME	SIZE	STRUCTURE SPACING	HYDROZONE	MISC
	MAGNOLIA SPECIES *TREE IS MAINTAINED BY CITY*	EXISTING		MEDIUM	
	JUNIPER - DROOPING *SOME STRUCTURAL PRUNING IS REQUIRED FOR JUNIPER TREES.*	EXISTING		LOW	

**SHRUB LEGEND**

SYMBOL	BOTANICAL/COMMON NAME	SIZE	STRUCTURE SPACING	COMMENTS
	CORDYLINE 'ELECTRIC FLASH'	5 GAL (A.T. 15 GAL)		MOD
	EQUISETUM HYEMALE 'LYNN'S LEGACY' TEXAS RANGER	5 GAL	30' O.C.	MOD
	AGAVE ATTENUATA 'NOVA' NOVA AGAVE	5 GAL	30' O.C.	MOD
	BUXUS JAPONICA 'GREEN BEAUTY' BOXWOOD	15 GAL	24' O.C.	LOW/MOD
	DIANELLA DESTINY	5 GAL	30' O.C.	LOW
	LIRIOPE MUSCAR 'BIG BLUE' 'BIG BLUE' 'LILY TURF'	5 GAL		MOD

**GROUND COVER LEGEND**

SYMBOL	BOTANICAL/COMMON NAME	SIZE	STRUCTURE SPACING	COMMENTS
	LIRIOPE MUSCAR 'FEE DEE INGT' FEE DEE TURF LILY	1 GAL	18" O.C.	MOD
	OPHIPOGON NIGRESCENS BLACK MONDO GRASS	6" POTS	10" O.C.	

**VINES**

<b>A</b>	TRACHELOSPERMUM JASMINOIDES	15 GAL		MOD	TRAN TO GREENSCREEN
<b>B</b>	STEPHANOTIS FLORIBUNDA	15 GAL		MOD	TRAN TO GREENSCREEN

SECOND LEVEL



1348 10<sup>TH</sup> STREET

1/31/20

LEVEL 1

1/4" = 1'-0"



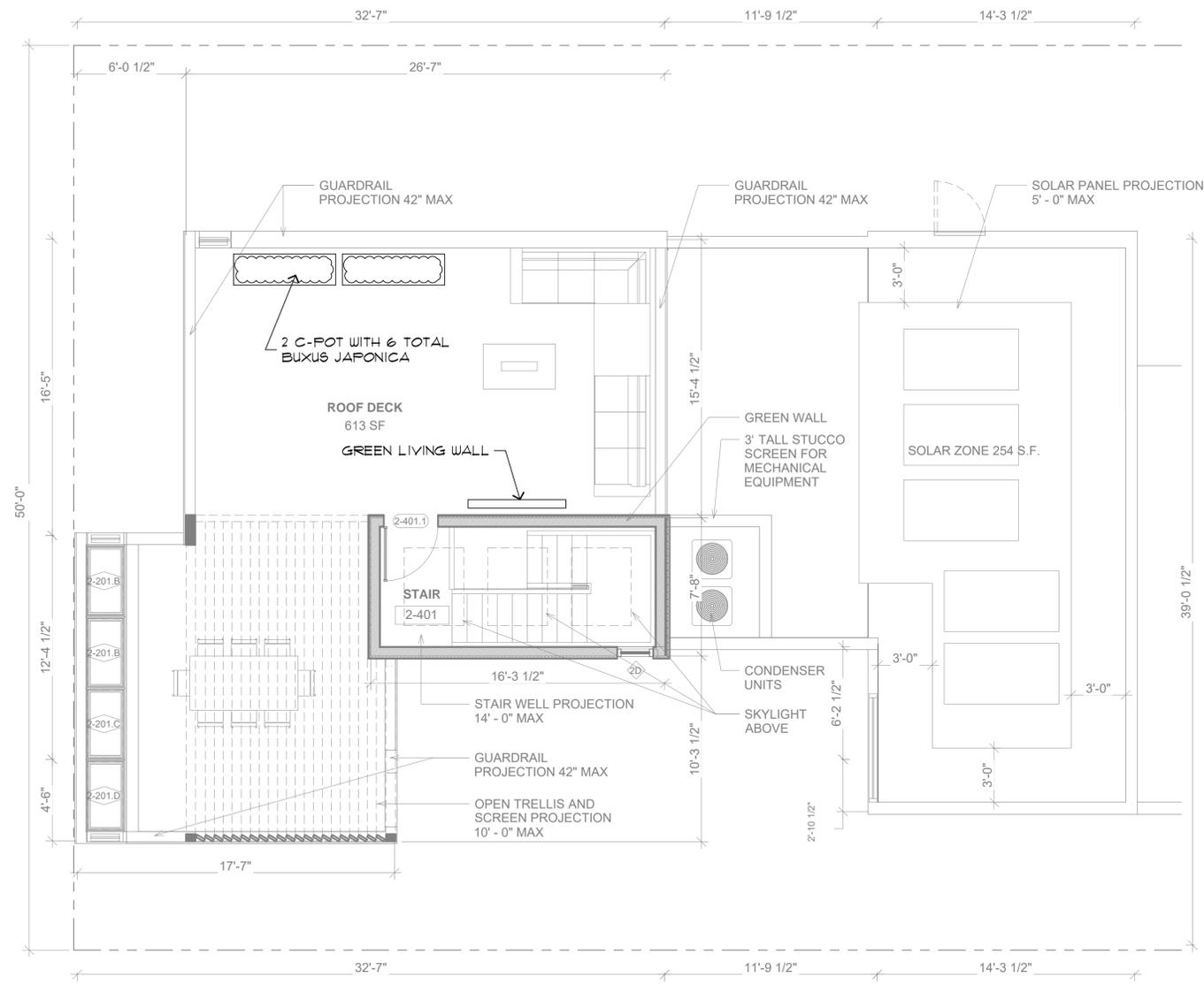
<b>10th Street</b>	<b>PROJECT ADDRESS</b> 1348 10th st Santa Monica, CA 90401	<b>CLIENT</b> Joseph Ferry, Esquire	<b>DRAWING SET</b> AGENCY	architecture design consulting	392 camino de estrella 949 325 3001 phone san clemente, 949 203 3339 fax california 92672 foxin.com web info@foxin.com email	Date 2/5/2020 2:55:36 PM	Job # 1700	Size 24" x 36"	Revision # C	AA Submittal 3	Sheet Title LANDSCAPE PLAN	Sheet Number L-102	REVISION DATES

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
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  - BEFORE PROCEEDING WITH THE WORK.
  - ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - PRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.

10th Street	1348 10th st	Joseph Ferry, Esquire
	Santa Monica, CA 90401	
		1700

NO.	DATE	ISSUED TO	REVISION SCHEDULE
10/25/2019			
08/16/2019			
07/02/2019			

C	10/25/2019	
B	08/16/2019	
A	07/02/2019	
#		REVISION DATE



**TREE LEGEND**

SYMBOL	BOTANICAL/COMMON NAME	SIZE	STRUCTURE SPACING	HYDROZONE	MISC
⊗	MAGNOLIA SPECIES *TREE IS MAINTAINED BY CITY*	EXISTING		MEDIUM	
⊕	JUNIPER - DROOPING *SOME STRUCTURAL PRUNING IS REQUIRED FOR JUNIPER TREES*	EXISTING		LOW	

**SHRUB LEGEND**

SYMBOL	BOTANICAL/COMMON NAME	SIZE	STRUCTURE SPACING	COMMENTS
⊗	CORDYLINE 'ELECTRIC FLASH'	5 GAL (A±T, 15 GAL)		MOD
⊕	EQUISETUM HYEMALE 'LYNN'S LEGACY' TEXAS RANGER	5 GAL	30" O.C.	MOD
+	AGAVE ANTENUATA 'NOVA' NOVA AGAVE	5 GAL	30" O.C.	MOD
⊗	BUXUS JAPONICA 'GREEN BEAUTY' BOXWOOD	15 GAL	24" O.C.	LOW/MOD
●	DIANELLA DESTINY	5 GAL	30" O.C.	LOW
⊗	LIRIOPE MUSCARI 'BIG BLUE' 'BIG BLUE' LILY TURF	5 GAL		MOD

**GROUND COVER LEGEND**

SYMBOL	BOTANICAL/COMMON NAME	SIZE	STRUCTURE SPACING	COMMENTS
⊗	LIRIOPE MUSCARI 'PEE DEE NGOT' 'PEE DEE TURF' LILY	1 GAL	18" O.C.	MOD
⊗	OPHIOPOGON NIGRESCENS BLACK MONDO GRASS	6" POTS	10" O.C.	

**VINES**

A	TRACHELOSPERMUM JASMINOIDES	15 GAL		MOD	TRAN TO GREENSCREEN
B	STEPHANOTIS FLORIBUNDA	15 GAL		MOD	TRAN TO GREENSCREEN

**POT LEGEND**

- A) - SQUARE POT**  
URBAN COLLECTION BY TOURNESOL \* UR/UCR-2400 - MATERIAL FRP. SIZE - 24" X 19" X 21" W/ FRP FIBER GLASS COLOR W/ MMP BRONZE. USE A T-O FRP FIBER GLASS FINISH.
- B) - LINEAR POT**  
URBAN COLLECTION BY TOURNESOL \* UR/UCR-XX SIZE - 24" X 24" X 48" LENGTH 24" H. X 24" W. X 4'-0" LONG W/ FRP FIBER GLASS. COLOR W/ MMP BRONZE. USE A T-O FRP FIBER GLASS FINISH.
- C) - (2) EXTRA LINEAR POT**  
URBAN COLLECTION BY TOURNESOL \* UR/UCR 24" X 24" X 60" LENGTH - MATERIAL FRP. SIZE - 24" X 24" X 60" W/ FRP FIBER GLASS COLOR W/ MMP BRONZE. USE A T-O FRP FIBER GLASS FINISH.

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4. BEFORE PROCEEDING WITH THE WORK.  
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6. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS.

10th Street  
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Joseph Ferry, Esquire  
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NO.	DATE	ISSUED TO	REVISION SCHEDULE
C	10/25/2019		
B	08/16/2019		
A	07/02/2019		

ROOF TOP AREA



1348 10<sup>TH</sup> STREET 1/31/20



10th Street	PROJECT ADDRESS	CLIENT	DRAWING SET	architecture design consulting	392 camino de estrella 949 325 3001 phone san clemente, california 92672 949 203 3339 fax foxlin.com web info@foxlin.com email	Job #	1700	Size	24" x 36"	Revision #	C	Sheet Title	LANDSCAPE PLAN	Sheet Number	L-103	REVISION DATES
	1348 10th st Santa Monica, CA 90401	Joseph Ferry, Esquire	AGENCY			Date	2/5/2020 2:55:36 PM	Revision #	AA Submittal 3	LEVEL 1	1/4" = 1'-0"					

# SPECIFICATIONS

DIVISION 16 – ELECTRICAL

SECTION 16000

**BASIC ELECTRICAL REQUIREMENTS**

**A. NOTE**

1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND ALL OTHER SPECIFICATION SECTIONS, APPLY TO THIS AND THE OTHER SECTIONS OF DIVISION 16.
2. THE CONTRACTOR FOR THIS DIVISION OF WORK IS REQUIRED TO READ THE SPECIFICATIONS AND REVIEW DRAWINGS FOR ALL DIVISIONS OF WORK AND IS RESPONSIBLE FOR THE COORDINATION OF THIS WORK AND THE WORK OF HIS SUBCONTRACTORS WITH ALL DIVISIONS OF WORK. IT IS THIS CONTRACTORS RESPONSIBILITY TO PROVIDE HIS SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.
3. THIS ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING THE COMPLETION AND INSPECTION OF THIS WORK TO COMPLY WITH TENANT/ARCHITECT'S SCHEDULE AND THE PROJECT COMPLETION DATE.
4. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF BID TO DETERMINE CONDITIONS AFFECTING THE WORK. ANY ITEMS WHICH ARE NOT COVERED IN THE BID DOCUMENTS OR ANY PROPOSED SUBSTITUTIONS SHALL BE LISTED SEPARATELY AND QUALIFIED IN THE CONTRACTORS BID. SUBMITTAL OF BID SHALL SERVE AS EVIDENCE OF KNOWLEDGE OF EXISTING CONDITIONS AND ANY MODIFICATIONS WHICH ARE REQUIRED TO MEET THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. FAILURE TO VISIT THE SITE DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN PERFORMANCE OF HIS WORK.
5. REFER TO RESPONSIBILITY SCHEDULE FOR INFORMATION IN REGARD TO RESPONSIBILITY OF WORK OR ITEMS WHICH MAY AFFECT THE BID.

**B. GENERAL REQUIREMENTS**

1. THIS CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, TOOLS, TRANSPORTATION, INCIDENTALS AND DETAILS NECESSARY TO PROVIDE A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, AND AS REQUIRED BY JOB CONDITIONS. ALL WORK NOT SPECIFICALLY NOTED AS BEING BY THE LANDLORD OR ARCHITECTS SHALL BE PROVIDED BY THIS CONTRACTOR. CLOSELY COORDINATE THE ENTIRE INSTALLATION WITH THE LANDLORD AND ARCHITECTS, AS REQUIRED.
2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT EACH OTHER AND ANY MATERIAL OR LABOR CALLED FOR IN ONE SHALL BE FURNISHED AND INSTALLED EVEN THOUGH NOT SPECIFICALLY MENTIONED IN BOTH. ANY MATERIAL OR LABOR WHICH IS NEITHER SHOWN ON THE DRAWINGS NOR CALLED FOR IN THE SPECIFICATIONS, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK, AND WHICH IS USUALLY INCLUDED IN WORK OF SIMILAR CHARACTER, SHALL BE FURNISHED AND INSTALLED AS PART OF THE CONTRACT.
3. WHERE THE DRAWINGS OR SPECIFICATIONS CALL FOR ITEMS WHICH EXCEED CODES OR THE LANDLORD'S TENANT CRITERIA, THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE SYSTEM WITH THE MORE STRINGENT REQUIREMENTS AS DESIGNED AND DESCRIBED ON THESE DRAWINGS, UNLESS SPECIFICALLY NOTED OTHERWISE.
4. ALL WORK IN THIS SECTION SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATING, SERVICING, MAINTAINING, AND REPAIRING. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT SERVICE ACCESS TO ALL EQUIPMENT.
5. ALL WORK SHALL BE PERFORMED IN A NEAT PROFESSIONAL MANNER USING GOOD CONSTRUCTION PRACTICES.
6. UNLESS SPECIFICALLY NOTED OTHERWISE, MATERIALS, PRODUCTS, AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW, UNDERWRITERS LABORATORIES LISTED AND LABELED AND SIZED IN CONFORMITY WITH REQUIREMENTS OF STATE AND LOCAL CODES, WHICHEVER IS MORE STRINGENT.
7. THIS CONTRACTOR SHALL DO ALL CUTTING, CHASING AND CHANNELING REQUIRED FOR ANY WORK UNDER THIS DIVISION. CUTTING SHALL HAVE PRIOR APPROVAL BY THE ARCHITECTS AND THE LANDLORD. ALL PATCHING SHALL BE BY G.C. AND SHALL MATCH THE SURROUNDING SURFACES.
8. THE ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL ELECTRICAL CONNECTIONS AS REQUIRED FOR A COMPLETE AND OPERATING SYSTEM.

**C. TEMPORARY LIGHT AND POWER**

1. THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND RELATED GROUND FAULT INTERRUPTION PROTECTION FOR LIGHT AND POWER FOR ALL CONTRACTORS AND SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY WIRING.
2. THE GENERAL CONTRACTOR SETS UP ALL ELECTRICAL UTILITIES IN THE NAME OF THE TENANT. TENANT PAYS FOR ALL UTILITIES THROUGHOUT CONSTRUCTION.

**D. CODES**

1. ALL WORK SHALL CONFORM TO THE LANDLORD'S CRITERIA, THE STATE'S, COUNTY'S, CITY'S AND LOCAL CODES AND ORDINANCES, SAFETY AND HEALTH CODES, NFPA CODES, ENERGY CODES AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. THIS CONTRACTOR SHALL INQUIRE INTO AND COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. THIS CONTRACTOR SHALL INCLUDE ANY CHANGES REQUIRED BY CODES IN THE BID AND IF THESE CHANGES ARE NOT INCLUDED IN THE BID, THEY MUST BE QUALIFIED AS A SEPARATE LINE ITEM IN THE BID. AFTER CONTRACT IS AWARDED, CHANGE ORDERS FOR INCREASED COSTS DUE TO CODE ISSUES WILL NOT BE ACCEPTED BY OWNER, UNLESS ALLOWANCES HAVE PREVIOUSLY BEEN AGREED UPON.

**E. LICENSES, PERMITS, INSPECTIONS & FEES**

1. THIS CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS, INSPECTIONS, AND FEES REQUIRED OR RELATED TO HIS WORK.
2. FURNISH TO ARCHITECTS ALL CERTIFICATES OF INSPECTION AND FINAL INSPECTION APPROVAL AT COMPLETION OF PROJECT.

**F. TRADE NAMES, MANUFACTURERS AND SHOP DRAWINGS**

1. WHERE TRADE NAMES AND MANUFACTURERS ARE USED ON THE DRAWINGS OR IN THE SPECIFICATIONS, THE EXACT EQUIPMENT SHALL BE USED AS A MINIMUM FOR THE BASE BID. MANUFACTURERS CONSIDERED AS AN EQUAL OR BETTER IN ALL ASPECTS TO THAT SPECIFIED WILL BE SUBJECT TO APPROVAL IN WRITING BY ARCHITECTS/ENGINEERS THROUGH SHOP DRAWING SUBMITTAL PROCESS FOR ACCEPTANCE PRIOR TO INSTALLATION. THE USE OF ANY UNAUTHORIZED EQUIPMENT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
2. GENERAL CONTRACTOR SHALL SUBMIT ONLY SUBSTITUTION REQUESTS TO ARCHITECTS/ENGINEERS FOR APPROVAL. SUBMISSIONS SHALL BE MADE EARLY ENOUGH IN PROJECT TO ALLOW FOUR (4) WORKING DAYS FOR ARCHITECTS/ENGINEERS REVIEW WITHOUT CAUSING DELAYS OR CONFLICTS TO THE JOB'S PROGRESS. SUBMITTALS SHALL BEAR THE STAMP AND/OR THE SIGNATURE OF THE GENERAL CONTRACTOR AND THE SUB-CONTRACTOR SHOWING THAT HE HAS REVIEWED AND CONFIRMED THAT THE SUBMITTALS ARE IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS OR INDICATE WHERE EXCEPTIONS HAVE BEEN TAKEN.

**G. GUARANTEE**

1. THE EQUIPMENT MANUFACTURER SHALL PROVIDE A 12 MONTH GUARANTEE TO TENANT FROM THE DATE OF ACCEPTANCE. THIS CONTRACTOR SHALL WARRANTY THE INSTALLATION OF THIS EQUIPMENT AND WILL BE RESPONSIBLE FOR ANY DAMAGE AND/OR MALFUNCTION CAUSED BY THE INSTALLATION. THIS CONTRACTOR SHALL NOT BEAR ADDITIONAL WARRANTIES BEYOND A COMPLETE WORKING SYSTEM.

**H. RECORD DRAWINGS**

1. THIS CONTRACTOR SHALL MAINTAIN ONE SET OF DRAWINGS ON THE JOB SITE UPDATED WEEKLY TO RECORD ALL DEVIATIONS FROM CONTRACT DRAWINGS, SUCH AS:
  - a. LOCATION OF CONCEALED CONDUIT AND EQUIPMENT.
  - b. REVISIONS, ADDENDUMS, AND CHANGE ORDERS.
  - c. SIGNIFICANT DEVIATIONS MADE NECESSARY BY FIELD CONDITIONS, APPROVED EQUIPMENT SUBSTITUTIONS, AND CONTRACTOR'S COORDINATION WITH OTHER TRADES.
2. AT COMPLETION OF THE PROJECT AND BEFORE FINAL APPROVAL, THIS CONTRACTOR SHALL MAKE ANY FINAL CORRECTIONS TO DRAWINGS AND CERTIFY THE ACCURACY OF EACH PRINT BY SIGNATURE THEREON. FAILURE TO KEEP THESE RECORDS WILL ALLOW TENANT/ARCHITECTS TO DIRECT THE GENERAL CONTRACTOR TO PROVIDE THESE RECORDS AT HIS EXPENSE PRIOR TO FINAL PAYMENT.

**I. DISCREPANCIES IN DOCUMENTS**

1. DRAWINGS (PLANS, SPECIFICATIONS, AND DETAILS) ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION AND INTENT OF THE ELECTRICAL SYSTEMS, WHERE DRAWINGS, EXISTING SITE CONDITIONS, SPECIFICATIONS OR OTHER TRADES CONFLICT OR ARE UNCLEAR, ADVISE THE GENERAL CONTRACTOR IN WRITING, PRIOR TO SUBMITTAL OF BID. THE GENERAL CONTRACTOR IS RESPONSIBLE TO ADVISE WATER BREWERY'S PROJECT MANAGER, IN WRITING, OF VARIATIONS TO CONTRACT DOCUMENTS PRIOR TO SUBMISSION OF BID. OTHERWISE, TENANT/ARCHITECT'S INTERPRETATION OF CONTRACT DOCUMENTS OR CONDITIONS SHALL BE FINAL WITH NO ADDITIONAL COMPENSATION PERMITTED.

**J. PHASING REQUIREMENTS**

1. THIS CONTRACTOR IS TO INCLUDE IN HIS BID ALL NECESSARY SERVICE REQUIRED TO KEEP THE OPERATING PHASE OF THE STORE'S ELECTRICAL SERVICE IN OPERATION. CONTRACTOR MUST SCHEDULE IN WRITING WITH TENANT/ARCHITECTS AND THE LANDLORD ONE WEEK PRIOR TO ANY SHUT DOWN OF THE ELECTRICAL SYSTEM.

**K. DEMOLITION**

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE DEMOLITION OF EXISTING WORK AND THE DEMOLITION PROVIDED BY THE GENERAL CONTRACTOR. COORDINATE WITH THE GENERAL CONTRACTOR ANY EXISTING EQUIPMENT REQUIRED TO BE LEFT INTACT.
2. THIS CONTRACTOR SHALL INCLUDE, AND WILL BE HELD RESPONSIBLE FOR, THE REMOVAL OF ALL EXISTING ELECTRICAL EQUIPMENT, CONDUITS, ETC. NOT TO BE REUSED ON THIS PROJECT, UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR MUST VERIFY WITH THE LANDLORD ALL PRESUMED ABANDONED EQUIPMENT PRIOR TO REMOVAL. ALL EXTRANEOUS ITEMS IN THE SPACE OR ON THE ROOF NOT APPLICABLE TO THE NEW WORK MUST BE REMOVED AND ROOF/WALL/FLOOR PATCHED/REPAIRED TO MATCH EXISTING STRUCTURE. EXISTING ABANDONED CONDUIT OR EQUIPMENT IN THE FLOOR, EMBEDDED IN CONCRETE OR OTHERWISE INACCESSIBLE ARE TO BE CUT OFF AND SEALED BELOW OR WITHIN FLOOR OR WALL LEVEL WHEN THEY ARE NOT TO BE REUSED IN THIS PROJECT. IF REQUIRED BY LANDLORD OR CODES, ABANDONED CONDUIT MUST BE REMOVED TO POINT OF ORIGIN. CONFIRM THE EXTENT OF DEMOLITION PRIOR TO BID AND INCLUDE IN BID PROPOSAL.

**L. SLEEVES**

1. THIS CONTRACTOR SHALL PROVIDE SLEEVES TO PROTECT EQUIPMENT OR FACILITIES IN THE INSTALLATION. EACH SLEEVE SHALL EXTEND THROUGH IT'S RESPECTIVE FLOOR, WALL OR PARTITION AND SHALL BE CUT FLUSH WITH EACH SURFACE EXCEPT SLEEVES THAT PENETRATE THE FLOOR, WHICH SHALL EXTEND 2" ABOVE THE FLOOR. CONTRACTOR MUST COORDINATE THROUGH THE LANDLORD ANY CORE DRILLING OR CUTTING OF OPENINGS IN MASONRY FLOORS OR WALLS.
2. ALL SLEEVES AND OPENINGS THROUGH FIRE RATED WALLS AND/OR FLOORS SHALL BE FIRE SEALED WITH CALCIUM SILICATE, SILICONE "RTV" FOAM, "3M" FIRE RATED SEALANTS OR EQUAL, SO AS TO RETAIN THEIR FIRE RATING.
3. SLEEVES IN BEARING AND MASONRY WALLS, FLOORS, AND PARTITIONS SHALL BE STANDARD WEIGHT STEEL PIPE FINISHED WITH SMOOTH EDGES. FOR OTHER THAN MASONRY PARTITIONS, THROUGH SUSPENDED CEILINGS, OR FOR CONCEALED VERTICAL PIPING, SLEEVES SHALL BE NO. 22 U.S.G. GALVANIZED STEEL MINIMUM.

**M. HANGERS**

1. HANGERS SHALL INCLUDE ALL MISCELLANEOUS STEEL SUCH AS ANGLE IRON, BANDS, C-CLAMPS WITH RETAINING CLIPS, CHANNELS, HANGER RODS, ETC., NECESSARY FOR THE INSTALLATION OF WORK.
2. HANGERS SHALL BE FASTENED TO BUILDING STEEL, CONCRETE, OR MASONRY, BUT NOT TO PIPING. HANGING FROM METAL DECK IS NOT PERMITTED. HANGERS MUST BE ATTACHED TO UPPER CHORD OF BAR JOIST WHERE INTERFERENCES OCCUR, AND IN ORDER TO SUPPORT DUCTWORK OR PIPING, THE CONTRACTOR MUST INSTALL TRAPEZE TYPE HANGERS OR SUPPORTS WHICH SHALL BE LOCATED WHERE THEY DO NOT INTERFERE WITH ACCESS TO FIRE DAMPERS, VALVES, AND OTHER EQUIPMENT. HANGER TYPES AND INSTALLATION METHODS ARE ALSO SUBJECT TO LANDLORD CRITERIA.
3. HANGERS AND PIPING OF DISSIMILAR METALS SHALL BE DIELECTRICALLY SEPARATED.

**N. FINAL ELECTRICAL INSPECTIONS**

1. ASIDE FROM NORMAL INTERIM INSPECTIONS OF WORK IN PLACE, TENANT/ARCHITECTS MAY HAVE AN INDEPENDENT ELECTRICAL CONTRACTOR INSPECT THE FINISHED ELECTRICAL INSTALLATION UPON COMPLETION FOR COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND CODES. THE INSTALLING CONTRACTOR WILL BE RESPONSIBLE TO BRING ALL ITEMS REPORTED BY THE INDEPENDENT ELECTRICAL CONTRACTOR UP TO PLANS AND SPECIFICATION REQUIREMENTS.

**END OF SECTION 16000**

**SECTION 16050**

**BASIC ELECTRICAL MATERIAL AND METHODS**

**A. SCOPE OF WORK**

1. THIS CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, TOOLS, TRANSPORTATION, AND FACILITIES NECESSARY FOR, REASONABLY IMPLIED AND INCIDENTAL TO, THE FURNISHING, INSTALLATION, COMPLETION AND TESTING OF ALL THE WORK FOR THE ELECTRICAL SYSTEMS AS SHOWN ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, AND AS REQUIRED BY JOB CONDITIONS, TO INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
    - a. A COMPLETE ELECTRICAL DISTRIBUTION SYSTEM INCLUDING THE INSTALLATION OF SAFETY AND DISCONNECT SWITCHES, MOTOR STARTERS AND LIGHTING. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO INCLUDE IN HIS BID FOR PROVIDING SERVICE EQUIPMENT NECESSARY FOR TIE-IN TO LANDLORD'S DISTRIBUTION EQUIPMENT OR TO OBTAIN SERVICE FROM LOCAL UTILITY COMPANY. REFER TO ELECTRICAL RESPONSIBILITY SCHEDULE AND ELECTRICAL POWER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
    - b. CONTRACTOR MUST ALSO INCLUDE IN BID ALL NECESSARY MATERIALS REQUIRED TO COMPLETE THE SYSTEM INCLUDING, BUT NOT LIMITED TO, FEEDERS, BRANCH CIRCUITS, JUNCTION BOXES, OUTLET BOXES, WIRING DEVICES, COVER PLATES, CONDUITS, ETC.
    - c. METERING AND CURRENT TRANSFORMERS AS REQUIRED BY DRAWINGS, UTILITY COMPANY, AND/OR LANDLORD.
    - d. THE WIRING OF MECHANICAL EQUIPMENT AS OUTLINED ON THE BID SET DRAWINGS AND IN THE SPECIFICATIONS. WORK SHALL INCLUDE WIRING OF ALL STARTERS, DISCONNECTS, AND POWER WIRING OF MECHANICAL EQUIPMENT EXCEPT AS SPECIFICALLY NOTED OTHERWISE. ALL LOW VOLTAGE (24 VOLT) EMS TEMPERATURE CONTROL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR UNLESS NOTED SPECIFICALLY ON DRAWING.
    - e. INSTALLATION OF LIGHT FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS INCLUDING ALL DEVICES, EQUIPMENT, ETC. REQUIRED FOR MOUNTING.
    - f. A COMPLETE CONDUIT SYSTEM FOR TELEPHONE/DATA INCLUDING BRANCH CONDUITS, OUTLET BOXES, PULL WIRES, GROUND CONDUCTORS, COVER PLATES, ETC. OR AS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
    - g. A COMPLETE EMERGENCY AND EXIT LIGHTING SYSTEM AS SHOWN ON THE DRAWINGS.
    - h. TEMPORARY SERVICE AS INDICATED IN THE SPECIFICATIONS, INCLUDING ITS REMOVAL.
    - i. FINAL CONNECTIONS TO ALL SIGNS, CORNICE LIGHTING, CASE LIGHTING, ETC. AS SHOWN ON DRAWINGS.
    - j. IF INDICATED ON DRAWINGS, INSTALLATION AND WIRING OF SPEAKERS, AMPLIFIERS, CONDUIT AND FINAL CONNECTIONS FOR SOUND SYSTEM AS SHOWN.
    - k. SMOKE/FIRE ALARM WIRING, DEVICES AND CONDUIT, AS SHOWN OR DESCRIBED ON DRAWINGS OR AS NECESSARY TO MEET LANDLORD, STATE, LOCAL, INSURANCE AND FIRE DEPARTMENT REQUIREMENTS.
    - l. INSTALLATION OF CONDUITS STUBBED TO ABOVE CEILING FOR HVAC. ALSO, ANY ADDITIONAL CONDUIT FOR HVAC CONTROL EQUIPMENT WHERE PLENUM RATED CABLES ARE NOT PERMITTED.
    - m. BALANCING LOADS.
    - n. AS-BUILTS, PANEL DESCRIPTION AND CIRCUIT BREAKER SPECIFIC LABELING.
  2. THE FOLLOWING ITEMS OF ELECTRICAL CONSTRUCTION ARE NOT INCLUDED IN THIS CONTRACT:
    - a. TELEPHONE INSTRUMENTS AND WIRING UNLESS NOTED OTHERWISE.
    - b. DATA CABLE WIRING UNLESS NOTED OTHERWISE.
  3. BEFORE STARTING WORK, THIS CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL AND PLUMBING PLANS, SHOP DRAWINGS AND SPECIFICATIONS TO SEQUENCE, COORDINATE, AND INTEGRATE THE VARIOUS ELEMENTS OF THE ELECTRICAL SYSTEM, MATERIALS AND EQUIPMENT WITH OTHER CONTRACTORS TO AVOID INTERFERENCES AND CONFRONTATIONS.
- B. CONDUIT**
1. THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUITS SERVING ALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, LIGHTING, RECEPTACLES, HEATING, AIR CONDITIONING, PLUMBING EQUIPMENT, TELEPHONE, DATA, SPEAKERS, SECURITY, PAGER, TRAFFIC COUNTING SYSTEM AND ELECTRICAL EQUIPMENT.
  2. ALL CONDUITS SHALL BE GALVANIZED IMC OR EMT UNLESS OTHERWISE SPECIFIED IN SPECIFICATIONS OR ON DRAWINGS. ALL CONDUIT IS TO BE UL LABELED. EMT CONNECTORS SHALL BE STEEL COMPRESSION OR SET SCREW TYPE. CONDUIT UNDER SLAB ON GRADE SHALL BE RIGID STEEL, OR SCHEDULED 40 PVC WITH RIGID STEEL ELLS WHERE PERMITTED BY LANDLORD OR CODE.
  3. MINIMUM SIZE OF CONDUIT SHALL BE:
    - a. MAIN FEEDER CONDUIT 2" OR LARGER FOR ALL APPLICATIONS.
    - b. 1/2" FOR INDIVIDUAL LIGHTING FIXTURE CONNECTIONS OR TO INDIVIDUAL LIGHT SWITCHES (IF ACCEPTABLE BY THE LANDLORD AND LOCAL CODE OFFICIALS) AND 3/4" FOR ALL OTHER LOCATIONS.
    - c. IF HVAC CONTROL WIRING IS REQUIRED TO BE RUN IN CONDUIT, IT SHALL BE A MINIMUM OF 3/4", UNLESS NOTED OTHERWISE ON DRAWINGS.
    - d. ALL IN/UNDER FLOOR CONDUIT SHALL BE OF MINIMUM 3/4" SIZE.
  4. SUPPORT ALL CONDUIT, INCLUDING SEISMIC AND SWAY BRACING, IN ACCORDANCE WITH THE NEC AND LOCAL CODES.
  5. GENERALLY, ALL CONDUIT SHALL BE CONCEALED EXCEPT FOR UNFINISHED AREAS, SUCH AS EQUIPMENT ROOMS. EXPOSED CONDUIT SHALL BE ALLOWED ONLY AS NOTED ON PLAN AND AS APPROVED BY PROJECT MANAGER. PAINTING OF CONDUITS, NOTED ON DRAWINGS OR SPECIFICATIONS WILL BE BY GENERAL CONTRACTOR.
  6. FLEXIBLE METAL CONDUIT OR MC TYPE CABLE:
    - a. FLEXIBLE CONDUIT OR MC TYPE CABLE SHALL BE USED FOR THE FOLLOWING APPLICATIONS ONLY:
      1. FINAL CONNECTIONS TO MOTORS.
      2. FINAL CONNECTIONS INTO AND OUT OF THE TRANSFORMER.
      3. FINAL CONNECTIONS TO VIBRATING EQUIPMENT.
      4. INTER-CONNECTIONS BETWEEN ALL LIGHT FIXTURES AND HOMERUNS TO PANELS WHERE CODE ALLOWS.
      5. FINAL CONNECTIONS WHERE RIGID CONDUIT IN NOT PRACTICAL.
      6. IN WALLS (FOR LIGHT SWITCHES AND 120 VOLT POWER RECEPTACLES AND HVAC CONTROL EQUIPMENT).

**B. CONDUIT (CONTINUED)**

6. FLEXIBLE METAL CONDUIT OR MC TYPE CABLE (CONTINUED):
    - b. FLEXIBLE METAL CONDUIT OR MC TYPE CABLE MUST BE THE SAME SIZE AS THE IMC OR EMT CONDUIT TO WHICH IT IS CONNECTED. BOTH THE FLEXIBLE METAL CONDUIT AND IT'S FITTINGS ARE TO BE LISTED FOR GROUNDING. A GREEN GROUNDING CONDUCTOR SHALL BE INSTALLED. ALL CONNECTORS ARE TO BE OF A NEMA APPROVED TYPE.
    - c. THE USE OF ROMEX, BX, ETC. IS PERMITTED ONLY IN RESIDENTIAL CONSTRUCTION NOT HIGHER THAN THREE STORIES.
    - d. CONNECTION TO ANY OUTDOOR EQUIPMENT MUST BE WEATHERPROOF.
    7. PROVIDE PULL-WIRE IN ALL EMPTY CONDUITS EXCEPT AS NOTED OTHERWISE ON DRAWINGS.
    8. HOME RUNS AND MAIN CONDUIT RUNS ARE TO BE HELD TIGHT TO STRUCTURE ABOVE OR AS REQUIRED TO ALLOW PROPER SERVICE ACCESS AND OTHER TRADES WORK. CONDUIT MUST BE TRAPEZED TO ALLOW 3 FEET MINIMUM CLEARANCE ABOVE CEILING.
    9. ALL CONDUITS MUST BE SIZED PER NEC AND LOCAL CODES.
    10. ALL SENSORMATIC WIRING MUST BE PLACED IN CONDUIT (PVC PIPE NOT PERMITTED).
- C. OUTLET BOXES**
1. ALL OUTLET BOXES SHALL BE GALVANIZED PRESSED STEEL OF THE STANDARD KNOCKOUT TYPE. NO ROUND OUTLET BOXES SHALL BE PERMITTED UNLESS INDICATED AND FOR LIGHTING THAT REQUIRE SUCH CONFIGURATION. CONCEALED BOXES SHALL NOT BE LESS THAN 4" SQUARE AND 1 1/2" DEEP, WITH PLASTER RINGS.
  2. ALL KNOCKOUT BOXES, UPON WHICH LIGHTING FIXTURES ARE TO BE INSTALLED, SHALL BE EQUIPPED WITH 3/8" FIXTURE STUDS.
  3. EXTERIOR BOXES SHALL BE CAST RUST-RESISTING METAL WITH GASKETED COVERS.
  4. INSTALL BOXES RIGIDLY FROM BUILDING STRUCTURE AND SUPPORT INDEPENDENTLY OF THE CONDUIT SYSTEM. ALSO PROVIDE SUITABLE BOX EXTENSIONS TO EXTEND BOXES TO FINISHED FACES OF FLOORS, CEILINGS, WALLS ETC. ALL OUTLET BOXES TO BE PROVIDED WITH CADDY "QUICK-MOUNT BOX SUPPORT" TO MINIMIZE THE DEFLECTION THAT OCCURS WHEN PLUGGING/UNPLUGGING INTO THESE DEVICES.
  5. UNLESS OTHERWISE NOTED ON DRAWINGS OR OTHERWISE REQUIRED BY THE NATIONAL ELECTRICAL CODE, HANDICAP CODES OR LOCAL CODES, OUTLET HEIGHTS SHALL BE AS FOLLOWS:
    - a. SWITCH HEIGHT 48" FROM FINISHED FLOOR TO TOP OF OUTLET.
    - b. CONVENIENCE OUTLETS:
      - MOUNTED ON WALL NO MORE THAN 48-INCHES, MEASURED FROM TO TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING AND; NO LESS THAN 15-INCHES, MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING, TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM UNLESS OTHERWISE INDICATED OR HORIZONTALLY MOUNTED IN BASEBOARD BENEATH CABINETS, AS SHOWN ON DRAWINGS, OR AS REQUIRED BY LOCAL CODES, SEE DRAWINGS.
    - c. TELEPHONE OUTLETS SHALL BE LOCATED AS NOTED ON DRAWINGS.

**D. JUNCTION AND PULL BOXES**

1. THE PLANS INDICATE ONLY SCHEMATIC ROUTINGS FOR CONDUIT RUNS. THIS CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL BOXES WHERE REQUIRED BY FIELD CONDITIONS OR BY CODE.
2. BOXES AND COVERS SHALL BE GALVANIZED STEEL OF CODE GAUGE SIZE.
3. INSTALL BOXES RIGIDLY SUPPORTED FROM THE BUILDING STRUCTURE AND SUPPORTED INDEPENDENT OF THE CONDUIT SYSTEM.
4. ARRANGE CIRCUITS TO AVOID THE USE OF JUNCTION BOXES IN INACCESSIBLE LOCATIONS. THE USE OF JUNCTION BOXES ABOVE DRYWALL CEILINGS SHOULD BE LIMITED TO LOCATIONS NEAR ACCESS FRAMES USED FOR DIFFUSERS AND RETURN AIR GRILLES OR ACCESS PANELS AS LOCATED ON PLANS.
5. JUNCTION AND PULL BOXES MUST BE LABELED WITH CIRCUIT NUMBER IDENTIFICATION AND SYSTEM TYPE ON COVER.

**E. WIRING**

1. CONDUCTORS FOR FEEDERS AND BRANCH CIRCUITS SHALL BE COPPER AND THE AWG SIZE AND TYPE AS SHOWN ON DRAWINGS. MINIMUM WIRE SIZE #12. THE CONDUCTORS SHALL BE 600 VOLT INSULATION, TYPE THW, THWN OR THHN.
2. MINIMUM WIRE SIZE – 20 AMP BRANCH CIRCUIT SHALL BE AWG LISTED SIZE PER DISTANCE SHOWN BELOW. DISTANCE SHALL BE MEASURED FROM THE PANELBOARD CIRCUIT BREAKER TO THE FURTHEST OUTLET.
  - a. #12 LESS THAN 100 FEET
  - b. #10 BETWEEN 100-150 FEET
  - c. #8 BETWEEN 150 – 250 FEET
  - d. #6 OVER 250 FEET
3. ON ALL 20 AMP BRANCH CIRCUITS, CONDUCTORS LARGER THAN #10 AWG SHALL BE REDUCED TO #10 AWG WITHIN 10 FEET OF PANEL BOARD AND DEVICE IN JUNCTION BOXES ON RATED TERMINAL STRIPS.
4. CONDUCTORS MAY BE STRANDED FOR SIZES #10 AWG AND LARGER. CONDUCTORS SIZE #12 SHALL BE SOLID (NOT STRANDED).
5. ALUMINUM CONDUCTORS ARE NOT PERMITTED, EXCEPT AT SERVICE ENTRANCE, WHERE REQUIRED BY LANDLORD. CONDUCTOR CONNECTION MUST BE PER MANUFACTURER'S REQUIREMENTS. CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM GENERAL CONTRACTOR AND PROJECT MANAGER WHEN USED.
6. ALL WIRING SHALL BE IN CONDUIT, UNLESS SPECIFICALLY NOTED OTHERWISE (IE. LOW VOLTAGE PLENUM RATED WIRE).
7. THE USE OF SHARED NEUTRALS IS REQUIRED FOR LIGHTING CIRCUITS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND LOCAL CODES. ALL OTHER EQUIPMENT REQUIRING A NEUTRAL CONDUCTOR SHALL HAVE A DEDICATED FULL SIZE NEUTRAL.
8. THE USE OF ROMEX, BX, ETC. IS PERMITTED ONLY IN RESIDENTIAL CONSTRUCTION NOT HIGHER THAN THREE STORIES.
9. WIRE CONNECTORS SHALL BE EQUAL TO "SCOTCH LOCK" FOR #8 AWG WIRE AND SMALLER AND EQUAL TO T & B "LOCKTIGHT" FOR #6 AWG AND LARGER.
10. ALL WIRING TO BE COLOR-CODED AS FOLLOWS:
 

120/208 VOLT SYSTEM NEUTRAL – WHITE PHASE A OR L1 – BLACK PHASE B OR L2 – RED PHASE C OR L3 – BLUE GROUND – GREEN	277/480 VOLT SYSTEM NEUTRAL – GRAY PHASE A OR L1 – YELLOW PHASE B OR L2 – ORANGE PHASE C OR L3 – BROWN GROUND – GREEN WITH YELLOW TRACER
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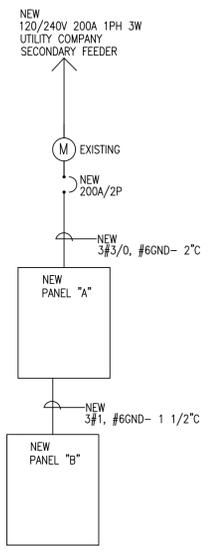
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 DESCRIPTION: ELECTRICAL SPECIFICATION  
 SHEET NO.:

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## ELECTRICAL SYMBOLS LIST

CLG.	WALL	FLR.	DESCRIPTION	CLG.	WALL	FLR.	DESCRIPTION
⊖	⊖	⊖	DUPLEX RECEPTACLE AT +15" FOR WALL MOUNTED U.O.N.	⊖	⊖	⊖	SINGLE POLE SWITCH AT 48" U.O.N.
⊕	⊕	⊕	DOUBLE DUPLEX RECEPTACLE AT +15" FOR WALL MOUNTED U.O.N.	⊖	⊖	⊖	THREE-WAY SWITCH AT +48" U.O.N.
⊖	⊖	⊖	GROUND FAULT INTERRUPTING DUPLEX RECEPTACLE	⊖	⊖	⊖	MANUAL MOTOR STARTER
⊖	⊖	⊖	GROUND FAULT INTERRUPTING DOUBLE DUPLEX RECEPTACLE	⊖	⊖	⊖	DIMMER SWITCH AT +48" U.O.N.
⊖	⊖	⊖	SPECIAL RECEPTACLE. SEE EQUIPMENT PLAN/INSTALLATION MANUAL FOR SPECS AND DETAILS.	⊖	⊖	⊖	THREE-WAY DIMMER SWITCH AT +48" U.O.N.
⊖	⊖	⊖	JUNCTION BOX	⊖	⊖	⊖	OCCUPANCY AUTOMATIC WALL SWITCH SENSOR WITH SINGLE LEVEL SWITCHING AT +48" U.O.N./MANUFACTURER TO BE DETERMINED
⊖	⊖	⊖	COMBINATION TELEPHONE, DATA AND CABLE OUTLET AT +18" U.O.N. PROVIDE 1/2"C.O. STUBBED TO ACCESSIBLE CEILING SPACE	⊖	⊖	⊖	VACANCY AUTOMATIC WALL SWITCH SENSOR WITH SINGLE LEVEL SWITCHING AT +48" U.O.N./MANUFACTURER TO BE DETERMINED
⊖	⊖	⊖	TELEPHONE OUTLET, CAT5E CABLE, RJ11 TERMINATION MOUNTED AT +18" U.O.N. PROVIDE 1/2"C.O. STUBBED TO ACCESSIBLE CEILING SPACE	⊖	⊖	⊖	OCCUPANCY SENSOR SINGLE POLE SWITCH WITH DIMMER CONTROL FEATURE AT +48" U.O.N./MANUFACTURER TO BE DETERMINED
⊖	⊖	⊖	DATA OUTLET, CAT5E CABLE, RJ45 TERMINATION MOUNTED AT +18" U.O.N. PROVIDE 1/2"C.O. STUBBED TO ACCESSIBLE CEILING SPACE	⊖	⊖	⊖	CEILING MOUNTED OCCUPANCY SENSOR/MANUFACTURER TO BE DETERMINED CONNECTED TO NEARBY LIGHTING CIRCUIT AHEAD OF LOCAL SWITCH
⊖	⊖	⊖	CABLE OUTLET, RG-6 COAXIAL CABLE, MOUNTED AT +18" U.O.N. PROVIDE 1/2"C.O. STUBBED TO ACCESSIBLE CEILING SPACE	⊖	⊖	⊖	CEILING MOUNTED VACANCY SENSOR/MANUFACTURER TO BE DETERMINED CONNECTED TO NEARBY LIGHTING CIRCUIT AHEAD OF LOCAL SWITCH
⊖	⊖	⊖	LIGHTING FIXTURE WITH 90 MIN. EMER. BATTERY PACK OR ON INVERTER SEE LIGHT FIXTURE SCHEDULE FOR DETAILS AND SPECS	⊖	⊖	⊖	CEILING MOUNTED DAYLIGHT SENSOR/MANUFACTURER TO BE DETERMINED CONNECTED TO NEARBY LIGHTING CIRCUIT AHEAD OF LOCAL SWITCH
⊖	⊖	⊖	CONDUIT STUB OUT, 3/4" MINIMUM - SEE PLANS FOR NOTES	⊖	⊖	⊖	HARD WIRED, WITH BATTERY BACKUP, MULTI-PURPOSE CARBON MONOXIDE & SMOKE DETECTOR.
⊖	⊖	⊖	CONDUIT CONCEALED ABOVE CEILING OR IN WALLS	⊖	⊖	⊖	NON-FUSED SWITCH, SIZE AS SHOWN IN THE PLAN
⊖	⊖	⊖	HOMERUN TO PANEL "A", CIRCUITS #1	⊖	⊖	⊖	FUSED SWITCH, SIZE AS SHOWN IN THE PLAN
⊖	⊖	⊖	GROUND CONNECTOR	⊖	⊖	⊖	MOTOR OUTLET - IDENTIFICATION
⊖	⊖	⊖	ELECTRICAL PANEL. REFER TO PANEL SCHEDULE FOR DETAILS.	⊖	⊖	⊖	TIME CLOCK WITH MANUAL BY-PASS SWITCH SEE LIGHTING CONTROL DIAGRAM FOR DETAILS
⊖	⊖	⊖	MAIN SWITCHBOARD OR POWER DISTRIBUTION BOARD	⊖	⊖	⊖	VAPOR PROOF LIGHT FIXTURE
⊖	⊖	⊖	DENOTES EQUIPMENT #1. SEE EQUIPMENT SCHEDULE FOR THE DETAILS AND EXACT SPECIFICATIONS.	⊖	⊖	⊖	GAS SOLENOID-SEE PLUMBING PLAN FOR EXACT LOCATION.
⊖	⊖	⊖	INDICATES PLAN NOTE NUMBER "1". SEE PLAN	NOTES:			
⊖	⊖	⊖	DENOTES MECHANICAL EQUIPMENT #1 SEE MECHANICAL DRAWINGS FOR THE DETAILS AND EXACT SPECIFICATIONS;	SYMBOL LIST SHOW IN FOR GENERAL REFERENCE ONLY. A PRESENCE OF A SYMBOL DOES NOT IMPLY ITS USE ON THIS PROJECT. REFER TO DRAWING FOR SPECIFIC SYMBOLS USED.			

CONTRACTOR TO FIELD VERIFY ACTUAL SITE CONDITION / EXACT SERVICE ENTRANCE AND SHALL NOTIFY ENGINEER(S) ANY DISCREPANCY WITH THE PLAN.



SINGLE LINE DIAGRAM

## RESIDENTIAL ELECTRICAL GENERAL NOTES

- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: (A) IN EACH ROOM USED FOR SLEEPING PURPOSES AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). (B) SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACK-UP AND INTERCONNECTED, UNLESS EXEMPTED IN ACCORDANCE WITH CRC R314.4 AND R314.5 OR CBC 907.2.11.5 & 907.2.11.6.
- CARBON MONOXIDE SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). CARBON MONOXIDE SHALL BE HARDWIRED WITH BATTERY BACK-UP AND INTERCONNECTED, UNLESS EXEMPTED IN ACCORDANCE WITH CRC R315.
- ALL LIGHTING SHALL BE HIGH EFFICACY PER SECTION 150.0(K).
- AFCI PROTECTION: WITH THE EXCEPTION OF OUTLETS LOCATED/ INSTALLED IN BATHROOMS, GARAGES, CRAWL SPACES, ATTICS, AND OUTDOORS; AFCI PROTECTION SHALL BE PROVIDED FOR ALL 15 AND 20 AMP, 120 VOLT SINGLE PHASE OUTLETS. INCLUDE INDOOR SWITCHES FOR OUTDOOR LIGHTS, ALL LIGHTING, CLOSETS, SMOKE AND CARBON MONOXIDE ALARMS. REFERENCE: NEC/CEC SECTION 210.12
- PROVIDE LISTED TAMPER-RESISTANT RECEPTACLES IN ALL AREAS. REFERENCE: NEC/CEC SECTIONS 210.52 AND 406.11
- A VACANCY SENSOR MUST BE INSTALLED TO CONTROL LIGHTS IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS.
- A DIMMER OR VACANCY SENSOR MUST BE USED TO CONTROL ALL PERMANENTLY INSTALLED INDOOR RECESSED CEILING DOWNLIGHTS, SCREW-BASED LIGHT FIXTURES, AND LED LIGHT FIXTURES.
- OUTDOOR LIGHTING CONNECTED TO A BUILDING MUST BE CONTROLLED WITH A MANUAL ON/OFF SWITCH PLUS AN ASTRONOMICAL TIMECLOCK, OR PHOTOCELL AND MOTION SENSOR, OR PHOTOCELL AND TIME SWITCH.
- PROVIDE GFI PROTECTION AT ALL 125V, 15A OR 20A RECEPTACLES WITHIN 6' OF WATER SOURCES PER SECTION 210.8(B)(5) OF CALIFORNIA ELECTRICAL CODE, 2016 EDITION.
- RECEPTACLE PLACING AND SPACING BETWEEN ADJACENT RECEPTACLE SHALL BE PER CEC 210.52(A)(1,2,3).
- RESTROOM EXHAUST FAN MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

## EMERGENCY EXIT ILLUMINATION NOTES:

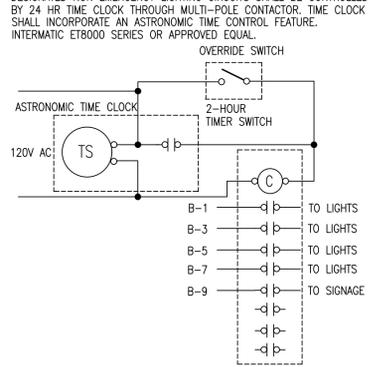
- FIXTURES WITH 90 MIN. EMERGENCY BATTERY BACKUP SHALL BE WIRED AHEAD OF ANY LOCAL IN COMPLIANCE WITH NEC ARTICLE 700.
- EMERGENCY LIGHTING UNITS SHALL BE EQUIPPED WITH FACTORY INSTALLED INTEGRAL TEST SWITCHES.
- THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN 1 FOOT CANDLE (11LUX) AT THE WALKING SURFACE PER CBC 1008.2.1 (ILLUMINATION LEVEL UNDER NORMAL POWER).
- THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702, CBC 1008.3.4.
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27.
- EXIT AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL; PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGN TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL; INTERVENING MEANS OF EGRESS DOORS WITH EXITS SHALL BE MARKED BY EXIT SIGNS. CBC 1013.1.
- THE BOTTOM OF THE SIGN SHALL NOT BE LESS THAN 6 INCHES OR MORE THAN 8 INCHES ABOVE THE FLOOR LEVEL AND SHALL INDICATE THE PATH OF EXIT TRAVEL. FOR EXIT AND EXIT ACCESS DOORS, THE SIGN SHALL BE ON THE DOOR OR ADJACENT TO THE DOOR WITH THE CLOSEST EDGE OF THE SIGN OR MARKER WITHIN 4 INCHES OF THE DOOR FRAME.

## LIGHTING FIXTURE SCHEDULE

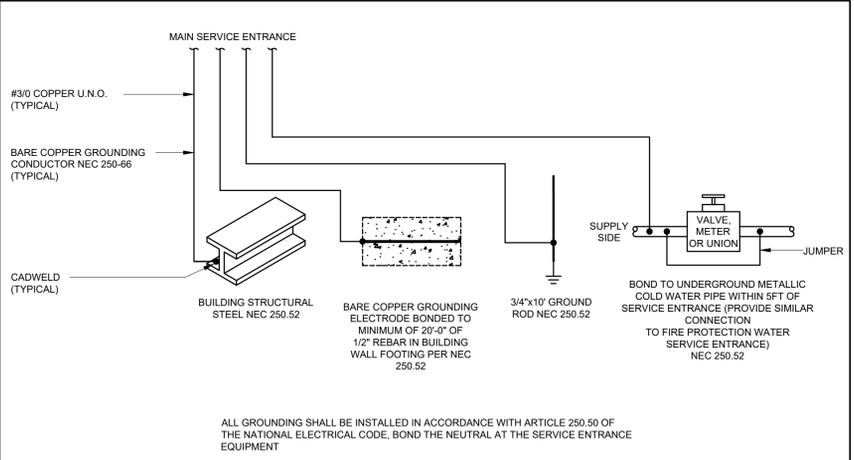
TYPE	DESCRIPTION	LAMP	VOLT	WATT
"A"	LED RECESSED DOWNLIGHT, DIMMABLE LITHONIA WF6 SERIES OR APPROVED EQUAL	LED	120	15W
"B"	FLUORESCENT STRIP SURFACE MOUNTED PARKING AREA LIGHT FIXTURE MANUFACTURER TBD	LED	120	40W
"C"	LOW VOLTAGE LED LANDSCAPE LIGHT, GROUND MTD MANUFACTURER TBD	LED	12	8W
"D"	LED EXTERIOR WALLSCENE LIGHT FIXTURE MANUFACTURER TBD	LED	120	40W
"EM"	EMERGENCY LED LIGHT WITH 90 MINUTES BATTERY PACK LITHONIA EULZ SERIES OR EQUIVALENT	---	120	---
"X"	LED EXIT SIGN WITH 90 MINUTES BATTERY PACK LITHONIA EXR LED M6 OR EQUIVALENT	---	120	---
"EMX"	COMBINATION EMERGENCY LED LIGHT/EXIT SIGN 90 MINUTES BATTERY PACK LITHONIA ECC SERIES OR EQUIVALENT	---	120	---

- NOTES:
- FIXTURE SHALL HAVE MIN. OF 10 YEARS MANUFACTURER WARRANTY ON ALL COMPONENTS.
  - FIXTURES SHALL HAVE APPROPRIATE U.L. LABEL (i.e., DAMP OR WET) AS REQUIRED BY CODES AND ORDINANCES.
  - FIXTURES SHALL INCLUDE ALL ACCESSORIES FOR INSTALLATION ACCORDING TO MANUFACTURER'S SHOP DRAWINGS AND AS REQUIRED BY CODES AND LOCAL ORDINANCES.
  - PRIOR TO ORDERING ANY LIGHTING EQUIPMENT, THE CONTRACTOR SHALL COORDINATE ALL FIXTURE LOCATIONS WITH ARCHITECTURAL, REFLECTED CEILING PLANS AND CEILING CAVITY DEPTHS.
  - ALL LAMPS SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE ATTACHED FIXTURE SCHEDULE AND SPECIFICATIONS. ENSURE COMPATIBILITY BETWEEN FIXTURE, LAMP(S) AND BALLAST(S).
  - CONTRACTOR SHALL VERIFY FIXTURE VOLTAGES AND CEILING TRIM COMPATIBILITY PRIOR TO ORDERING FIXTURE.
  - PROVIDE APPROVED FIRE-RATED ENCLOSURES FOR ALL LIGHTING FIXTURES LOCATED IN FIRE-RATED CEILING.
  - LIGHTING FIXTURE CATALOG NUMBERS ARE SERIES TYPE ONLY. PROVIDE ALL NECESSARY HARDWARE AS REQUIRED BY THE SPECIFICATIONS, DRAWINGS, AND PROJECT CONDITIONS FOR A COMPLETE INSTALLATION.
  - ALL FIXTURES SHALL BE ORDERED WITH APPROPRIATE BALLAST(S) THAT HAVE U.L. AND CBM LABELS. ALL BALLASTS MUST CONFORM TO EICC REQUIREMENTS FOR PERFORMANCE. PROVIDE MULTIPLE BALLASTS FOR DUAL-LEVEL SWITCHING AND WIRING AS INDICATED ON THE PLANS.
  - ENSURE COMPATIBILITY OF ALL LIGHTING SYSTEM COMPONENTS, ESPECIALLY DIMMED SYSTEMS: FIXTURES, LAMPS, BALLAST(S), AND DIMMING SYSTEMS/INDIVIDUAL CONTROLS MUST BE FACTORY CERTIFIED COMPATIBLE FOR FULL RANGE OF DIMMING COMPATIBILITY.
  - PROVIDE CLEARANCES FROM COMBUSTIBLES, A MINIMUM OF 3/4" (OTHER THAN AT POINTS OF SUPPORT) AND 3" FROM INSULATION FOR RECESSED LIGHTING FIXTURES WHICH ARE NON-IC RATED.

(Override) = LIGHTING OVERRIDE SWITCH, AT FRONT DOOR.  
TC = LIGHTS TIME CLOCK WITH OVERRIDE ON/OFF CONTROL.  
SPECIFIC NOTES:  
DESIGNATED NON EMERGENCY LIGHTING CIRCUITS SHALL BE CONTROLLED BY 24 HR TIME CLOCK THROUGH MULTI-POLE CONTACTOR. TIME CLOCK SHALL INCORPORATE AN ASTRONOMIC TIME CONTROL FEATURE. INTERMATIC ET8000 SERIES OR APPROVED EQUAL.



LIGHTING CONTROL DIAGRAM



GROUNDING ELECTRODE SYSTEM DETAIL

VOLTS: 120/240V		PHASE: 1		MAX. IBC RATING: 10,000A MIN.		MAIN: LUGS ONLY	
MOUNTING: FLUSHED		WIRE: 3		ENCLOSURE: NEMA 1 RATED MIN.		BUSSING: 200A	
LOAD		A-AVA	B-VA	BKR	ICT1	ICT2	ICT3
2ND-LTG	L	500		20/1	1	2	20/1
MEZZ-LTG	L		400	20/1	3	4	20/1
EXTERIOR LIGHT	L	60		20/1	5	6	20/1
REF-1	M		500	20/1	7	8	20/1
RTU-1	M	4600		45/2	9	10	20/1
RTU-2	M		4600		11	12	20/1
SPARE	M	4600		45/2	13	14	20/1
SPARE	M		4600		15	16	20/1
ROOF RECEP	R	360		20/1	17	18	20/1
GAS WH RECEP	R		180	20/1	19	20	20/1
DRYER	M	1000		20/1	21	22	20/1
WASHER	M		1500	20/1	23	24	20/1
EF-4	M	100		20/1	25	26	20/1
SPARE				20/1	27	28	20/1
SPARE				20/1	29	30	20/1
SPARE				20/1	31	32	20/1
SPARE				20/1	33	34	20/1
SPARE				20/1	35	36	20/1
SPARE				20/1	37	38	20/1
FUTURE SOLAR SYSTEM SPACE				39	40	100/2	
FUTURE SOLAR SYSTEM SPACE				41	42		7480
PHASE TOTALS:		23240	26200	49440	=TOTAL CONNECTED LOAD, VA (FOR DEMAND LOAD SEE BELOW)		
PHASE AMPERES:		193.7	218.3				

VOLTS: 120/240V		PHASE: 1		MAX. IBC RATING: 10,000A MIN.		MAIN: LUGS ONLY	
MOUNTING: FLUSHED		WIRE: 3		ENCLOSURE: NEMA 1 RATED MIN.		BUSSING: 100A	
LOAD		A-AVA	B-VA	BKR	ICT1	ICT2	ICT3
1ST-LTG	L	100		20/1	1	2	20/1
LOW VOLT LANDSCAPE LTG	L		80	20/1	3	4	20/1
2ND-LTG	L	550		20/1	5	6	20/1
EXTERIOR LIGHT	L		600	20/1	7	8	20/1
SIGNAGE	L	1200		20/1	9	10	20/1
SPARE				20/1	11	12	20/1
SPARE				20/1	13	14	20/1
SPARE				20/1	15	16	20/1
SPARE				20/1	17	18	20/1
SPARE				20/1	19	20	20/1
SPARE				20/1	21	22	20/1
FUTURE EVSE LVL2	R		3000	40/2	23	24	20/1
SPARE	R		3000		25	26	
PARKING RECEP	R		360	20/1	27	28	
PARKING RECEP	R		540	20/1	29	30	20/1
PHASE TOTALS:		10140	7480	17620	=TOTAL CONNECTED LOAD, VA (FOR DEMAND LOAD SEE BELOW)		
PHASE AMPERES:		84.5	62.3				

- NOTES:
- L=LIGHTING LOADS: 1.25 X 500 = 625 VA
  - C=CONTINUOUS LOADS, OTHER: 1.00 X 900 = 900 VA
  - M=MOTOR LOADS (INCL LGST): 0.25 X 0 = 0 VA
  - LARGEST, VA: 1.00 X 10000 = 10000 VA
  - R=RECEPTACLES: 1ST 10K: 0.50 X 2940 = 1470 VA
  - BALANCE: 1.00 X 750 = 750 VA
  - K=KITCHEN LOADS: QTY: 0
  - N=NONCONTINUOUS LOADS, OTHER: 1.00 X 0 = 0 VA
  - (P=)PANEL, INCL. IN ABOVE: TOTAL N.E.C. DEMAND LOAD = 16908 VA = 70.5 AMPERES

## SHEET INDEX

REVISION	DESCRIPTION
E-0.0	ELECTRICAL SPECIFICATION
E-0.1	SINGLE LINE DIAGRAM/SCHEDULES
E-1.0	LIGHTING PLAN-1ST FLOOR
E-1.1	LIGHTING PLAN-2ND FLOOR
E-1.2	LIGHTING PLAN-MEZZANINE
E-1.3	LIGHTING PLAN-ROOF
E-2.0	POWER PLAN-1ST FLOOR
E-2.1	POWER PLAN-2ND FLOOR
E-2.2	POWER PLAN-MEZZANINE
E-2.3	POWER PLAN-ROOF
E-3.0	TITLE 24

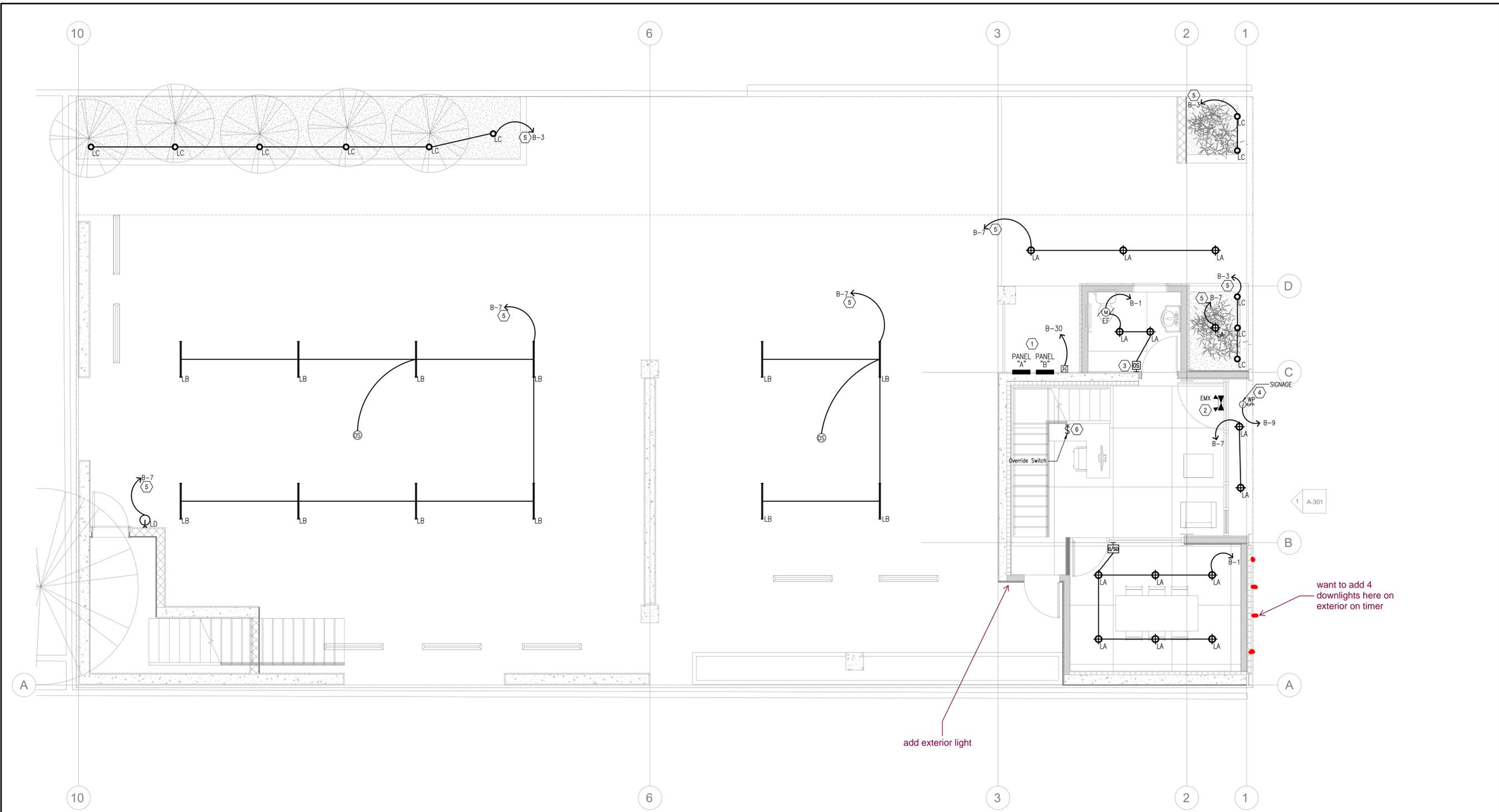
REVISION	DATE

DATE: 4/23/2020

DESCRIPTION:  
SINGLE LINE DIAGRAM, SCHEDULES

SHEET NO.:

# E-0.1



**LIGHTING PLAN-1ST FLOOR**  
 SCALE: 1/4" = 1'-0"

**KEYED LIGHTING PLAN NOTES:**

- ① COORDINATE EXACT LOCATION FOR ELECTRICAL EQUIPMENTS IN FIELD WITH G.C. AND PROVIDE MINIMUM CLEARANCE PER SECTION 110.26 OF NATIONAL ELECTRICAL CODE, 2017 EDITION.
  - ② CONTRACTOR SHALL CONNECT EMERGENCY/AL AND EXIT FIXTURES TO NEARBY ROOM LIGHTING CIRCUIT AHEAD OF LOCAL SWITCH.
  - ③ INTERLOCK REST RM LIGHT WITH EXHAUST FAN. PROVIDE MANUAL MOTOR STARTER AT FAN MOTOR.
  - ④ WIRE THRU CONTACTOR & TIME CLOCK FOR SIGNAGE LIGHTING CONTROL.
  - ⑤ WIRE THROUGH PHOTOCELL AND AUTO SHUT-OFF SCHEDULE DEVICE FOR ALL EXTERIOR LIGHT FIXTURES. ASTRONOMICAL TIMECLOCK MAY BE USED TO COMPLY.
  - ⑥ G.C. TO VERIFY FINAL LOCATION OF SWITCH/DIMMER BANK WITH THE OWNER'S P.M.
- \*DAYLIGHT CONTROL: COMBINED TOTAL GENERAL LIGHTING POWER IN PRIMARY SIDELIT DAYLIT ZONE IS LESS THAN 120 WATTS. NO DAYLIGHT CONTROL REQUIRED PER 2019 BUILDING ENERGY EFFICIENCY STANDARDS SECT 130.1(D)2.

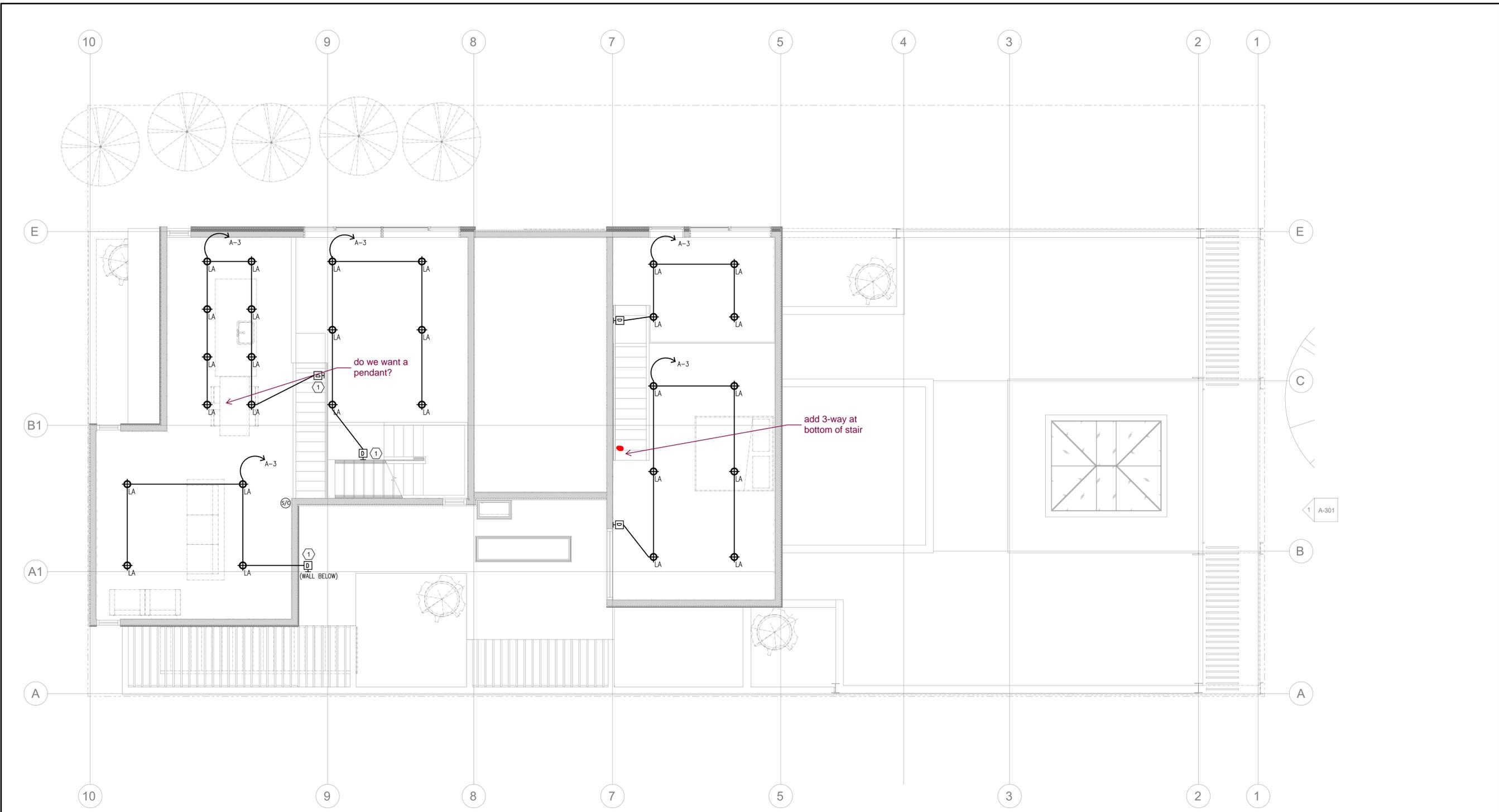
**GENERAL NOTES:**

- 1. CONCEAL ALL WIRING AND CONDUIT IN WALLS, CHASE, UTILITY SPACES OR ABOVE CEILING.
- 2. WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
- 3. CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE LATEST NEC.
- 4. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRICAL CODE 2019 EDITION.
- 5. IF DRAWINGS ARE INCORRECT FROM THE ACTUAL SITE CONDITION, E.C. SHALL NOTIFY ENGINEER(S) AND PROVIDE INFORMATION REFLECTING ACTUAL CONDITIONS.
- 6. REFER TO E-0.1 EMERGENCY EXIT ILLUMINATION NOTES FOR EMERGENCY LIGHTING REQUIREMENTS.
- 7. PROVIDE 2 HOUR OVERRIDE AND AUTOMATIC SHUTOFF SWITCHES AS REQUIRED PER 2019 TITLE 24 ALONG WITH ALL REQUIRED PARTS, COMPONENTS AND ACCESSORIES TO INTERFACE WITH LIGHTING CONTROL DEVICE AS REQUIRED FOR COMPLETE AND FULLY OPERABLE SYSTEM.
- 8. ALL LIGHT FIXTURE TYPES, SPECIFICATIONS, AND QUANTITIES ARE TO BE COORDINATED AND VERIFIED WITH ARCHITECT/OWNER.
- 9. OBTAIN APPROVAL ON LOCATION OF SWITCH/DIMMER/SENSOR WITH ARCHITECT AND OWNER AT SITE PRIOR TO ROUGH-IN.

REVISION

DATE:	4/23/2020
DESCRIPTION:	LIGHTING PLAN-1ST FLOOR
SHEET NO.:	<b>E-1.0</b>





**LIGHTING PLAN—MEZZANINE**  
 SCALE: 1/4" = 1'-0"

**KEYED LIGHTING PLAN NOTES:**

- ① G.C. TO VERIFY FINAL LOCATION OF SWITCH/DIMMER BANK WITH THE OWNER'S P.M.

\*DAYLIGHT CONTROL: COMBINED TOTAL GENERAL LIGHTING POWER IN PRIMARY SIDELIT DAYLIT ZONE IS LESS THAN 120 WATTS. NO DAYLIGHT CONTROL REQUIRED PER 2019 BUILDING ENERGY EFFICIENCY STANDARDS SECT 130.1(D)2.

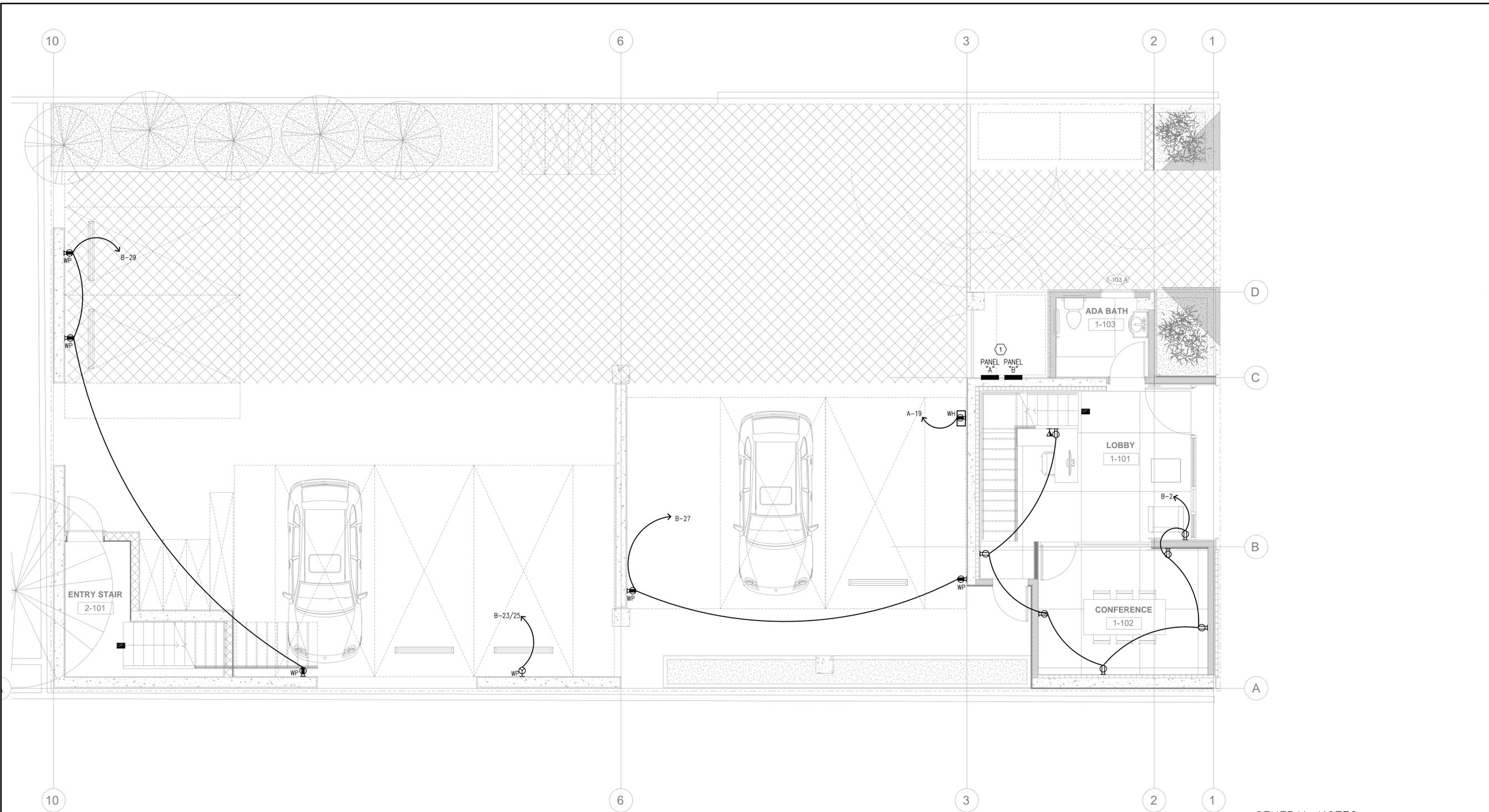
**GENERAL NOTES:**

1. CONCEAL ALL WIRING AND CONDUIT IN WALLS, CHASE, UTILITY SPACES OR ABOVE CEILING.
2. WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
3. CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE LATEST NEC.
4. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRICAL CODE 2019 EDITION.
5. IF DRAWINGS ARE INCORRECT FROM THE ACTUAL SITE CONDITION, E.C. SHALL NOTIFY ENGINEER(S) AND PROVIDE INFORMATION REFLECTING ACTUAL CONDITIONS.
6. ALL LIGHT FIXTURE TYPES, SPECIFICATIONS, AND QUANTITIES ARE TO BE COORDINATED AND VERIFIED WITH ARCHITECT/OWNER.
7. OBTAIN APPROVAL ON LOCATION OF SWITCH/DIMMER/SENSOR WITH ARCHITECT AND OWNER AT SITE PRIOR TO ROUGH-IN.
8. E-0.1/RESIDENTIAL ELECTRICAL NOTES SHALL BE APPLIED TO RESIDENTIAL SIDE OF BUILDING.

REVISION	DATE	DESCRIPTION

DATE:	4/23/2020
DESCRIPTION:	LIGHTING PLAN—MEZZANINE
SHEET NO.:	E-1.2





**POWER PLAN-1ST FLOOR**  
 SCALE: 1/4" = 1'-0"

**KEYED POWER PLAN NOTES:**

① COORDINATE EXACT LOCATION FOR ELECTRICAL EQUIPMENTS IN FIELD WITH G.C. AND PROVIDE MINIMUM CLEARANCE PER SECTION 110.26 OF NATIONAL ELECTRICAL CODE, 2017 EDITION.

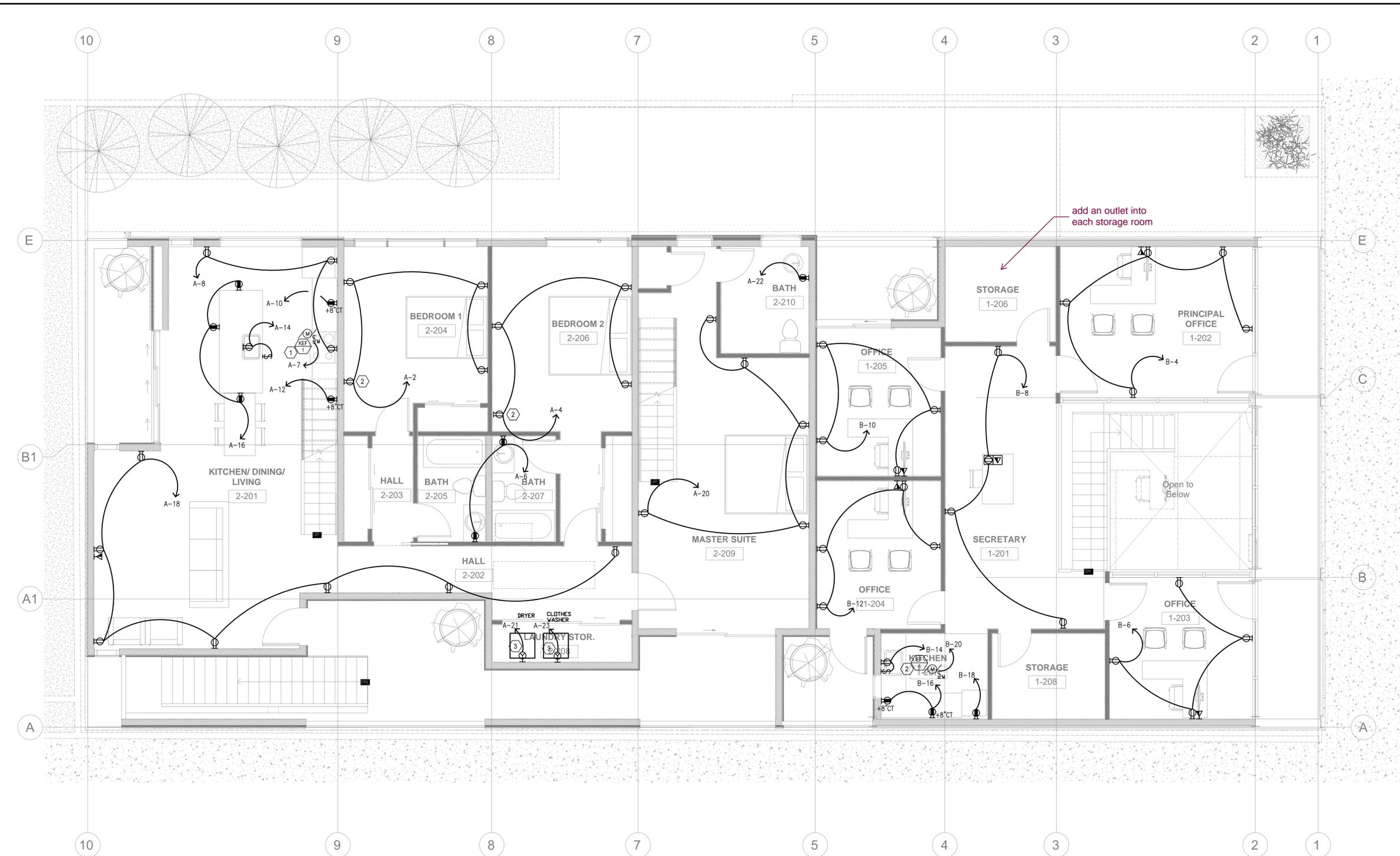
**GENERAL NOTES:**

1. CONCEAL ALL WIRING AND CONDUIT IN WALLS, CHASE, UTILITY SPACES OR ABOVE CEILING.
2. WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
3. CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE LATEST NEC.
4. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRICAL CODE 2019 EDITION.
5. IF DRAWINGS ARE INCORRECT FROM THE ACTUAL SITE CONDITION, E.C. SHALL NOTIFY ENGINEER(S) AND PROVIDE INFORMATION REFLECTING ACTUAL CONDITIONS.
6. FLEXIBLE CORDS SHALL NOT PASS THROUGH CEILINGS, WALLS OR FLOORS. PER SECTION 400.8 OF CALIFORNIA ELECTRICAL CODE 2019 EDITION.
7. PROVIDE GFI PROTECTION AT ALL 125V, 15A OR 20A RECEPTACLES WITHIN 6' OF WATER SOURCES PER SECTION 210.8(B)(5) OF CALIFORNIA ELECTRICAL CODE, 2019 EDITION.
8. COORDINATE LOCATIONS/HEIGHTS OF ALL RECEPTACLES FOR ELECTRICAL DEVICES WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.
9. FIELD VERIFY ALL KITCHEN EQUIPMENT INSTALLATION REQUIREMENTS WITH KITCHEN EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.
11. E-0.1/RESIDETAILEL ELECTRICAL NOTES SHALL BE APPLIED TO RESIDENTIAL SIDE OF BUILDING.

REVISION	DATE	DESCRIPTION

DATE: 4/23/2020  
 DESCRIPTION: POWER PLAN-1ST FLOOR

SHEET NO.: **E-2.0**



**KEYED POWER PLAN NOTES:**

- ① REFER TO MECHANICAL PLAN FOR EXACT LOCATIONS, SPECS AND INSTALLATION REQUIREMENTS.
- ② ONE OUTLET TO BE CONTROLLED BY ROOM LIGHT SWITCH OR SWITCH SENSOR. RECEPTACLE SHALL BE LABELED AS CONTROLLED.
- ③ VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND PROVIDE POWER/FUSE/DISCONNECT/BREAKER PER RECOMMENDATION.

**GENERAL NOTES:**

- 1. CONCEAL ALL WIRING AND CONDUIT IN WALLS, CHASE, UTILITY SPACES OR ABOVE CEILING.
- 2. WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
- 3. CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE LATEST NEC.
- 4. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRICAL CODE 2019 EDITION.
- 5. IF DRAWINGS ARE INCORRECT FROM THE ACTUAL SITE CONDITION, E.C. SHALL NOTIFY ENGINEER(S) AND PROVIDE INFORMATION REFLECTING ACTUAL CONDITIONS.
- 6. FLEXIBLE CORDS SHALL NOT PASS THROUGH CEILINGS, WALLS OR FLOORS. PER SECTION 400.8 OF CALIFORNIA ELECTRICAL CODE 2019 EDITION.
- 7. PROVIDE GFI PROTECTION AT ALL 125V, 15A OR 20A RECEPTACLES WITHIN 6' OF WATER SOURCES PER SECTION 210.8(B)(5) OF CALIFORNIA ELECTRICAL CODE, 2019 EDITION.
- 8. COORDINATE LOCATIONS/HEIGHTS OF ALL RECEPTACLES FOR ELECTRICAL DEVICES WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.
- 9. FIELD VERIFY ALL KITCHEN EQUIPMENT INSTALLATION REQUIREMENTS WITH KITCHEN EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.
- 11. E-0.1/RESIDENTIAL ELECTRICAL NOTES SHALL BE APPLIED TO RESIDENTIAL SIDE OF BUILDING.

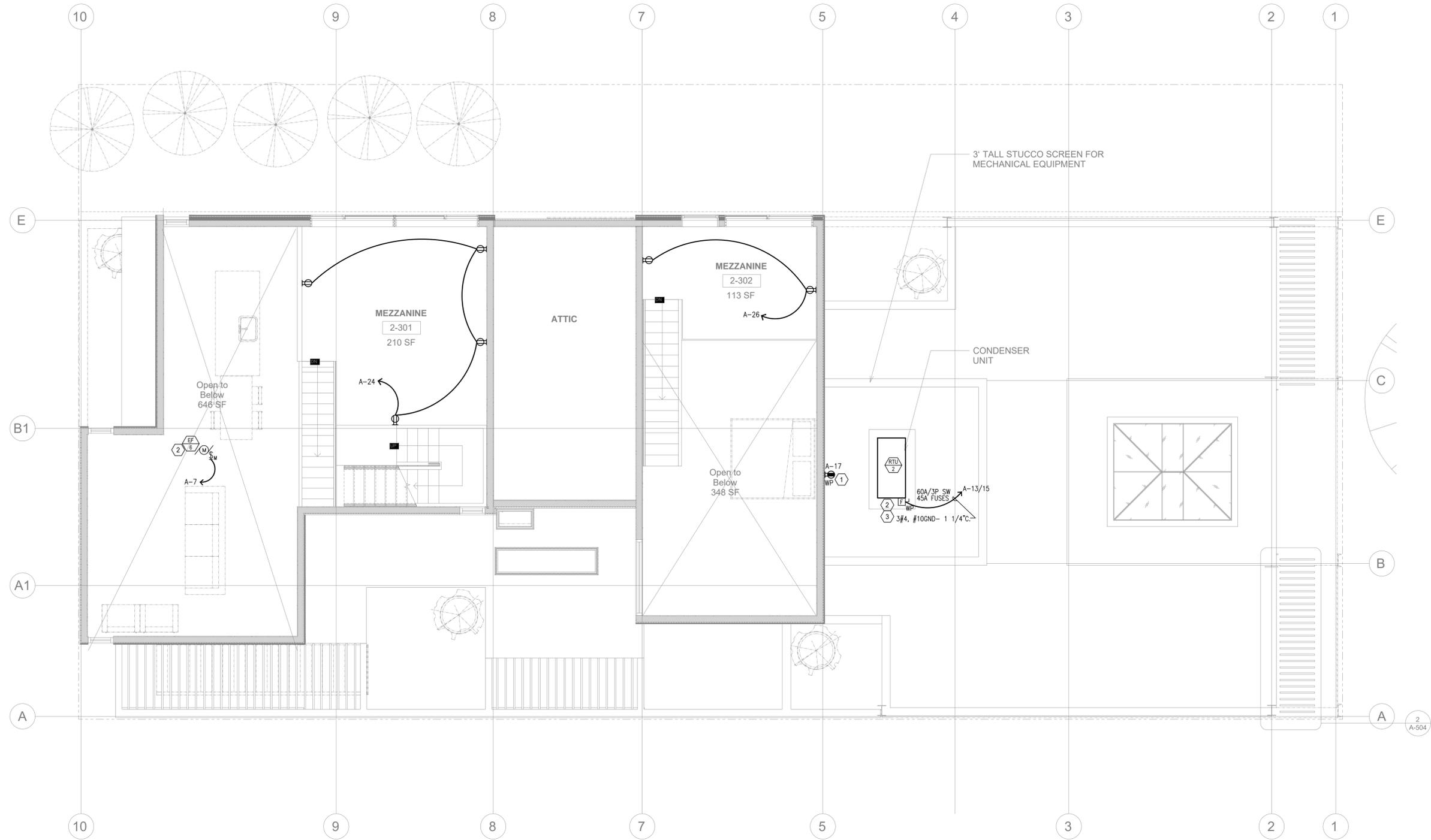
**POWER PLAN-2ND FLOOR**

SCALE: 1/4" = 1'-0"

REVISION	DATE	DESCRIPTION

DATE: 4/23/2020  
 DESCRIPTION: POWER PLAN-2ND FLOOR

SHEET NO.: **E-2.1**



**KEYED POWER PLAN NOTES:**

- ① PROVIDE ROOF MOUNTED GFI/WATERPROOF/WEATHER RESISTANT RECEPTACLE WITHIN 25FT OF HEATING, AC, AND REFRIGERATION EQUIPMENT.
- ② REFER TO MECHANICAL PLAN FOR EXACT LOCATIONS, SPECS AND INSTALLATION REQUIREMENTS.
- ③ VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND PROVIDE POWER/FUSE/DISCONNECT/BREAKER PER RECOMMENDATION.

**GENERAL NOTES:**

- 1. CONCEAL ALL WIRING AND CONDUIT IN WALLS, CHASE, UTILITY SPACES OR ABOVE CEILING.
- 2. WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
- 3. CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE LATEST NEC.
- 4. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRICAL CODE 2019 EDITION.
- 5. IF DRAWINGS ARE INCORRECT FROM THE ACTUAL SITE CONDITION, E.C. SHALL NOTIFY ENGINEER(S) AND PROVIDE INFORMATION REFLECTING ACTUAL CONDITIONS.
- 6. FLEXIBLE CORDS SHALL NOT PASS THROUGH CEILINGS, WALLS OR FLOORS. PER SECTION 400.8 OF CALIFORNIA ELECTRICAL CODE 2019 EDITION.
- 7. PROVIDE GFI PROTECTION AT ALL 125V, 15A OR 20A RECEPTACLES WITHIN 6' OF WATER SOURCES PER SECTION 210.8(B)(5) OF CALIFORNIA ELECTRICAL CODE, 2019 EDITION.
- 8. COORDINATE LOCATIONS/HEIGHTS OF ALL RECEPTACLES FOR ELECTRICAL DEVICES WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.
- 9. FIELD VERIFY ALL KITCHEN EQUIPMENT INSTALLATION REQUIREMENTS WITH KITCHEN EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.
- 11. E-0.1/RESIDENTIAL ELECTRICAL NOTES SHALL BE APPLIED TO RESIDENTIAL SIDE OF BUILDING.

**POWER PLAN—MEZZANINE**

SCALE: 1/4" = 1'-0"

REVISION	DATE	DESCRIPTION

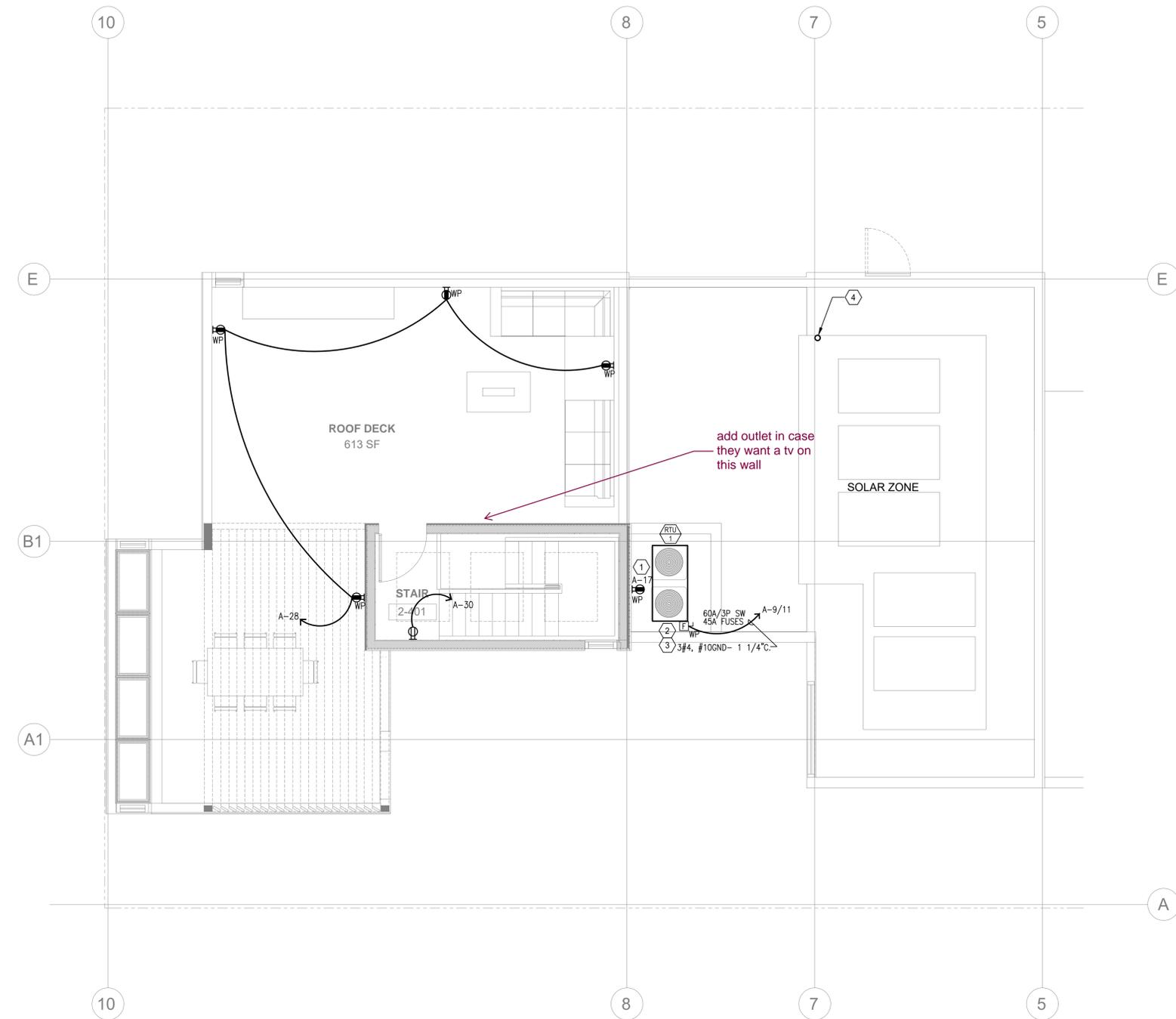
DATE: 4/23/2020

DESCRIPTION:

**POWER PLAN—MEZZANINE**

SHEET NO.:

**E-2.2**



**KEYED POWER PLAN NOTES:**

- ① PROVIDE ROOF MOUNTED GFI/WATERPROOF/WEATHER RESISTANT RECEPTACLE WITHIN 25FT OF HEATING, AC, AND REFRIGERATION EQUIPMENT.
- ② REFER TO MECHANICAL PLAN FOR EXACT LOCATIONS, SPECS AND INSTALLATION REQUIREMENTS.
- ③ VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND PROVIDE POWER/FUSE/DISCONNECT/BREAKER PER RECOMMENDATION.
- ④ PROVIDE 1 1/4" CONDUIT STUB OUT FROM MAIN ELECTRICAL PANEL FOR FUTURE SOLAR SYSTEM.

**GENERAL NOTES:**

- 1. CONCEAL ALL WIRING AND CONDUIT IN WALLS, CHASE, UTILITY SPACES OR ABOVE CEILING.
- 2. WIRE SIZE SHALL NOT BE LESS THAN CORRESPONDING CIRCUIT BREAKER RATING AS REQUIRED BY CODE.
- 3. CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE LATEST NEC.
- 4. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRICAL CODE 2019 EDITION.
- 5. IF DRAWINGS ARE INCORRECT FROM THE ACTUAL SITE CONDITION, E.C. SHALL NOTIFY ENGINEER(S) AND PROVIDE INFORMATION REFLECTING ACTUAL CONDITIONS.
- 6. FLEXIBLE CORDS SHALL NOT PASS THROUGH CEILINGS, WALLS OR FLOORS, PER SECTION 400.8 OF CALIFORNIA ELECTRICAL CODE 2019 EDITION.
- 7. PROVIDE GFI PROTECTION AT ALL 125V, 15A OR 20A RECEPTACLES WITHIN 6' OF WATER SOURCES PER SECTION 210.8(B)(5) OF CALIFORNIA ELECTRICAL CODE, 2019 EDITION.
- 8. COORDINATE LOCATIONS/HEIGHTS OF ALL RECEPTACLES FOR ELECTRICAL DEVICES WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.
- 9. FIELD VERIFY ALL KITCHEN EQUIPMENT INSTALLATION REQUIREMENTS WITH KITCHEN EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.
- 11. E-0.1/RESIDENTIAL ELECTRICAL NOTES SHALL BE APPLIED TO RESIDENTIAL SIDE OF BUILDING.

**POWER PLAN-ROOF**  
 SCALE: 1/4" = 1'-0"

**10th Street**  
 1348 10th st.  
 Santa Monica, CA 90401

REVISION	DATE	DESCRIPTION

DATE: 4/23/2020  
 DESCRIPTION: POWER PLAN-ROOF PLAN

SHEET NO.: **E-2.3**

STATE OF CALIFORNIA  
**Indoor Lighting**  
 NRCC-LTI-E (Created 01/20)  
 CERTIFICATE OF COMPLIANCE  
 Project Name: 10TH STREET Report Page: Page 1 of 7  
 Project Address: 1348 10TH ST, SANTA MONICA, CA 90401 Date Prepared: 4/24/2020

**A. GENERAL INFORMATION**

D1 Project Location (city): SANTA MONICA  
 D2 Climate Zone: D4 Total Conditioned Floor Area (ft²): 1,455  
 D3 Occupancy Types Within Project (select all that apply):  
 Office  Retail  Warehouse  Hotel/Motel  School  Support Areas  
 Parking Garage  High-Rise Residential  Healthcare  Other (write in):

**B. PROJECT SCOPE**

Table Instructions: Include any lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in §140.6 or §141.0(b)(2) for alterations. WARNING: Changing the Calculation Method in this table will result in the deletion of data previously input. If you need to change the calculation method, please open a new form or use "Save As".

Scope of Work	Conditioned Spaces	Unconditioned Spaces
01	02	03
My Project Consists of (check all that apply):	Calculation Method	Area (ft²)
<input checked="" type="checkbox"/> New Lighting System	Area Category	1,455
<input type="checkbox"/> Altered Lighting System	Add Parking Garage-Compliance Path Method	Remove Parking Garage
	Add Altered Lighting System	Remove Last Altered System
Total Area of Work (ft²)		1,455

**C. COMPLIANCE RESULTS**

Table Instructions: If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D, for guidance.

Allowed Lighting Power per §140.6(b) (Watts)					Adjusted Lighting Power per §140.6(a) (Watts)					Compliance Results	
01	02	03	04	05	06	07	08	09	10	11	12
Lighting in conditioned and unconditioned spaces must not be combined for compliance per §140.6(b)(2).	Complete Building §140.6(c)(1)	Area Category §140.6(c)(2)	Tailored §140.6(c)(3) (+)	Total Allowed §140.6(c)(4)	Total Designated §140.6(a)(2) (-)	Adjustments §140.6(a)(3) (+)	Total Adjusted §140.6(a)(4)	05 Must be ≥ 08 §140.6	08 Must be ≥ 09 §140.6	09 Must be ≥ 08 §140.6	08 Must be ≥ 09 §140.6
	(See Table I)	(See Table I)	(See Table I)	1,035.8	765		765	COMPLIES			

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/01024/2019standards> January 2020

STATE OF CALIFORNIA  
**Indoor Lighting**  
 NRCC-LTI-E (Created 01/20)  
 CERTIFICATE OF COMPLIANCE  
 Project Name: 10TH STREET Report Page: Page 2 of 7  
 Project Address: 1348 10TH ST, SANTA MONICA, CA 90401 Date Prepared: 4/24/2020

**D. EXCEPTIONAL CONDITIONS**

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

Table H Indoor Lighting Controls Permit Applicant Notes:  
 OFFICE: Primary/Skylight Daylighting: Exempt because less than 120 watts of general lighting; EXCEPTION 1 to §130.1(d)(2)  
 MAIN LOBBY: Primary/Skylight Daylighting: Exempt because less than 120 watts of general lighting; EXCEPTION 1 to §130.1(d)(2)

Selections made in Table I have been changed by the permit applicant. See Table E. Additional Remarks for permit applicant's explanation.

**E. ADDITIONAL REMARKS**

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

**F. INDOOR LIGHTING FIXTURE SCHEDULE**

Table Instructions: Include all permanent designed lighting and all portable lighting in offices.

01	02	03	04	05	06	07	08	09	10	
Name or Item Tag	Complete Luminaire Description	Modular (Track) Fixture	Small Aperture	Watts per luminaire	How Wattage is determined	Total number of luminaires	Exempt per §140.6(a)(3)	Design Watts	Field Inspector	
LA	LED RECESSED DOWNLIGHT			15	Mfr. Spec	51		765	Pass	
Total Designed Watts CONDITIONED SPACES:							Reset	Add Row	Remove Last	

\* FOOTNOTE: Design Watts for small aperture and color changing luminaires which qualify per §140.6(a)(4) is adjusted to be 75% of their rated wattage. Table F automatically makes this adjustment, the permit applicant should enter full rated wattage in column 05.  
 \* Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per §130.0(c) Wattage used must be the maximum rated for the luminaire, not the lamp.

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/01024/2019standards> January 2020

STATE OF CALIFORNIA  
**Indoor Lighting**  
 NRCC-LTI-E (Created 01/20)  
 CERTIFICATE OF COMPLIANCE  
 Project Name: 10TH STREET Report Page: Page 3 of 7  
 Project Address: 1348 10TH ST, SANTA MONICA, CA 90401 Date Prepared: 4/24/2020

**G. MODULAR LIGHTING SYSTEMS**

This Section Does Not Apply

**H. INDOOR LIGHTING CONTROLS (Not Including PAFs)**

Table Instructions: Please include lighting controls for conditioned and unconditioned spaces in this table. When an option having a \* is selected, the notes section of this table must be completed. The lighting controls section of the Compliance Summary Table on the first page will show "DOES NOT COMPLY" if the notes are left blank.

Mandatory Demand Response §130.12(c)		Shut-Off Controls §130.1(c)		Field Inspector	
01	02	03	04	05	06
Not Required ≤ 10,000 SF	Whole Building Timeswitch	Pass	Fail		

**Area Level Controls**

04	05	06	07	08	09	10	11	12
Area Description	Complete Building or Area Category	Area Controls §130.1(a)	Multi-Level Controls §130.1(b)	Shut-Off Controls §130.1(c)	Primary/Skylight Daylighting §130.1(d)	Secondary Daylighting §140.6(d)	Interlocked Systems §140.6(e)	Field Inspector
OFFICE	Office (≤ 250 square feet)	Manual ON/OFF	Dimmer	Occ. Sensor	Exempt*	NA		Pass
MAIN LOBBY	Main Entry Lobby	Manual ON/OFF	Dimmer	Auto Timeswitch	Exempt*	NA		Pass
STAIRWAY	Stairwell	Manual ON/OFF	Dimmer	Occ. Sensor	NA	NA		Pass

\*NOTES: Controls with a \* require a note in the space below explaining how compliance is achieved.  
 EX: Conference 1: Primary/Skylight Daylighting: Exempt because less than 120 watts of general lighting; EXCEPTION 1 to §130.1(d)(2)  
 MAIN LOBBY: Primary/Skylight Daylighting: Exempt because less than 120 watts of general lighting; EXCEPTION 1 to §130.1(d)(2)

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/01024/2019standards> January 2020

STATE OF CALIFORNIA  
**Indoor Lighting**  
 NRCC-LTI-E (Created 01/20)  
 CERTIFICATE OF COMPLIANCE  
 Project Name: 10TH STREET Report Page: Page 4 of 7  
 Project Address: 1348 10TH ST, SANTA MONICA, CA 90401 Date Prepared: 4/24/2020

01	02	03	04	05	06
Area Description	Complete Building or Area Category	Allowed Density (W/ft²)	Area (ft²)	Allowed Wattage (Watts)	Additional Allowances / Adjustment
OFFICE	Office (≤ 250 square feet)	0.7	1,286	900.2	
MAIN LOBBY	Main Entry Lobby	0.85	146	124.1	
STAIRWAY	Stairwell	0.5	23	11.5	
TOTAL:			1,455	1,035.8	See Tables J or P for detail

**J. ADDITIONAL LIGHTING ALLOWANCE: AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM**

This Section Does Not Apply

**K. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE**

This Section Does Not Apply

**L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY**

This Section Does Not Apply

**M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING**

This Section Does Not Apply

**N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED ORNAMENTAL/SPECIAL EFFECTS**

This Section Does Not Apply

**O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE**

This Section Does Not Apply

**P. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF))**

This Section Does Not Apply

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/01024/2019standards> January 2020

STATE OF CALIFORNIA  
**Indoor Lighting**  
 NRCC-LTI-E (Created 01/20)  
 CERTIFICATE OF COMPLIANCE  
 Project Name: 10TH STREET Report Page: Page 5 of 7  
 Project Address: 1348 10TH ST, SANTA MONICA, CA 90401 Date Prepared: 4/24/2020

**Q. RATED POWER REDUCTION COMPLIANCE FOR ALTERATIONS**

This Section Does Not Apply

**R. 80% LIGHTING POWER FOR ALTERATIONS - CONTROLS EXCEPTIONS**

This Section Does Not Apply

**S. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (PAF)**

This Section Does Not Apply

**T. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION**

Table Instructions: Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, please explain why in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at <https://www2.energy.ca.gov/>

YES	NO	Form/Title	Field Inspector
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-01-E - Must be submitted for all buildings	Pass
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS), to be recognized for compliance.	Pass
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-04-E - Must be submitted for two interlocked systems serving an auditorium, a convention center, a conference room, a multipurpose room, or a theater to be recognized for compliance.	Pass
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-05-E - Must be submitted for a Power Adjustment Factor (PAF) to be recognized for compliance.	Pass
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-06-E - Must be submitted for additional wattage installed in a video conferencing studio to be recognized for compliance.	Pass

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/01024/2019standards> January 2020

STATE OF CALIFORNIA  
**Indoor Lighting**  
 NRCC-LTI-E (Created 01/20)  
 CERTIFICATE OF COMPLIANCE  
 Project Name: 10TH STREET Report Page: Page 6 of 7  
 Project Address: 1348 10TH ST, SANTA MONICA, CA 90401 Date Prepared: 4/24/2020

**U. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE**

Table Instructions: Selections have been made based on information provided in previous tables of this document. If any selection needs to be changed, please explain why in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and any with "A" in the form name must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/01024/attcp/providers.html>

YES	NO	Form/Title	Field Inspector
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-02-A - Must be submitted for occupancy sensors and automatic time switch controls.	Pass
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-03-A - Must be submitted for automatic daylight controls.	Pass
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-04-A - Must be submitted for demand responsive lighting controls.	Pass
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-LTI-05-A - Must be submitted for institutional tuning power adjustment factor (PAF).	Pass
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCC-ENV-03-F - Must be submitted for daylighting design power adjustment factors (PAF).	Pass

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/01024/2019standards> January 2020

STATE OF CALIFORNIA  
**Indoor Lighting**  
 NRCC-LTI-E (Created 01/20)  
 CERTIFICATE OF COMPLIANCE  
 Project Name: 10TH STREET Report Page: Page 7 of 7  
 Project Address: 1348 10TH ST, SANTA MONICA, CA 90401 Date Prepared: 4/24/2020

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Minh Tran  
 Company: CDI  
 Address: 16520 BAKE PARKWAY, SUITE 100  
 City/State/Zip: IRVINE, CA 92618

Documentation Author Signature: *Minh Tran*  
 Signature Date: 4/24/2020  
 CEA/HERS Certification Identification (if applicable):  
 Phone: 949-336-6636

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

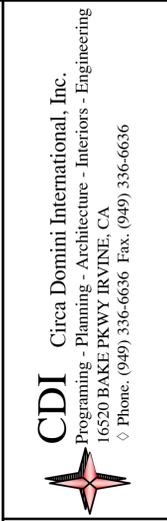
I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Minh Tran  
 Company: CDI  
 Address: 16520 BAKE PARKWAY, SUITE 100  
 City/State/Zip: IRVINE, CA 92618

Responsible Designer Signature: *Minh Tran*  
 Date Signed: 4/24/2020  
 License: E17378  
 Phone: 949-336-6636

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/01024/2019standards> January 2020



10th Street  
 1348 10th st.  
 Santa Monica, CA 90401

REVISION					

DATE: 4/23/2020  
 DESCRIPTION: TITLE 24  
 SHEET NO.: E-3.0



# Material Board



Metal Beam - PPG Paints  
(Black Magic PPG1001-7)



Metal Storefront  
And Door - PPG Paints  
(Black Magic PPG1001-7)



Stonefarm  
Reclaimed  
Vicarage Grey  
Thin Brick



Steel Trellis  
Black Finish



California Stucco - 418  
Charcoal



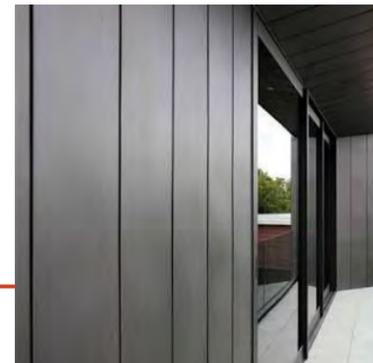
CFP Woods Thermowood  
Cladding



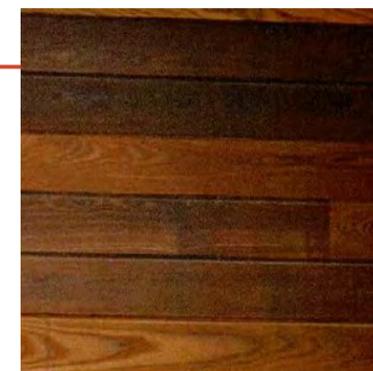
California Stucco - 418  
Charcoal, Over CMU Block



Streamline 6030ULED  
Mini Wall Mount Sconce



Artisan V-Groove  
Siding-Grey



CFP Woods Thermowood  
Cladding



Elco EL44230BZ  
Recessed Lighting



EXPOSED



REALITY



EXPOSED



REALITY



EXPOSED



REALITY



EXPOSED



REALITY



EXPOSED



REALITY



EXPOSED



REALITY



FRONT VIEW



ACROSS STREET VIEW



REAR VIEW



SIDE VIEW



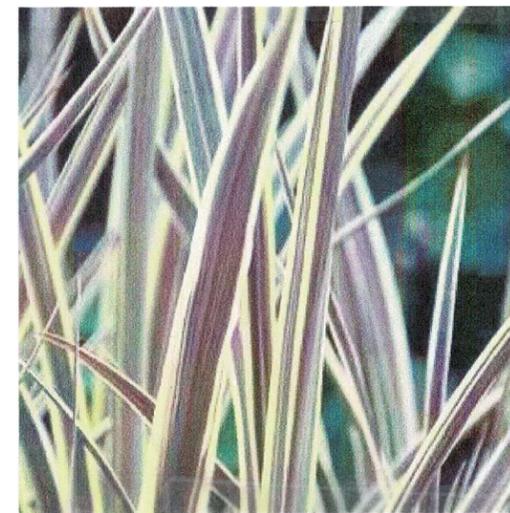
REAR VIEW



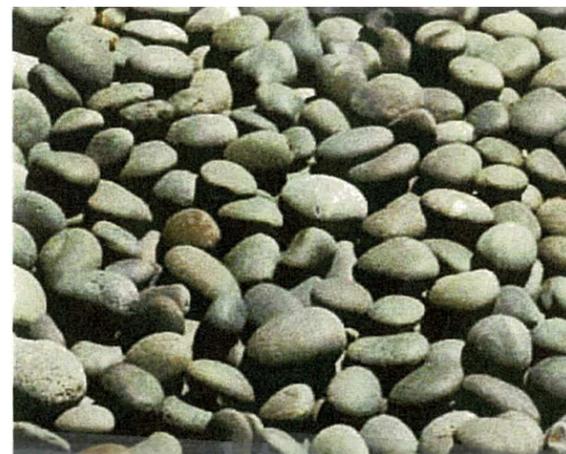
BACK SIDE ALLEY VIEW



EQUISETUM HYEMALE



CORDYLINE "ELECTRIC FLASH"



BEACH PEBBLES

## CONTAINER PLANTS



1348 10TH STREET 2/2/20



BOXWOOD HEDGE



BLACK MONDO GRASS



EQUISETUM HYMALE



GREENSCREEN



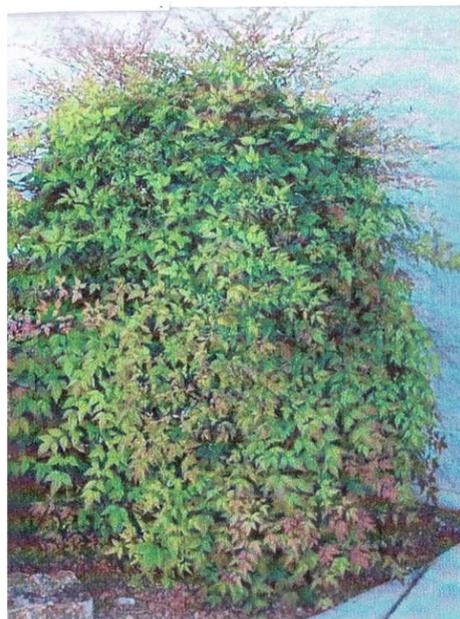
STAR JASMINE



GREENSCREEN



LIRIOPE BIG BLUE



"GULF STREAM"  
HEAVENLY BAMBOO



LIVING WALL



LIRIOPE MUSCARI PEE DEE

## VINES / WALL FENCES / PLANTS



1348 10TH STREET 2/2/20