



# 1323 5TH ST

1323 5TH STREET, SANTA MONICA, CA 90401

ARB SUBMITTAL 04.20.2020



3573 HAYDEN AVENUE  
CULVER CITY, CA 90232  
310.399.7975  
KFALOSANGELES.COM

## 1323 5TH STREET

1323 5TH STREET  
SANTA MONICA, CA 90401

SHEET  
**COVER SHEET**

SCALE

DATE  
04.20.2020

SHEET  
**GOOO.**

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1323 5TH STREET

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## SRO UNIT SCHEDULE

1ST FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
105	TYPE A	325	240
106	TYPE A	325	240
1ST FLOOR SRO			2 UNITS

2ND FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
200	TYPE B	304	220
201	TYPE B	304	220
203	TYPE A1	333	257
204	TYPE A1	333	257
205	TYPE A1	333	257
206	TYPE A1	333	257
208	TYPE A2	352	266
209	TYPE C	356	262
2ND FLOOR SRO			8 UNITS

3RD FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
300	TYPE B	304	220
301	TYPE B	304	220
303	TYPE A1	335	257
304	TYPE A1	335	257
305	TYPE A1	335	257
306	TYPE A1	335	257
307	TYPE D	309	233
308	TYPE E	357	278
310	TYPE C	349	262
3RD FLOOR SRO			9 UNITS

4TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
400	TYPE B	304	220
401	TYPE B	304	220
403	TYPE A1	335	257
404	TYPE A1	335	257
405	TYPE A1	335	257
406	TYPE A1	335	257
407	TYPE D	309	233
408	TYPE E	357	278
410	TYPE C	349	262
4TH FLOOR SRO			9 UNITS

5TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
500	TYPE B	304	220
503	TYPE A1	335	257
504	TYPE A1	335	257
505	TYPE A1	335	257
506	TYPE A1	335	257
507	TYPE D	309	233
509	TYPE C	349	262
5TH FLOOR SRO			7 UNITS

6TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
600	TYPE B	304	220
603	TYPE A1	335	257
604	TYPE A1	335	257
605	TYPE A1	335	257
606	TYPE A1	335	257
607	TYPE D	309	233
6TH FLOOR SRO			6 UNITS

<b>TOTAL SRO UNIT:</b>	<b>41 UNITS</b>
<b>AVERAGE OF SRO UNIT SIZE:</b>	<b>329 SF</b>
<b>AVERAGE OF SRO LIVING AREA:</b>	<b>248 SF</b>

## SINGLE ROOM OCCUPANCY

9.31.335 SINGLE ROOM OCCUPANCY STRUCTURE, MARKET RATE, PER DCP SRO IZO 2609

A. SINGLE ROOM OCCUPANCY (SRO) STRUCTURES, UNITS AND USES SHALL BE LOCATED, DEVELOPED, AND OPERATED IN COMPLIANCE WITH THE FOLLOWING STANDARDS UNLESS THE PROPOSED PROJECT IS ONE OF THE FOLLOWING, WHICH SHALL BE SUBJECT TO THE STANDARDS FOR SINGLE ROOM OCCUPANCY STRUCTURES SET FORTH IN SECTION 9.31.330:

- A 100% AFFORDABLE HOUSING PROJECT, AS SET FORTH IN SECTION 9.52.0050.
- ONE OF THE FOLLOWING SPECIALIZED HOUSING USES:
  - ELDERLY AND LONG-TERM CARE AS SET FORTH IN SECTION 9.51.020(A)(3);
  - EMERGENCY SHELTER AS SET FORTH IN SECTION 9.51.020(A)(4);
  - RESIDENTIAL FACILITY AS SET FORTH IN SECTION 9.51.020(A)(7);
  - SUPPORTIVE HOUSING AS SET FORTH IN SECTION 9.51.020(A)(8);
  - TRANSITIONAL HOUSING AS SET FORTH IN SECTION 9.51.020(A)(9).

B. **MAXIMUM OCCUPANCY.** EACH SRO UNIT SHALL BE DESIGNED TO ACCOMMODATE A MAXIMUM OF 2 PERSONS.

C. **MINIMUM SIZE.** AN SRO UNIT MUST HAVE AT LEAST 220 SQUARE FEET OF FLOOR AREA, EXCLUDING CLOSET AND BATHROOM IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE SECTION 1208.4, OR SUCCESSOR THERETO. NO INDIVIDUAL UNIT MAY EXCEED 375 SQUARE FEET WITHIN AN SRO STRUCTURE. AN INDIVIDUAL UNIT EXCEEDING 375 SQUARE FEET MAY BE INCORPORATED IN A DUPLEX OR MULTIPLE-UNIT DWELLING/STRUCTURE AS SET FORTH IN SECTION 9.51.020(A)(1).

D. **MINIMUM WIDTH.** AN SRO OF ONE ROOM SHALL NOT BE LESS THAN 12 FEET IN WIDTH.

E. **ENTRANCES.** ALL SRO UNIT MUST BE INDEPENDENTLY ACCESSIBLE FROM A SINGLE MAIN ENTRY, EXCLUDING EMERGENCY AND OTHER SERVICE SUPPORT EXITS.

F. **BATHROOM.** AN SRO UNIT MUST CONTAIN A SEPARATE BATHROOM WITH A TOILET, SINK, AND BATHTUB OR SHOWER IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE SECTION 1208.4, OR SUCCESSOR THERETO.

G. **KITCHENS.** AN SRO UNIT MUST CONTAIN A KITCHEN SINK, COOKING APPLIANCE AND REFRIGERATION FACILITIES, EACH HAVING A CLEAR WORKING SPACE OF NOT LESS THAN 30 INCHES IN FRONT, IN ACCORDANCE WITH INTERNATIONAL CODE SECTION 1208.4, OR SUCCESSOR THERETO.

H. **CLOSETS.** EACH SRO UNIT SHALL HAVE A SEPARATE CLOSET.

I. **COMMON AREAS.** THE FOLLOWING COMMON AREA SHALL BE PROVIDED:

- 10 SQUARE FEET OF COMMON AREA PER LIVING UNIT SHALL BE PROVIDED, EXCLUDING JANITORIAL STORAGE, LAUNDRY FACILITIES AND COMMON HALLWAYS.
- AT LEAST 400 SQUARE FEET IN AREA OF INTERIOR COMMON SPACE SHALL BE PROVIDED AS A GROUND FLOOR ENTRY AREA AND SHALL INCLUDE TENANT AMENITIES THAT PROVIDE A CENTRAL FOCUS FOR TENANT SOCIAL INTERACTION AND MEETINGS.
- AT LEAST 200 SQUARE FEET OF INTERIOR COMMON AREA SHALL BE PROVIDED FOR EACH FLOOR ABOVE THE GROUND FLOOR. THESE COMMON AREAS SHALL INCLUDE TENANT AMENITIES THAT PROVIDE A CENTRAL FOCUS FOR TENANT SOCIAL INTERACTION, INCLUDING BUT NOT LIMITED TO LOUNGE/ GAME ROOM, WORKSPACE, FITNESS COMMUNAL KITCHEN, OR FOR OTHER SIMILAR ACTIVITIES. COMMON AREA OF THE SAME SIZE DEDICATED FOR SUCH ACTIVITIES PROVIDED ON THE ROOF SHALL SATISFY THE REQUIREMENT FOR ONE INDIVIDUAL FLOOR IN A STRUCTURE. COMMON AREA ON THE ROOF SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF MUNICIPAL CODE.

J. **TENANCY.** TENANCY OF SRO UNITS SHALL BE FOR 30 OR MORE DAYS.

K. **FACILITY MANAGEMENT.** AN SRO STRUCTURE WITH 10 OR MORE UNITS SHALL PROVIDE FULL-TIME ON-SITE MANAGEMENT. AN SRO STRUCTURE WITH FEWER THAN 10 UNITS SHALL PROVIDE A MANAGEMENT OFFICE ON-SITE.

## BICYCLE PARKING

BICYCLE PARKING REQUIREMENTS PER SMMC SECTION 9.28.140

**COMMERCIAL (RESTAURANT):**  
LONG TERM: 1 STALL / 3,000 SF, MIN OF 4 STALLS REQUIRED  
SHORT TERM: 1 STALL / 4,000 SF, MIN OF 4 STALLS REQUIRED

LONG TERM: 1,134 SF / 3,000 = 4 STALLS\*  
SHORT TERM: 1,134 SF / 4,000 = 4 STALLS  
\*(OF WHICH REQ'D CARGO = 4 STALLS X .10 = 1 REQ'D CARGO STALL)

**RESIDENTIAL:**  
LONG TERM: .1 / BEDROOM = 58 BR X .1 = 5.8 STALLS\*  
SHORT TERM: .1 / BEDROOM = 58 BR X .1 = 5.8 STALLS  
\*(OF WHICH REQ'D CARGO = 58 STALLS X .10 = 5.8 REQ'D CARGO STALL)

TOTAL LONG TERM: 62 STALLS  
TOTAL SHORT TERM: 10 STALLS  
TOTAL BICYCLE REQUIRED: 72 STALLS

### PROVIDED BICYCLE PARKING

**COMMERCIAL (RESTAURANT):**  
LONG TERM: 4 STALLS  
SHORT TERM: 4 STALLS

**RESIDENTIAL:**  
LONG TERM: 58 STALLS  
SHORT TERM: 6 STALLS

**TOTAL PROVIDED: 72 STALLS**

## REFUSE AND RECYCLING

REFUSE & RECYCLING ROOM REQUIREMENTS PER SMMC 9.21.130 RESOURCE RECOVERY AND RECYCLING STANDARDS

MIXED USE DEVELOPMENTS SHALL INCLUDE A REFUSE AND RECYCLING ROOM WITH THE MINIMUM DIMENSIONS STATED IN TABLE 9.21.130.B, OR SHALL PROVIDE EQUIVALENT SPACE AVAILABLE IN A CENTRALIZED AREA

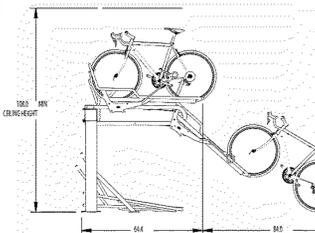
**PER TABLE 9.21.130.B:** AGGREGATE FLOOR AREA OF 20,001-40,000 SQ.FT. REQUIRES MINIMUM TRASH ROOM DIMENSIONS OF 28'-0"X20'-0"X10'-0". ANY DEVELOPMENT WITH MORE THAN 40 RESIDENTIAL UNITS OR WITH MORE THAN 40,000 SQ.FT. OF FLOOR AREA SHALL BE REVIEWED BY THE DIRECTOR OF PUBLIC WORKS.

## AUTOMOBILE PARKING

100% SINGLE ROOM OCCUPANCY (SRO) PROJECT:  
NO PARKING REQUIRED / NO PARKING PROVIDED

## BIKE RACK DETAILS

**LONG TERM DOUBLE TIER**  
SARIS STACK RACK  
65" LONG, 18" O.C., 84" AISLE



**SHORT TERM**  
SARIS CIRCLE DOCK  
36" LONG, 32" HIGH, 24" O.C.



## OPEN SPACE

OPEN SPACE REQUIREMENTS PER DCP:

NO OPEN SPACE REQUIRED FOR LOT WIDTH OF 50 FEET OR LESS

OPEN SPACE REQUIREMENTS PER IZO 2609 FOR TIER 1 SRO:

10 SF X LIVING AREA = 10 SF X 41 = 410 SF

AT LEAST 400 SF IN INTERIOR COMMON SPACE AT GROUND FLOOR ENTRY AREA

200 SF OF INTERIOR COMMON AREA PER FLOOR ABOVE GROUND FLOOR LEVEL

\*OPEN SPACE PROVIDED TO SATISFY DCP STANDARDS MAY ALSO BE USED TO SATISFY ANY AND ALL COMMON AREA REQUIREMENTS FOR THE TIER 1 SRO INCREMENT AS REQUIRED UNDER IZO NO. 2609

### OPEN SPACE PROVIDED

NAME	LEVEL	QTY	AREA
COMMON OPEN SPACE	1ST FLOOR	1	511 SF
COMMON OPEN SPACE	ROOF	1	1227 SF
COMMON OPEN SPACE			1738 SF
PRIVATE OPEN SPACE	1ST FLOOR	2	76 SF
PRIVATE OPEN SPACE	2ND FLOOR	9	341 SF
PRIVATE OPEN SPACE	3RD FLOOR	10	315 SF
PRIVATE OPEN SPACE	4TH FLOOR	10	307 SF
PRIVATE OPEN SPACE	5TH FLOOR	10	340 SF
PRIVATE OPEN SPACE	6TH FLOOR	9	344 SF
PRIVATE OPEN SPACE			1722 SF
GRAND TOTAL			3460 SF

NOTE:  
10% LOCATED AT GROUND FLOOR OR AT PODIUM 1 OR 2 LEVELS ABOVE GROUND AND 10% WITHOUT REGULATED LOCATIONS  
7,496 SF X .10 = 749 SF REQ'D OPEN SPACE AT LEVEL 1 OR 2  
511 SF + 76 SF + 341 SF = 928 SF OPEN SPACE PROVIDED AT LEVELS 1-2

### COMMON SPACE PROVIDED - TIER 1 SRO

NAME	LEVEL	QTY	AREA
INTERIOR COMMON SPACE AS BLDG ENTRY	1ST FLOOR	1	400 SF
INTERIOR COMMON SPACE AS BLDG ENTRY			400 SF
INTERIOR COMMON AREA	5TH FLOOR	1	229 SF
INTERIOR COMMON AREA	6TH FLOOR	1	229 SF
INTERIOR COMMON AREA			458 SF
GRAND TOTAL			858 SF

NOTE:  
COMMON AREA OF THE SAME SIZE (200 SF) DEDICATED FOR SUCH ACTIVITIES PROVIDED ON THE ROOF SHALL SATISFY THE REQUIREMENT FOR ONE INDIVIDUAL FLOOR IN A STRUCTURE. COMMON AREA ON THE ROOF SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF MUNICIPAL CODE.

## PROJECT INFORMATION

PROJECT NAME: 1323 5TH ST

ADDRESS: 1323 5TH ST  
SANTA MONICA, CA 90401

OWNER: CITY OF SANTA MONICA

PROJECT DESCRIPTION: 6-STORY MIXED-USE BUILDING WITH TOTAL OF (41) SRO UNITS & (11) TIER 2 UNITS, 1,870 SF GROUND FLOOR COMMERCIAL WITH 1 LEVEL OF SUBTERRANEAN STORAGE AND UTILITY

CURRENT ZONING: DCP-MV (NEIGHBORHOOD VILLAGE), TIER 1 SRO, TIER 2

LOT SIZE: 7,496 SF

UNIT COUNT: 52 UNITS (41 SRO + 11 TIER 2)

MAX HEIGHT ALLOWED PER DCP: 60 FT

PROPOSED HEIGHT: 60 FT (EXCLUDING VERTICAL PROJECTION)

PROPOSED RETAIL GROUND FLOOR HEIGHT: 12'-0"

## FAR

SITE AREA: 7,496 SF

ALLOWABLE FAR PER DCP NEIGHBORHOOD VILLAGE, TIER 2: 3.5 : 1

ALLOWABLE FLOOR AREA: 7,496 SF X 3.5 = 26,236 SF

TIER 1 SRO FAR ALLOWED: 2.25 FAR = 7,496 X 2.25 = 16,866 SF

FLOOR AREA		
LEVEL	TYPE	AREA (SF)
1ST FLOOR	COMMERCIAL	1870
COMMERCIAL		1870

1ST FLOOR	RESIDENTIAL COMMON	2336
5TH FLOOR	RESIDENTIAL COMMON	229
6TH FLOOR	RESIDENTIAL COMMON	229
RESIDENTIAL COMMON		2794

1ST FLOOR	TIER 1 SRO	668
2ND FLOOR	TIER 1 SRO	2727
3RD FLOOR	TIER 1 SRO	3045
4TH FLOOR	TIER 1 SRO	3047
5TH FLOOR	TIER 1 SRO	2368
6TH FLOOR	TIER 1 SRO	2026
TIER 1 SRO		13881

2ND FLOOR	TIER 2 RESIDENTIAL	1105
3RD FLOOR	TIER 2 RESIDENTIAL	1327
4TH FLOOR	TIER 2 RESIDENTIAL	1327
5TH FLOOR	TIER 2 RESIDENTIAL	1765
6TH FLOOR	TIER 2 RESIDENTIAL	2167
TIER 2 RESIDENTIAL		7691
GRAND TOTAL		26236

64% TIER 1 SRO FLOOR AREA (TIER 1 SRO FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA) (13,881 SF / 21,572 SF)

35% TIER 2 FLOOR AREA (TIER 2 FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA) (7,691 SF / 21,572 SF)

PROVIDED FLOOR AREA: TOTAL BUILDING AREA / SITE AREA = 26,236 / 7,496 = 3.5

COMMERCIAL AREA / TOTAL BLDG AREA = 2,114 / 26,236 = 8.1%

PROVIDED TIER 1 SRO FAR: (TIER 1 FLOOR AREA + TIER 1 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (13,881 SF + 64% (2,794 SF + 1,870 SF)) / 7,496 SF = 2.25

PROVIDED TIER 2 RESIDENTIAL FAR: (TIER 2 FLOOR AREA + TIER 2 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (7,691 SF + 36% (2,794 SF + 1,870 SF)) / 7,496 SF = 1.25

## SHEET INDEX

### ARCHITECTURAL

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- A300 BUILDING SECTIONS
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- A400 WALL SECTION
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### LANDSCAPE

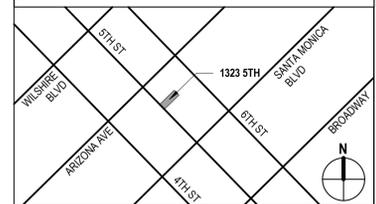
- L100 LANDSCAPE CONCEPT
- L110 1ST FLOOR / ROOF LANDSCAPE CONCEPT
- L115 1ST FLOOR / ROOF ENLARGEMENTS
- L200 MATERIAL
- L300 IRRIGATION PLAN
- L400 PLANT LEGEND
- L410 PLANTING PLAN
- L500 PLANT PALETTE
- L600 ELEVATION WITH PLANT MATERIAL AT INSTALLATION AND PLUS 2 YEARS

- LIGHTING
- 01 FACADE LIGHTING CONCEPT
- 02 FACADE LIGHTING CONCEPT
- 03 FACADE LIGHTING CONCEPT

### SIGNAGE

- SP TITLE SHEET
- Sq Ft SITE PLAN
- Colors SIGN DIMENSIONS AND SQUARE FOOTAGE
- 1 COLORS
- 1-1 SIGN TYPE 1
- 1-1 WEST ELEVATION
- 3 SIGN TYPE 1
- C-1 C-1 RETAIL SIGN CRITERIA
- C-2 C-2 RETAIL SIGN CRITERIA

## VICINITY MAP



## UNIT COUNT

UNIT COUNT		
TYPE	QTY	PERCENTAGE
1 BR	7	65 %
2 BR	2	20 %
3 BR	2	15 %
<b>TOTAL TIER 2 UNITS</b>		<b>11</b>
<b>TIER 1 SRO</b>		<b>41</b>
<b>GRAND TOTAL</b>		<b>52</b>

REQUIRED UNIT MIX FOR TIER 2 DWELLING UNITS PER SMMC 9.10.070.C.1.b:

- At least 15% of the units shall be three-bedroom units;
- At least 20% of the units shall be two-bedroom units;
- No more than 15% of the units shall be studio units.

## AFFORDABLE HOUSING

COMPROMISE PROJECT AFFORDABILITY REQUIREMENTS PER SETTLEMENT AGREEMENT AND RELEASE

20% OF THE TOTAL TIER 2/3 DWELLING UNIT INCREMENT UNITS FOR AFFORDABLE HOUSEHOLD.  
11 X 20% = 3 UNITS

15% OF THE TOTAL TIER 1 SRO INCREMENT UNITS FOR LOW INCOME RESIDENTS.  
41 X 15% = 6 UNITS



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5TH CT EAST  
NTS (A)



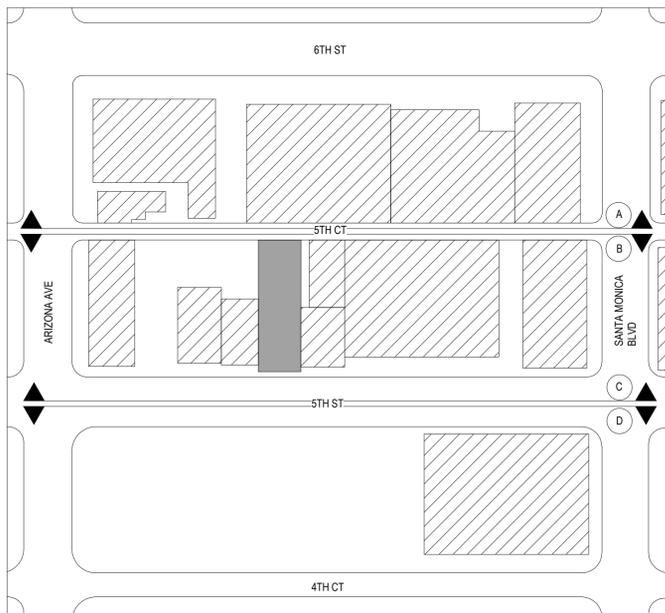
PROPOSED PROJECT SITE

5TH CT WEST  
NTS (B)



PROPOSED PROJECT SITE

5TH STREET EAST  
NTS (C)



5TH STREET WEST  
NTS (D)

SHEET  
SITE PHOTO

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1 RETAIL STORE



2 THE PLAZA AT SANTA MONICA



3 1338 5TH NEW DEVELOPMENT

# 1323 5TH STREET

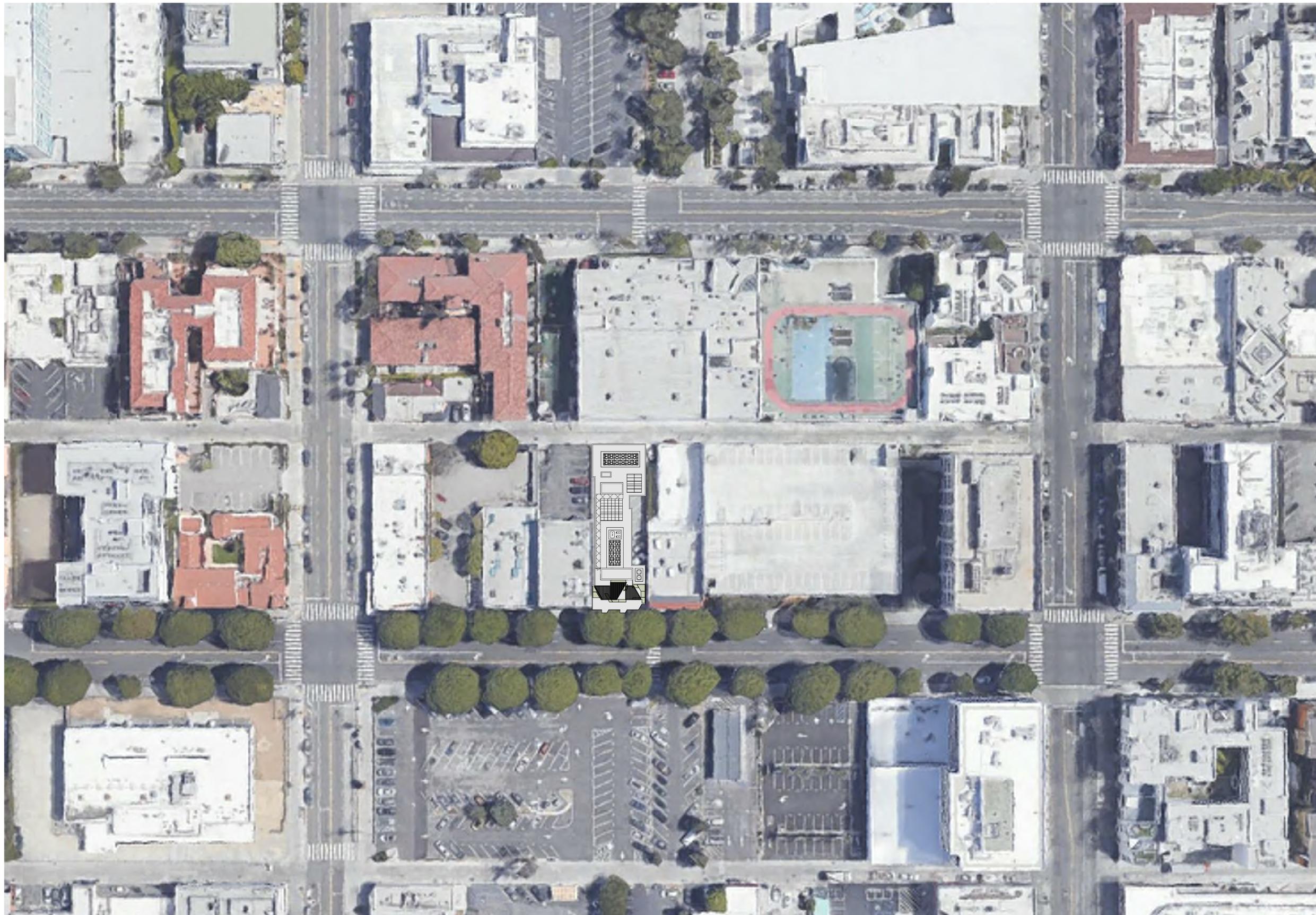
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SHEET  
SITE CONTEXT

SCALE  
DATE  
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SHEET  
**AERIAL VIEW**

SCALE  
**1" = 40'-0"**  
DATE  
**04.20.2020**

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AERIAL VIEW PLAN  
1" = 40'-0"



4



**INDUSTRIAL  
WAREHOUSE DESIGN**



**TREEHOUSE**



**1323 5TH STREET  
SANTA MONICA, CA**

KFA ARCHITECTURE



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CONCEPT DESIGN

DATE  
04.20.2020

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SHEET  
**RENDERING**

SCALE

DATE  
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Expression of floor plates using steel C-channel

Industrial warehouse window design

Balconies with wood inlay to enhance street level experience of the building as part of the trees

Angled balconies inspired by treehouse





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SHEET  
**DIAGRAM**

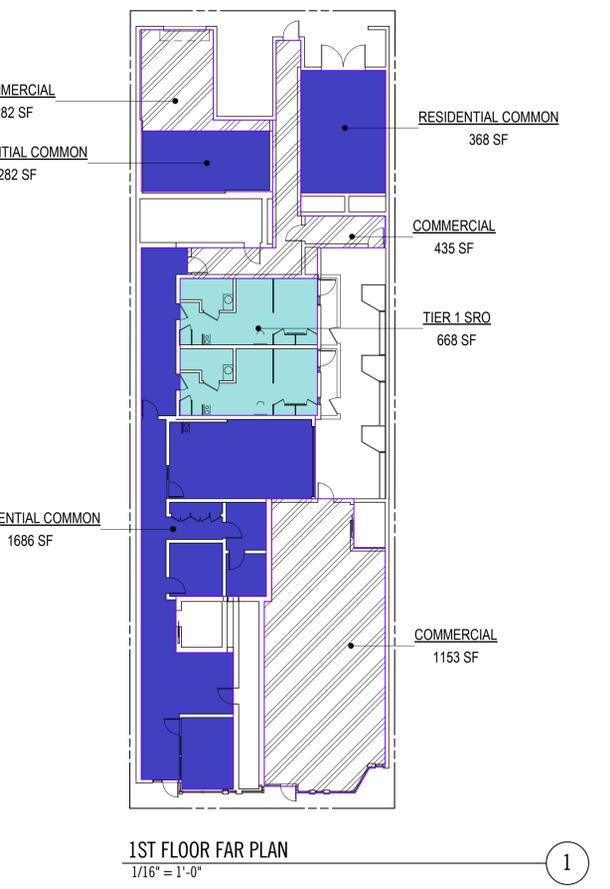
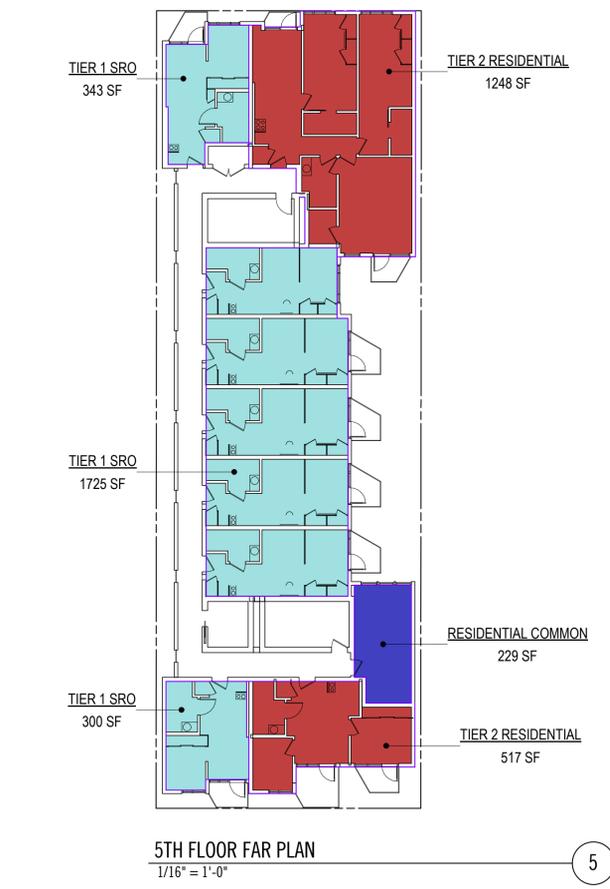
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FLOOR AREA		
LEVEL	TYPE	AREA (SF)
1ST FLOOR	COMMERCIAL	1870
COMMERCIAL		1870
1ST FLOOR	RESIDENTIAL COMMON	2336
5TH FLOOR	RESIDENTIAL COMMON	229
6TH FLOOR	RESIDENTIAL COMMON	229
RESIDENTIAL COMMON		2794
1ST FLOOR	TIER 1 SRO	668
2ND FLOOR	TIER 1 SRO	2727
3RD FLOOR	TIER 1 SRO	3045
4TH FLOOR	TIER 1 SRO	3047
5TH FLOOR	TIER 1 SRO	2368
6TH FLOOR	TIER 1 SRO	2026
TIER 1 SRO		13881
2ND FLOOR	TIER 2 RESIDENTIAL	1105
3RD FLOOR	TIER 2 RESIDENTIAL	1327
4TH FLOOR	TIER 2 RESIDENTIAL	1327
5TH FLOOR	TIER 2 RESIDENTIAL	1765
6TH FLOOR	TIER 2 RESIDENTIAL	2167
TIER 2 RESIDENTIAL		7691
GRAND TOTAL		26236

64% TIER 1 SRO FLOOR AREA  
(TIER 1 SRO FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)  
(13,881 SF / 21,572 SF)

35% TIER 2 FLOOR AREA  
(TIER 2 FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)  
(7,691 SF / 21,572 SF)

PROVIDED FLOOR AREA: TOTAL BUILDING AREA / SITE AREA = 26,236 / 7,496 = 3.5  
COMMERCIAL AREA / TOTAL BLDG AREA = 2,114 / 26,236 = 8.1 %

PROVIDED TIER 1 SRO FAR: (TIER 1 FLOOR AREA + TIER 1 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (13,881 SF + 64% (2,794 SF + 1,870 SF)) / 7,496 SF = 2.25

PROVIDED TIER 2 RESIDENTIAL FAR: (TIER 2 FLOOR AREA + TIER 2 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (7,691 SF + 36% (2,794 SF + 1,870 SF)) / 7,496 SF = 1.25

- COMMERCIAL
- RESIDENTIAL COMMON
- TIER 1 SRO
- TIER 2 RESIDENTIAL

SHEET  
**FAR CALCULATIONS**

SCALE  
As indicated  
DATE  
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## OPEN SPACE

### OPEN SPACE REQUIREMENTS PER DCP:

NO OPEN SPACE REQUIRED FOR LOT WIDTH OF 50 FEET OR LESS

### OPEN SPACE REQUIREMENTS PER IZO 2609 FOR TIER 1 SRO:

10 SF X LIVING AREA = 10 SF X 41 = 410 SF

AT LEAST 400 SF IN INTERIOR COMMON SPACE AT GROUND FLOOR ENTRY AREA

200 SF OF INTERIOR COMMON AREA PER FLOOR ABOVE GROUND FLOOR LEVEL

\*OPEN SPACE PROVIDED TO SATISFY DCP STANDARDS MAY ALSO BE USED TO SATISFY ANY AND ALL COMMON AREA REQUIREMENTS FOR THE TIER 1 SRO INCREMENT AS REQUIRED UNDER IZO NO. 2609

OPEN SPACE PROVIDED			
NAME	LEVEL	QTY	AREA
COMMON OPEN SPACE	1ST FLOOR	1	511 SF
COMMON OPEN SPACE	ROOF	1	1227 SF
COMMON OPEN SPACE			1738 SF
PRIVATE OPEN SPACE	1ST FLOOR	2	76 SF
PRIVATE OPEN SPACE	2ND FLOOR	9	341 SF
PRIVATE OPEN SPACE	3RD FLOOR	10	315 SF
PRIVATE OPEN SPACE	4TH FLOOR	10	307 SF
PRIVATE OPEN SPACE	5TH FLOOR	10	340 SF
PRIVATE OPEN SPACE	6TH FLOOR	9	344 SF
PRIVATE OPEN SPACE			1722 SF
GRAND TOTAL			3460 SF

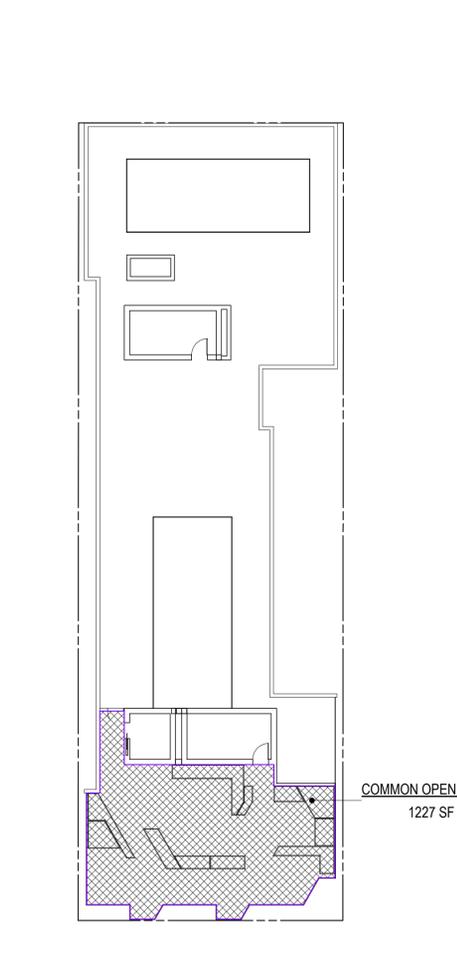
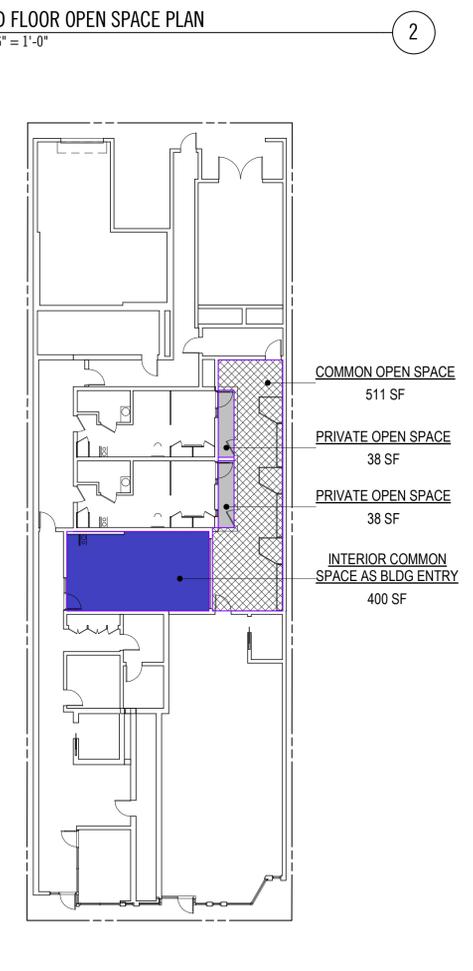
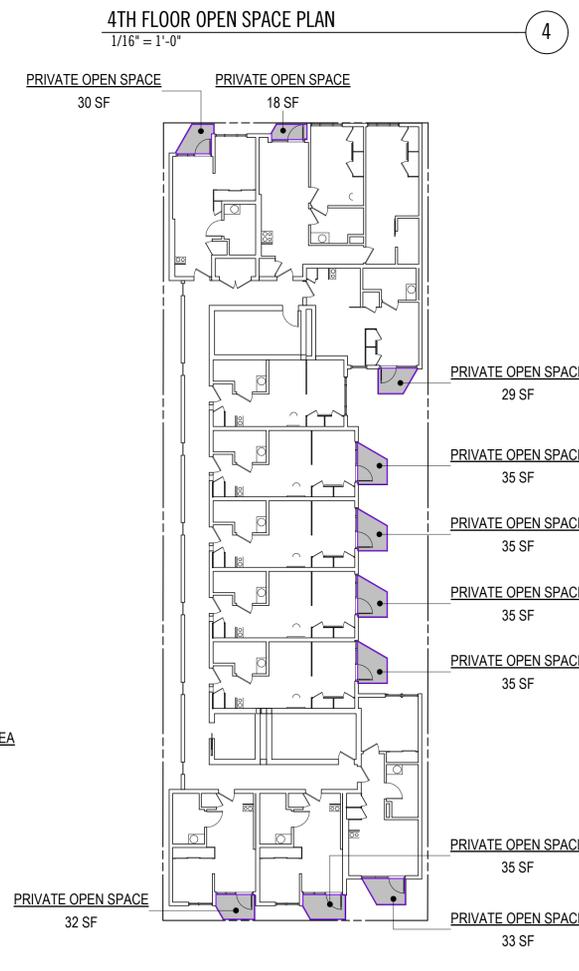
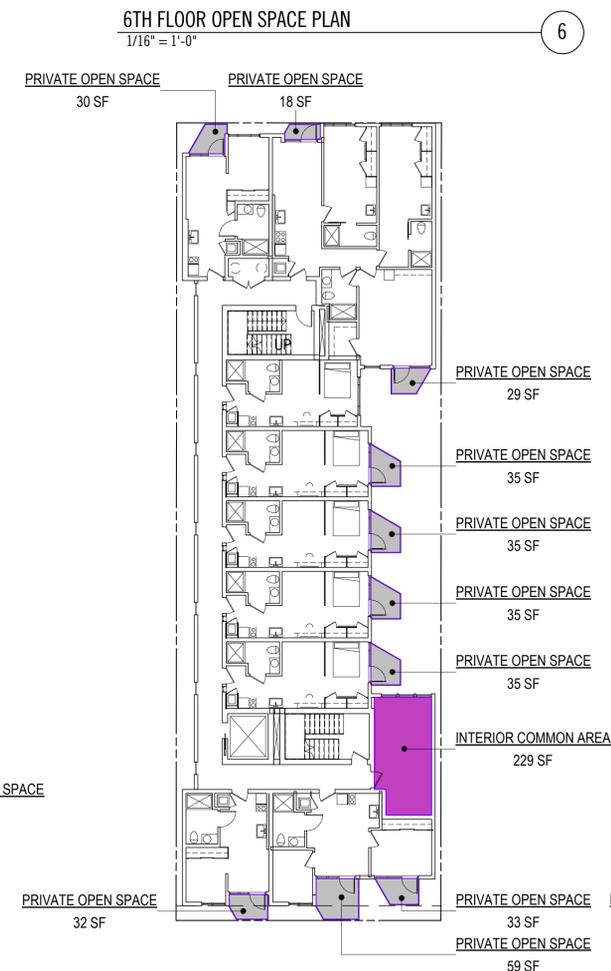
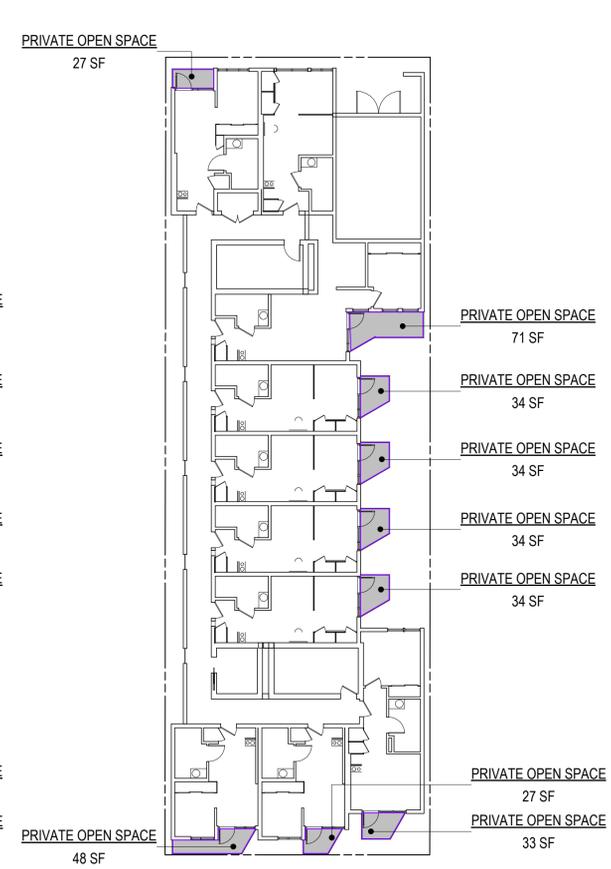
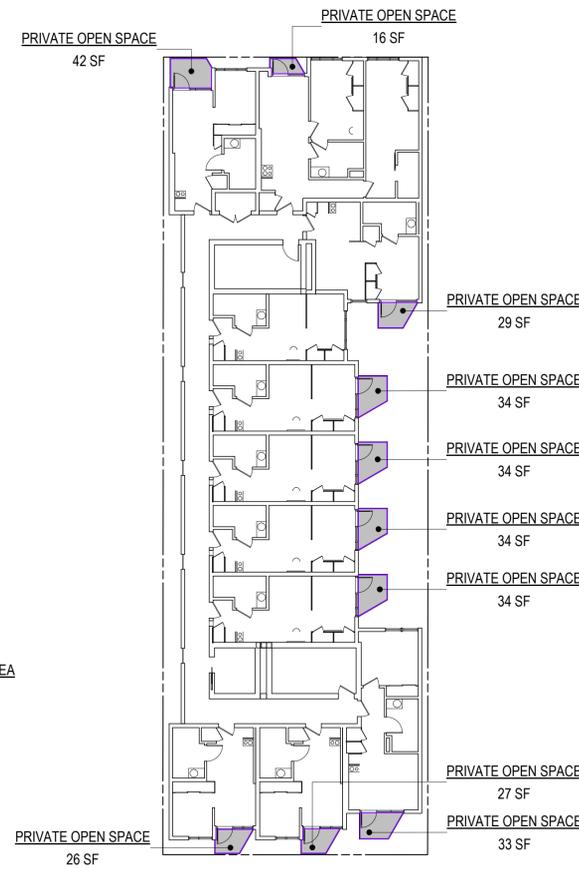
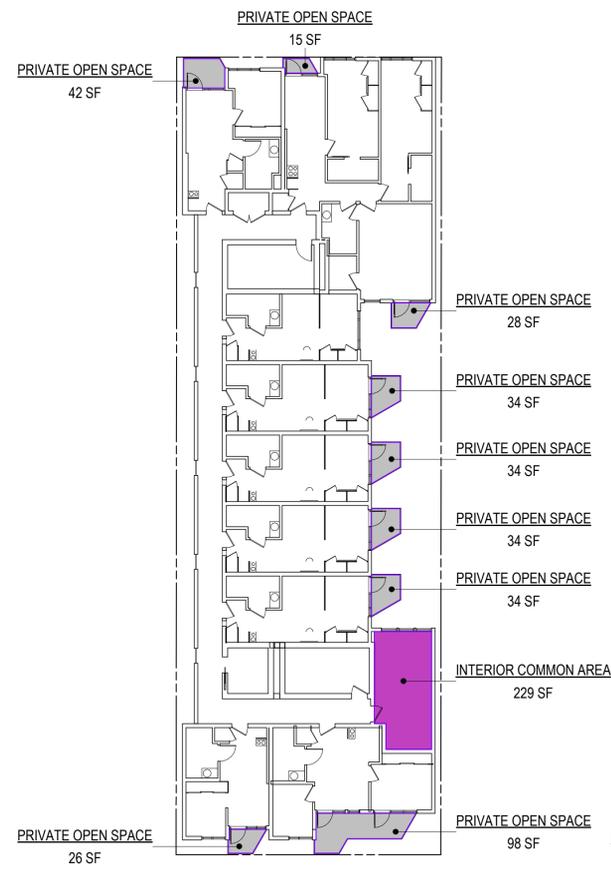
NOTE:  
10% LOCATED AT GROUND FLOOR OR AT PODIUM 1 OR 2 LEVELS ABOVE GROUND AND 10% WITHOUT REGULATED LOCATIONS

7,496 SF X .10 = 749 SF REQ'D OPEN SPACE AT LEVEL 1 OR 2  
511 SF + 76 SF + 341 SF = 928 SF OPEN SPACE PROVIDED AT LEVELS 1-2

COMMON SPACE PROVIDED - TIER 1 SRO			
NAME	LEVEL	QTY	AREA
INTERIOR COMMON SPACE AS BLDG ENTRY	1ST FLOOR	1	400 SF
INTERIOR COMMON SPACE AS BLDG ENTRY			400 SF
INTERIOR COMMON AREA	5TH FLOOR	1	229 SF
INTERIOR COMMON AREA	6TH FLOOR	1	229 SF
INTERIOR COMMON AREA			458 SF
GRAND TOTAL			858 SF

NOTE:  
COMMON AREA OF THE SAME SIZE (200 SF) DEDICATED FOR SUCH ACTIVITIES PROVIDED ON THE ROOF SHALL SATISFY THE REQUIREMENT FOR ONE INDIVIDUAL FLOOR IN A STRUCTURE. COMMON AREA ON THE ROOF SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF MUNICIPAL CODE.

-  PRIVATE OPEN SPACE
-  COMMON OPEN SPACE
-  INTERIOR COMMON AREA
-  INTERIOR COMMON SPACE AS BLDG ENTRY



7

5

3

1

## OPEN SPACE CALCULATIONS

SCALE  
As indicated  
DATE  
04.20.2020

SHEET  
**G030.**

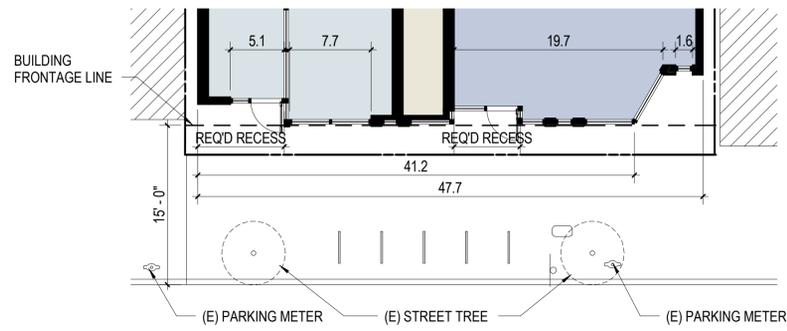
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### BUILD-TO-LINE

BUILDINGS WITH NONRESIDENTIAL USES ON THE GROUND FLOOR AND NOT FACING A RESIDENTIAL DISTRICT SHALL BE CONSTRUCTED AT THE BUILDING FRONTAGE LINE FOR 70 PERCENT OF LINEAR STREET FRONTAGE. BUILDING ENTRIES REQUIRED TO BE RECESSED DUE TO TECHNICAL CODES MAY BE COUNTED TOWARDS THIS REQUIREMENT. THIS REQUIREMENT MAY MODIFIED UPON FINDING THAT:  
A. AN ALTERNATIVE CONFIGURATION CAN BE APPROVED BASED ON THE FINDINGS IN CHAPTER 9.43.020, MINOR MODIFICATIONS.  
B. THE ALTERNATIVE CONFIGURATION MEETS THE OBJECTIVES OF THE DCP DESIGN GUIDELINES.  
C. ENTRY COURTYARDS, PLAZAS, SMALL PARKS, ENTRIES, OUTDOOR EATING AND DISPLAY AREAS, OR OTHER UNCOVERED AREAS DESIGNED AND ACCESSIBLE FOR PUBLIC USE ARE LOCATED BETWEEN THE BUILD-TO LINE AND BUILDING, PROVIDED THAT THE BUILDINGS ARE BUILT TO THE EDGE OF THE COURTYARD, PLAZA, SMALL PARK, OR DINING AREA; AND  
D. THE BUILDING INCORPORATES AN ALTERNATIVE ENTRANCE DESIGN THAT CREATES A PEDESTRIAN-ORIENTED ENTRY FEATURE FACING THE STREET.

TOTAL FACADE LENGTH: 47.8'  
LENGTH OF FACADE REQUIRED TO BE CONSTRUCTED AT BUILDING FRONTAGE LINE: 47.8' X .7 = 33.4'  
LENGTH OF FACADE PROPOSED TO BE CONSTRUCTED AT BUILD-TO LINE: 41.2'

### PEDESTRIAN-ORIENTED FRONTAGE DESIGN

A MINIMUM OF 65% OF THE FRONTAGE SHALL BE TRANSPARENT AND INCLUDE WINDOWS, DOORS, AND OTHER OPENINGS.

TOTAL FACADE LENGTH = 47.8'  
REQUIRED TRANSPARENT FRONTAGE: 47.8' X .65 = 31.0'  
PROVIDED LENGTH OF TRANSPARENT FRONTAGE: 5.1' + 7.7' + 19.7' + 1.6' = 34.1'

### BUILD-TO LINE AND FRONTAGE DESIGN

1/8" = 1'-0"

3

### MINIMUM 5 FOOT STEPBAC AREA REQUIRED:

FOR DISTRICTS WITH 50 FEET OR 60 FEET MAXIMUM ALLOWABLE HEIGHT  
15% OF THE FRONT FACADE AREA ABOVE GROUND FLOOR AND BELOW 39'  
35% OF THE FRONT FACADE AREA BETWEEN 39' AND OVERALL HEIGHT LIMIT

TOTAL FACADE AREA BETWEEN 39' AND OVERALL HEIGHT LIMIT:  
20'-6" X 47'-8" = 977 SF

35% OF THE FRONT FACADE AREA BETWEEN 39' AND OVERALL HEIGHT LIMIT:  
977 SF X .35 = 341 SF

TOTAL 5 FOOT STEPBAC AREA PROVIDED BETWEEN 39' AND OVERALL HEIGHT LIMIT: 341 SF

### MINIMUM REQUIRED STEPBACKS ABOVE GROUND FLOOR

TOTAL FACADE AREA BETWEEN GROUND FLOOR AND 39 FEET  
27'-5" X 47'-8" = 1,306 SF

15% OF THE FRONT FACADE AREA ABOVE GROUND FLOOR AND BELOW 39':  
1,306 SF X .15 = 196 SF

TOTAL 5 FOOT STEPBAC AREA PROVIDED ABOVE GROUND FLOOR AND BELOW 39': 320 SF

### ALLOWABLE PROJECTIONS

COMBINED LENGTH OF HABITABLE AND NON-HABITABLE SPACES. THE TOTAL COMBINED LENGTH OF PROJECTIONS INTO THE BUILDING FRONTAGE LINE SHOULD NOT EXCEED 65% OF THE BUILDING FACE TO WHICH THEY ARE ATTACHED. HOWEVER, NO MORE THAN 50% OF THIS COMBINED LENGTH MAY BE HABITABLE PROJECTING SPACE.

TOTAL LENGTH OF FACADE = 47'-8"  
65% ALLOWABLE PROJECTION PER FLOOR = 47'-8" X .65 = 31'-0"



WEST ELEVATION  
3/32" = 1'-0"

1



WEST ELEVATION  
3/32" = 1'-0"

2

SHEET  
**BUILDING  
MODULATION  
CALCULATIONS**

SCALE  
As indicated  
DATE  
04.20.2020

SHEET  
**G040.**

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**MINIMUM 5 FOOT STEPBACK AREA REQUIRED:**  
15% OF THE SIDE FACADE ABOVE 39 FEET

TOTAL FACADE AREA BETWEEN 39' AND OVERALL BUILDING HEIGHT:  
147'-6" X 20'-6" = 3,023 SF

15% OF THE FRONT FACADE AREA BETWEEN 39' AND OVERALL BUILDING HEIGHT:  
3,023 SF X .15 = 453 SF

**TOTAL 5 FOOT STEPBACK AREA PROVIDED ABOVE 39' AND BELOW BUILDING HEIGHT LIMIT: 1,349 SF**



**SOUTH ELEVATION**  
3/32" = 1'-0"

1

**MINIMUM 5 FOOT STEPBACK AREA REQUIRED:**  
15% OF THE SIDE FACADE ABOVE 39 FEET

TOTAL FACADE AREA BETWEEN 39' AND OVERALL BUILDING HEIGHT:  
147'-6" X 20'-6" = 3,023 SF

15% OF THE FRONT FACADE AREA BETWEEN 39' AND OVERALL BUILDING HEIGHT:  
3,023 SF X .15 = 453 SF

**TOTAL 5 FOOT STEPBACK AREA PROVIDED ABOVE 39' AND BELOW BUILDING HEIGHT LIMIT: 116 SF**

**TOTAL 12" STEPBACK AREA PROVIDED ABOVE 39' AND BELOW BUILDING HEIGHT LIMIT: 1,962 SF**

**NOTE:**  
ALTERNATIVE SIDE INTERIOR STEPBACK COMPLIANCE FOR ALL DISTRICTS. IN ORDER TO PROVIDE FLEXIBILITY FOR COMPLIANCE WITH THE SIDE INTERIOR STEPBACK REQUIREMENTS IN SUBSECTION C(5), IN ALL DISTRICTS THE SIDE INTERIOR STEPBACK MAY BE REDUCED TO 12" PROVIDED THAT THE OPEN SPACE REQUIREMENTS ESTABLISHED IN 9.10.060 B(1) ARE INCREASED TO THE FOLLOWING:

**LOT WIDTH OF 50' OR LESS: NONE**



**NORTH ELEVATION**  
3/32" = 1'-0"

2

**BUILDING MODULATION CALCULATIONS**

SCALE  
3/32" = 1'-0"  
DATE  
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SHEET  
**SURVEY**

SCALE

DATE  
04.20.2020

SHEET  
**G050.**

4/23/2020 8:15:37 PM

REVISIONS:	DESCRIPTION
DATE	BY

Client:  
NMS PROPERTIES  
10899 WILSHIRE BLVD., SUITE 110  
LOS ANGELES, CA 90024  
Phone:  
Fax:

ALTA/NSPS LAND TITLE SURVEY  
1323 5TH STREET  
SANTA MONICA, CA 90401  
DATE: 05/27/16 JOB NO. 1309L

**VOORHEIS & VOORHEIS, INC.**  
PROFESSIONAL LAND SURVEYORS SINCE 1974  
17049 Sunburst Street, Northridge, CA 91325  
Phone: (818) 993-9611  
mail@SurveyLA.com

SHEET  
OF  
**1**  
**1**

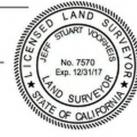
### SURVEYOR'S CERTIFICATE

TO: NMS PROPERTIES, ARBOR REALTY SR, INC., ITS SUCCESSORS AND/OR ASSIGNS AND FIDELITY NATIONAL TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 8, 9, 13, 14, 16, 17, AND 20 (\$1,000,000) OF TABLE A THEREOF. THE ORIGINAL FIELDWORK WAS COMPLETED IN 2013. THE SITE WAS RE-INSPECTED IN APRIL 2016.

DATE: MAY 27, 2016

*Jeff S. Voorheis*  
JEFF S. VOORHEIS, L.S. 7570



### ADDITIONAL SURVEYOR'S OBSERVATIONS

- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

### ZONING DESIGNATION

C3C (CITY OF SANTA MONICA)

NOTE: NO ZONING REPORT PROVIDED BY CLIENT

### AREA

7,496 SQ. FT.  
0.172 ACRES

### PARKING SUMMARY

STANDARD	24
COMPACT	0
HANDICAPPED	1
<b>TOTAL</b>	<b>25</b>

### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SANTA MONICA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT T IN BLOCK 144 OF TOWN OF SANTA MONICA, IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 8 AND 81 OF MISCELLANEOUS RECORDS, AND BOOK 39, PAGE 45 ET SEQ. OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM ALL OIL, GAS, PETROLEUM AND OTHER MINERAL OR HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND TOGETHER WITH THE RIGHT TO USE THAT PORTION ONLY OF SAID LAND WHICH UNDERLIES A PLANE PARALLEL TO AND FIVE HUNDRED (500) FEET BELOW THE PRESENT SURFACE OF SAID LAND, FOR THE PURPOSE OF PROSPECTING FOR, DEVELOPING AND/OR EXTRACTING SAID OIL, GAS, PETROLEUM AND OTHER MINERAL OR HYDROCARBON SUBSTANCES FROM SAID LAND BY MEANS OF WELLS DRILLED INTO SAID SUBSURFACE OF SAID LAND FROM DRILL SITES LOCATED ON OTHER LAND, AS RESERVED BY EDISON SECURITIES COMPANY, A CORPORATION, IN THAT CERTAIN DEED RECORDED FEBRUARY 8, 1955 IN BOOK 46850, PAGE 239 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: 4291-010-901

### ITEM NO. SUMMARY OF SCHEDULE "B" - SECTION "B" EXCEPTIONS (NOT SHOWN ON THIS SURVEY)

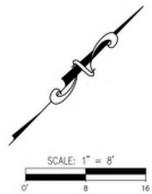
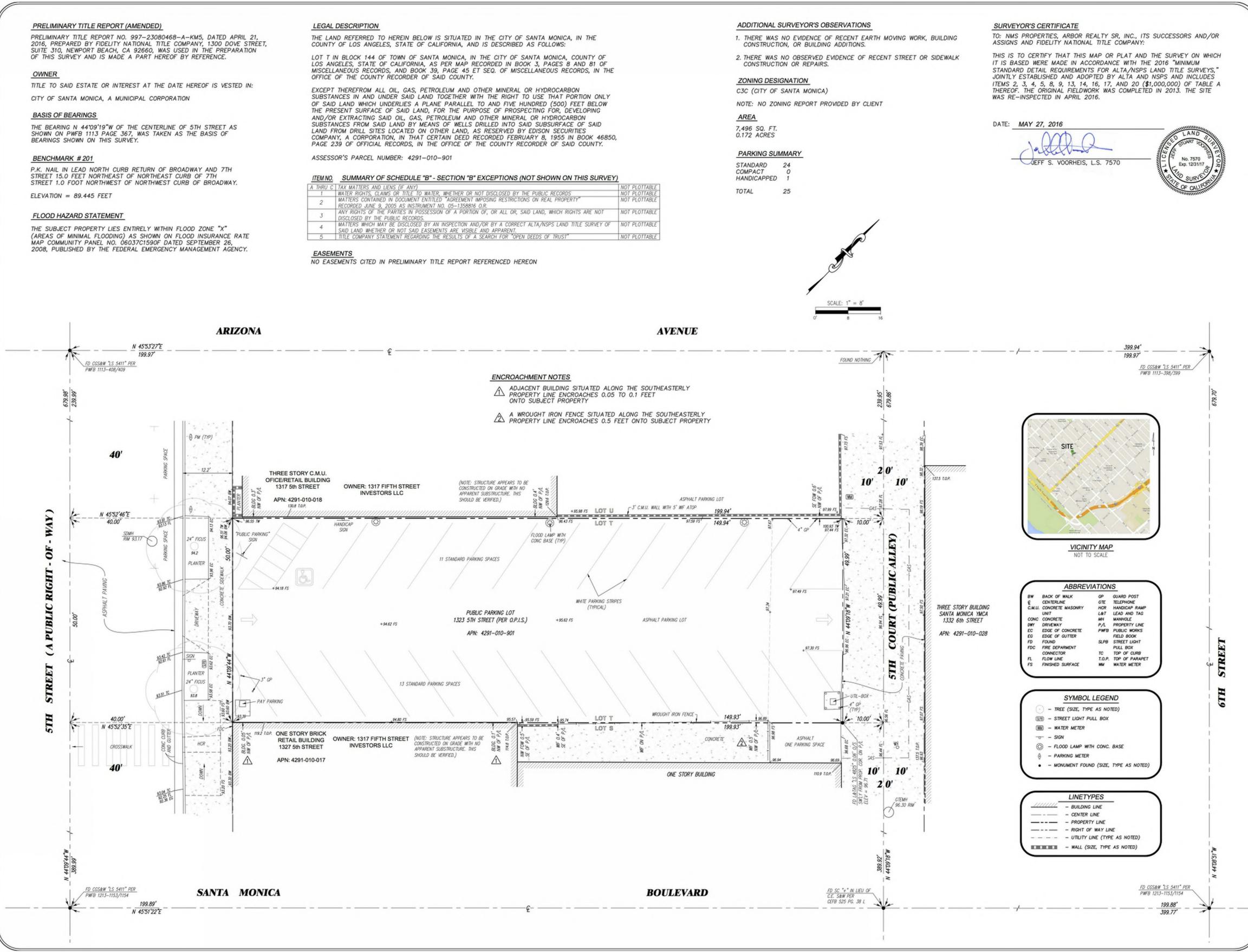
ITEM NO.	SUMMARY OF SCHEDULE "B" - SECTION "B" EXCEPTIONS (NOT SHOWN ON THIS SURVEY)	NOT PLOTTABLE
1	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS	NOT PLOTTABLE
2	MATTERS CONTAINED IN DOCUMENT ENTITLED "AGREEMENT IMPOSING RESTRICTIONS ON REAL PROPERTY" RECORDED JUNE 9, 2005 AS INSTRUMENT NO. 05-1308916 OR ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.	NOT PLOTTABLE
3	MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.	NOT PLOTTABLE
4	MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.	NOT PLOTTABLE
5	TITLE COMPANY STATEMENT REGARDING THE RESULTS OF A SEARCH FOR "OPEN DEEDS OF TRUST"	NOT PLOTTABLE

### EASEMENTS

NO EASEMENTS CITED IN PRELIMINARY TITLE REPORT REFERENCED HEREON

### ENCROACHMENT NOTES

- ADJACENT BUILDING SITUATED ALONG THE SOUTHEASTERLY PROPERTY LINE ENCROACHES 0.05 TO 0.1 FEET ONTO SUBJECT PROPERTY.
- A WROUGHT IRON FENCE SITUATED ALONG THE SOUTHEASTERLY PROPERTY LINE ENCROACHES 0.5 FEET ONTO SUBJECT PROPERTY.



VICINITY MAP  
NOT TO SCALE

### ABBREVIATIONS

BW	BACK OF WALK	GP	GUARD POST
C	CENTERLINE	GTE	TELEPHONE
C.M.U.	CONCRETE MASONRY	HCR	HANDICAP RAMP
CONC	CONCRETE	L&T	LEAD AND TAG
CONC	CONCRETE	MW	MANHOLE
DWY	DRIVEWAY	P/L	PROPERTY LINE
EC	EDGE OF CONCRETE	PWB	PUBLIC WORKS
EG	EDGE OF GUTTER	PUB	PUBLIC BOOK
FD	FLOOD	SLPB	STREET LIGHT
FDC	FIRE DEPARTMENT	FB	FULL BOX
CON	CONNECTOR	TC	TOP OF CURB
FL	FLOW LINE	T.O.P.	TOP OF PARAPET
FS	FINISHED SURFACE	WM	WATER METER

### SYMBOL LEGEND

- (Symbol) TREE (SIZE, TYPE AS NOTED)
- (Symbol) STREET LIGHT FULL BOX
- (Symbol) WATER METER
- (Symbol) SIGN
- (Symbol) FLOOD LAMP WITH CONC. BASE
- (Symbol) PARKING METER
- (Symbol) MONUMENT FOUND (SIZE, TYPE AS NOTED)

### LINETYPES

- (Line style) BUILDING LINE
- (Line style) CENTER LINE
- (Line style) PROPERTY LINE
- (Line style) RIGHT OF WAY LINE
- (Line style) UTILITY LINE (TYPE AS NOTED)
- (Line style) WALL (SIZE, TYPE AS NOTED)

### PRELIMINARY TITLE REPORT (AMENDED)

PRELIMINARY TITLE REPORT NO. 997-23080468-A-KM5, DATED APRIL 21, 2016, PREPARED BY FIDELITY NATIONAL TITLE COMPANY, 1300 DOVE STREET, SUITE 310, NEWPORT BEACH, CA 92660, WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

### OWNER

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: CITY OF SANTA MONICA, A MUNICIPAL CORPORATION

### BASIS OF BEARINGS

THE BEARING N 44°09'19"W OF THE CENTERLINE OF 5TH STREET AS SHOWN ON PWB 1113 PAGE 367, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS SURVEY.

### BENCHMARK # 201

P.K. NAIL IN LEAD NORTH CURB RETURN OF BROADWAY AND 7TH STREET 15.0 FEET NORTHEAST OF NORTHEAST CURB OF 7TH STREET 1.0 FOOT NORTHWEST OF NORTHWEST CURB OF BROADWAY.

ELEVATION = 89.445 FEET

### FLOOD HAZARD STATEMENT

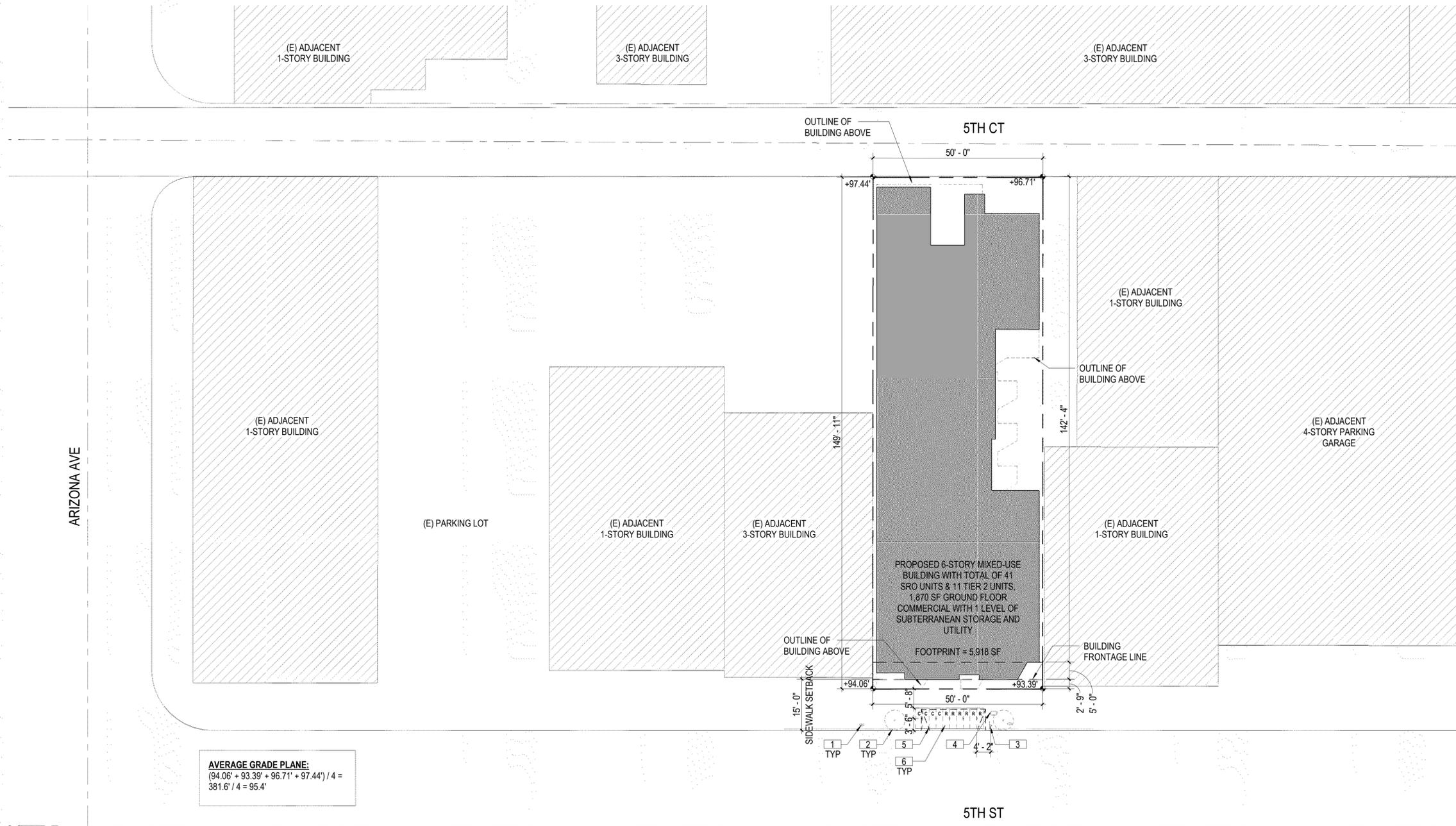
THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06037C1590F DATED SEPTEMBER 26, 2008, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



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- 1 (E) PARKING METER
- 2 (E) STREET TREE
- 3 (E) STREET SIGN
- 4 (E) STREET LIGHT PULL BOX
- 5 (E) CURB CUT AND DRIVEWAY TO BE REMOVED
- 6 SHORT TERM BIKE PARKING



4

SITE PLAN  
1/16" = 1'-0"

SHEET  
SITE PLAN

SCALE  
1/16" = 1'-0"  
DATE  
04.20.2020

SHEET  
**A000.**

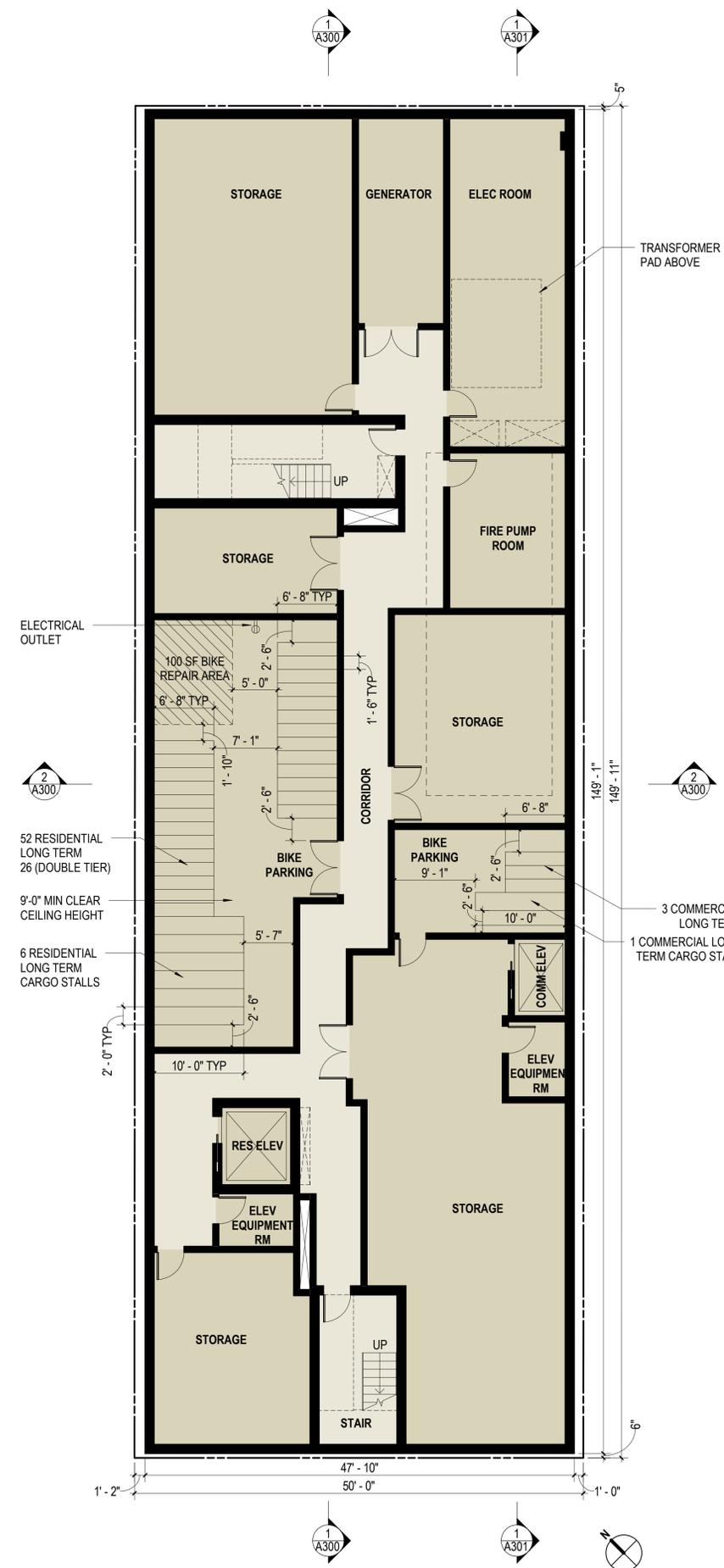
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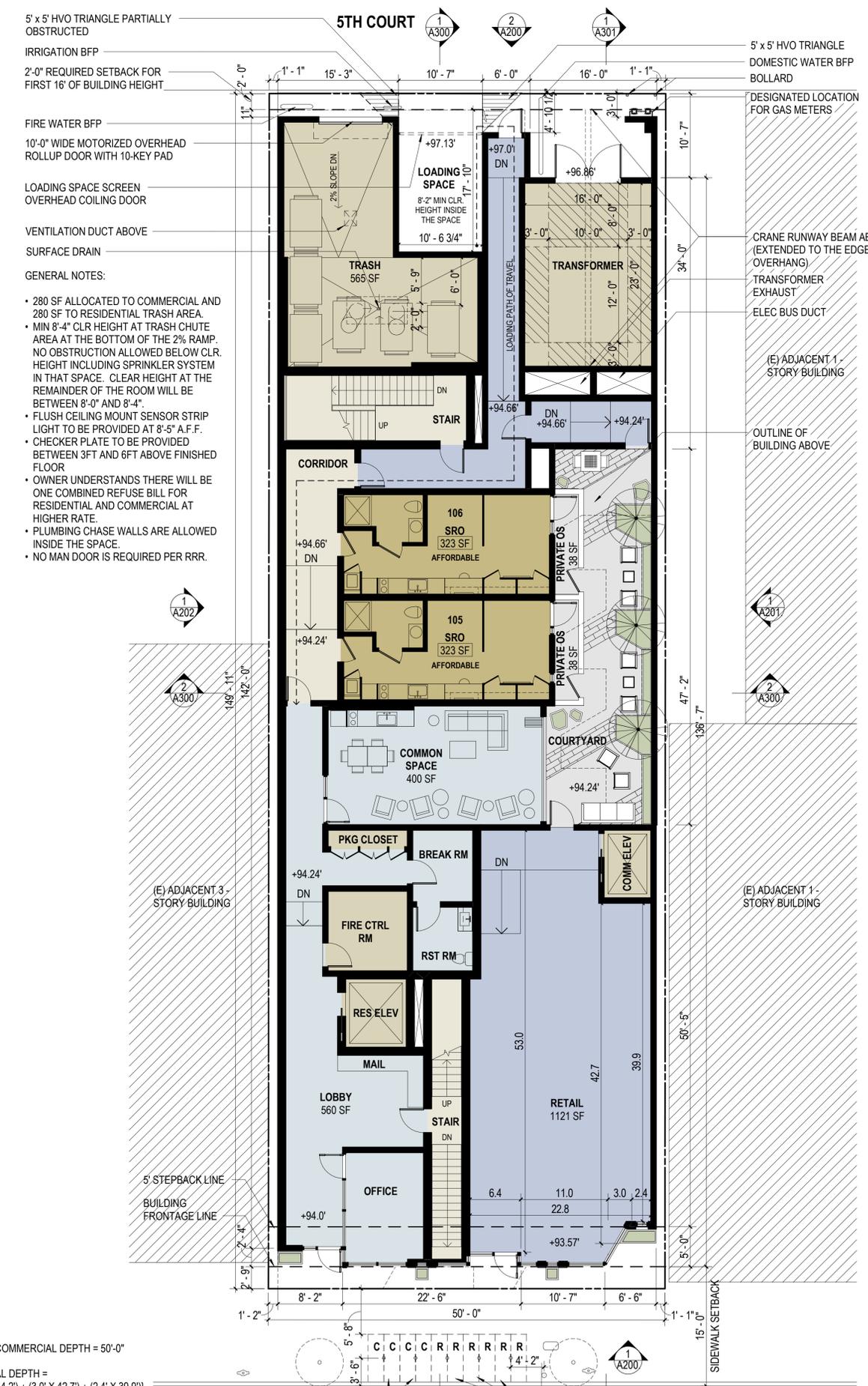
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**BASEMENT FLOOR PLAN**  
1/8" = 1'-0" (12)



**COMMERCIAL DEPTH**  
REQUIRED AVERAGE COMMERCIAL DEPTH = 50'-0"  
AVERAGE COMMERCIAL DEPTH =  
 $\frac{(6.4' \times 53.0') + (11.0' \times 54.2') + (3.0' \times 42.7') + (2.4' \times 39.9')}{22.9'} = 50.0'$

**1ST FLOOR PLAN**  
1/8" = 1'-0" (4)

2'-0" REQUIRED  
SETBACK FOR FIRST 16'  
OF BUILDING HEIGHT



2ND FLOOR PLAN  
1/8" = 1'-0"

12



3RD FLOOR PLAN  
1/8" = 1'-0"

4



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SHEET  
**2ND - 3RD FLOOR  
PLAN**

SCALE  
1/8" = 1'-0"  
DATE  
04.20.2020

SHEET  
**A120.**

02/20/2020 6:15:00 PM



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4TH FLOOR PLAN  
1/8" = 1'-0"

12



5TH FLOOR PLAN  
1/8" = 1'-0"

4

SHEET  
**4TH - 5TH FLOOR PLAN**

SCALE  
1/8" = 1'-0"  
DATE  
04.20.2020

SHEET  
**A130.**

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## 6TH - ROOF FLOOR PLAN

SCALE  
1/8" = 1'-0"  
DATE  
04.20.2020

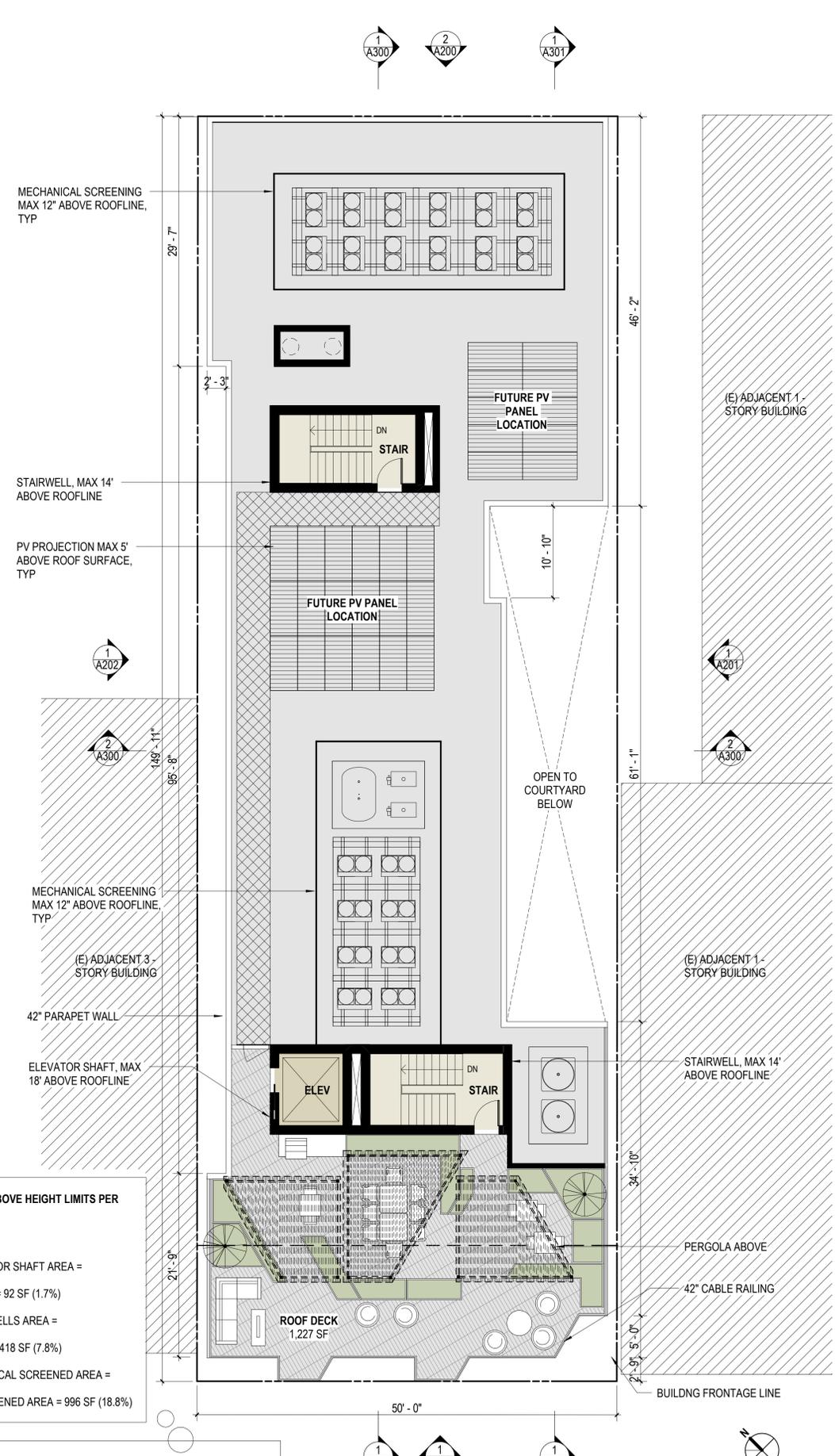
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**6TH FLOOR PLAN**  
1/8" = 1'-0"

12



**ALLOWABLE PROJECTIONS ABOVE HEIGHT LIMITS PER TABLE 9.21.060**

TOTAL ROOF AREA = 5,295 SF

15% MAX ALLOWABLE ELEVATOR SHAFT AREA = 5,295 SF X .15 = 794 SF  
PROVIDED ELEV SHAFT AREA = 92 SF (1.7%)

25% MAX ALLOWABLE STAIRWELLS AREA = 5,295 SF X .25 = 1,323 SF  
PROVIDED STAIRWELL AREA = 418 SF (7.8%)

30% MAX ALLOWABLE MECHANICAL SCREENED AREA = 5,295 SF X .30 = 1,589 SF  
PROVIDED MECHANICAL SCREENED AREA = 996 SF (18.8%)

**SOLAR VOLTAIC CALCULATION PER SMMC 5.201.4:**

BUILDING FOOTPRINT = 5,918 SF  
MIN WATT = 2 X BUILDING FOOTPRINT = 11,836 W  
444 WATTS PER PANEL = 11,836 W / 444 WATTS PER PANEL = 27 REQUIRED PANELS

MIN PANEL AREA

**ROOF PLAN**  
1/8" = 1'-0"

4



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**EAST ELEVATION**  
1/8" = 1'-0"

2

OUTLINE OF ADJACENT BUILDING



**WEST ELEVATION**  
1/8" = 1'-0"

1

## LEGEND

- |  |  |   |  |  |
|--|--|---|--|--|
| 1 ACRYLIC PLASTER<br>COLOR: LIGHT GREY<br>FINISH: SMOOTH | 2 ACRYLIC PLASTER<br>COLOR: MEDIUM GREY<br>FINISH: SMOOTH            | 3 ACRYLIC PLASTER<br>COLOR: DARK GREY<br>FINISH: SMOOTH | 4 ACRYLIC PLASTER<br>COLOR: BROWN<br>FINISH: SMOOTH            | 5 RECTANGULAR WOOD<br>POST   |
| 6 VERTICAL CORRUGATED<br>METAL<br>COLOR: MEDIUM GREY     | 7 CABLE RAIL WITH<br>METAL POSTS AND<br>TOP RAIL<br>COLOR: DARK GREY | 8 METAL C CHANNEL<br>COLOR: DARK GREY                   | 9 ALUMINIUM STOREFRONT WITH<br>CLEAR GLASS<br>COLOR: DARK GREY | 10 VINYL DOORS AND WINDOWS<br>WITH CLEAR GLASS<br>COLOR: DARK GREY |
| 11 WOOD AT UNDERSIDE OF<br>THE BALCONY                   |  |   |  |  |

## ELEVATIONS

SCALE  
1/8" = 1'-0"  
DATE  
04.20.2020

SHEET  
**A200.**

4/23/2020 6:15:11 PM



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# 1323 5TH STREET

1323 5TH STREET  
SANTA MONICA, CA 90401



## LEGEND

- |   |   |  |   |   |
|---|---|--|---|---|
| <b>1</b> ACRYLIC PLASTER<br>COLOR: LIGHT GREY<br>FINISH: SMOOTH | <b>2</b> ACRYLIC PLASTER<br>COLOR: MEDIUM GREY<br>FINISH: SMOOTH            | <b>3</b> ACRYLIC PLASTER<br>COLOR: DARK GREY<br>FINISH: SMOOTH | <b>4</b> ACRYLIC PLASTER<br>COLOR: BROWN<br>FINISH: SMOOTH            | <b>5</b> RECTANGULAR WOOD<br>POST   |
| <b>6</b> VERTICAL CORRUGATED<br>METAL<br>COLOR: MEDIUM GREY     | <b>7</b> CABLE RAIL WITH<br>METAL POSTS AND<br>TOP RAIL<br>COLOR: DARK GREY | <b>8</b> METAL C CHANNEL<br>COLOR: DARK GREY                   | <b>9</b> ALUMINIUM STOREFRONT WITH<br>CLEAR GLASS<br>COLOR: DARK GREY | <b>10</b> VINYL DOORS AND WINDOWS<br>WITH CLEAR GLASS<br>COLOR: DARK GREY |
| <b>11</b> WOOD AT UNDERSIDE OF<br>THE BALCONY                   |   |  |   |   |

SOUTH ELEVATION  
1/8" = 1'-0"

1

SHEET  
ELEVATION

SCALE  
1/8" = 1'-0"  
DATE  
04.20.2020

SHEET  
**A201.**

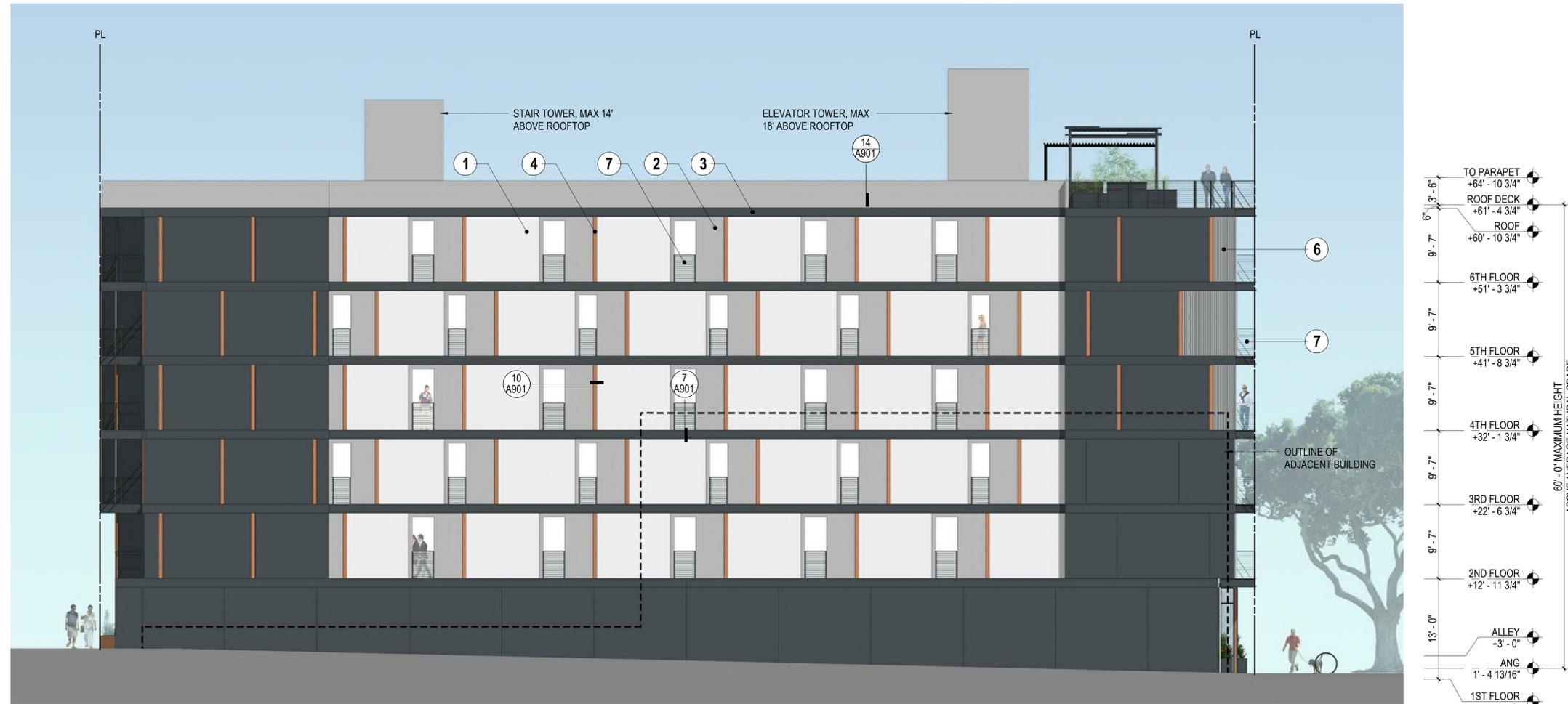
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## LEGEND

- |   |   |  |   |   |
|---|---|--|---|---|
| <b>1</b> ACRYLIC PLASTER<br>COLOR: LIGHT GREY<br>FINISH: SMOOTH | <b>2</b> ACRYLIC PLASTER<br>COLOR: MEDIUM GREY<br>FINISH: SMOOTH            | <b>3</b> ACRYLIC PLASTER<br>COLOR: DARK GREY<br>FINISH: SMOOTH | <b>4</b> ACRYLIC PLASTER<br>COLOR: BROWN<br>FINISH: SMOOTH            | <b>5</b> RECTANGULAR WOOD<br>POST   |
| <b>6</b> VERTICAL CORRUGATED<br>METAL<br>COLOR: MEDIUM GREY     | <b>7</b> CABLE RAIL WITH<br>METAL POSTS AND<br>TOP RAIL<br>COLOR: DARK GREY | <b>8</b> METAL C CHANNEL<br>COLOR: DARK GREY                   | <b>9</b> ALUMINIUM STOREFRONT WITH<br>CLEAR GLASS<br>COLOR: DARK GREY | <b>10</b> VINYL DOORS AND WINDOWS<br>WITH CLEAR GLASS<br>COLOR: DARK GREY |
| <b>11</b> WOOD AT UNDERSIDE OF<br>THE BALCONY                   |   |  |   |   |

NORTH ELEVATION  
1/8" = 1'-0"

1

ELEVATION

SCALE  
1/8" = 1'-0"

DATE  
04.20.2020

SHEET  
**A202.**

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SHEET  
**RENDERING**

SCALE

DATE  
04.20.2020

SHEET  
**A210.**

4/23/2020 8:15:13 PM



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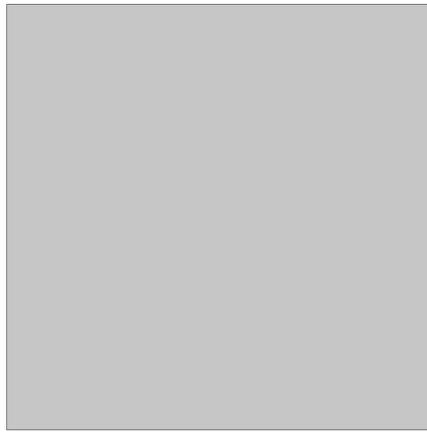
SHEET  
**RENDERING**

SCALE

DATE  
04.20.2020

SHEET  
**A211.**

4/23/2020 6:15:13 PM



1 ACRYLIC PLASTER  
COLOR: LIGHT GREY  
FINISH: SMOOTH



2 ACRYLIC PLASTER  
COLOR: MEDIUM GREY  
FINISH: SMOOTH



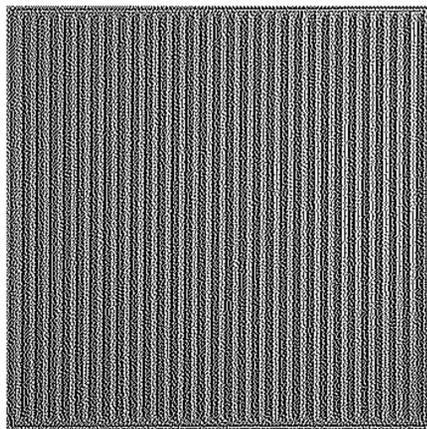
3 ACRYLIC PLASTER  
COLOR: DARK GREY  
FINISH: SMOOTH



4 ACRYLIC PLASTER  
COLOR: BROWN  
FINISH: SMOOTH



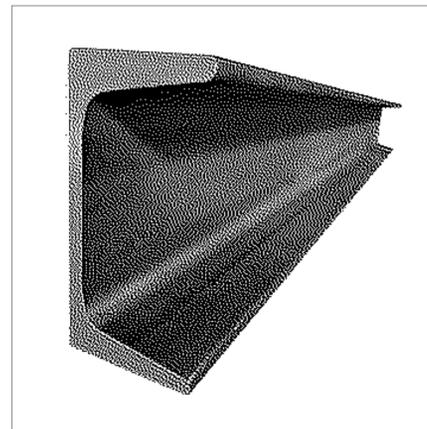
5 RECTANGULAR WOOD  
POST



6 VERTICAL CORRUGATED  
METAL  
COLOR: MEDIUM GREY



7 CABLE RAIL WITH  
METAL POSTS AND TOP  
RAIL  
COLOR: DARK GREY



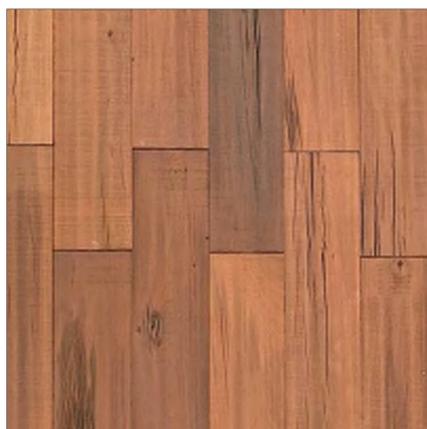
8 METAL C CHANNEL  
COLOR: DARK GREY



9 ALUMINIUM STOREFRONT  
WITH CLEAR GLASS  
COLOR: DARK GREY



10 VINYL DOORS AND  
WINDOWS WITH CLEAR  
GLASS  
COLOR: DARK GREY



11 WOOD AT UNDERSIDE  
OF THE BALCONY



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SHEET  
**MATERIAL BOARD**

SCALE

DATE  
04.20.2020

SHEET  
**A220.**

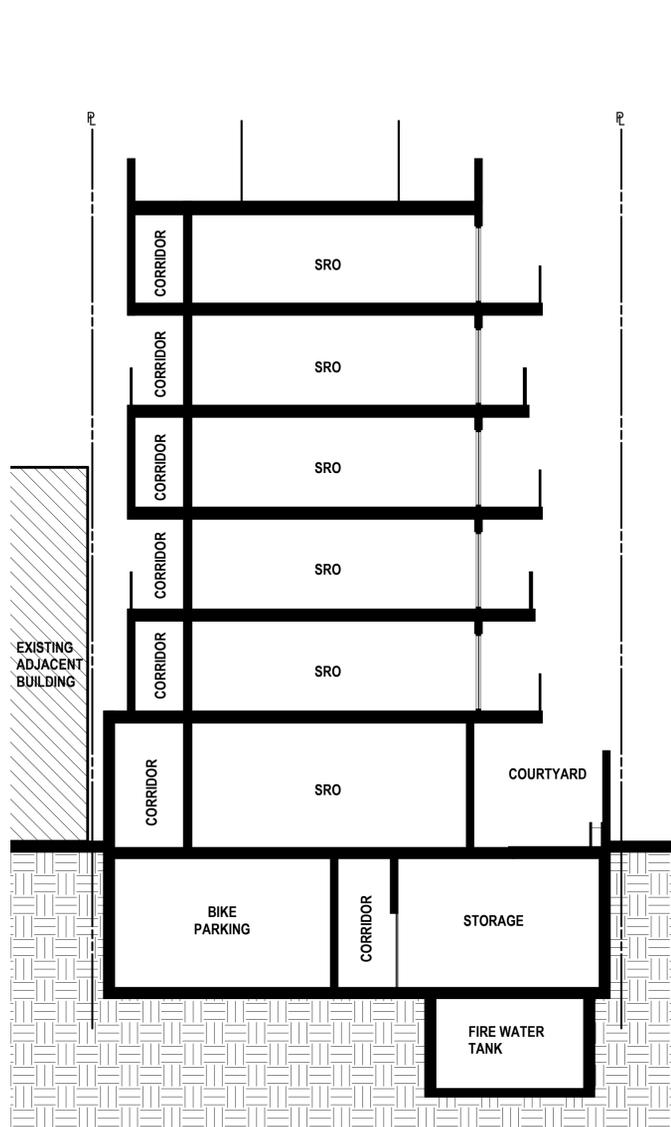
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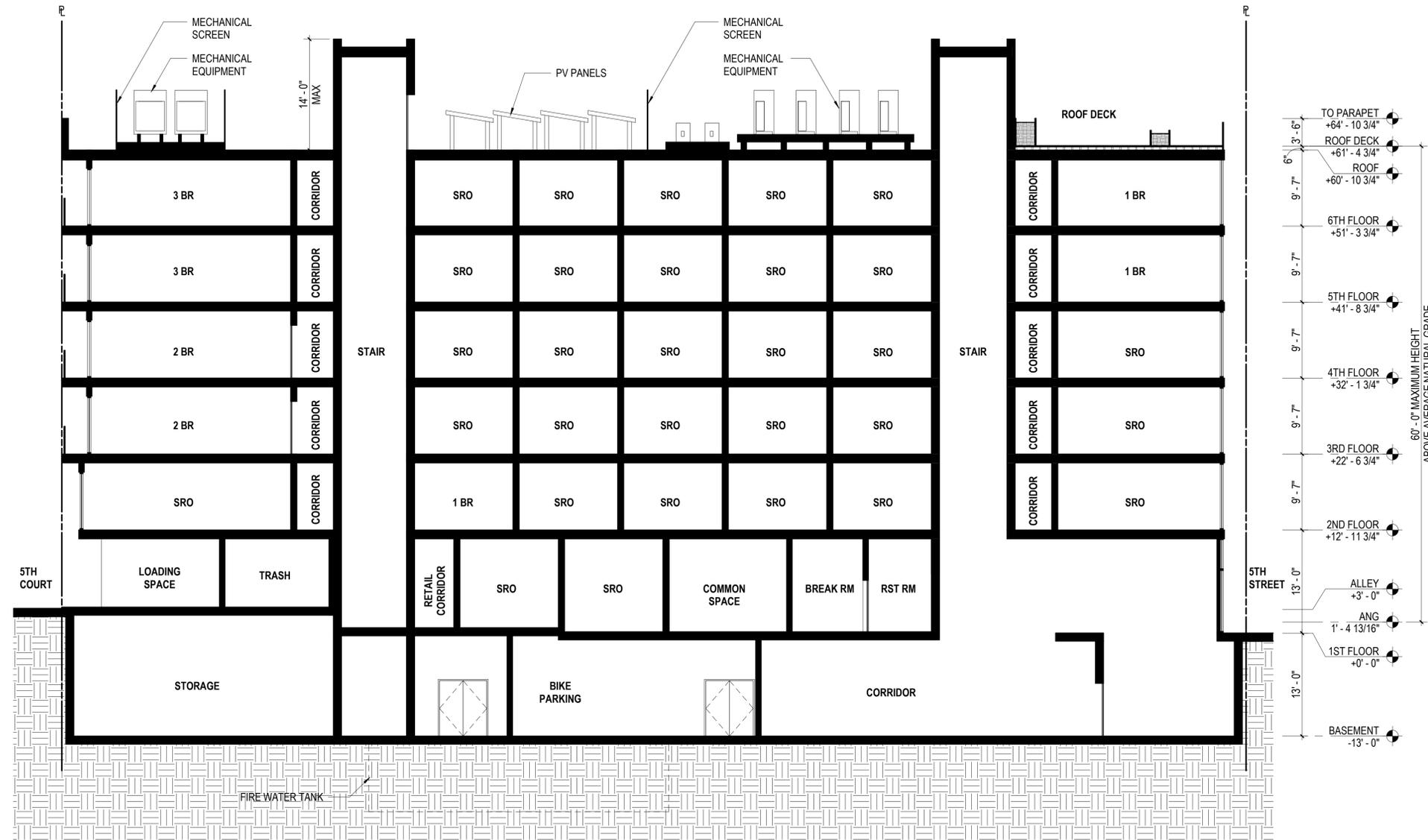
# 1323 5TH STREET

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SANTA MONICA, CA 90401



CROSS SECTION AT COURTYARD  
1/8" = 1'-0"

2



LONGITUDINAL SECTION AT TRASH ROOM  
1/8" = 1'-0"

1

SHEET  
**BUILDING SECTIONS**

SCALE  
1/8" = 1'-0"  
DATE  
04.20.2020

SHEET  
**A300.**

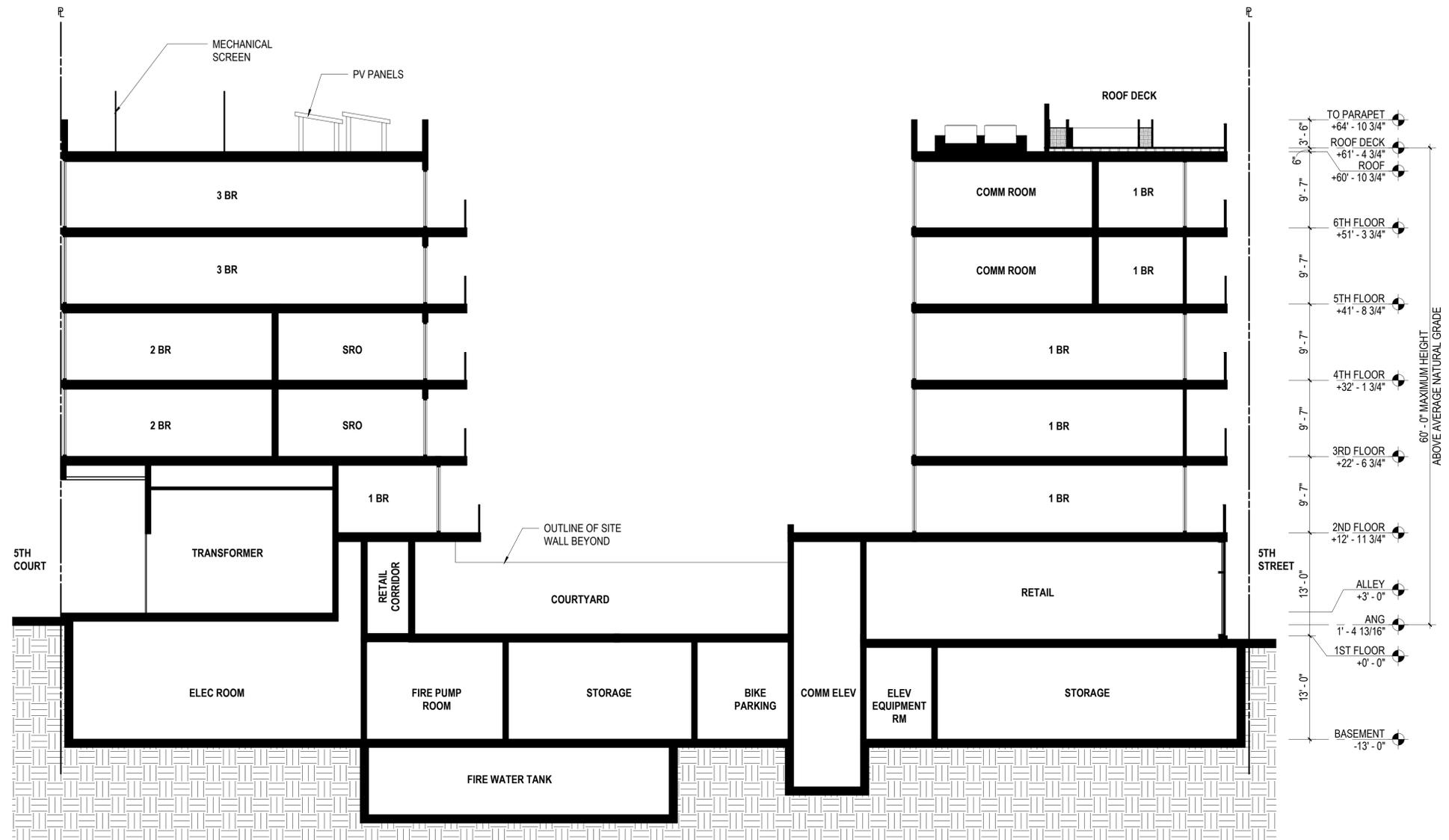
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x ENT - LONGITUDINAL SECTION AT COURTYARD  
 1/8" = 1'-0"

1

SHEET  
**BUILDING SECTION**

SCALE  
 1/8" = 1'-0"  
 DATE  
 04.20.2020

SHEET  
**A301.**

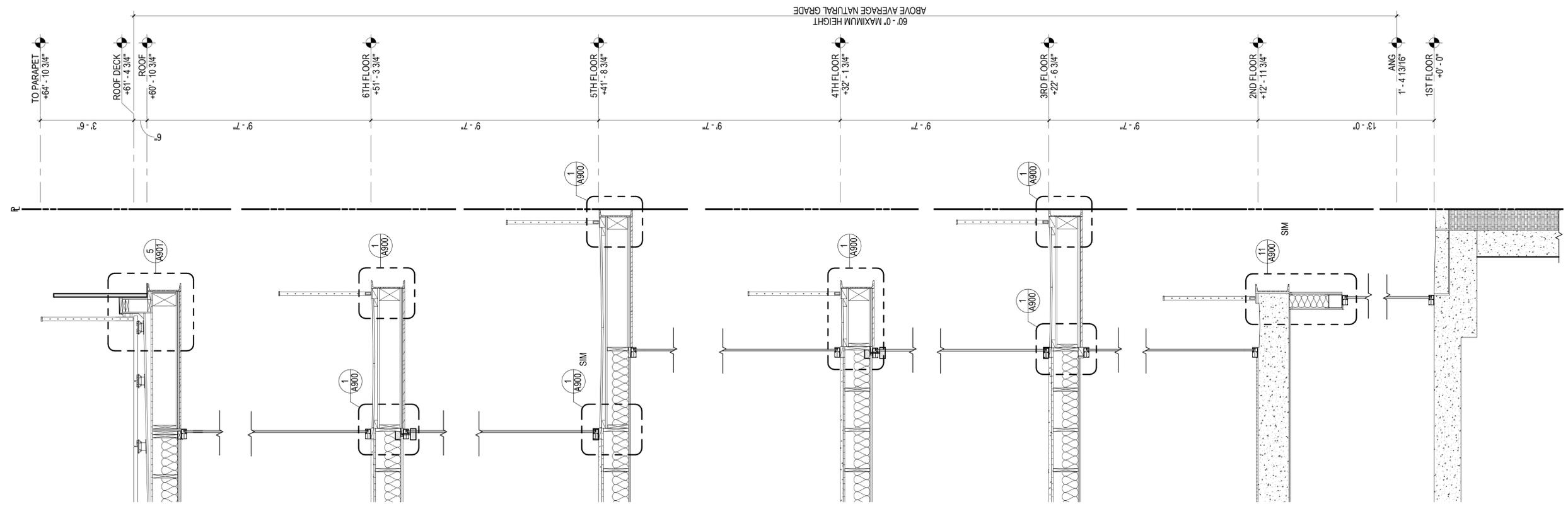
02/20/2020 8:15:15 PM



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1323 5TH STREET  
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1  
 WALL SECTION 5TH STREET  
 1/2" = 1'-0"

SHEET  
**WALL SECTION**

SCALE  
 1/2" = 1'-0"  
 DATE  
 04.20.2020

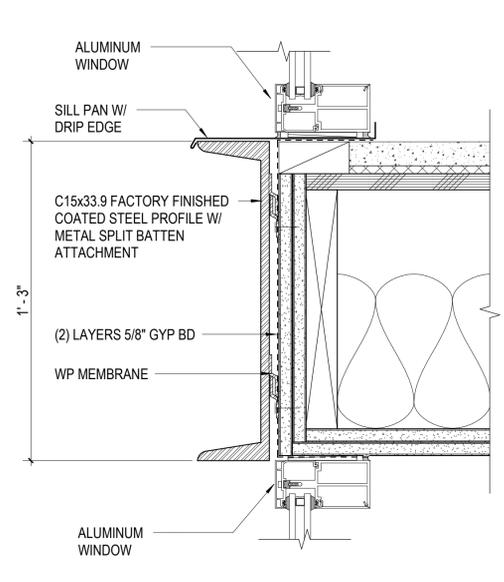
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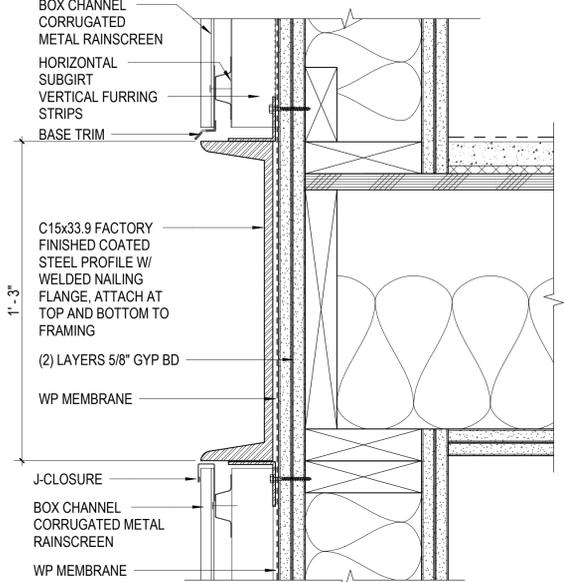
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**1323 5TH STREET**  
1323 5TH STREET  
SANTA MONICA, CA 90401



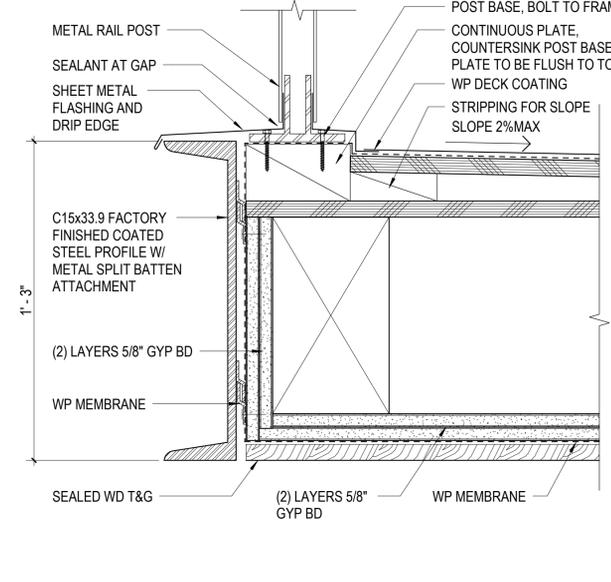
**WINDOW HEAD AND SILL @ CHANNEL**  
3" = 1'-0"

13



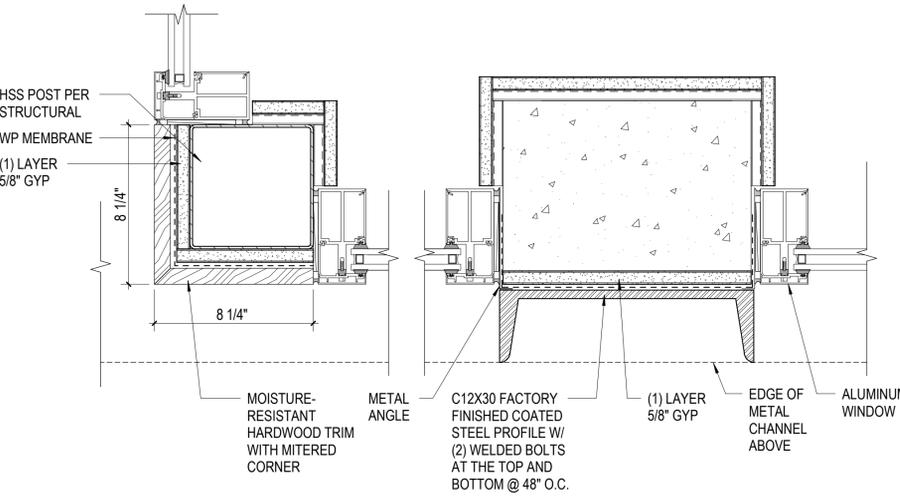
**CHANNEL @ CORRUGATED**  
3" = 1'-0"

9



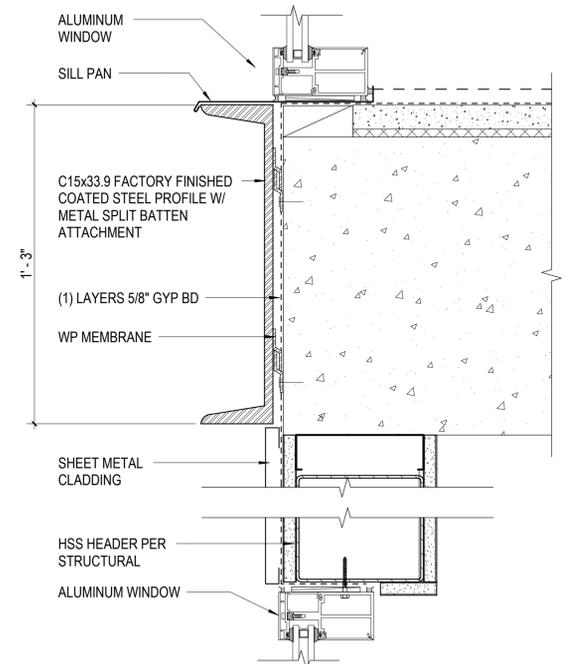
**BALCONY EDGE @ WOOD**  
3" = 1'-0"

1



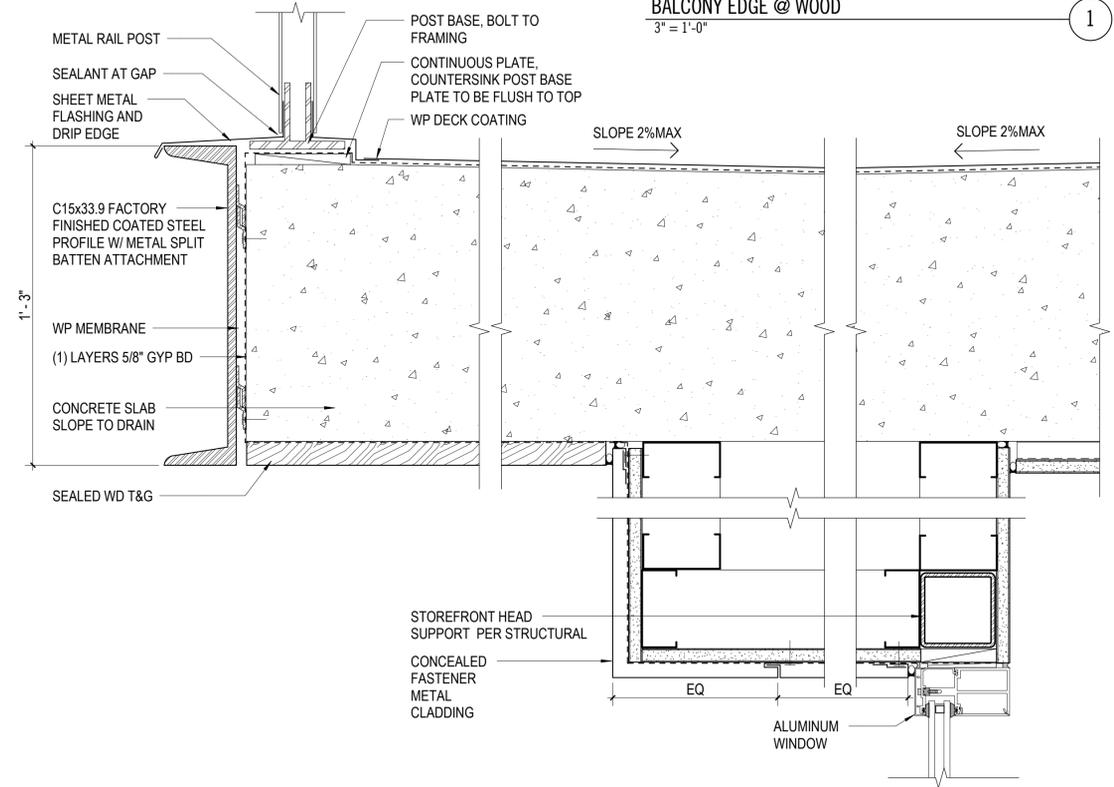
**PLAN SECTION AT STOREFRONT**  
3" = 1'-0"

15



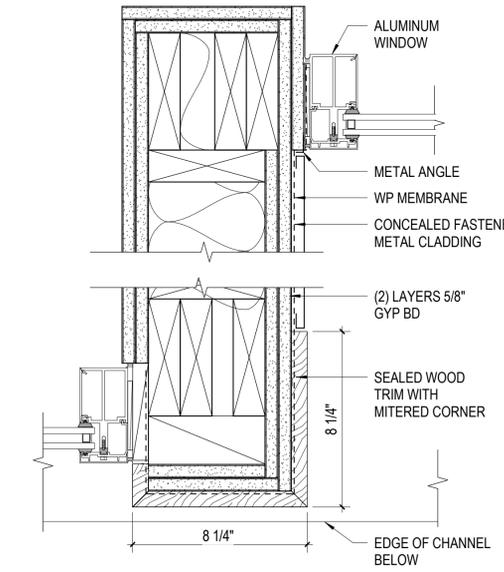
**WINDOW HEAD AND SILL @ STOREFRONT**  
3" = 1'-0"

11



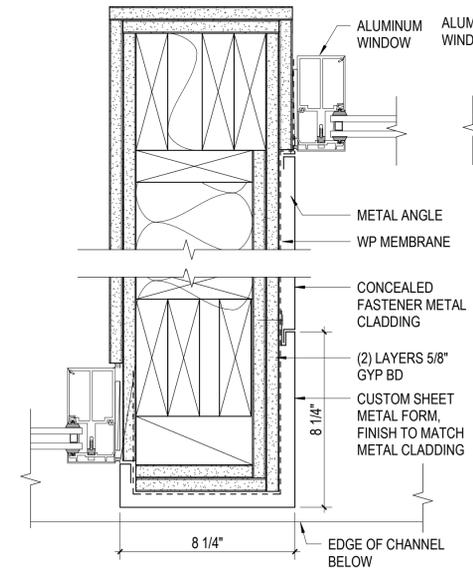
**BALCONY EDGE @ CONCRETE**  
3" = 1'-0"

3



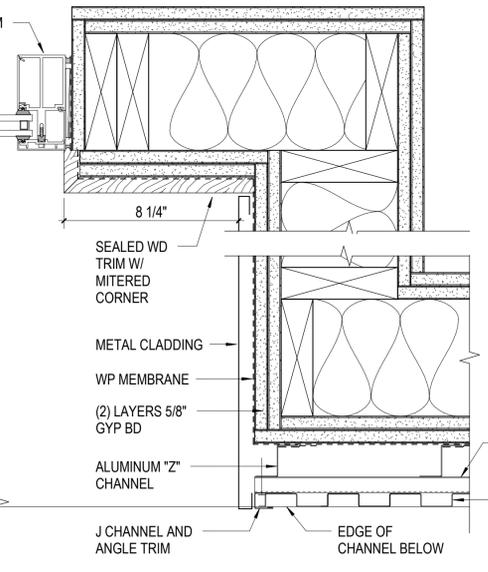
**BALCONY RETURN @ WOOD**  
3" = 1'-0"

20



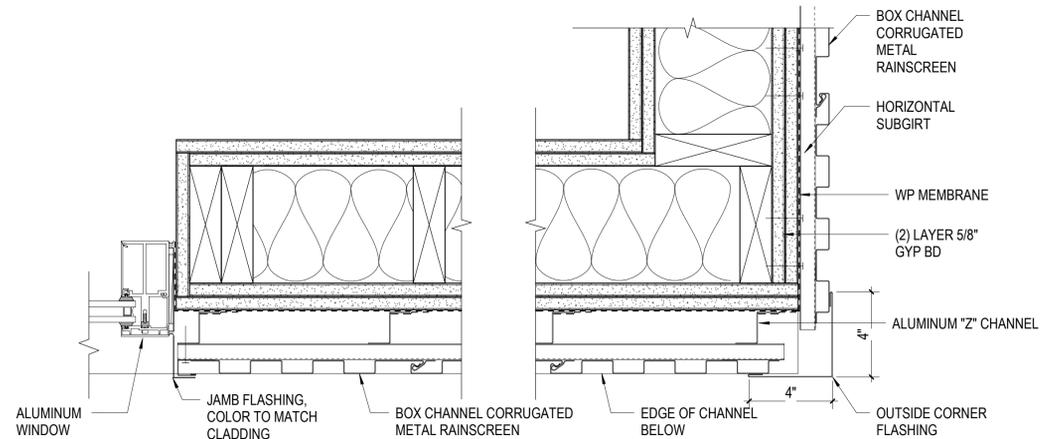
**BALCONY RETURN AT METAL**  
3" = 1'-0"

16



**BALCONY RETURN AT CORRUGATED**  
3" = 1'-0"

12



**OUTSIDE CORNER @ CORRUGATED**  
3" = 1'-0"

4

**DETAILS**

SCALE  
3" = 1'-0"  
DATE  
04.20.2020  
SHEET

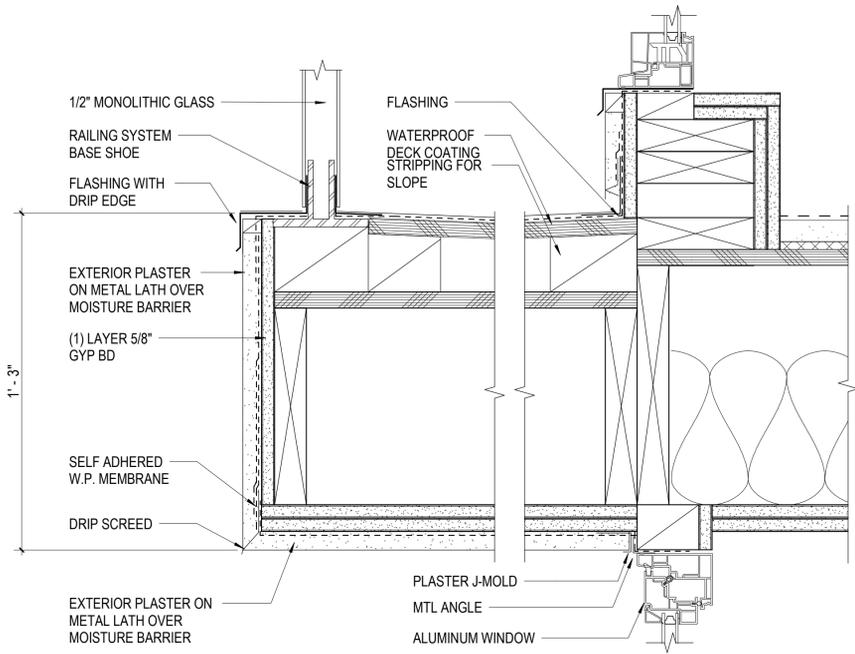
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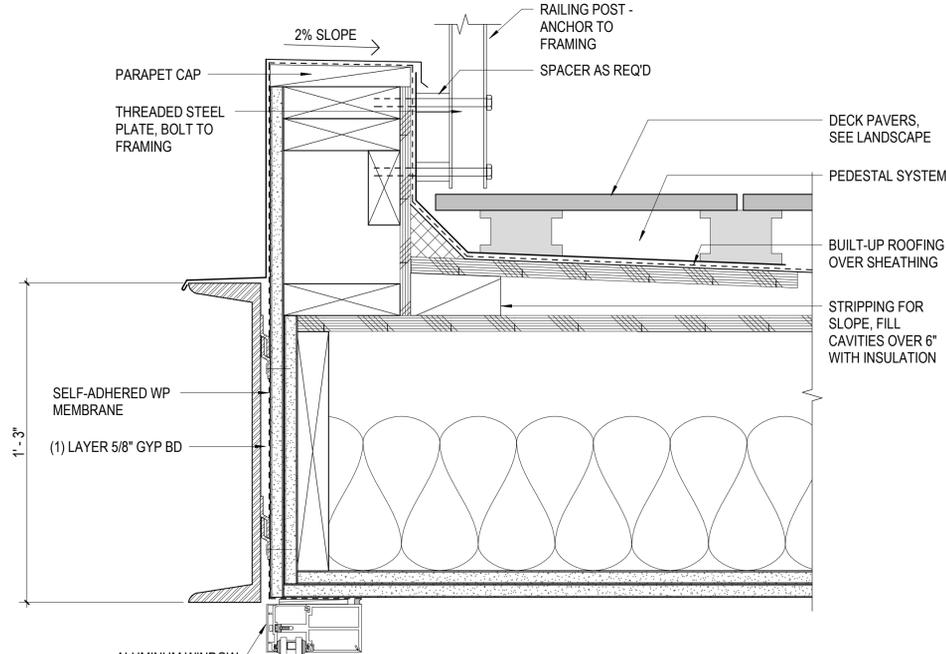
# 1323 5TH STREET

1323 5TH STREET  
SANTA MONICA, CA 90401



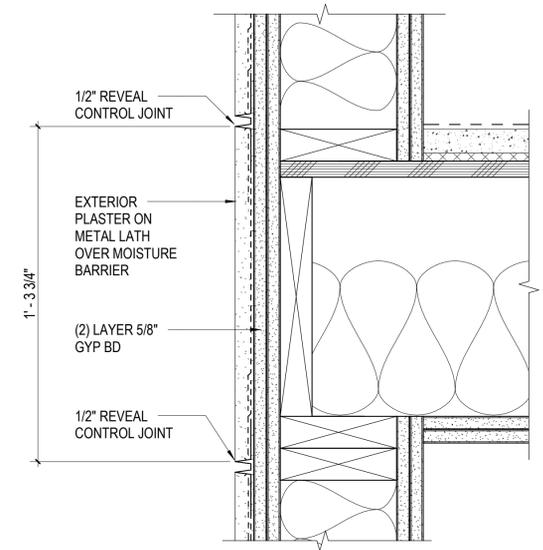
**BALCONY DETAIL @ PLASTER**  
3" = 1'-0"

13



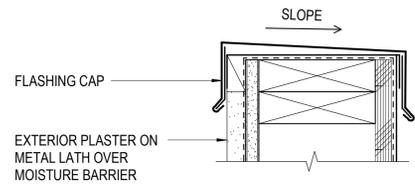
**SECTION AT ROOF DECK EDGE**  
3" = 1'-0"

5



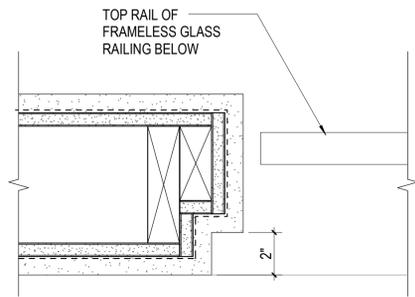
**PLASTER REVEAL AT FLOOR LINE 1**  
3" = 1'-0"

1



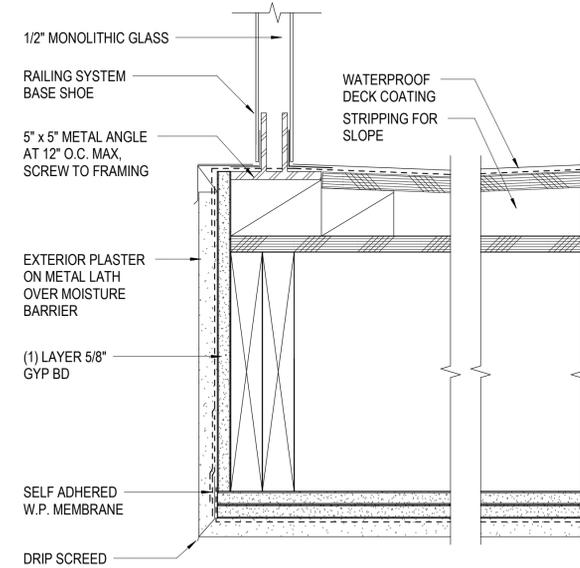
**PARAPET, TYP**  
3" = 1'-0"

14



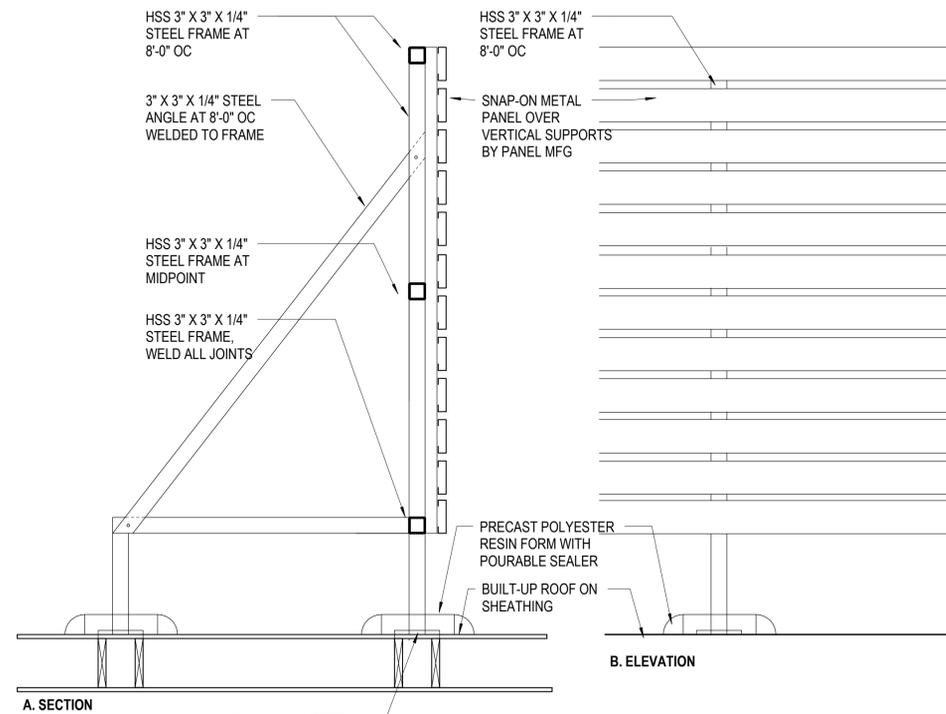
**A901 PLAN SECTION 1**  
3" = 1'-0"

10



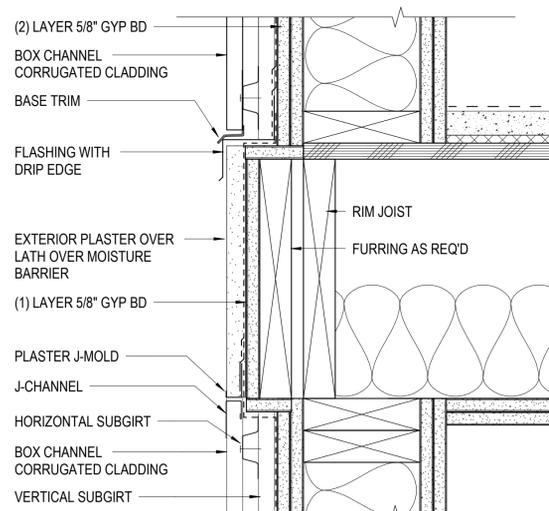
**FRAMELESS GLASS GUARDRAIL**  
3" = 1'-0"

7



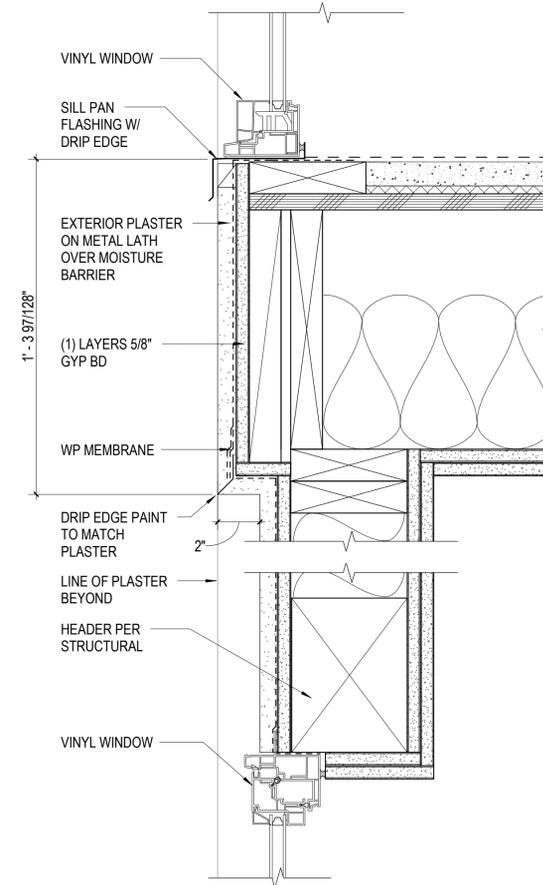
**MECHANICAL ENCLOSURE**  
3/4" = 1'-0"

12



**CORRUGATED AT PLASTER**  
3" = 1'-0"

8



**METAL WINDOW DETAIL @ PLASTER FASCIA**  
3" = 1'-0"

4

SCALE  
**DETAILS**

As indicated  
DATE  
04.20.2020  
SHEET

**A901.**  
02/20/2020 8:15:19 PM

# PROJECT CONCEPT



INDUSTRIAL WAREHOUSE DESIGN



TREEHOUSE



1323 5TH STREET  
SANTA MONICA, CA  
KFA ARCHITECTURE

INDUSTRIAL WAREHOUSE DESIGN

TREEHOUSE

# EXPRESSION IN THE LANDSCAPE

INDUSTRIAL WAREHOUSE DESIGN

- I-BEAM STEEL PERGOLA
- CORRUGATED METAL PLANTER
- BLACK METAL PLANTERS
- CONCRETE PAVING

TREEHOUSE

- WOODEN PEDESTAL PAVERS
- WOOD CLAD BUILT-IN BBQ
- DIRECTIONAL WOOD PAVING ANGLES
- LUSH PLANTING
- WOOD AND METAL FURNISHINGS



## SHEET LEGEND

- L100 LANDSCAPE CONCEPT
- L110 1ST FLOOR / ROOF LANDSCAPE CONCEPT
- L115 1ST FLOOR / ROOF ENLARGEMENTS
- L200 MATERIALS
- L300 IRRIGATION PLAN
- L400 PLANT LEGEND
- L410 PLANTING PLAN
- L500 PLANT PALETTE
- L600 ELEVATION WITH PLANT MATERIAL AT INSTALLATION AND 2 YEARS



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**ARB SUBMITTAL**

JOB NUMBER:

DATE:  
4/20/2020

REVISIONS:

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SHEET TITLE:

**LANDSCAPE  
CONCEPT**

SHEET NUMBER:

**L100**

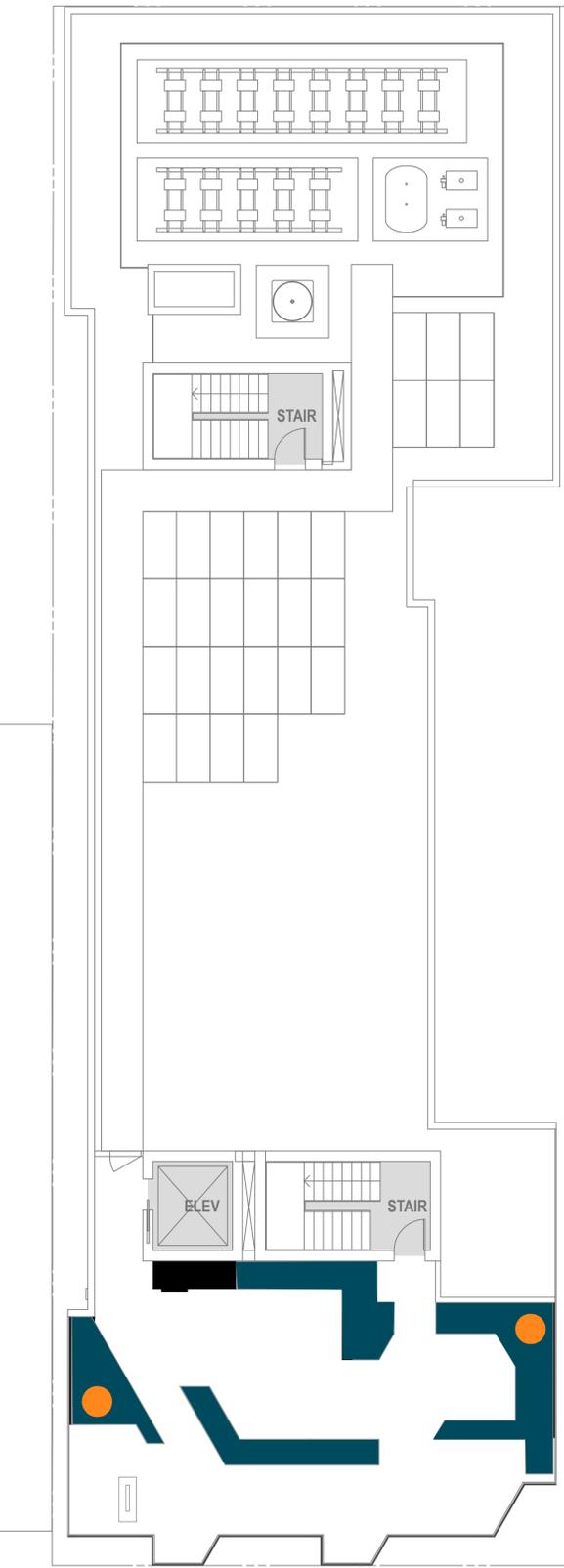
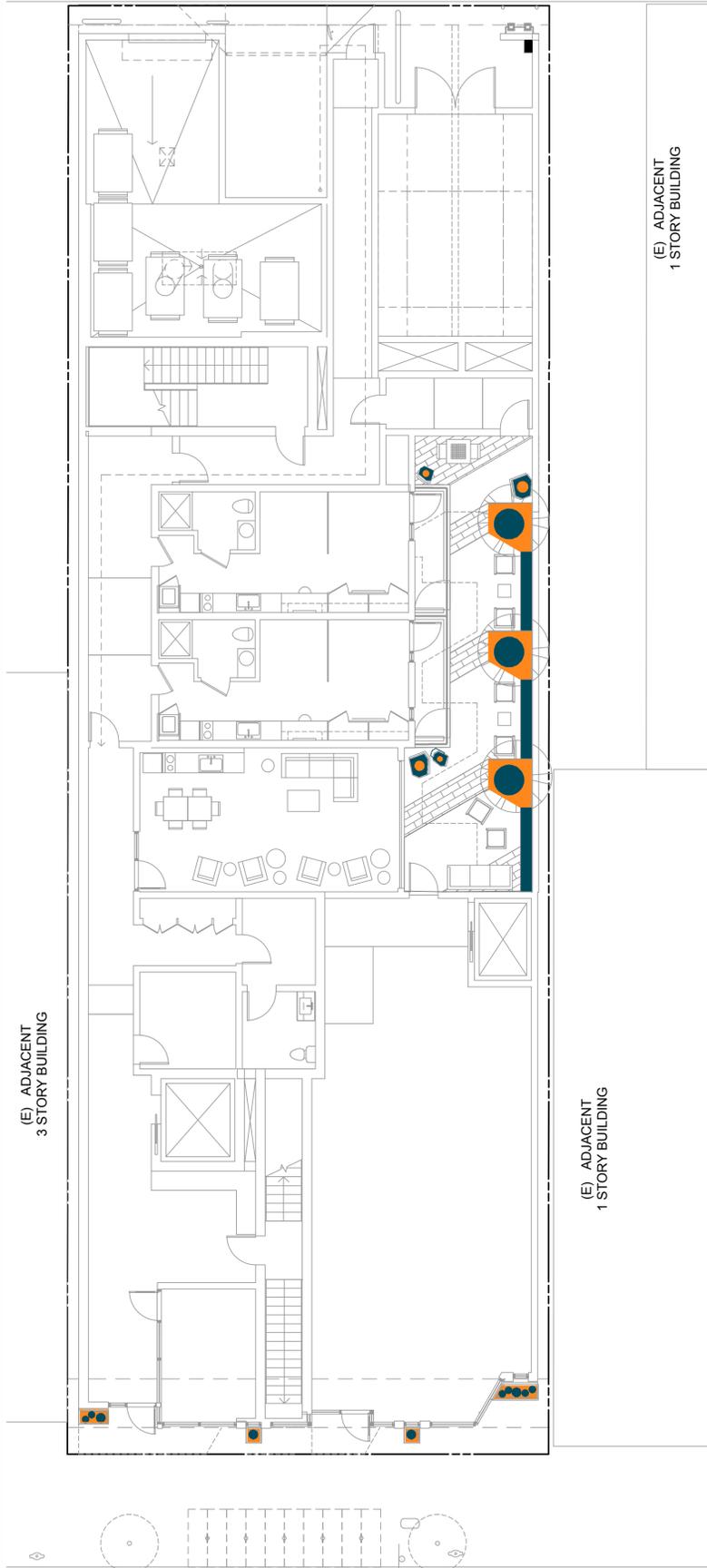






FIRST FLOOR

ROOF



IRRIGATION LEGEND



DESERT ADAPTED PLANTS - 302 SF



MODERATE WATER USE PLANTS (TREE, SHRUBS, VINES, GROUNDCOVERS, HEDGES) - 74 SF

WELIS WATER DEMAND CALCULATOR

**Step 2: Determine the Percentages of Plant Material**  
Based on the Plantable Landscape Area (PLA from Step 1 above) and ANSI/ASABE S623.1.

**Plant percentage restrictions for Single Family (SF) and Multi-family (MF) residential properties:**

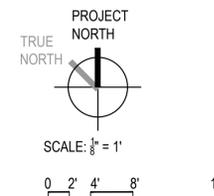
- 20% combined maximum for **High Water Using plants**  
Turfgrass, Annual Flowers, Bedding Plants
- 40% combined maximum for **High+Medium Water Using plants**  
Turfgrass, Annual Flowers, Bedding Plants, Trees, Shrubs, Vines, Groundcovers, Hedges, Herbaceous Perennials

Note: Desert Adapted, Vegetables, Fruit Trees and plants watered with alternative water sources do not have plant percentage restrictions.

Plant Type (Refer to the Plant Legend on the Landsc	Planted Area (sq. ft.)	% of PLA	% Totals on Restricted Plants	
			High Water Using	High+Medium Water Using
Restricted High Water Using	Turfgrass - Cool season (tall fescue, Ky. bluegrass, rye, bent)		0.0%	0.0% → (20% max)
	Turfgrass - Warm season (bermuda, zoysia, St. Augustine, buffalo)		0.0%	
	Annual Flowers & Bedding Plants		0.0%	
Restricted Medium Water Using	Trees, Shrubs, Vines, Groundcovers, Hedges	74.0 sq. ft	19.7%	19.7% → (40% max)
	Herbaceous Perennials		0.0%	
Desert Adapted Plants	302.0 sq. ft	80.3%		
Deciduous Fruit Trees		0.0%		
Evergreen Fruit Trees		0.0%		
Vegetables crops		0.0%		
Plants irrigated with alternative water source (non-potable)		0.0%		
<b>Subtotals</b>	<b>376.0 sq. ft</b>	<b>100.0%</b>		
Notes	376 sq. ft. max (PLA from Step 1)	100% max		
<b>Area Totals</b>				
Planted Area (from table above)			376.0 sq. ft	
Permeable Hardscape Areas			0.0 sq. ft	
Total Plantable Landscape Area, PLA(Planting Area + Permeable Hardscape Areas)			376.0 sq. ft	

IRRIGATION PLAN DECLARATIONS

- "PRIOR TO BACKFILLING OR COVERING UP THE UNDERGROUND IRRIGATION PIPE LATERALS, CONTACT THE PRIVATE LANDSCAPE INSPECTOR AT (310) 458-8405."
- "AFTER IRRIGATION SYSTEM INSTALLATION IS COMPLETED INSTALLER SHALL TEST THE IRRIGATION SYSTEM TO VERIFY THAT IT MEETS THE APPROVED DESIGN AND SPECIFICATIONS."
- "AFTER IRRIGATION SYSTEM INSTALLATION IS COMPLETED INSTALLER MUST PROGRAM THE IRRIGATION CONTROLLER."
- "POST-INSTALLATION SOIL TEST RESULTS MUST BE SUBMITTED AT TIME OF FINAL SITE INSPECTION AND MUST CONTAIN THE FOLLOWING: PERCENTAGE (%) OF ORGANIC MATTER; SOIL TEXTURE; INFILTRATION RATE OR SOIL TEXTURE INFILTRATION RATE TABLE; PH; TOTAL SOLUBLE SALTS; SODIUM; AND RECOMMENDATIONS DETERMINED BY LABORATORY TEST." LANDSCAPES CONTAINED ENTIRELY IN PLANTERS OR CONTAINERS ARE EXEMPT FROM THIS REQUIREMENT.
- "A DETAILED IRRIGATION CONTROLLER MAP MUST BE INSTALLED INSIDE OR NEAR THE IRRIGATION CONTROLLER WITH A DESCRIPTION FOR EACH ZONE INCLUDING THE FOLLOWING AT A MINIMUM: PLANT MATERIAL, WATERING DEVICE, VALVE OR STATION NUMBER, RUN TIME FOR PEAK DEMAND MONTH AND PRECIPITATION RATE."
- "THE IRRIGATION SCHEDULE MUST BE POSTED INSIDE THE IRRIGATION CONTROLLER HOUSING UNIT BY THE INSTALLER."
- "THE IRRIGATION SYSTEM MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS."
- "THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION TO CHECK FOR ADHERENCE TO THE DESIGN, INCLUDING THAT THE PROPER INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY, MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS, AND SENSORS MEETS THE INTENT OF THE IRRIGATION DESIGN PLAN AS DESIGNED AND APPROVED."



4-20-2020

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DATE: 4/20/2020  
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DATE: 4/20/2020  
REVISIONS:

SHEET TITLE:

IRRIGATION PLAN

SHEET NUMBER:

L300





# ROOF DECK

## Trees / Large Shrubs



*Grevillea 'Peaches and Cream'*  
Peaches and Cream Grevillea



*Erythrina coralloides 'Bicolor'*  
Naked Coral Tree

## Shrubs / Ground Cover



*Baccharis pilularis 'Pigeon Point'*  
Pigeon Point Coyote Brush



*Bouteloua gracilis 'Blonde Ambition'*  
Blonde Ambition Blue Grama



*Leonotis leonurus*  
Lion's Tail



*Pedilanthus cymbiferus*  
Mini Lady Slippers



*Rosmarinus officinalis 'Huntington Carpet'*  
Huntington Carpet Rosemary



*Yucca filamentosa 'Golden Sword'*  
Golden Sword Yucca

# COURTYARD

## Trees / Large Shrubs



*Beaucarnea recurvata*  
Bottle palm



*Cupressus sempervirens 'Swane's Gold'*  
Swane's Gold Italian Cypress

## Shrubs / Ground Cover



*Dichondra argentea 'Silver Falls'*  
Silver Falls Dichondra



*Sanseveria zeylanica*  
Zeylanica Snake Plant



*Sedum morganianum*  
Burro's Tail Sedum



*Senecio 'Fish Hooks'*  
Fish Hooks Senecio



*Tradescantia zebrina pendula*  
Spider Wort



*Yucca filamentosa 'Color Guard'*  
Color Guard Adam's Needle



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**ARB SUBMITTAL**

JOB NUMBER:  
DATE: 4/20/2020  
REVISIONS:

SHEET TITLE:  
**PLANT PALETTE**

SHEET NUMBER:  
**L500**







1 TRELLIS-MOUNTED DOWNLIGHT AT ROOFTOP TRELLIS

2 RECESSED LED DOWNLIGHT IN WOOD SOFFIT AT EACH UNIT BALCONY

3 SURFACE-MOUNTED LED ACCENT LIGHT, FIXTURE TO BE MOUNTED TO WOOD POST SHINING DOWN

4 RECESSED LED DOWNLIGHT IN WOOD SOFFIT

1 TRELLIS-MOUNTED DOWNLIGHT AT ROOFTOP TRELLIS

**EL CAPITAN™**

PROJECT: \_\_\_\_\_  
 TYPE: F14  
 CATALOG NUMBER: \_\_\_\_\_  
 SOURCE: \_\_\_\_\_  
 NOTES: FACTORY-MODIFIED - NO CANOPY - 1/2" NPS CONNECTION ONLY

**CATALOG NUMBER LOGIC**

Example: EC - LED - e65 - SP - A7 - BLW - 12 - 11 - B

**Material**  
 Blank - Aluminum  
 B - Brass  
 S - Stainless Steel

**Series**  
 EC - El Capitan Series™

**Source**  
 LED - "W" Technology with Integral Dimming Driver (See Specifications for Dimming) designed for use with remote (240V, 60Hz) transformers. Requires appropriate low voltage driver.

**LED Type**  
 e64 - 7W LED 2.7k  
 e65 - 7W LED 2k  
 e66 - 7W LED 4k  
 e74 - 7W LED Amber

**Optics\***  
 NSP - Narrow Spot (Red Indicator)  
 SP - Spot (Green Indicator)  
 MFL - Medium Flood (Yellow Indicator)  
 WFL - Wide Flood (Blue Indicator)

**Adjust-Lume® Output Intensity** (Choose factory setting)  
 A9 (Standard), A8, A7, A6, A5, A4, A3, A2, A1

**Finish**

Aluminum Finish			Brass Finish			Premium Finish				
Powder Coat Color	Setin	Wrinkle	Machined	IMAC	ABP	Antique Brass Powder	CMG	Cascade Mountain Granite	RMG	Rocky Mountain Granite
Bronze	BLP	BZW	Polished	POL	AMG	Alaskan Mountain Granite	CR	Cracked Ice	SDS	Sonoran Desert Sandstone
Black	BLP	BLW	Mitque™	MIT	AQW	Antique White	CRM	Cream	SMG	Serra Mountain Granite
White (Gloss)	WHP	WHW	Machined	MAAC	BCM	Black Chrome	HUG	Hunter Green	TYF	Textured Forest
Aluminum	SAP	---	Polished	POL	BGE	Beige	MDS	Mojave Desert Sandstone	WCP	Weathered Copper
Venite	---	VER	Brushed	BRU	BPP	Brown Patina Powder	NBP	Natural Brass Powder	WR	Weathered Iron
					CAP	Clear Anodized Powder	OCF	Oil Copper		

**Lens Type**  
 12 - Soft Focus Lens  
 13 - Rectilinear Lens

**Shielding**  
 11 - Honeycomb Baffle\*

**Cap Style**  
 A - 45°  
 B - 90°  
 C - Flush  
 D - 45° less Weep Hole (interior use only)  
 E - 90° less Weep Hole (interior use only)  
 F - 90° cutoff with Flush Lens

\*Accommodates up to 2 Lens Shielding Media

2 RECESSED LED DOWNLIGHT IN WOOD SOFFIT AT EACH UNIT BALCONY

**3" acrobat LED Downlight IC/CEA New Construction Housing**  
 Round or Square / Trimmed or Trimless

Catalog #: \_\_\_\_\_ Type: \_\_\_\_\_  
 Project: \_\_\_\_\_ Date: \_\_\_\_\_  
 Notes: \_\_\_\_\_

**Housing Dimensions**

Round: 4-3/4" diameter, 5-1/4" height, 1-3/4" depth. Ceiling cut-out: 4-3/8" Ø.

Square: 4-3/4" side, 5-1/4" height, 1-3/4" depth. Ceiling cut-out: 4-3/8" x 4-3/8".

**Trim Dimensions**

Round Trimmed: 3-13/16" diameter, 1-1/4" height.

Round Trimless: 3-13/16" diameter, 1-1/4" height.

Square Trimmed: 3-13/16" side, 1-1/4" height.

Square Trimless: 3-13/16" side, 1-1/4" height.

Flange finish and Reflector finish options are shown.

3 SURFACE-MOUNTED LED ACCENT LIGHT - FIXTURE TO BE MOUNTED TO WOOD POST SHINING DOWN

**MINI-MICRO™ CYLINDER**

PROJECT: \_\_\_\_\_  
 TYPE: \_\_\_\_\_

**FRONT VIEW**  
 2 3/4" O.C. (70mm), 3 1/2" Dia. (90mm), 1 1/2" (38mm)

**"A/D" CAP**  
 2 5/8" (67mm), 1 1/2" (38mm), 4 9/16" (116mm), 3 1/8" (79mm), 3 3/8" (86mm), 1 1/2" (38mm)

**"B/E" CAP**  
 2 5/8" (67mm), 1 1/2" (38mm), 4 3/8" (110mm), 3 1/8" (79mm), 2 7/8" (73mm), 3 3/8" (86mm), 1 1/2" (38mm)

**"C" CAP**  
 2 5/8" (67mm), 1 1/2" (38mm), 4 1/4" (108mm), 2 5/8" (67mm), 3 3/8" (86mm), 1 1/2" (38mm)

**CANOPY DETAIL**  
 2 3/4" O.C. (70mm), 3 1/8" (79mm), 3 1/2" Dia. (90mm)

**Accessories** (Configure separately)  
 Remote options: TR Series, URM™

**SPECIFICATIONS**

**GreenSource Initiative™**  
 Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy produced on site. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFCs). Use of this product may qualify for GreenSource efficacy and recycling rebates. Consult: www.bklighting.com/greensource for program requirements.

**Materials**  
 Furnished in Copper-Free Aluminum (Type 6061-T6), Brass (Type 304) or Stainless Steel (Type 304).

**Body**  
 Fully machined from solid billet. Unibody design provides enclosed, waterproof wetway and integral heat sink for maximum component life. High temperature, silicone 'O' Ring provides water-tight seal.

**Cap**  
 Fully machined. Accommodates (1) lens or louver media. Choose from 45° cutoff (A or B), 3/8" deep bowl with 90° cutoff (S or E), or flush lens (C) cap styles. 'A' and 'S' caps include weep-hole for water and debris drainage. 'D' and 'E' caps exclude weep-hole and are for interior use only.

**Lens**  
 Shock resistant, tempered, glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment. Specify soft focus (#12) or rectilinear (#13) lens.

**Optics**  
 OPTIK™ modules are color-coded for easy reference: Narrow Spot (NSP) - Red, Spot (SP) - Green, Medium Flood (MF) - Yellow and Symmetrical (ASY) - Purple.

**Installation**  
 3-1/2" dia. machined canopy permits mounting to 3" octagonal junction box or 4" junction box with nut ring (by others). Suitable for uplight or downlight installation.

**Wiring**  
 XLP, 18GA, 150C-600V, rated and certified to UL331.

**Remote Transformer**  
 For use with 120V, 60Hz remote transformer or magnetic transformers only. B-K Lighting cannot guarantee performance with third party manufacturer's transformers.

**Hardware**  
 Tamper-resistant, stainless steel hardware. Canopy mounting screws are additionally black oxide treated for additional corrosion resistance.

**Finish**  
 Integral non-dimming driver. Minimum 50,000 hour rated life at 70% of initial lumens (L70). BKSLS technology provides long life, significant energy reduction and exceptional thermal management.

**StarGuard™**, our exclusive RoHS compliant, 15 stage chromate-free process, cleans and conversion coats aluminum components prior to application of Class 'A' TGCC polyester powder coating. Brass components are available in powder coat or handcrafted metal finish. Stainless steel components are available in handcrafted metal finish. (Brushed finish for interior use only).

**Warranty**  
 5 year limited warranty.

**Certification and Listing**  
 (UL listed to ENEC, IEC, UL, Listed, Certified to CAN/CSA/ANSI Standards, RoHS compliant. Suitable for indoor or outdoor use. Suitable for use in wet locations. IP66 Rated. Made in USA.

**RoHS** and **CE** logos are present.

4 RECESSED LED DOWNLIGHT IN WOOD SOFFIT

**3" acrobat LED Downlight IC/CEA New Construction Housing**  
 Round or Square / Trimmed or Trimless

Catalog #: \_\_\_\_\_ Type: \_\_\_\_\_  
 Project: \_\_\_\_\_ Date: \_\_\_\_\_  
 Notes: \_\_\_\_\_

**Housing Dimensions**

Round: 4-3/4" diameter, 5-1/4" height, 1-3/4" depth. Ceiling cut-out: 4-3/8" Ø.

Square: 4-3/4" side, 5-1/4" height, 1-3/4" depth. Ceiling cut-out: 4-3/8" x 4-3/8".

**Trim Dimensions**

Round Trimmed: 3-13/16" diameter, 1-1/4" height.

Round Trimless: 3-13/16" diameter, 1-1/4" height.

Square Trimmed: 3-13/16" side, 1-1/4" height.

Square Trimless: 3-13/16" side, 1-1/4" height.

Flange finish and Reflector finish options are shown.

**B-K LIGHTING** 40409 Brickyard Drive • Madera, CA 93638 • USA  
 559.438.5800 • FAX 559.438.5900  
 www.bklighting.com • info@bklighting.com

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**CSL CREATIVE SYSTEMS LIGHTING**

**B-K LIGHTING** 40409 Brickyard Drive • Madera, CA 93638 • USA  
 559.438.5800 • FAX 559.438.5900  
 www.bklighting.com • info@bklighting.com

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**CSL CREATIVE SYSTEMS LIGHTING**

# 1323 5th Street

## Exterior Signage Master Plan and Retail Tenant Signing Criteria

Revised April 20, 2020

BECK & GRABOSKI  
*D e s i g n O f f i c e*

Telephone 310 393 9325

247 Sixteenth Street Santa Monica California 90402

ST1  
Building  
Address

5TH STREET

C-1  
Retail  
Tenant  
Signs



ST3  
Loading  
Space  
Identification

5TH COURT - ALLEY

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**1323 5th Street**  
**Santa Monica**  
**1323 5th Street, LLC**

Date April 20, 2020  
Job 654  
Scale  
Drawn By  
Check  
Revised

**SP**

**BECK & GRABOSKI**  
D e s i g n O f f i c e

Telephone 310 383 9325  
247 Sixteenth Street Santa Monica California 90402

# 1323 5th Street - Sign Dimensions and Square Footage

Sign Type	Description	Quantity	Dimensions	Square Footage	Total Square Footage
<i>Building Signage:</i>					
1	Project Identification - Address	1	1'-0"h x 6'-9"w	6.75 sq ft	6.75
3	Loading Area Identification (if used)	1	2'-0"h x 2'-0"w	4 sq ft	4
<b>Total Square Footage of All Building Signage</b>					<b>10.75 sq ft</b>

*Individual retail tenant signage not included in total:*

C-1 Tenant Sign on Canopy: 25 sq ft maximum each      1 tenant signs      25 sq ft

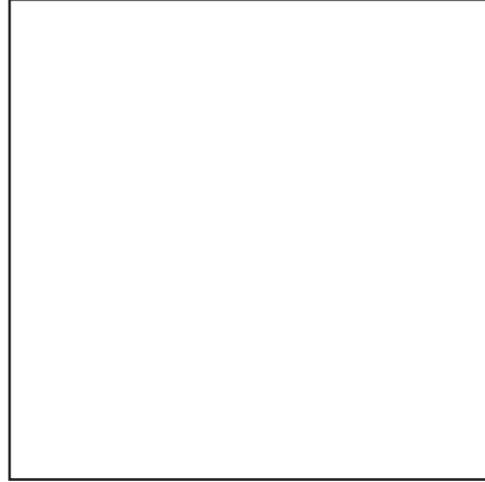
Street Frontage along 5th Street = 49 feet

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**Santa Monica**  
**1323 5th Street, LLC**

Date: April 20, 2020  
 Job: 654  
 Scale:  
 Drawn By:  
 Check:  
 Revised:

**SqFt**



Translucent White acrylic  
for sign faces  
Rhom & Hass or equal



#316 Alloy Stainless Steel  
with #4 horizontal brushed finish



Project Black - Semi-Gloss

Date April 20, 2020  
Job 654  
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**Colors**

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**BECK & GRABOSKI**  
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247 Sixteenth Street Santa Monica California 90402



Halo illumination effect illustration



Front View

3" deep fabricated from #316 horizontal brushed stainless reverse channel steel letters with LED Halo-lit illumination (Blue)

Numbers to have white translucent Lexan back defusers and the numbers to be pinned off wall by 1"

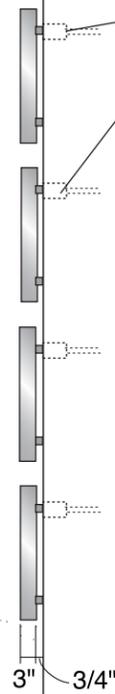
No exposed fasteners on numbers Ease all edges and corners

Project Type Style: News Gothic MT

See drawing ST1.1 for elevation

Sign Type 1 Address Identification  
Scale: 1/2"=1'-0"

Face of building



Face of building

Side View

Owner will provide conduit & "J" box to site of each number- Coordinate with sign fabricator for placement of junction box

All electrical to be on dedicated 220 Volt, 20 amp circuit

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Date April 20, 2020  
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Sign Type 1 Address Identification  
Scale: 1/2"=1'-0"

ST1 Address sign

C-1 Retail Tenant Criteria

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**1323 5th Street**  
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**1323 5th Street, LLC**

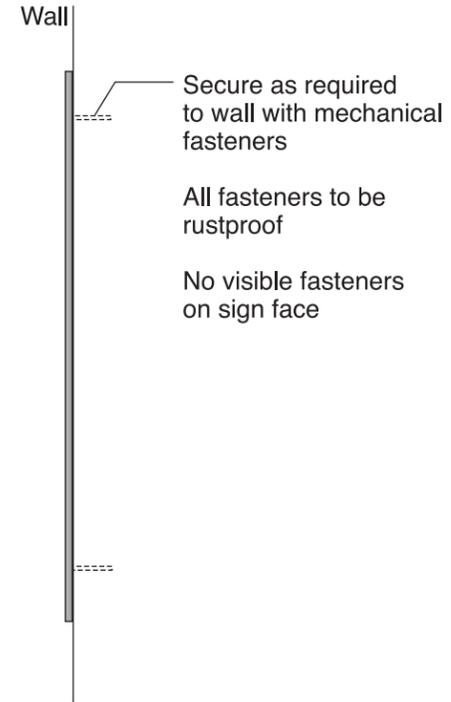
Date April 20, 2020  
Job 654  
Scale  
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Sign Type 3 Passenger Loading Identification  
Scale: 1 1/2"=1'-0"

- Verify heights for each location
- No visible fasteners
- All hardware to be rustproof
- All paint to be Matthews Acrylic Polyurethane semi-gloss with clear graffiti guard

- 1/8" painted aluminum panel with graphics digital graphics
- Clear graffiti guard finish
- Exterior sign location
- White text and arrows
- Background painted project Black
- Quantity: 1 signs  
Arrows point into loading area



Side View

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Date	April 20, 2020
Job	654
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Each tenant shall be allowed one square foot of signage for every foot of street frontage front and meet all City ordinances.

A maximum of 25 square foot of signage will be allowed per sign. Corner tenants may have a second sign on adjacent street front at owners discretion and if it meets code requirements

Signs to be centered over tenant's entrance or store front if possible

.080 thick individual fabricated #316 alloy brushed stainless steel letters with front illuminated channel letters with white acrylic faces. No trim caps. or letters may be reverse channel letters with backers behind individual letters but no full back panel or sign cabinet for halo-lit letters

No exposed fasteners on logos, letters and cabinet face, sides, or bottom

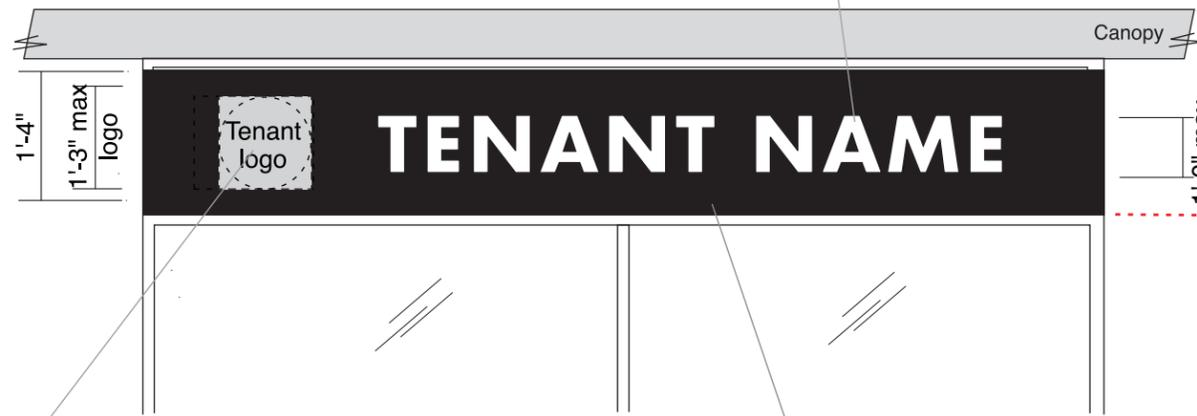
Signage shall be maximum 3" deep fabricated aluminum cabinet and 1'-3" maximum height for logo 1'-0" maximum height for letters

All illumination shall be LED with a color temp. of 6500K

Signage shall consist of the tenants' name and logo only. No telephone numbers or .com's are allowed on the signage

Sign colors are limited to White acrylic faces or reverse channel brushed stainless steel letters on satin Black cabinet. No other colors permitted.

All structural engineering is the responsibility of the tenant



The baseline of all tenant signs shall always align at the same level

Tenant logo shape not to exceed 1'-3" in height and width or a total of 6 sq ft

Square footage of logo is part of overall sign square footage allowed

Tenant shall submit design drawings to owner for review and approval prior to submitting to City for a sign permit

All engineering and permits are the responsibility of the tenant

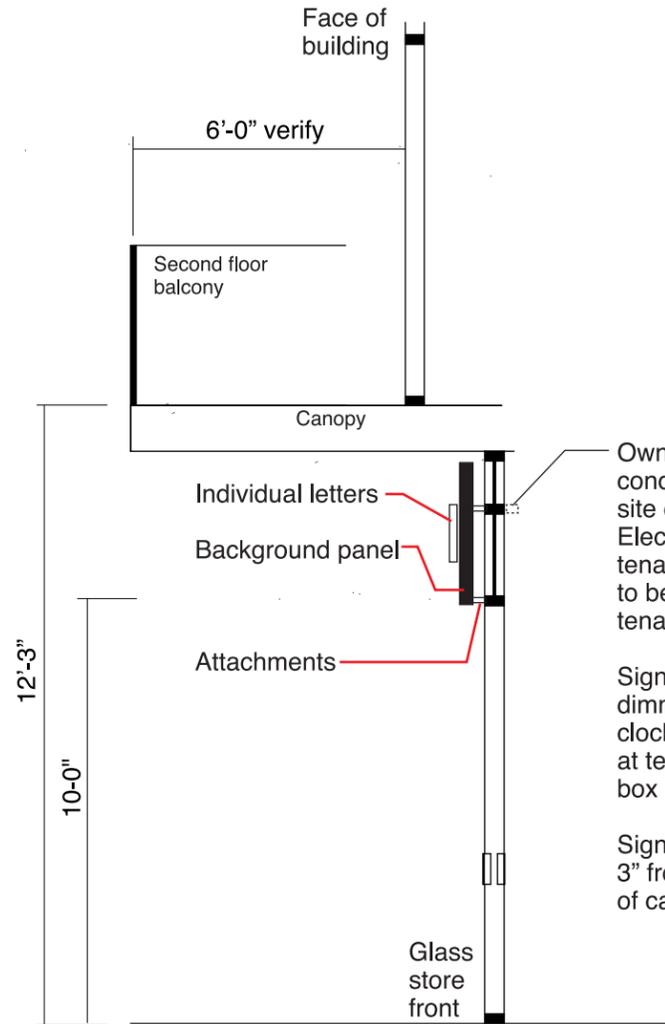
Each tenant sign shall be reviewed on an individual basis. Creativity, good design and high quality materials are encouraged

Letters to be mounted to Black 3" deep cabinet hanging from posts as required.

No trim caps allowed

All fasteners to be rustproof

See drawings 1.1 for full elevations



Owner will provide conduit & "J" box to site of signage- Electrical wiring by tenant. All electrical to be run back to tenant's meter

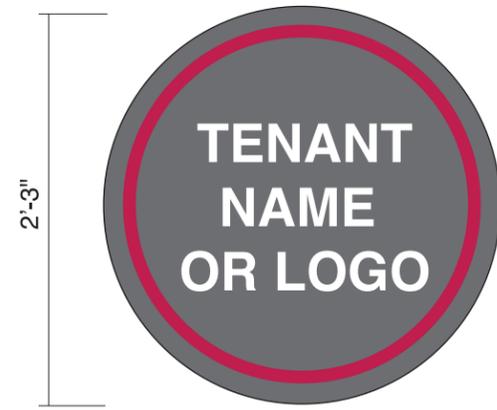
Signs to have dimmers and time clocks installed at tenant's breaker box

Sign set back 3" from edge of canopy

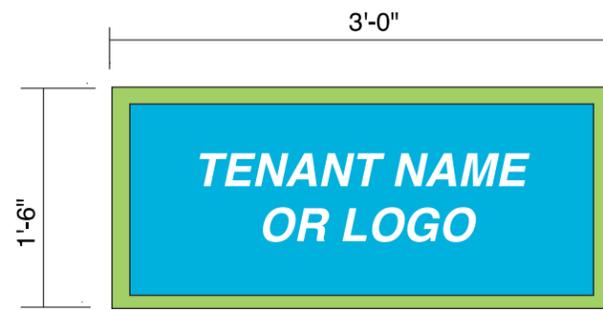
Side Section Scale: 1/4"=1'-0"

C-1 Retail Tenant Sign Criteria - Sign Under Canopy Scale: 1/4"=1'-0"

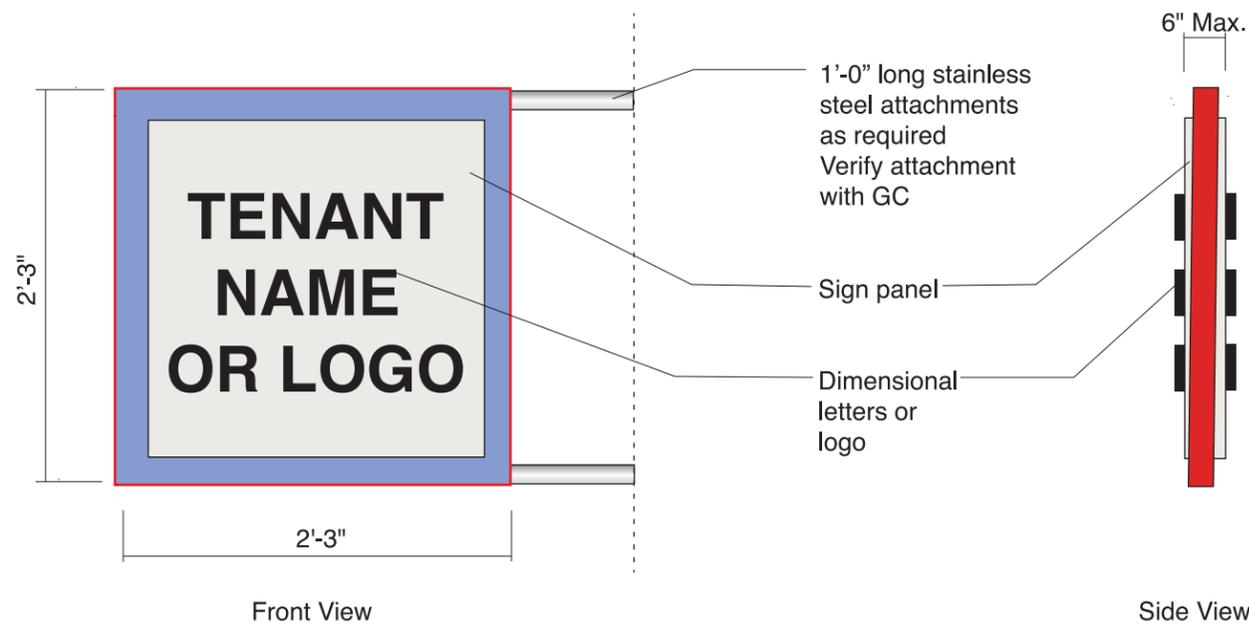
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Shape Options - Side View  
Scale: 1"=1'-0"



Shape Options - Side View  
Scale: 1"=1'-0"



C-2 Retail Tenant Sign Criteria - Blade Type Tenant Identification Signage  
Scale: 1"=1'-0"

Each tenant shall be allowed ONE blade type sign in addition to their main identification signage.

A flag mounted blade sign can not exceed 5 square feet on each side and the square footage must be included in tenant's total allowed square footage as calculated by the City.

Creativity is encouraged in designing blade type signage. Dimensional signs are encouraged. Flat panels are discouraged.

Shapes are open and mounting shall be from a solid face of the building or the underside of the canopy. Mounting to be of contemporary style to compliment building design.

All structural and wind loads are to be approved prior to fabrication of any signs.

Locations of blade signs must be approved by owner prior to fabrication of the signs

Signs can be made from any non-combustable material as required by code

Signage shall consist of the tenants' name and logo only.

Sign to be double faced.

Color, style and typography are up to tenants' discretion.

Sign width is not to exceed 6"

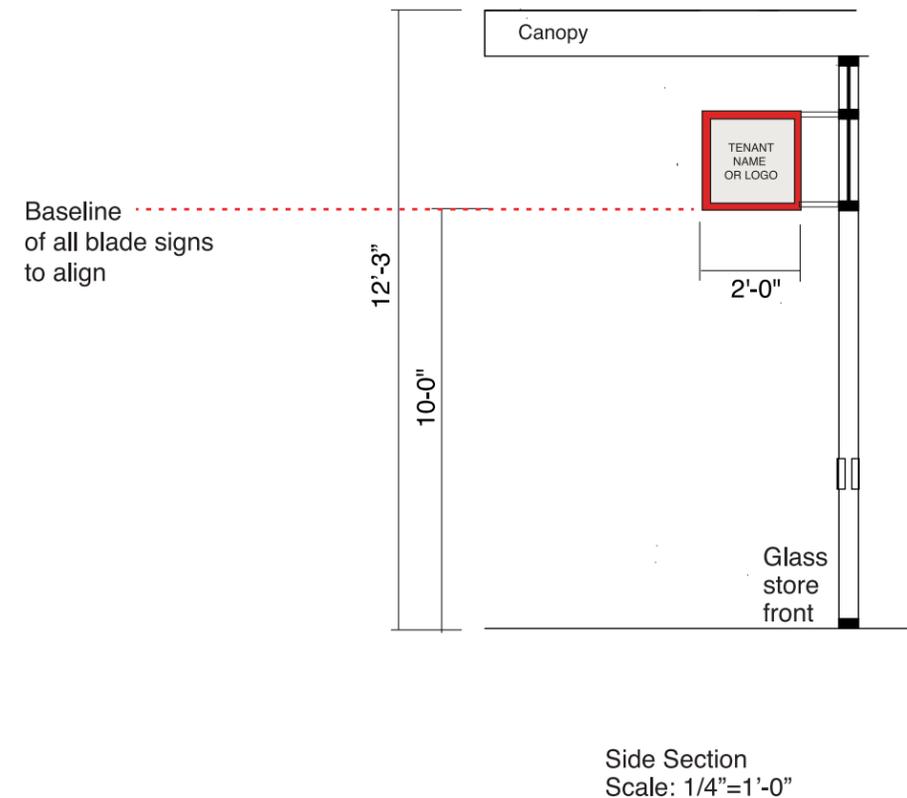
All mounting hardware and fasteners must be rustproof.

Blade signs shall be NON-ILLUMINATED.

Each tenant shall be responsible for obtaining City approvals and permits at their own expense

The cost of all fabrication, installation and permits is the sole responsibility of the tenant. All electrical to be run back to tenant's meter.

Tenant shall obtain written approval from landlord prior to submitting signage to City for review and approval.



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1323 5th Street, LLC

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C-2

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