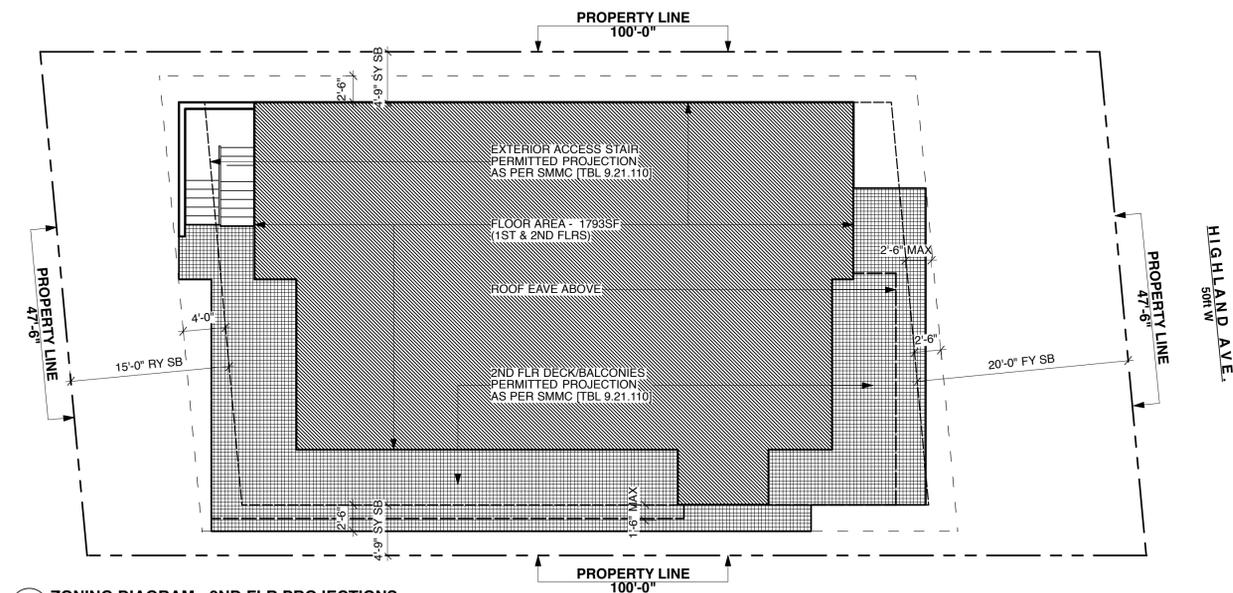
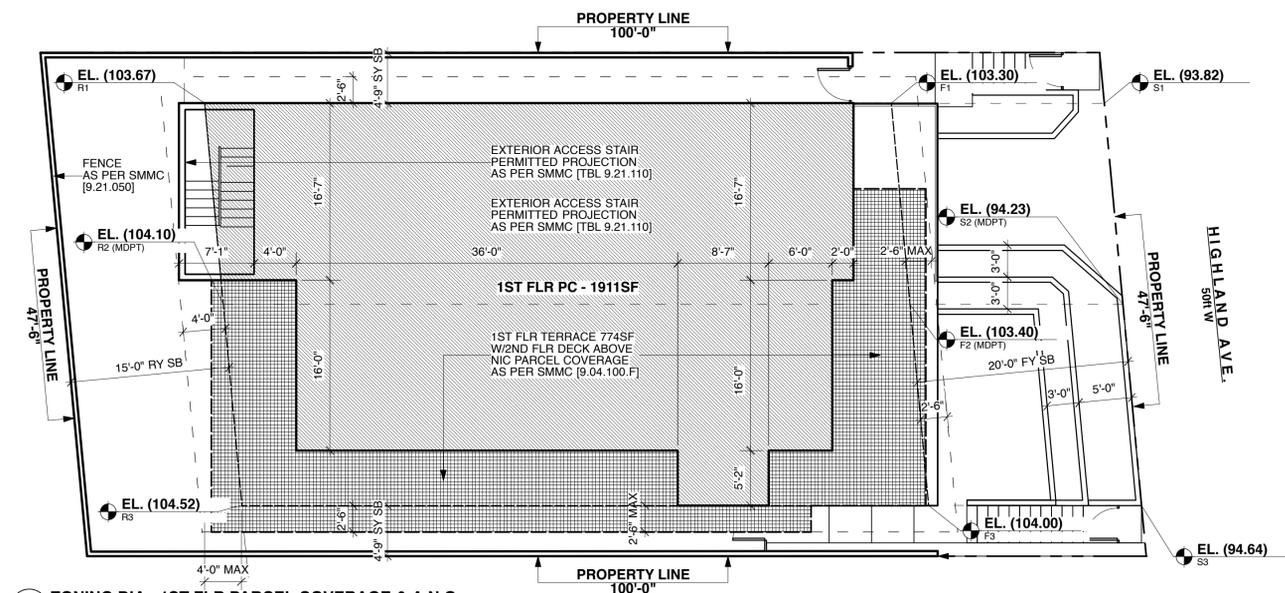


1 ZONING DIA- ROOF PROJECTIONS & HGT EXCEPTIONS
SCALE: 1/8"=1'-0"



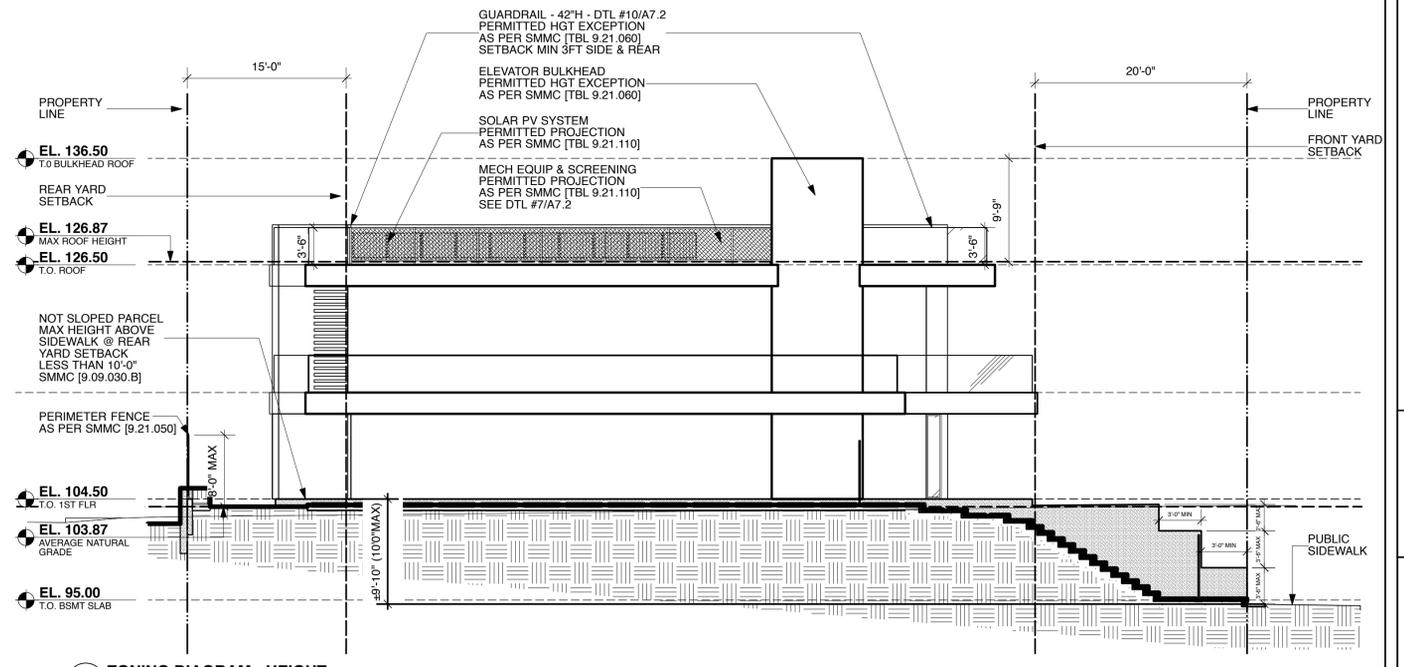
2 ZONING DIAGRAM - 2ND FLR PROJECTIONS
SCALE: 1/8"=1'-0"



3 ZONING DIA - 1ST FLR PARCEL COVERAGE & A.N.G.
SCALE: 1/8"=1'-0"

ZONING CALCULATIONS

DIA #	SMMC SECTION	DESCRIPTION	Average Natural Grade as per 9.04.050.A.1 Utilized			
2	9.04.050 A.	Building Height	N/W (R1)	103.67		
			N/E (F1)	103.30		
			S/W (R3)	104.52		
			S/E (F3)	104.00		
			AVG NAT GRADE	415.49	103.87	
5	9.51.020.A.1.c TBL 9.09.030	Allowable Land Uses	OP2	Duplex		
		Property Development Standards	Property to be Developed Using Tier 1 Standards			
		Min. Parcel Dimensions	N/A	Existing Lot		
		Max. Building Hgt	2 Stores			
			23ft	Lot Depth (ft)	100.00	Lot Width (ft)
					47.50	Lot Area (sf)
					4728.00	Proposed MPC
					2364.00	1911.00
2	1,2&3	Max. Parcel Coverage (MPC)	Req'd %	50%	4728.00	40.42%
1,2&3		Front Yd Setback	20ft			
1,2&3		Rear Yd Setback	15ft			
		Side Yd Setback	4.75ft			
3	9.09.030.B	Max Hgt Sloped Parcel OP2	Not Applicable	PT R1: 103.67 -	PT S1: 93.82 = 9.85ft < 10ft	
				PT R2: 104.10 -	PT S2: 94.23 = 9.87ft < 10ft	
				PT R3: 104.52 -	PT S3: 94.64 = 9.88ft < 10ft	
1	9.03.030 E	Roof Deck Handrail	3.5ft			
	9.03.030 G.	Open Space & Landscaping	Unit 1	Req'd 60sf min	Proposed 660sf	
			Unit 2	60sf min	660sf	
			Total	150sf min	1320sf	
3	9.21.050.A	Fences, Walls & Hedges		3'6" Front Setback		
2				8'0" Side & Rear Setback	12ft - Hedge	
3		Height Projections				
	TBL 9.21.060	Mech Equip Max Roof Coverage	25%	40sf/2484sf =	1.61%	
		Elevator Bulkhead Max Roof Coverage	25%	50sf/2484sf =	2.01%	
1		Guardrails	As Required			
1		Outdoor Living	Element			
			Planters	210sf		
			BBQ	100sf		
			TOTAL	310sf/2484sf =	12.48%	
1,2,4&5	9.21.110	Projections Into Req'd Setbacks	Front	Side	Rear	
		Eaves, Awnings & Belt Courses	2'6"	1'6"	4ft	
		Patios	6ft	No Limit	No Limit	
		2nd Flr Decks In OP2	2'6"	2'6"	4'0"	
		Water Heaters	1'6"	1'6"	1'6"	
		Required Parking	2 space/Unit	4 spaces Req'd		
4	TBL 9.28.060 9.28.070.B 9.28.070.B.2	Location of Parking - Subterranean Parking				
		Opening	At or behind main building line			



5 ZONING DIAGRAM - HEIGHT
SCALE: 1/8"=1'-0"

Gregory H Ginter
ARCHITECT
1525 Pearl Street
Santa Monica, CA 90405
(Tel) 310-314-1984
greg@ghgarch.com



COMMENTS
For ARB REVIEW

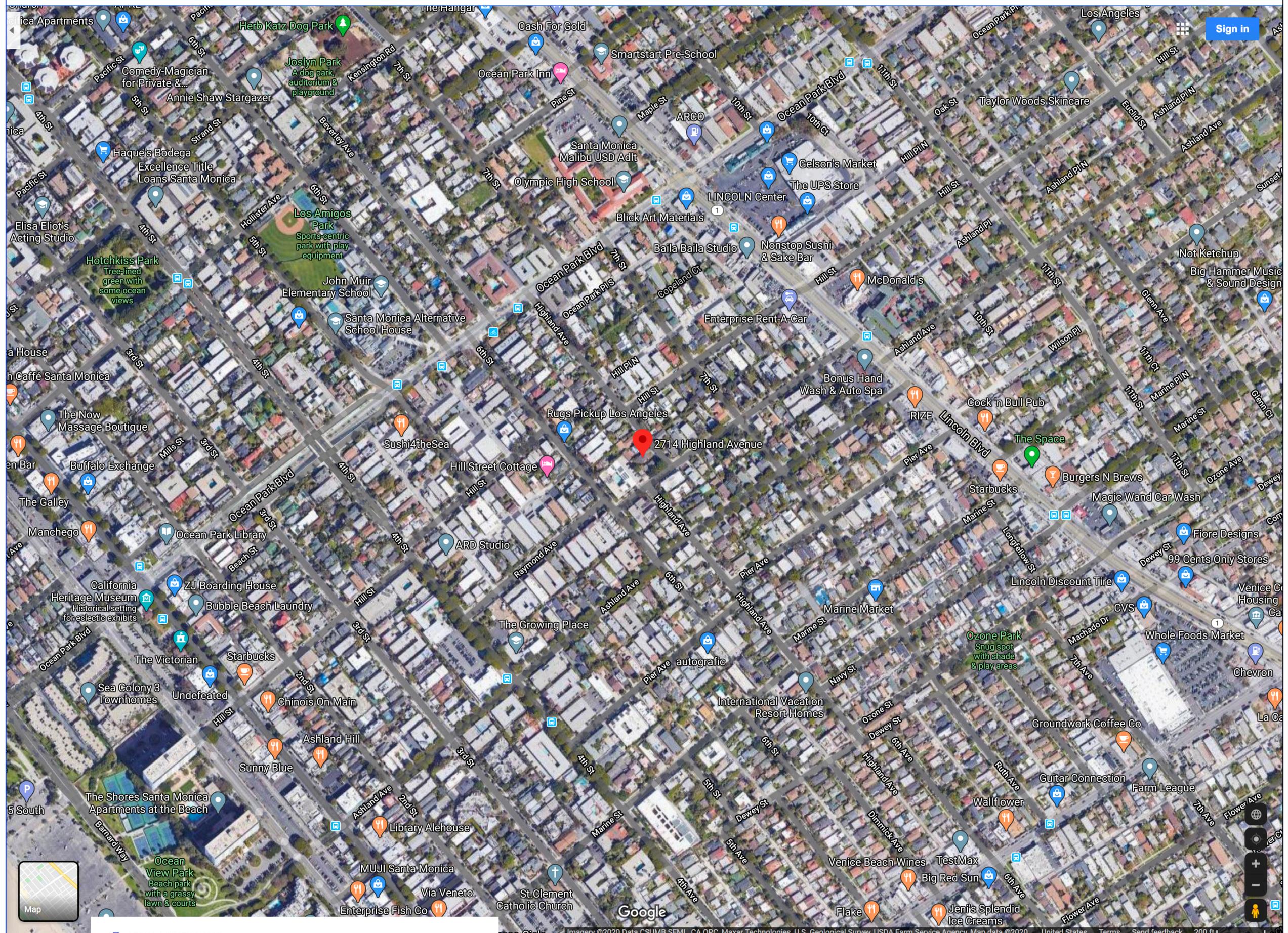
DATE
04-04-20

ISSUED
SM DCP

MAHADEVAN RESIDENCE
2714 HIGHLAND AVE., SANTA MONICA, CA 90405
Drawing Title
ZONING ANALYSIS & DIAGRAMS
Scale
AS NOTED

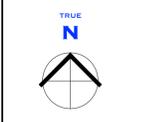
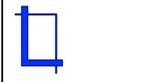


A0.1



1 AERIAL LOCATION MAP
NOT TO SCALE

Gregory H Ginter
ARCHITECT
1525 Pearl Street
Santa Monica, CA 90405
(Tel) 310-314-1984
greg@ghgarch.com



DATE	ISSUED	COMMENTS
04-04-20	SM DCP	FOR ARB APPROVAL

DATE	04-04-20
ISSUED	SM DCP

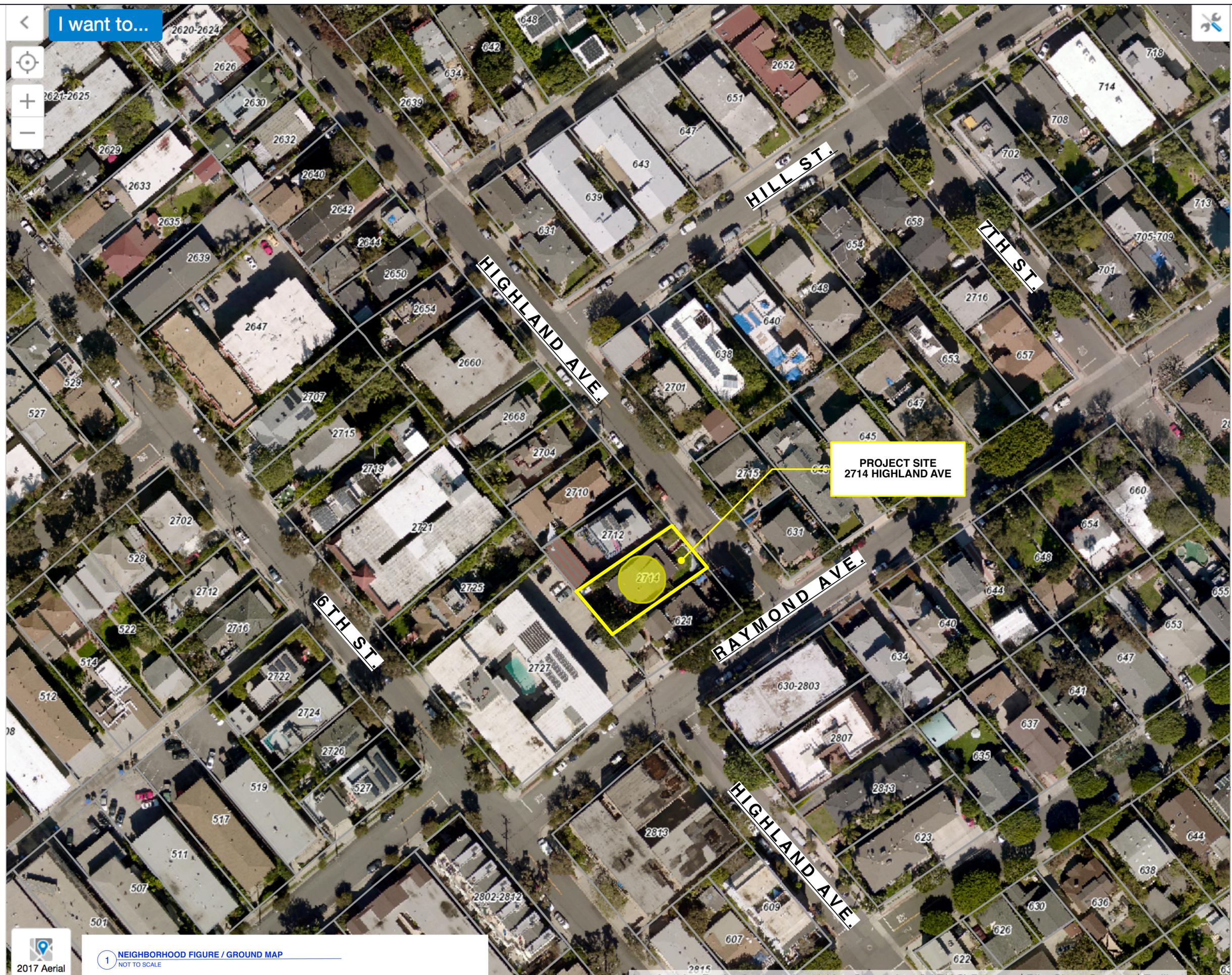
MAHADEVAN RESIDENCE
2714 HIGHLAND AVE, SANTA MONICA, CA 90405
Drawing Title
AERIAL LOCATION MAP



A0.6

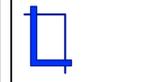


I want to...



1 NEIGHBORHOOD FIGURE / GROUND MAP
NOT TO SCALE

Gregory H Ginter
ARCHITECT
1525 Pearl Street
Santa Monica, CA 90405
(Tel) 310-314-1984
greg@ghgarch.com



COMMENTS	For ARB APPROVAL
----------	------------------

DATE	04-04-20
------	----------

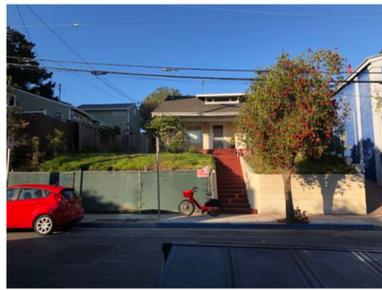
ISSUED	SM DCP
--------	--------

MAHADEVAN RESIDENCE	2714 HIGHLAND AVE, SANTA MONICA, CA 90405
Drawing Title	NEIGHBORHOOD FIGURE / GROUND MAP
Scale	NONE

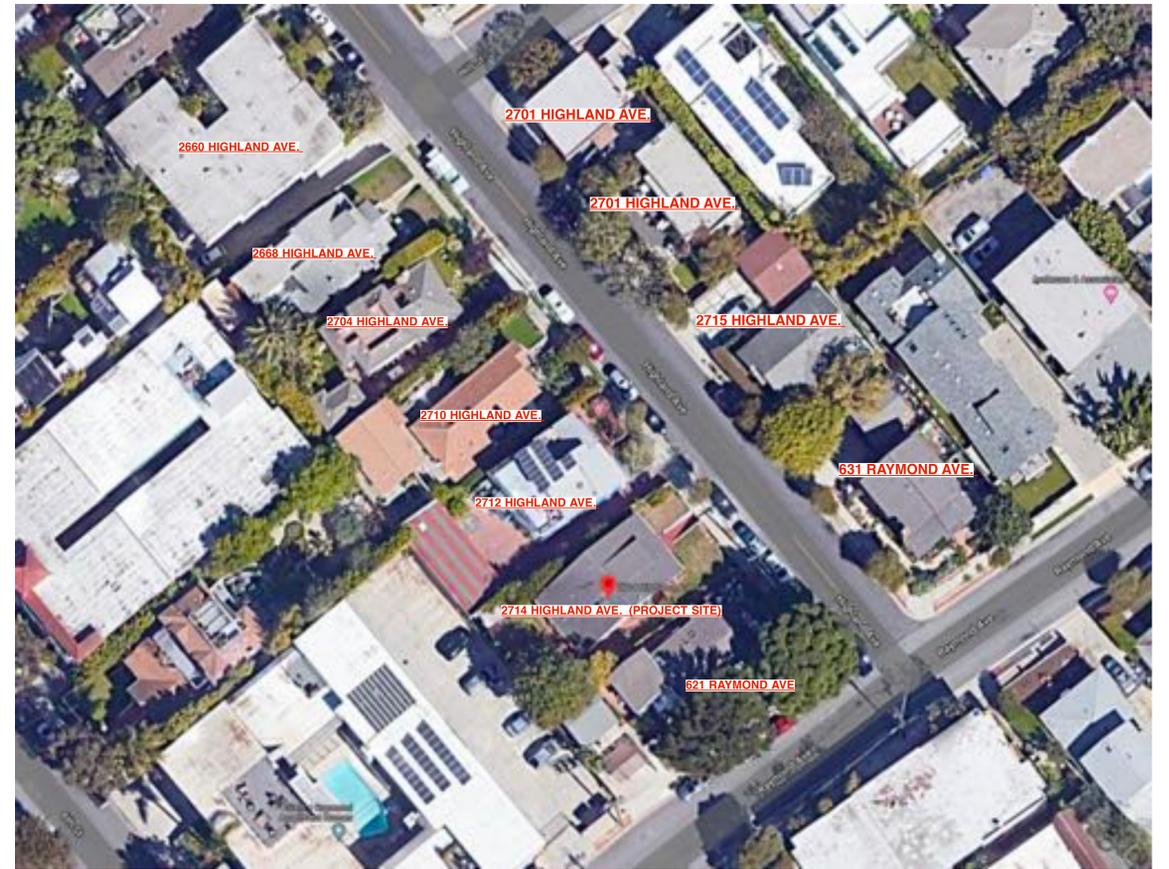


A0.7

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGN AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



2714 HIGHLAND AVE. (PROJECT SITE)
EXISTING



3 PHOTO KEY MAP
NOT TO SCALE



621 RAYMOND AVE



2714 HIGHLAND AVE. (PROJECT SITE)
PROPOSED



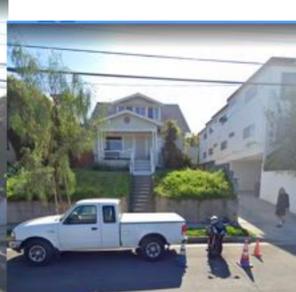
2712 HIGHLAND AVE.



2710 HIGHLAND AVE.



2704 HIGHLAND AVE.



2668 HIGHLAND AVE.



2660 HIGHLAND AVE.

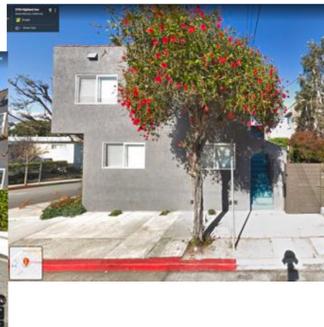
1 PHOTO MONTAGE - HIGHLAND AVE WEST
NOT TO SCALE



631 HILL ST.



HILL ST / HIGHLAND AVE.



2701 HIGHLAND AVE.



2701 HIGHLAND AVE.



2715 HIGHLAND AVE.



631 RAYMOND AVE.

2 PHOTO MONTAGE - HIGHLAND AVE EAST
NOT TO SCALE



COMMENTS
For ARB APPROVAL

DATE
04-04-20

ISSUED
SM DCP

MAHADEVAN RESIDENCE 2714 HIGHLAND AVE, SANTA MONICA, CA 90405	Scale NONE
Drawing Title PHOTO MONTAGE / PROJECT RENDERING	



TREE PROTECTION ZONE NOTES:

- Limits of tree protection zone to be determined by City Forester.
- Co-ordinate all off-site improvements within the Tree Protection Zone with City Forester Office.
- No construction materials or activities allowed in this area.
- Pruning of city trees to provide clearance for construction activities shall only be done by City of Santa Monica Community Forest Operations.
- Trees within the public right-of-way may not be removed for any reason and are to be protected from injury or damage during construction. This tree is a significant tree in the City of Santa Monica. Pruning shall only be done by City Tree Trimmers to provide clearance for construction activities. All questions regarding street trees are to be directed to the Community Forester.
- The typical TPZ should encompass the canopy plus an additional radial width of 10 feet. However, since these conditions are unique, the application should be evaluated with the final limits of the TPZ being established by the Community Forester.
- Mulch the entire area of the TPZ in an effort to improve the growing environment for the roots. During the construction phase maintain a 4"-6" layer of chip mulch over the soil surface to reduce soil compaction, improve aeration, enhance moisture retention and reduce temperature extremes. Mulch generally consists of shredded leaves or bark, pine straw, peat moss, wood chips or composted greenwaste.
- Fence the TPZ with suitable fencing material to prevent wounds to the tree and soil compaction within the root zone. Post the fence with a sign stating:
"TREE PROTECTION ZONE - KEEP OUT"
Fence shall have posts imbedded into the ground.
- Should it be necessary to trench within the TPZ all trenches shall be hand dug. No roots larger than 2" shall be cut unless no other alternative is feasible. All smaller roots that require cutting shall be cut with pruning saws. Cuts shall be made flush with the side of the trench. If at any time 25% of the area within the TPZ is being separated from the tree by a trench, then the line shall be either relocated or installed by boring.
- Removal of Hardscape materials from the TPZ shall be done manually.
- The minimum distance between an open trench and any tree shall be between 6" and 12" for every inch of trunk diameter measured at 4.5 feet above the existing grade, depending on the species of tree. Minimum clearance shall be 10 feet from the trunk.
- In the event root pruning is required to accommodate grade changes or the installation of Hardscape features the root pruning procedures described in this outline should be followed.
- At no time shall any equipment, materials, supplies or fill soil be allowed in the TPZ unless necessary.
- Prune and fertilize the trees after the completion of all exterior work on the building and at the beginning of the landscape phase.
- Call the Community Forester's office to set a site visit to determine the exact location of the TPZ fence before start of work. (310) 458-8974
- All question regarding the city tree adjacent to the project may be directed to the Community Forester, Walt Warriner at (310) 458-8974.

LANDSCAPING NOTES:

- The existing open area including 100% of the front and side yards is completely landscaped with existing ground cover, plants, shrubs, hedges and trees. There is no existing open area that is not landscaped.
- New and additional landscaping is not part of this scope of work. The General Contractor shall be responsible to replace in-kind any existing landscaping that is removed and/or damage as part of this project.
- No new perimeter fences and/or walls are proposed as part of this project.
- See existing survey for existing landscaping, fences and/or walls.

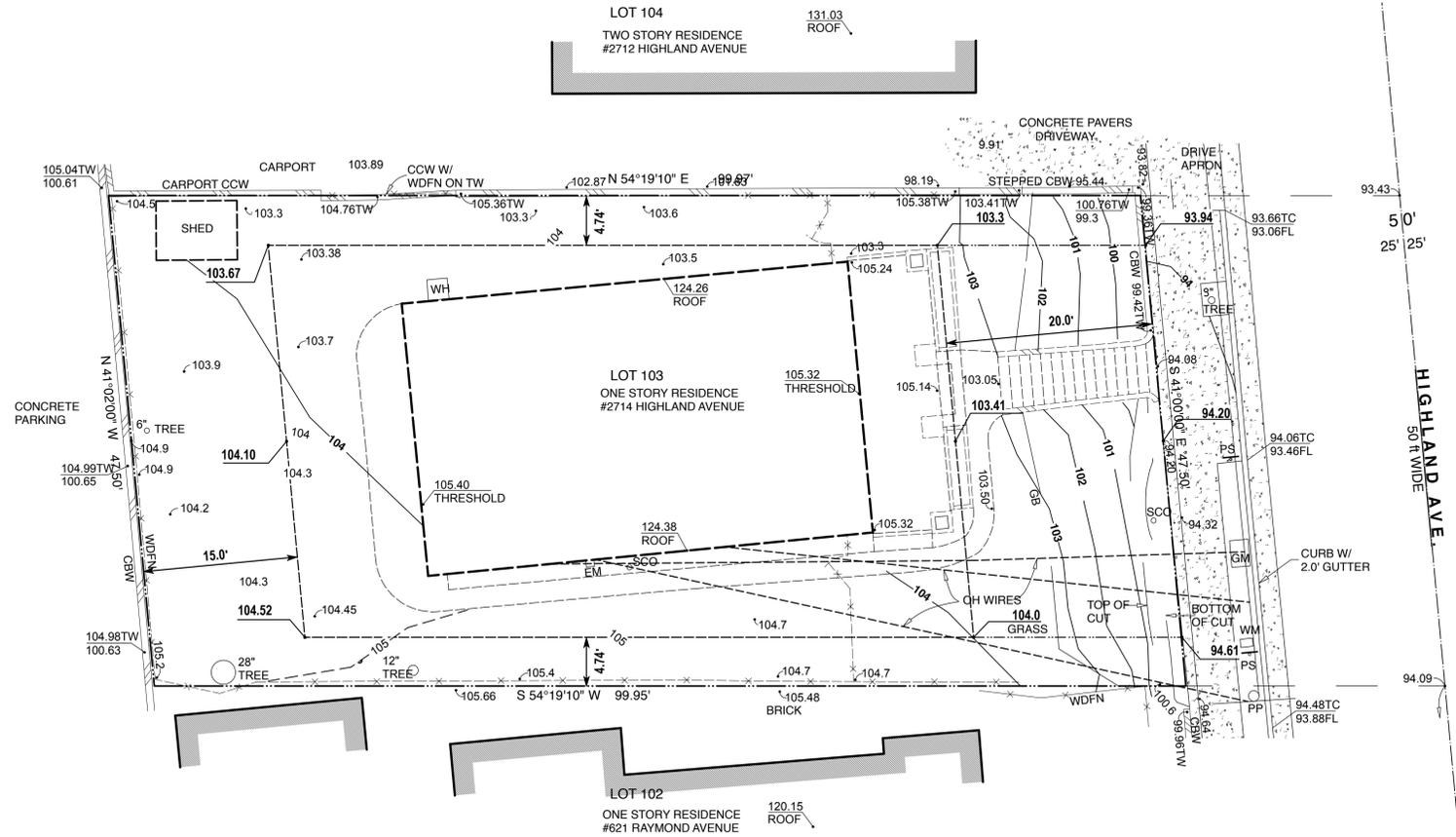
SITE PROTECTION NOTES:

- The entire site shall be protected with a minimum 6ft high construction fence with lockable gates for construction access.
- Fencing along adjacent properties shall have wind/dust screen.
- Provide safeguarding features during construction such as protection of adjoining property and sanitary facilities as per CBC [3305, 3306]

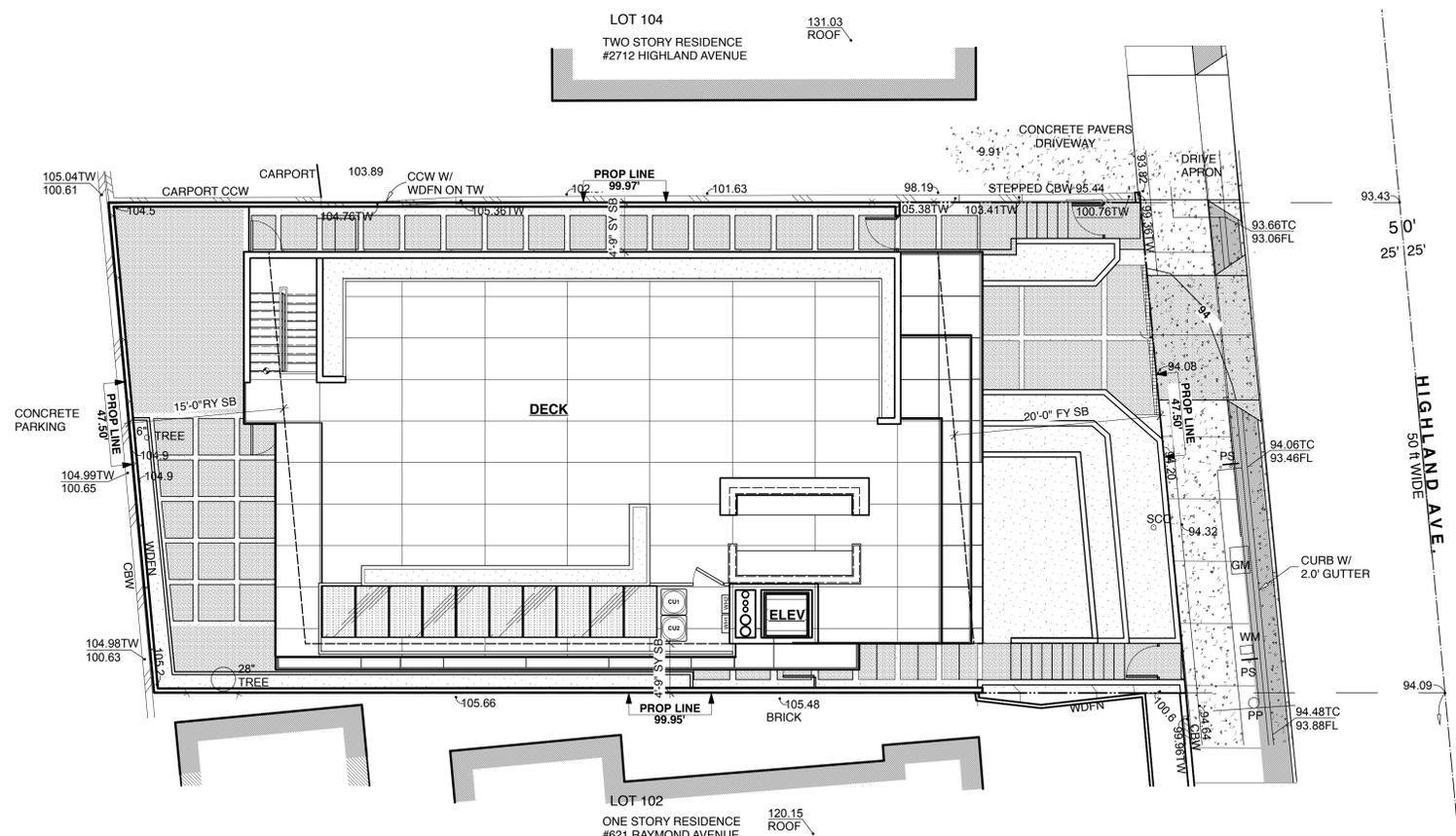
UTILITIES

- Prior to construction of underground utilities, separate utility excavation permit to be obtained from EPWM Department Administrative Services, City Hall Rm 113.
- Prior to construction of new sewer lateral and connection to sewer a separate sewer permit to be obtained from EPWM Department Administrative Services, City Hall Rm 113.
- Obtain a separate water meter permit from the Public Works Department, City Hall Room 113, for all installations or enlargements of your water / fire service(s). There may be up to a 90-working day waiting period for the installation or enlargement / relocation. All traffic control requirements are the responsibility of the Contractor.
- Obtain a separate sewer permit from the Public Works Department, City Hall Room 113, for all proposed sewer connections and/or work inside the public right of way performed on the existing sewer lateral. All traffic control requirements are the responsibility of the Contractor.
- Driveway apron shall be removed and replaced with curbing, parkway, and sidewalk in conformity with the curbing, parking, and sidewalk adjoining such abandoned driveway (SMMC 7.24.050 and 7.24.060.) Obtain a separate offsite improvements permit from Public Works, City Hall Room 113.
- All site utilities shall be installed underground per the approved plans supplied or reviewed by the relevant utility companies. A separate Public Works utility excavation permit must be obtained from the Public Works Counter, City Hall Room 113 for any excavation in the Public ROW. The Public Works utility excavation permit application may take up to four (4) weeks for review and must include the undergrounding design which may take up to six (6) months to obtain from Southern California Edison. All traffic control requirements are the responsibility of the Contractor

1 SITE DEMOLITION PLAN
SCALE: 1/8"=1'-0"



2 SITE CONSTRUCTION PLAN
SCALE: 1/8"=1'-0"



Gregory H Ginter
ARCHITECT
1525 Pearl Street
Santa Monica, CA 90405
(Tel) 310-314-1984
greg@ghgarch.com



COMMENTS
For ARB REVIEW

DATE
04-04-20

ISSUED
SM DCP

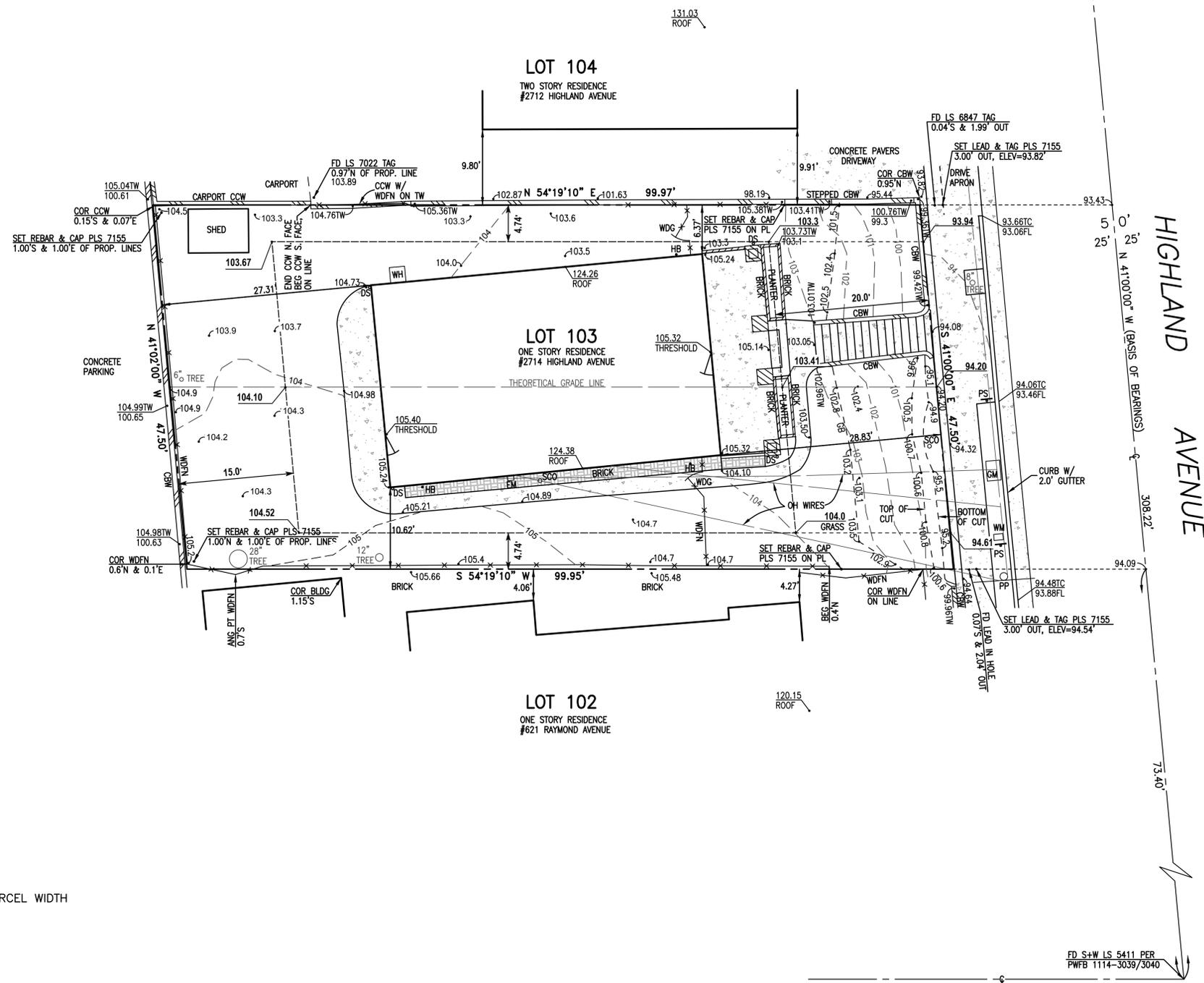
MAHADEVAN RESIDENCE
2714 HIGHLAND AVE, SANTA MONICA, CA 90405
Scale 1/8"=1'-0" U.O.N.
SITE DEMOLITION PLAN



A1.0

ESTABLISHED PER CITY OF SANTA MONICA TIE SHEET 353-39

HILL STREET



- LEGEND
- CBW CONCRETE BLOCK WALL
 - CCW CONCRETE WALL
 - DS DOWNSPOUT
 - EM ELECTRIC METER
 - FD FOUND
 - FL FLOWLINE
 - GB GRADE BREAK
 - GM GAS METER
 - HB HOSE BIB
 - OH OVERHEAD
 - PL PROPERTY LINE
 - PP POWER POLE
 - PS PARKING SIGN
 - SCO SEWER CLEANOUT
 - TC TOP OF CURB
 - TW TOP OF WALL
 - WDFN WOOD FENCE
 - WDG WOOD GATE
 - WH WATER HEATER
 - WM WATER METER
- N NORTH OF PROPERTY LINE
S SOUTH OF PROPERTY LINE
E EAST OF PROPERTY LINE
W WEST OF PROPERTY LINE

LOT AREA = 4,728 SQ FT

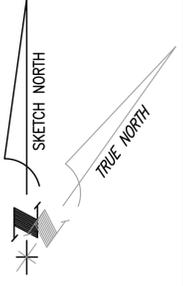
ZONE: OP2
SETBACKS:
FRONT - 20'
REAR - 15'
SIDE - 10% OF PARCEL WIDTH

NOTE:
THE SANTA MONICA ZONING ORDINANCE SETBACKS AND THE METHODOLOGY FOR BUILDING HEIGHT GRADE CALCULATION SHOULD BE CONFIRMED BY MEETING WITH PLANNING DEPARTMENT PERSONNEL PRIOR TO THE DESIGN PROCESS.

BASIS OF BEARINGS:
THE BEARING OF NORTH 41° 00' 00" WEST FOR THE EASTERLY LINE OF HIGHLAND AVENUE AS SHOWN ON THE MAP OF OCEAN PARK TERRACE M.B. 6-129 AND TRANSFERRED TO CENTERLINE WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

RAYMOND AVENUE

BENCH MARK:
CITY OF SANTA MONICA BENCH MARK FIELDBOOK NO. 610-4
P.K. NAIL IN LEAD IN N CURB RETURN HIGHLAND AVE. AND RAYMOND AVE. 3.4 FT. NW OF NW CURB OF RAYMOND AVE. AND 1.7 FT. NE OF NE CURB OF HIGHLAND AVE.
ELEVATION = 94.310'



SCALE: 1" = 8'

BECKER AND MIYAMOTO, INC. LICENSED LAND SURVEYORS 5601 W. WASHINGTON BLVD. LOS ANGELES, CA. 90016 (323) 592-3589		JOB NO.	13096
		DRAWN BY:	SMM
TOPOGRAPHIC SURVEY LOT 103, BLOCK I OF OCEAN PARK TERRACE, M.B. 6-129		CHECKED BY:	YM
		DATE OF SURVEY:	1-13-20
PREPARED EXCLUSIVELY FOR: RAJIV MAHADEVAN MARK YAMASHITA PLS 7155 PRINCIPAL		SHEET	1
		OF	1



COMMENTS
 For ARB APPROVAL

DATE
 04-04-20

ISSUED
 SM DCP

MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE, SANTA MONICA, CA 90405
 Drawing Title
BASEMENT PLAN



A2.0



1 FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



COMMENTS
 For ARB APPROVAL

DATE
 04-04-20

ISSUED
 SM DCP

MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE, SANTA MONICA, CA 90405
 Drawing Title
FIRST FLOOR CONSTRUCTION PLAN



A2.1



1 CONSTRUCTION PLAN - 1ST FLOOR
 SCALE: 1/4"=1'-0"

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. WORKS THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



COMMENTS
For ARB APPROVAL

DATE
04-04-20

ISSUED
SM DCP

MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE., SANTA MONICA, CA 90405
 Drawing Title
SECOND FLOOR CONSTRUCTION PLAN
 Scale 1/4"=1'-0"



A2.2



2 CONSTRUCTION PLAN - 2ND FLOOR
 SCALE: 1/4"=1'-0"

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



COMMENTS
 For ARB APPROVAL

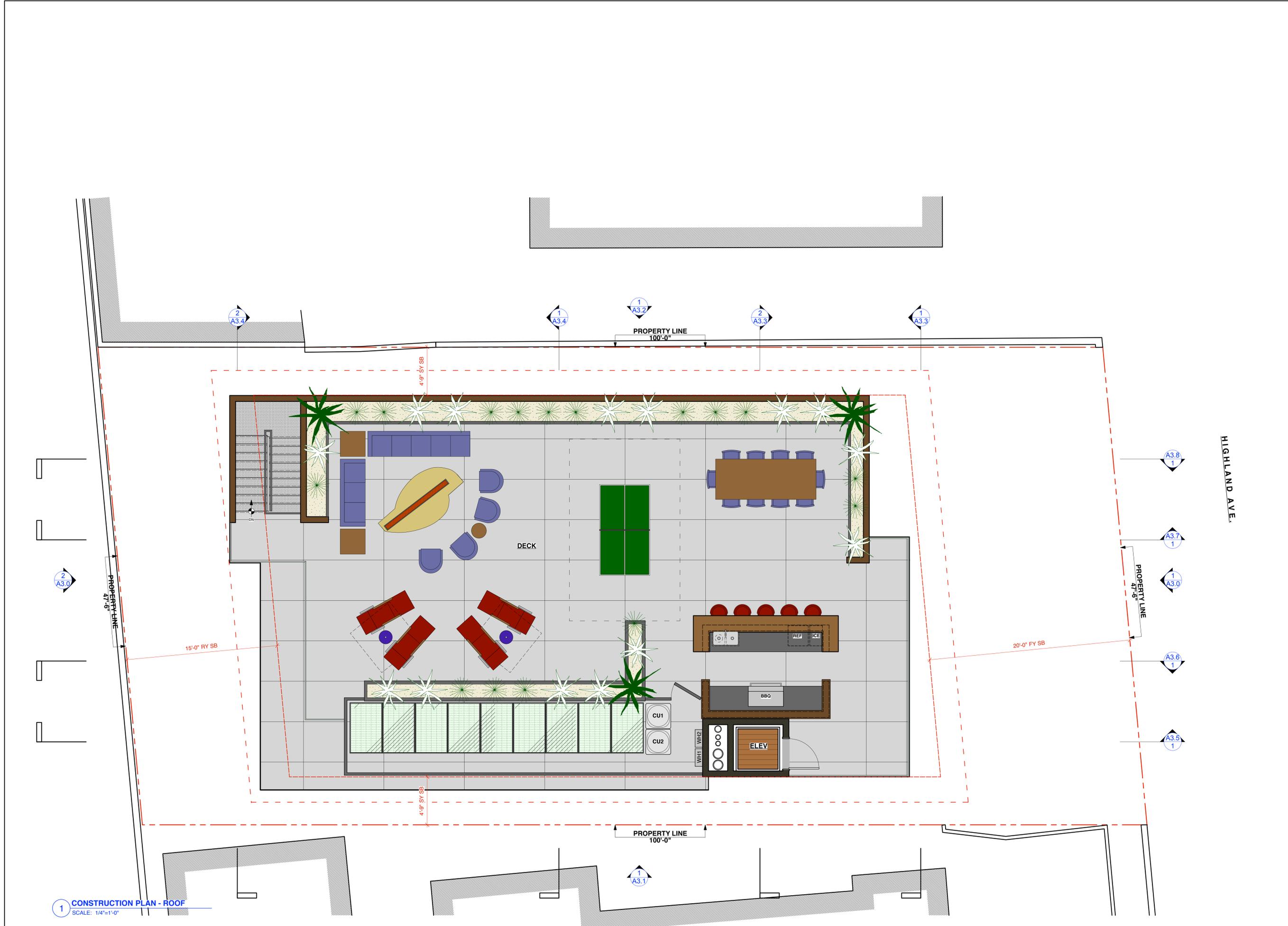
DATE
 04-04-20

ISSUED
 SM DCP

MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE, SANTA MONICA, CA 90405
 Drawing Title
ROOF CONSTRUCTION PLAN
 Scale
 1/4"=1'-0"

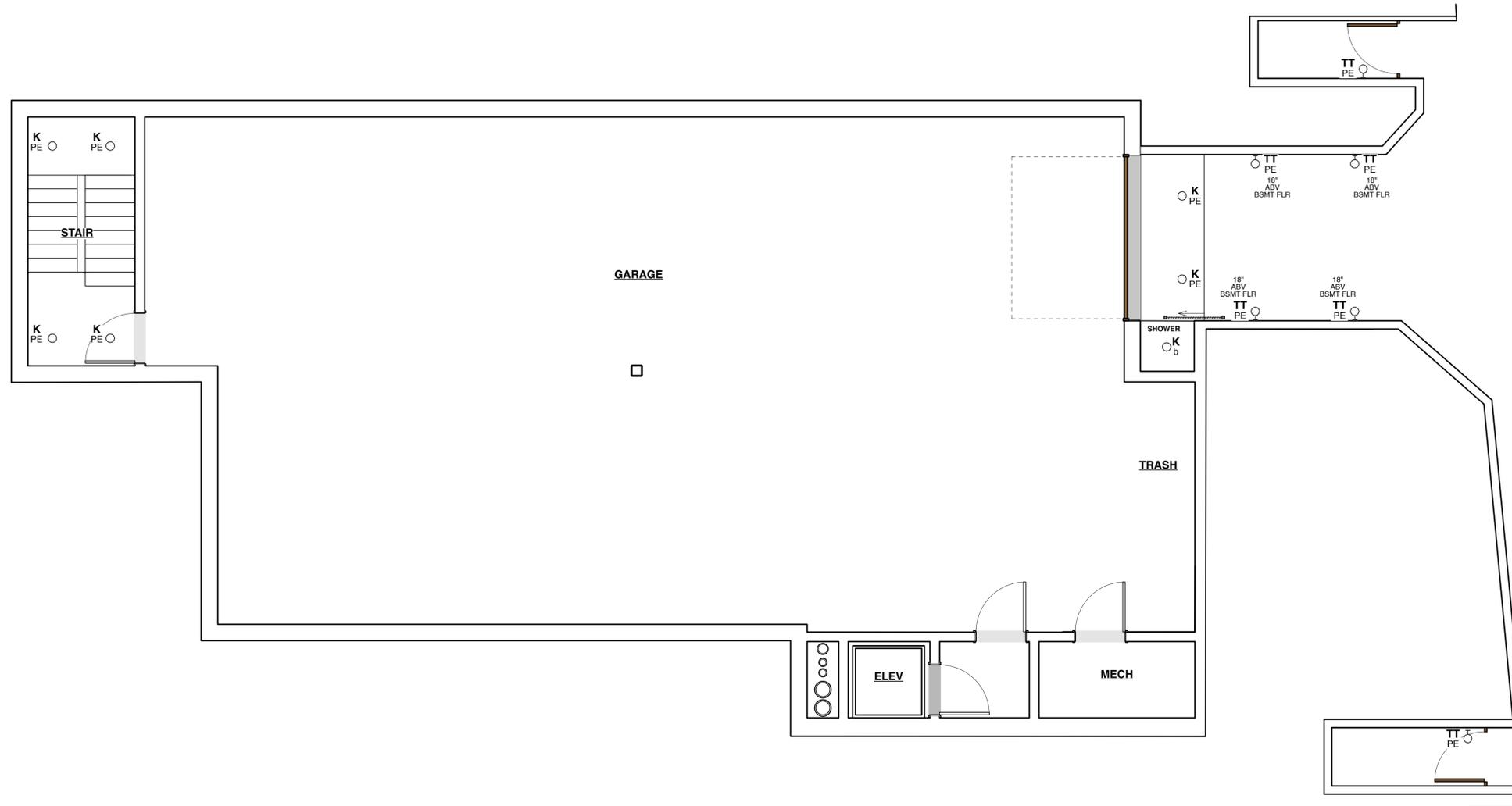


A2.3



1 CONSTRUCTION PLAN - ROOF
 SCALE: 1/4"=1'-0"

SYMBOL KEY			
LINE VOLTAGE SYMBOLS	LIGHTING SYMBOLS	LOW VOLTAGE SYMBOLS	MISCELLANEOUS SYMBOLS & ABBREVIATIONS
JUNCTION BOX	SWITCH	PHONE JACK (2) Cat5e	MW MICROWAVE
SWITCHED OUTLET-Location (Outlet #)	3-WAY SWITCH	VIDEO INTERCOM	R REFRIGERATOR
DUPLEX OUTLET	JAMB SWITCH	WALL PHONE (1) Cat5e	W WASHER
QUADRUPLEX OUTLET	RECESSED CEILING FIXTURE	CORDLESS PHONE (No Phone Jack)	D DRYER
GROUND FAULT INTERRUPT OUTLET	SURFACE MOUNTED CEILING FIXTURE	TELEPHONE FLOOR OUTLET	DW DISHWASHER
EXTERIOR OUTLET	WALL MOUNTED FIXTURE	TV OUTLET (1) RG6U (1) Cat6e	WP WATERPROOF
DUPLEX FLOOR OUTLET	PENDANT MOUNTED FIXTURE	DATA OUTLET (2) Cat6e	D DIMMER
SIMPLEX FLOOR OUTLET	TRACK LIGHTING W/FIXTURES	AUDIO/VIDEO OUTLET As per AV Specs	3, 4 3 OR 4 WAY SWITCHING
DEDICATED OUTLET	UNDER CABINET FIXTURE	THERMOSTAT	F FAN
SMOKE/CARBON MONOXIDE DETECTOR	CEILING MOUNTED FAN	LOW TEMPERATURE SENSOR	"A" FIXTURE TYPE
RATE OF RISE DETECTOR	STRING LIGHT	KEYPAD	"a" FIXTURE LOCATION
SHADE MOTOR	FLOURESCENT FIXTURE	BUZZER	VACUUM OUTLET
TIMER w/Switch	LED STRIP LIGHT	MOTION DETECTOR	EMPTY CONDUIT
DEDICATED EQUIPMENT OUTLET		SATELLITE DISH	GAS CONNECTION
BX TAIL 3ft Long		ELECTRIC DOOR STRIKE	SUPPLY GRILLE
OCCUPANCY SENSOR		SECURITY CONTACT	RETURN/EXHAUST GRILLE
		REMOTE TRANSFORMER	ACCESS PANEL
		INTERCOM	SELF SWITCHING
		CEILING SPEAKER	MOTION DETECTOR ACTIVATED
		WALL SPEAKER	PHOTO ELECTRONIC SENSOR ACTIVATED
		SUBWOOFER	W/Override Timer
		SECURITY ALARM SIREN	SURFACE MOUNTED
		POINT OF SALE As per Specs	HVAC DIFFUSER W/AIR DIRECTION
		POS Printer As per Specs	
		EXIST. FIRE ALARM PULL BOX	



Gregory H Ginter
ARCHITECT
1525 Pear Street
Santa Monica, CA 90405
(Tel) 310-314-1984
greg@ggharch.com



COMMENTS
For ARB APPROVAL

DATE
04-04-20

ISSUED
SM DCP

MAHADEVAN RESIDENCE
2714 HIGHLAND AVE, SANTA MONICA, CA 90405
Scale 1/4"=1'-0"
REFLECTED CLG PLAN- BASEMENT



A2.6

1 REFLECTED CLG PLAN -BASEMENT
SCALE: 1/4"=1'-0"

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.

SYMBOL KEY							
LINE VOLTAGE SYMBOLS		LIGHTING SYMBOLS		LOW VOLTAGE SYMBOLS		MISCELLANEOUS SYMBOLS & ABBREVIATIONS	
	JUNCTION BOX		SWITCH		PHONE JACK (2) Cat5e		MW MICROWAVE
	SWITCHED OUTLET-Location (Outlet #)		3-WAY SWITCH		VIDEO INTERCOM		R REFRIGERATOR
	DUPLEX OUTLET		JAMB SWITCH		WALL PHONE (1) Cat5e		W WASHER
	QUADRUPLEX OUTLET		RECESSED CEILING FIXTURE		CORDLESS PHONE (No Phone Jack)		D DRYER
	GROUND FAULT INTERRUPT OUTLET		SURFACE MOUNTED CEILING FIXTURE		TELEPHONE FLOOR OUTLET		DW DISHWASHER
	EXTERIOR OUTLET		WALL MOUNTED FIXTURE		TV OUTLET (1) RG6U (1) Cat6e		WP WATERPROOF
	DUPLEX FLOOR OUTLET		PENDANT MOUNTED FIXTURE		DATA OUTLET (2)Cat6e		D DIMMER
	SIMPLEX FLOOR OUTLET		TRACK LIGHTING W/FIXTURES		AUDIO/VIDEO OUTLET As per AV Specs		3, 4 3 OR 4 WAY SWITCHING
	DEDICATED OUTLET		UNDER CABINET FIXTURE		THERMOSTAT		F FAN
	SMOKE/CARBON MONOXIDE DETECTOR		CEILING MOUNTED FAN		LOW TEMPERATURE SENSOR		"A" FIXTURE TYPE
	RATE OF RISE DETECTOR		STRING LIGHT		KEYPAD		"a" FIXTURE LOCATION
	SHADE MOTOR		FLOURESCENT FIXTURE		BUZZER		VO VACUUM OUTLET
	TIMER w/Switch		LED STRIP LIGHT		MOTION DETECTOR		EC EMPTY CONDUIT
	DEDICATED EQUIPMENT OUTLET				SATELITE DISH		GAS CONNECTION
	BX TAIL 3ft Long				ELECTRIC DOOR STRIKE		SUPPLY GRILLE
	OCCUPANCY SENSOR				SECURITY CONTACT		RETUR/EXHAUST GRILLE
					REMOTE TRANSFORMER		ACCESS PANEL
					INTERCOM		SELF SWITCHING
					CEILING SPEAKER		MD MOTION DETECTOR ACTIVATED
					WALL SPEAKER		PE PHOTO ELECTRONIC SENSOR ACTIVATED
					SUBWOOFER		W/Override Timer
					SECURITY ALARM SIREN		SM SURFACE MOUNTED
					POINT OF SALE As per Specs		O/H+ HVAC DIFFUSER W/AIR DIRECTION
					POS Printer As per Specs		
					EXIST. FIRE ALARM PULL BOX		



1 REFLECTED CLG PLAN -2nd FLR
SCALE: 1/4"=1'-0"

Gregory H Ginter
ARCHITECT
1525 Pear Street
Santa Monica, CA 90405
(Tel) 310-314-1984
greg@ggharch.com



COMMENTS
For ARB APPROVAL

DATE
04-04-20

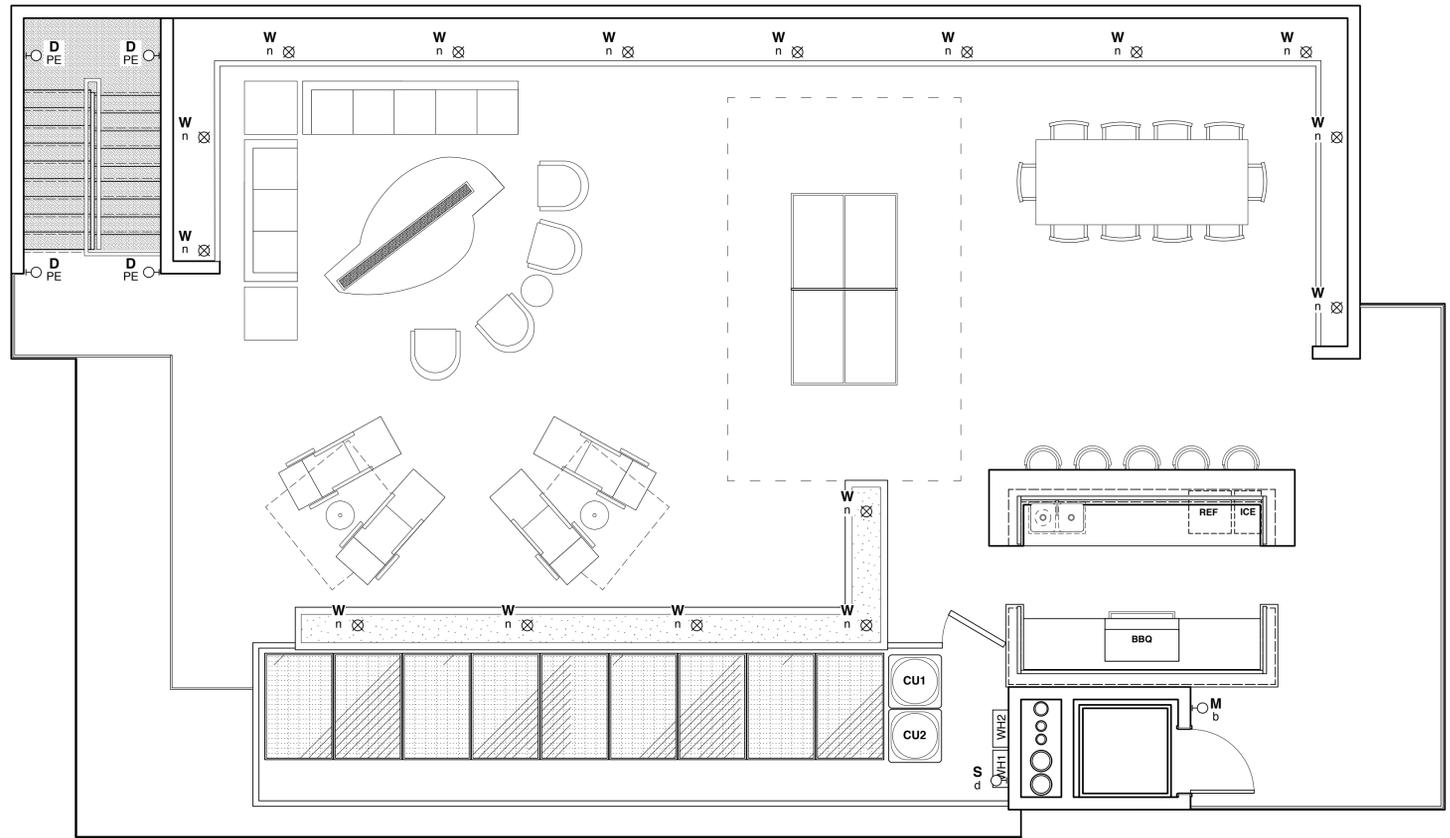
ISSUED
SM DCP

MAHADEVAN RESIDENCE
2714 HIGHLAND AVE, SANTA MONICA, CA 90405
Scale 1/4"=1'-0"
REFLECTED CLG PLAN- 2nd FLR



A2.10

SYMBOL KEY			
LINE VOLTAGE SYMBOLS	LIGHTING SYMBOLS	LOW VOLTAGE SYMBOLS	MISCELLANEOUS SYMBOLS & ABBREVIATIONS
JUNCTION BOX	SWITCH	PHONE JACK (2) Cat5e	MW MICROWAVE
SWITCHED OUTLET-Location (Outlet #)	3-WAY SWITCH	VIDEO INTERCOM	R REFRIGERATOR
DUPLEX OUTLET	JAMB SWITCH	WALL PHONE (1) Cat5e	W WASHER
QUADRUPLEX OUTLET	RECESSED CEILING FIXTURE	CORDLESS PHONE (No Phone Jack)	D DRYER
GFI GROUND FAULT INTERRUPT OUTLET	SURFACE MOUNTED CEILING FIXTURE	TELEPHONE FLOOR OUTLET	DW DISHWASHER
EXTERIOR OUTLET	WALL MOUNTED FIXTURE	TV OUTLET (1) RG6U (1) Cat6e	WP WATERPROOF
DUPLEX FLOOR OUTLET	PENDANT MOUNTED FIXTURE	DATA OUTLET (2)Cat6e	D DIMMER
SIMPLEX FLOOR OUTLET	TRACK LIGHTING W/FIXTURES	AUDIO/VIDEO OUTLET As per AV Specs	3, 4 3 OR 4 WAY SWITCHING
DEDICATED OUTLET	UNDER CABINET FIXTURE	THERMOSTAT	F FAN
SMOKE/CARBON MONOXIDE DETECTOR	CEILING MOUNTED FAN	LOW TEMPERATURE SENSOR	"A" FIXTURE TYPE
RATE OF RISE DETECTOR	STRING LIGHT	KEYPAD	"a" FIXTURE LOCATION
SHADE MOTOR	FLOURESCENT FIXTURE	BUZZER	VACUUM OUTLET
TIMER w/Switch	LED STRIP LIGHT	MOTION DETECTOR	EMPTY CONDUIT
DEDICATED EQUIPMENT OUTLET		SATELLITE DISH	GAS CONNECTION
BX TAIL 3ft Long		ELECTRIC DOOR STRIKE	SUPPLY GRILLE
OCCUPANCY SENSOR		SECURITY CONTACT	RETURN/EXHAUST GRILLE
		REMOTE TRANSFORMER	ACCESS PANEL
		INTERCOM	SELF SWITCHING
		CEILING SPEAKER	MOTION DETECTOR ACTIVATED
		WALL SPEAKER	PHOTO ELECTRONIC SENSOR ACTIVATED
		SUBWOOFER	W/Override Timer
		SECURITY ALARM SIREN	SURFACE MOUNTED
		POINT OF SALE As per Specs	HVAC DIFFUSER W/AIR DIRECTION
		POS Printer As per Specs	
		EXIST. FIRE ALARM PULL BOX	



1 ELEC PLAN -ROOF W/ LIGHTING
SCALE: 1/4"=1'-0"

Gregory H Ginter
ARCHITECT
1525 Pearl Street
Santa Monica, CA 90405
(Tel) 310-314-1984
greg@ghgarch.com



COMMENTS
For A/RB APPROVAL

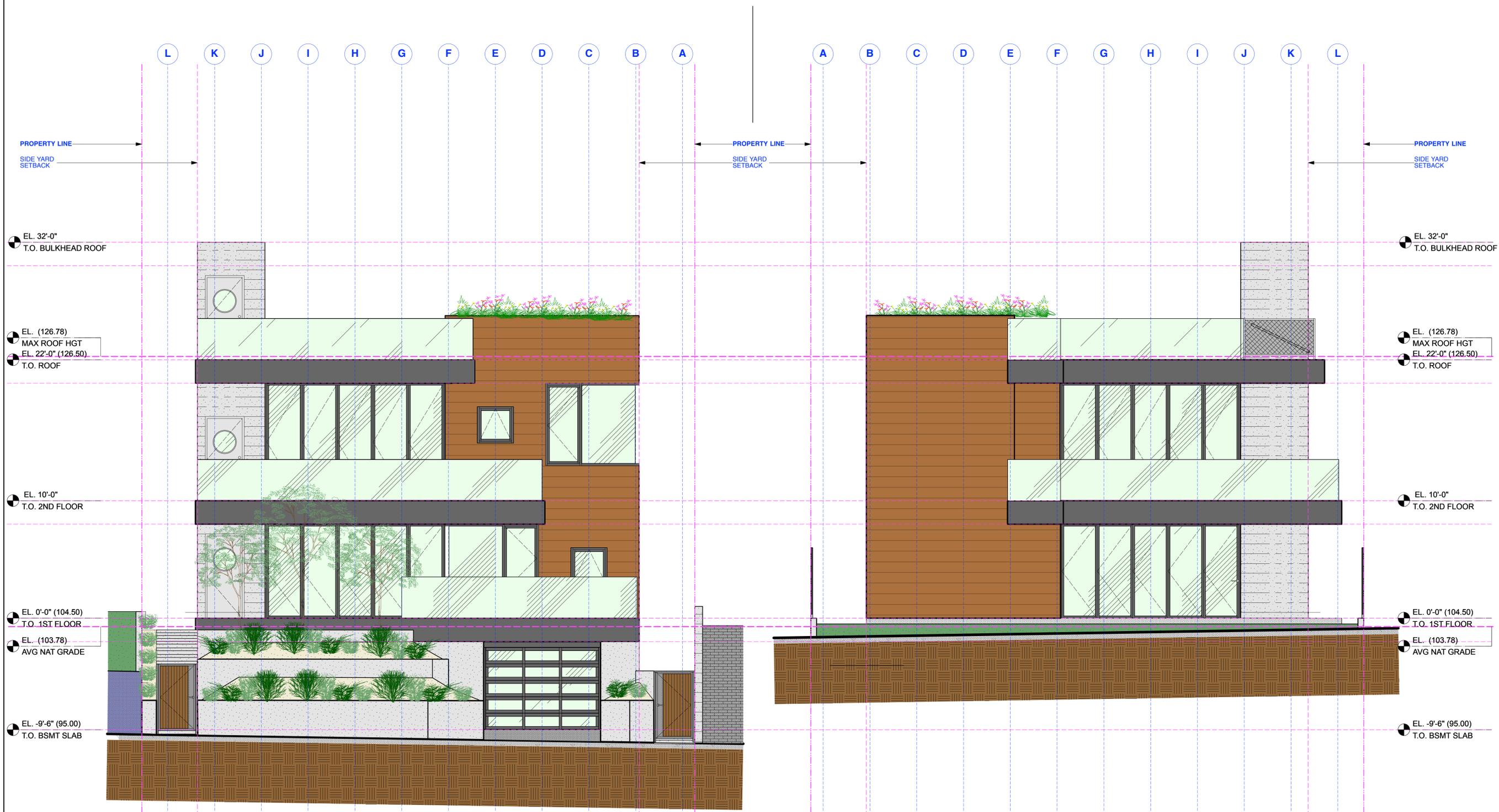
DATE
04-04-20

ISSUED
SM DCP

MAHADEVAN RESIDENCE
2714 HIGHLAND AVE, SANTA MONICA, CA 90405
Drawing Title
ELEC PLAN - ROOF W/ LIGHTING
Scale
1/4"=1'-0"



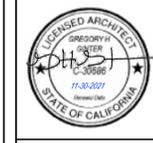
A2.11



1 EXTERIOR ELEVATION - EAST

2 EXTERIOR ELEVATION - WEST

COMMENTS	
FORWARD APPROVAL	
DATE	04-04-20
ISSUED	SM/DCP
2	
MAHADEVAN RESIDENCE 2714 HIGHLAND AVE., SANTA MONICA, CA 90405 Drawing Title EXTERIOR ELEVATIONS	
Scale 1/4"=1'-0"	



A3.0



EL. 32'-0"
T.O. BULKHEAD ROOF

EL. (126.78)
MAX ROOF HGT
EL. 22'-0" (126.50)
T.O. ROOF

EL. 10'-0"
T.O. 2ND FLOOR

EL. 0'-0" (104.50)
T.O. 1ST FLOOR
EL. (103.78)
AVG NAT GRADE

EL. -9'-6" (95.00)
T.O. BSMT SLAB

EL. 32'-0"
T.O. BULKHEAD ROOF

EL. (126.78)
MAX ROOF HGT
EL. 22'-0" (126.50)
T.O. ROOF

EL. 10'-0"
T.O. 2ND FLOOR

EL. 0'-0" (104.50)
T.O. 1ST FLOOR
EL. (103.78)
AVG NAT GRADE

EL. -9'-6" (95.00)
T.O. BSMT SLAB

1 EXTERIOR ELEVATIONS - SOUTH

Gregory H Ginter
ARCHITECT
1525 Pearl Street
Santa Monica, CA 90405
(tel) 310-314-1984
greg@ghgarch.com

COMMENTS
FOR/REB APPROVAL

DATE
04-04-20

ISSUED
SM DCP

MAHADEVAN RESIDENCE
2714 HIGHLAND AVE., SANTA MONICA, CA 90405
Drawing Title
EXTERIOR ELEVATIONS
Scale
1/4"=1'-0"



A3.1

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



1 EXTERIOR ELEVATIONS - NORTH

Gregory H Ginter
A R C H I T E C T
 1525 Pearl Street
 Santa Monica, CA 90405
 (tel) 310-314-1984
 greg@ghgarch.com

COMMENTS
 FOR/REB APPROVAL

DATE
 04-04-20

ISSUED
 SM/DCP

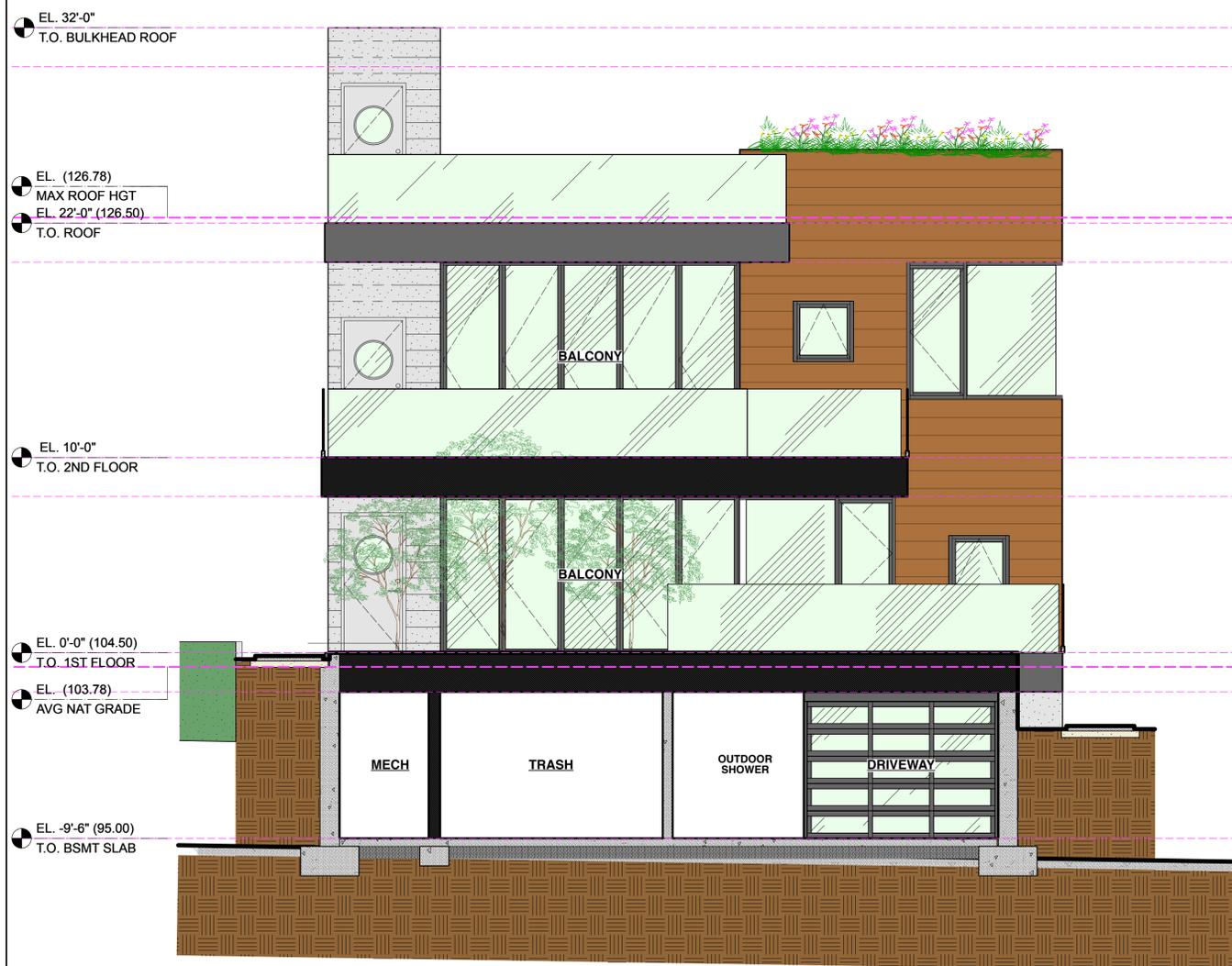
MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE., SANTA MONICA, CA 90405

Drawing Title
BUILDING SECTIONS
 Scale
 1/4"=1'-0"

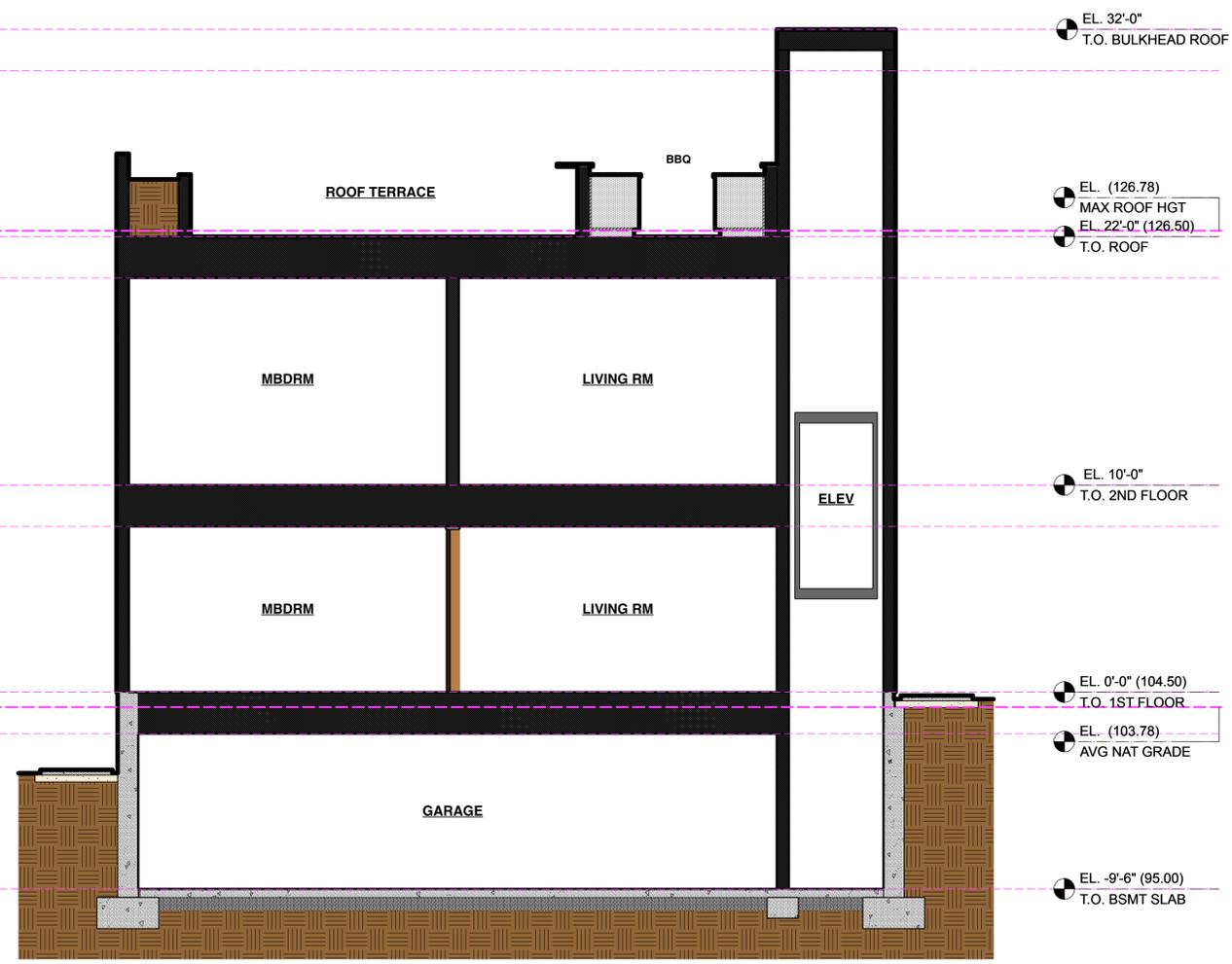


A3.2

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



1 BUILDING SECTION - NORTH/SOUTH



2 BUILDING SECTION - NORTH/SOUTH

EL. 32'-0"
T.O. BULKHEAD ROOF

EL. (126.78)
MAX ROOF HGT
EL. 22'-0" (126.50)
T.O. ROOF

EL. 10'-0"
T.O. 2ND FLOOR

EL. 0'-0" (104.50)
T.O. 1ST FLOOR
EL. (103.78)
AVG NAT GRADE

EL. -9'-6" (95.00)
T.O. BSMT SLAB

EL. 32'-0"
T.O. BULKHEAD ROOF

EL. (126.78)
MAX ROOF HGT
EL. 22'-0" (126.50)
T.O. ROOF

EL. 10'-0"
T.O. 2ND FLOOR

EL. 0'-0" (104.50)
T.O. 1ST FLOOR
EL. (103.78)
AVG NAT GRADE

EL. -9'-6" (95.00)
T.O. BSMT SLAB

COMMENTS
FORWARD APPROVAL

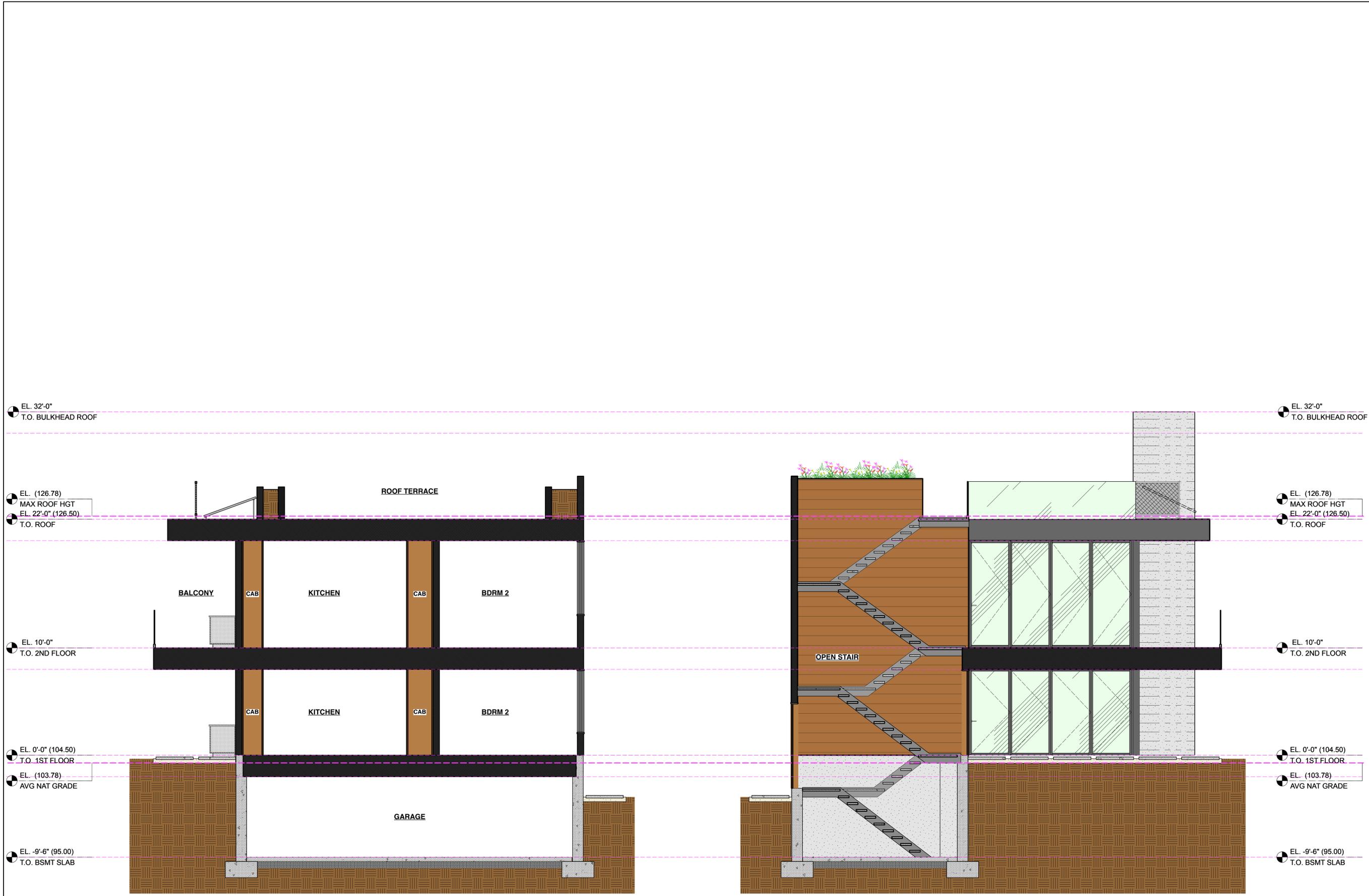
DATE
04-04-20

ISSUED
SM DCP

MAHADEVAN RESIDENCE
2714 HIGHLAND AVE., SANTA MONICA, CA 90405
Drawing Title
BUILDING SECTIONS
Scale
1/4"=1'-0"



THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



COMMENTS
 FOR/REB APPROVAL

DATE
 04-04-20

ISSUED
 SM/DCP

MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE., SANTA MONICA, CA 90405
 Drawing Title
BUILDING SECTIONS



THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



EL. 32'-0"
T.O. BULKHEAD ROOF

EL. (126.78)
MAX ROOF HGT
EL. 22'-0" (126.50)
T.O. ROOF

EL. 10'-0"
T.O. 2ND FLOOR

EL. 0'-0" (104.50)
T.O. 1ST FLOOR
EL. (103.78)
AVG NAT GRADE

EL. -9'-6" (95.00)
T.O. BSMT SLAB

EL. 32'-0"
T.O. BULKHEAD ROOF

EL. (126.78)
MAX ROOF HGT
EL. 22'-0" (126.50)
T.O. ROOF

EL. 10'-0"
T.O. 2ND FLOOR

EL. 0'-0" (104.50)
T.O. 1ST FLOOR
EL. (103.78)
AVG NAT GRADE

EL. -9'-6" (95.00)
T.O. BSMT SLAB

1 BUILDING SECTION - EAST/WEST

Gregory H Ginter
ARCHITECT
 1525 Pearl Street
 Santa Monica, CA 90405
 (tel) 310-314-1984
 greg@ghgarch.com

COMMENTS	DATE	ISSUED BY	DATE	COMMENTS
FOR ARCH APPROVAL	04-04-20	SM/DCP		

MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE., SANTA MONICA, CA 90405
 Drawing Title: **BUILDING SECTIONS**
 Scale: 1/4"=1'-0"

A3.5

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



EL. 32'-0"
 T.O. BULKHEAD ROOF

 EL. (126.78)
 MAX ROOF HGT
 EL. 22'-0" (126.50)
 T.O. ROOF

 EL. 10'-0"
 T.O. 2ND FLOOR

 EL. 0'-0" (104.50)
 T.O. 1ST FLOOR
 EL. (103.78)
 AVG NAT GRADE

 EL. -9'-6" (95.00)
 T.O. BSMT SLAB

EL. 32'-0"
 T.O. BULKHEAD ROOF

 EL. (126.78)
 MAX ROOF HGT
 EL. 22'-0" (126.50)
 T.O. ROOF

 EL. 10'-0"
 T.O. 2ND FLOOR

 EL. 0'-0" (104.50)
 T.O. 1ST FLOOR
 EL. (103.78)
 AVG NAT GRADE

 EL. -9'-6" (95.00)
 T.O. BSMT SLAB

1 BUILDING SECTION - EAST/WEST

Gregory H Ginter
 ARCHITECT
 1525 Pearl Street
 Santa Monica, CA 90405
 (tel) 310-314-1984
 greg@ghgarch.com

COMMENTS
FORWARD APPROVAL

DATE
04-04-20

ISSUED
SND/DCP

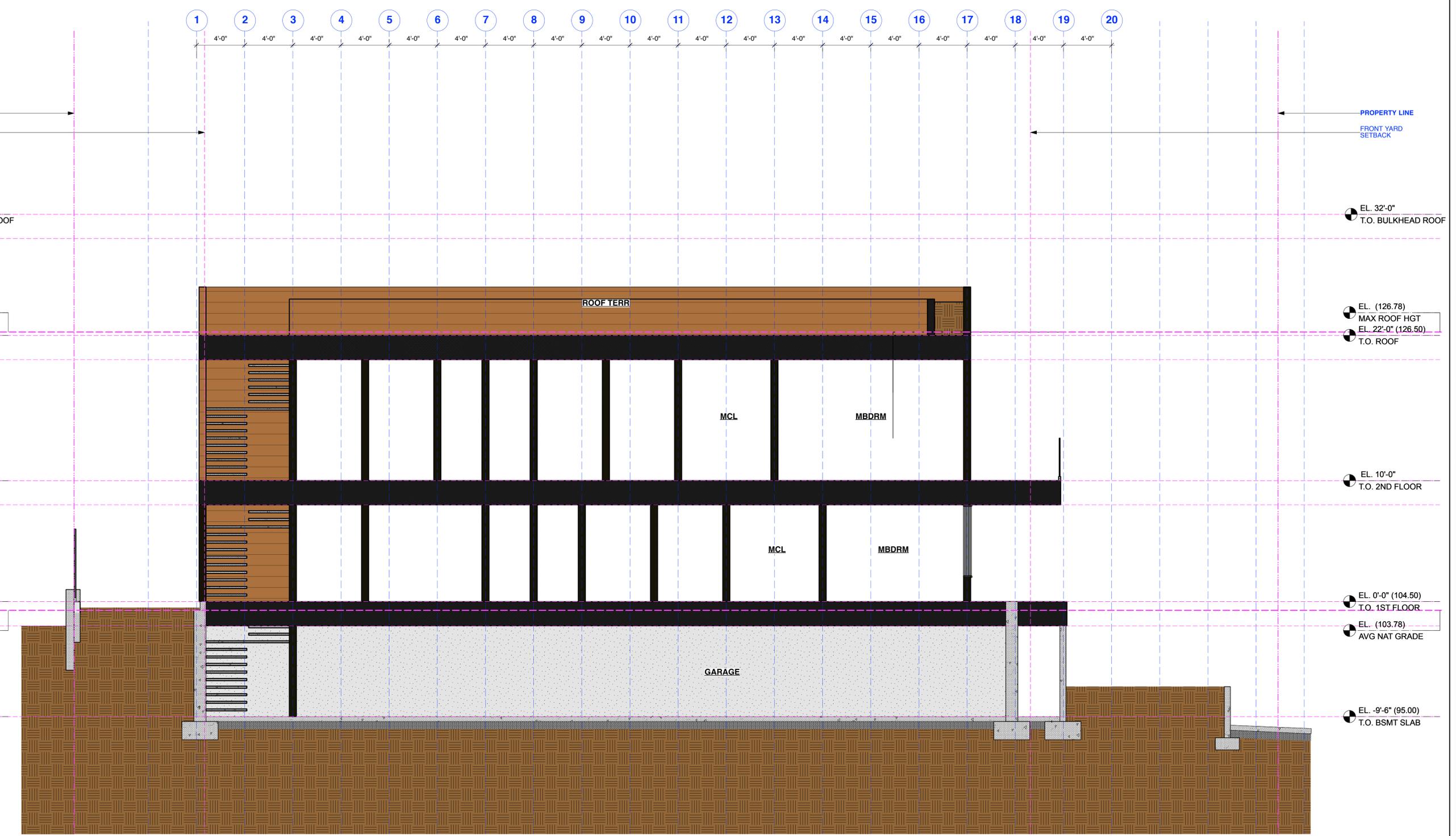
2

MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE., SANTA MONICA, CA 90405
 Drawing Title
BUILDING SECTIONS
 Scale
 1/4"=1'-0"



A3.6

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



1 EXTERIOR ELEVATION - EAST

COMMENTS
FORWARD APPROVAL

DATE
04-04-20

ISSUED
SM/DCP

2

MAHADEVAN RESIDENCE
 2714 HIGHLAND AVE, SANTA MONICA, CA 90405
 Drawing Title
BUILDING SECTIONS

Scale
1/4"=1'-0"



A3.7



EL. 32'-0"
T.O. BULKHEAD ROOF

EL. (126.78)
MAX ROOF HGT
EL. 22'-0" (126.50)
T.O. ROOF

EL. 10'-0"
T.O. 2ND FLOOR

EL. 0'-0" (104.50)
T.O. 1ST FLOOR
EL. (103.78)
AVG NAT GRADE

EL. -9'-6" (95.00)
T.O. BSMT SLAB

EL. 32'-0"
T.O. BULKHEAD ROOF

EL. (126.78)
MAX ROOF HGT
EL. 22'-0" (126.50)
T.O. ROOF

EL. 10'-0"
T.O. 2ND FLOOR

EL. 0'-0" (104.50)
T.O. 1ST FLOOR
EL. (103.78)
AVG NAT GRADE

EL. -9'-6" (95.00)
T.O. BSMT SLAB

1 BUILDING SECTION - NORTH/SOUTH

COMMENTS
FORWARD APPROVAL

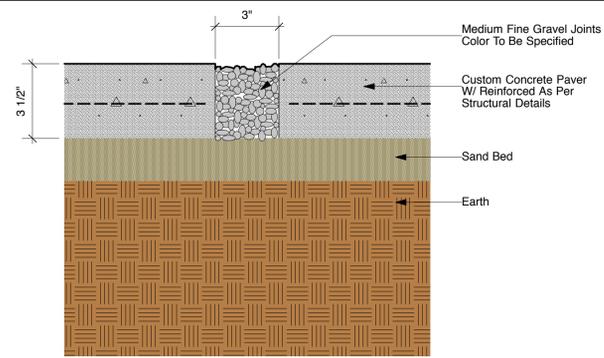
DATE
04-04-20

ISSUED
SND/DCP

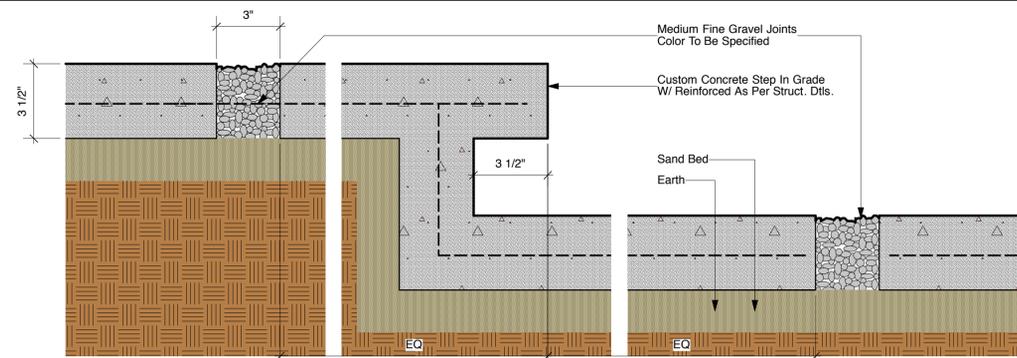
MAHADEVAN RESIDENCE
2714 HIGHLAND AVE., SANTA MONICA, CA 90405
Drawing Title
BUILDING SECTIONS



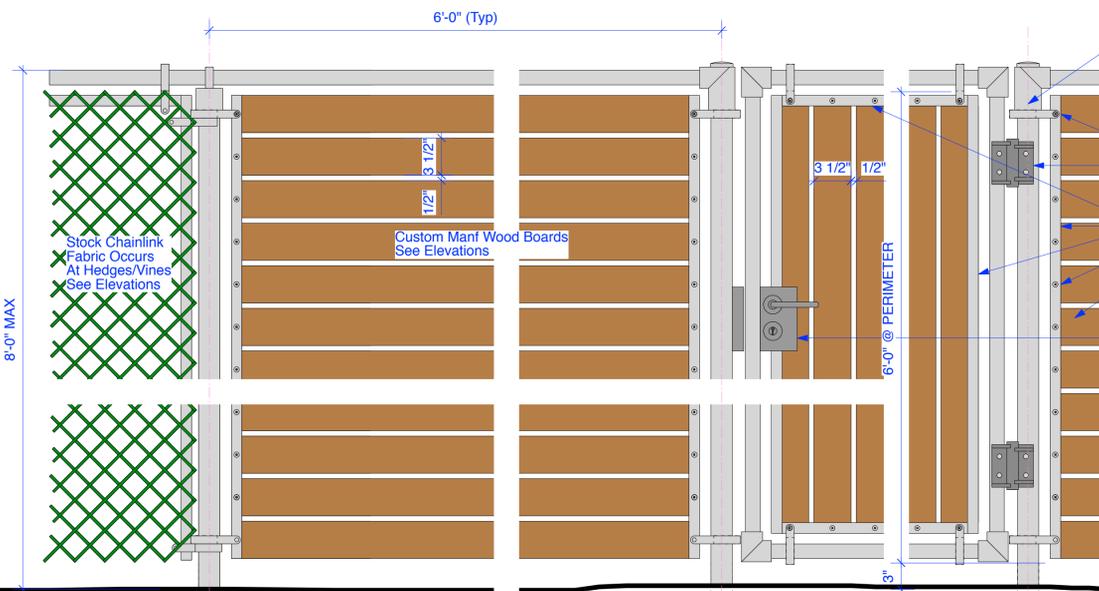
THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GREGORY H. GINTER, R.A. ALL DESIGNS AND OTHER INFORMATION CONTAINED ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT OF GREGORY H. GINTER, R.A. THESE DRAWINGS SHALL NOT BE REPRODUCED, CHANGED, COPIED OR ALTERED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION AND CONSENT FROM GREGORY H. GINTER, R.A. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN PERMISSION AND CONSENT. © 2020 GREGORY H. GINTER, R.A. ALL RIGHTS RESERVED.



1 DTL / SECT. CONC. PAVER
SCALE: 3"=1'-0"



2 DTL / SECT. CONC STEP IN GRADE
SCALE: 3"=1'-0"



5 DTL / ELEV PERIMETER FENCING & GATE
SCALE: 1 1/2"=1'-0"

Metal Frame - 8'-0" Max High Stock Chainlink Fence -or- 2"SQ Ptd Steel Tubing

Stock Tension Band -or- Custom Bracket

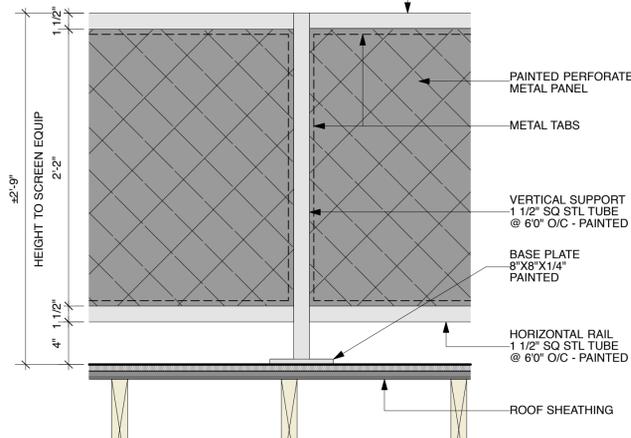
Self-Closing Hinge Confirm Hinge Type

Galv Stl Architectural Channel 1 x 1 1/2 x 1/8

Countersunk Screws

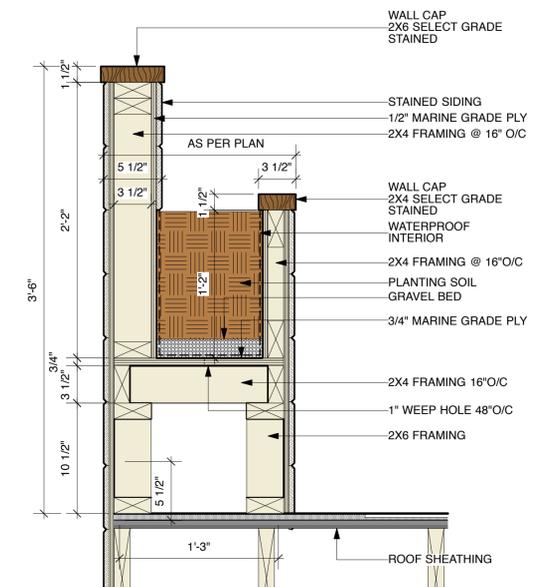
1x4 Redwood

Self-Latching Lockset W/ Elec Release Confirm Latch Type & Mounting Location At Pool Gate

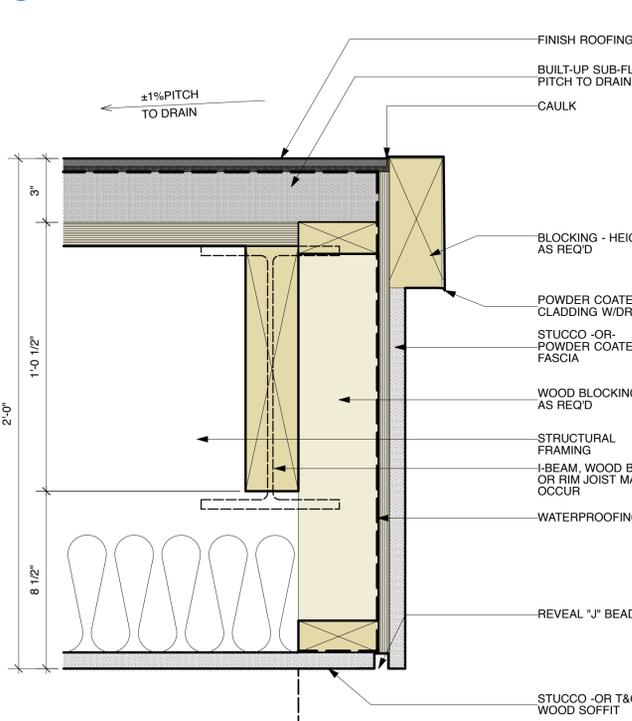


7 DTL / ELEV MECH EQUIP SCREEN
SCALE: 1 1/2"=1'-0"

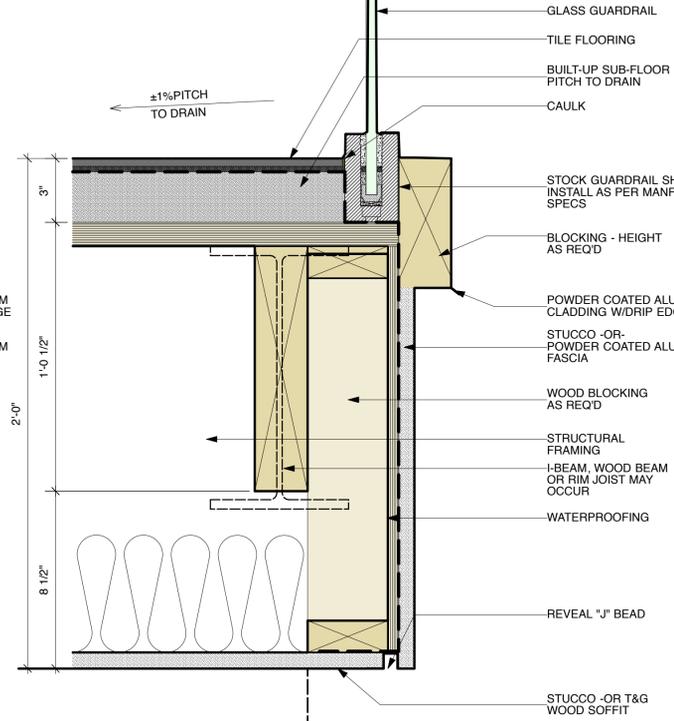
4 DTL / SCALE:



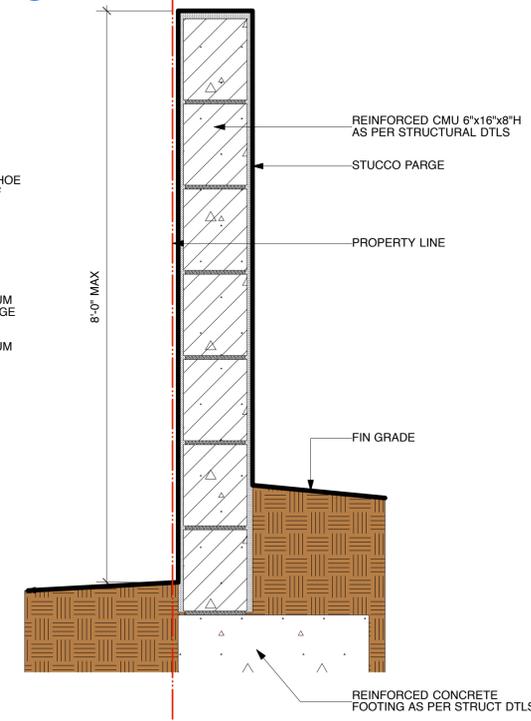
8 DTL / SECT ROOFTOP PLANTER
SCALE: 1 1/2"=1'-0"



9 DTL / SECT EAVE
SCALE: 1 1/2"=1'-0"



10 DTL / SECT. GLASS GAURDRAIL
SCALE: 3"=1'-0"



11 DTL / SECT. CMU PERIMETER WALL
SCALE: 1 1/2"=1'-0"

12 DTL / SCALE:



COMMENTS
For ARCH APPROVAL

DATE
04-04-20

ISSUED
SM DCP

MAHADEVAN RESIDENCE
2714 HIGHLAND AVE, SANTA MONICA, CA 90405
Drawing Title
EXTERIOR DETAILS

Scale
AS NOTED

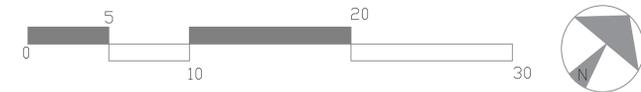


A7.2



PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	MAG BLA	Magnolia grandiflora 'D.D. Blanchard'	Southern Magnolia	36"	Box	3
PALM TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	ARC MUL	Archontophoenix cunninghamiana	Multi-Trunk King Palm	36"	Box	2
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	ACA CO3	Acacia cognata 'ACCOG01'	Cousin Itt Little River Wattle	5 gal.	Pot	11
	AGA ATT	Agave attenuata	Foxtail Agave	5 gal.	Pot	12
	CAR DIV	Carex divulsa	Berkeley Sedge	1 gal.	Pot	142
	CAR TES	Carex testacea	Carex	1 gal.	Pot	30
	CRA CAP	Crassula capitella 'Campfire'	Campfire Crassula	1 gal.	Pot	11
	CRI MEN	Crinum x 'Menehune'	Menehune Dwarf Purple Crinum Lily	5 gal.	Pot	3
	LOR GRE	Loropetalum chinense	Chinese Fringe Flower	5 gal.	Pot	5
	PHI XXA	Philodendron x 'Xanadu'	Xanadu Philodendron	5 gal.	Pot	6
	PHO ATR	Phormium tenax 'Atropurpureum'	Purple New Zealand Flax	5 gal.	Pot	28
	RUS EQU	Russelia equisetiformis	Firecracker Plant	5 gal.	Pot	16
	STR NIC	Strelitzia nicolai	Giant Bird of Paradise	15 gal.	Pot	3
	STR REG	Strelitzia reginae	Bird Of Paradise	5 gal.	Pot	3
	TRA PU3	Tradescantia pallida 'Purple Heart'	Purple Queen Spiderwort	1 gal.	Pot	28
	WES MUN	Westringia fruticosa 'WES05' TM	Mundi Coast Rosemary	5 gal.	Pot	6
	WES WYN	Westringia fruticosa 'Wynabbie Gem'	Wynabbie Gem Coast Rosemary	5 gal.	Pot	14
VINE/ESPALIER	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	SOL MAX	Solandra maxima	Cup of Gold Vine	5 gal.	Pot	5
SOD/SEED	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	FES FXL	Festuca arundinacea 'Defiance! XRE'	Defiance! XRE Tall Fescue	sod		157 sf



PLANT SCHEDULE

FRUIT TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	CIT FUK	Citrus japonica	Kumquat	15 gal.	Pot	3
	CIT DW2	Citrus x aurantiifolia 'Dwarf Bearss Seedless'	Dwarf Bearss Seedless Lime	15 gal.	Pot	2
	CIT DWA	Citrus x limon 'Dwarf Eureka'	Dwarf Eureka Lemon	15 gal.	Pot	3
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	ACC SEL	Acca sellowiana	Pineapple Guava	5 gal.	Pot	5
	AGA ATT	Agave attenuata	Foxtail Agave	5 gal.	Pot	9
	CYM CIT	Cymbopogon citratus	Lemon Grass	5 gal.	Pot	7
	MEN SAC	Mentha sachalinensis	Garden Mint	4"	Pot	5
	ORI HIR	Origanum vulgare hirtum	Greek Oregano	4"	Pot	12
	ROS OFF	Rosmarinus officinalis 'Prostratus'	Creeping Rosemary	1 gal.	Pot	16
	SAL GAR	Salvia officinalis	Garden Sage	4"	Pot	4
	THY VA3	Thymus x citriodorus 'Variegata'	Variegated Lemon Thyme	4"	Pot	10
	VAC SLS	Vaccinium x 'Blueberry Burst'	Blueberry Burst Blueberry	3 gal.	Pot	4



PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	MAG BLA	Magnolia grandiflora 'D.D. Blanchard'	Southern Magnolia	36"	Box	3
PALM TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	ARC MUL	Archontophoenix cunninghamiana	Multi-Trunk King Palm	36"	Box	2
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	ACA CO3	Acacia cognata 'ACCOG01'	Cousin Itt Little River Wattle	5 gal.	Pot	11
	AGA ATT	Agave attenuata	Foxtail Agave	5 gal.	Pot	12
	CAR DIV	Carex divulsa	Berkeley Sedge	1 gal.	Pot	142
	CAR TES	Carex testacea	Carex	1 gal.	Pot	30
	CRA CAP	Crassula capitella 'Campfire'	Campfire Crassula	1 gal.	Pot	11
	CRI MEN	Crinum x 'Menehune'	Menehune Dwarf Purple Crinum Lily	5 gal.	Pot	3
	LOR GRE	Loropetalum chinense	Chinese Fringe Flower	5 gal.	Pot	5
	PHI XXA	Philodendron x 'Xanadu'	Xanadu Philodendron	5 gal.	Pot	6
	PHO ATR	Phormium tenax 'Atropurpureum'	Purple New Zealand Flax	5 gal.	Pot	28
	RUS EQU	Russelia equisetiformis	Firecracker Plant	5 gal.	Pot	16
	STR NIC	Strelitzia nicotai	Giant Bird of Paradise	15 gal.	Pot	3
	STR REG	Strelitzia reginae	Bird Of Paradise	5 gal.	Pot	3
	TRA PU3	Tradescantia pallida 'Purple Heart'	Purple Queen Spiderwort	1 gal.	Pot	28
	WES MUN	Westringia fruticosa 'WES05' TM	Mundi Coast Rosemary	5 gal.	Pot	6
	WES WYN	Westringia fruticosa 'Wynabbie Gem'	Wynabbie Gem Coast Rosemary	5 gal.	Pot	14
VINE/ESPALIER	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	SOL MAX	Solandra maxima	Cup of Gold Vine	5 gal.	Pot	5
SOD/SEED	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	FES FXL	Festuca arundinacea 'Defiance! XRE'	Defiance! XRE Tall Fescue	sod		22,568 sf



Acacia cognata - Cousin Itt Little River Wattle
Drought Tolerant



Agave attenuata - Foxtail Agave
Drought Tolerant



Carex divulsa - Berkeley sedge
Drought Tolerant



Crassula capitella 'Campfire' - Campfire Crassula
Drought Tolerant



Crinum x 'Menehune' - Menehune Dwarf Prupel Crinum Lily



Loropetalum chinense - Chinese Fringe Flower
Drought Tolerant



Philodendron x 'Xanadu' - Xanadu Philodendron



Phormium tenax 'Atropurpureum' - Purple New Zealand Flax
Drought Tolerant



Russelia equisetiformis - Firecracker Plant
Drought Tolerant



Archontophoenix cunninghamiana - Multi King Plam
Drought Tolerant



Magnolia grandiflora 'D.D. Blanchard'
Drought Tolerant



Strelitzia nicotai - Giant Bird of Paradise
Drought Tolerant



Strelitzia reginae - Bird of Paradise
Drought Tolerant



Tradescantia pallida 'Purple Heart' - Purple Queen Spiderwort
Drought Tolerant



Carex testacea - Orange Carex
Drought Tolerant



Festuca arundinacea 'Defiance!' - XRE Tall Fescue
Drought Tolerant



westringi -fruticosa - Mundi Coast Rosemary
Drought Tolerant



Westringia fruticosa 'Wynabbie Gem'
Drought Tolerant



Solandra maxima - Cup of Gold Vine

PLANT SCHEDULE

FRUIT TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	CIT FUK	Citrus japonica	Kumquat	15 gal.	Pot	3
	CIT DW2	Citrus x aurantiifolia 'Dwarf Bearss Seedless'	Dwarf Bearss Seedless Lime	15 gal.	Pot	2
	CIT DWA	Citrus x limon 'Dwarf Eureka'	Dwarf Eureka Lemon	15 gal.	Pot	3

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	ACC SEL	Acca sellowiana	Pineapple Guava	5 gal.	Pot	5
	AGA ATT	Agave attenuata	Foxtail Agave	5 gal.	Pot	9
	CYM CIT	Cymbopogon citratus	Lemon Grass	5 gal.	Pot	7
	MEN SAC	Mentha sachalinensis	Garden Mint	4"	Pot	5
	ORI HIR	Origanum vulgare hirtum	Greek Oregano	4"	Pot	12
	ROS OFF	Rosmarinus officinalis 'Prostratus'	Creeping Rosemary	1 gal.	Pot	16
	SAL GAR	Salvia officinalis	Garden Sage	4"	Pot	4
	THY VA3	Thymus x citriodorus 'Variegata'	Variegated Lemon Thyme	4"	Pot	10
	VAC SLS	Vaccinium x 'Blueberry Burst'	Blueberry Burst Blueberry	3 gal.	Pot	4



Citrus japonica - Kumquat
Drought Tolerant



Citrus x aurantiifolia Dwarf Bearss Seedless Lime
Drought Tolerant



Citrus x limon 'Dwarf Eureka' - Dwarf Eureka Lemon
Drought Tolerant



Acca sellowiana - Pineapple Guava
Drought Tolerant



Agave attenuata - Foxtail Agave
Drought Tolerant



Cymbopogon citratus - Lemon Grass
Drought Tolerant



Mentha sachalinensis - Garden Mint
Drought Tolerant



Origanum vulgare hirtum - Greek Oregano
Drought Tolerant



Rosmarinus officinalis 'Prostratus' - Creeping Rosemary
Drought Tolerant



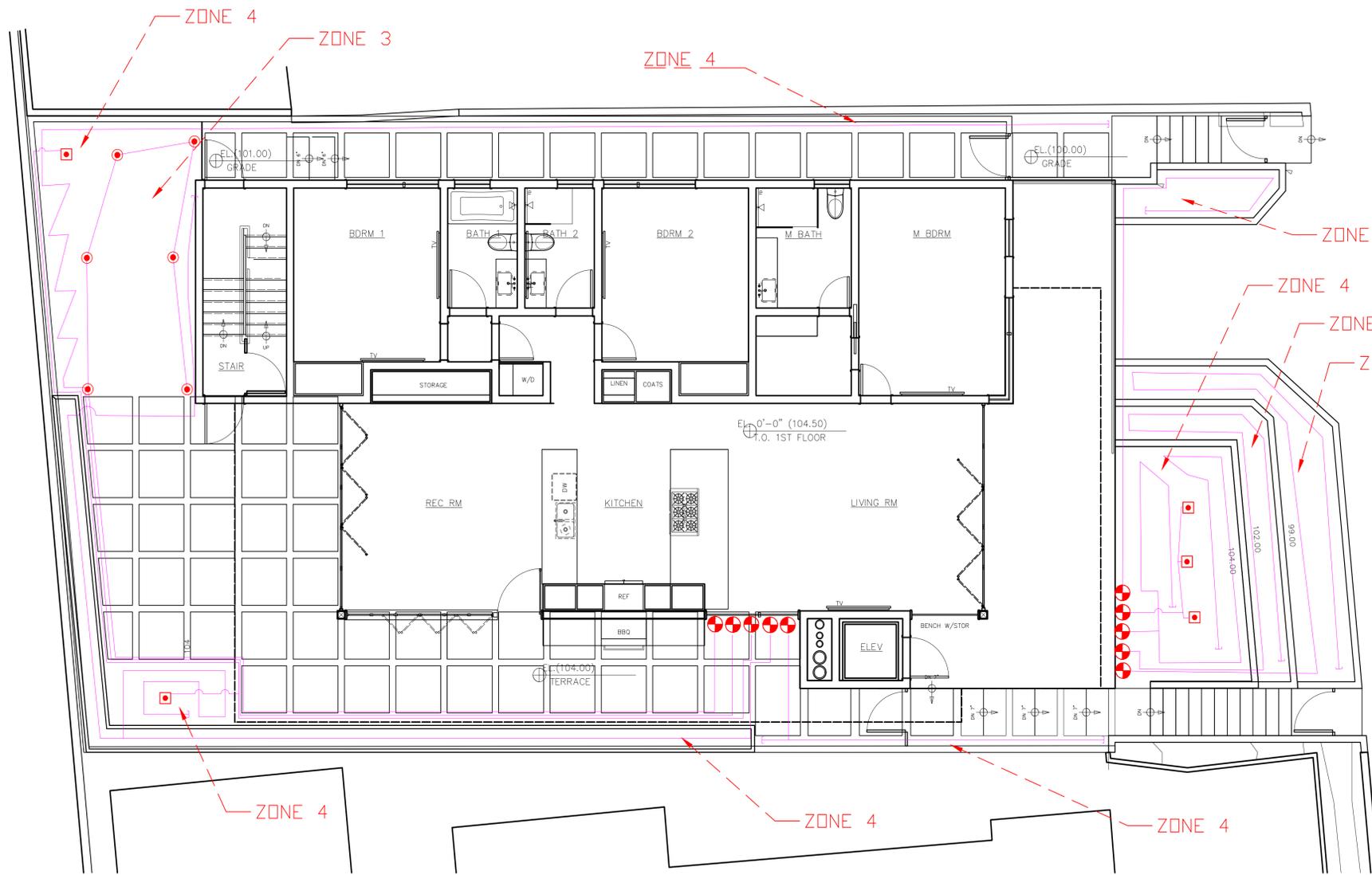
Salvia officinalis - Garden Sage
Drought Tolerant



Thymus x citriodorus 'Variegata' - Variegated Lemon Thyme
Drought Tolerant



Vaccinium x 'Blueberry Burst' - Blueberry Burst
Drought Tolerant



IRRIGATION LEGEND

COMPONENT	VENDOR	MODEL/NOTES
POINT OF CONNECTION 1		CONTRACTOR TO CONFIRM AVAILABLE EXISTING PRESSURE
CONTROLLER	HUNTER	I-CORE WITH WSS-SEN OR EQUAL, IN LOCKABLE SS CABINET
REMOTE CONTROL VALVE	HUNTER	PGV-101G-AS-ADJ-R
DRIP CONTROL KIT	HUNTER	ICZ-101-25-R
MASTER CONTROL VALVE	HUNTER	ICV-201G-R
GATE VALVE	SPEARS	
BALL VALVE	SPEARS	
PRESSURE REGULATOR	WILKINS	
QUICK COUPLER	HUNTER	HQ-33DRC-R
FLOW SENSOR	HUNTER	HFS 100 WITH FCT-150-R
BUBBLER	HUNTER	RZWS-18-50-CV-R, 2 PER TREE, 40psi/0.5gpm
HUNTER PROS-04-PRS30-CV-MP2000		19'
HUNTER PROS-04-PRS30-CV-MP1000		14'
HUNTER PROS-04-PRS30-CV-MP800SR		10'
MAINLINE		2" UNLESS OTHERWISE NOTED
LATERAL LINE		1" PVC SCHEDULE 40 UNLESS OTHERWISE NOTED
SLEEVE		
DRIP LINE (PVC TO POLYETHYLENE CONNECTION)		
EXTENT OF DRIPZONE		

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes	
Enter value in Pale Blue Cells	
Tan Cells Show Results	
Messages and Warnings	
Click on the blue cell on right to Pick City Name	Santa Monica Name of City
ET _o of City from Appendix A	44.20 ET _o (inches/year)
	157 Overhead Landscape Area (ft ²)
	900 Drip Landscape Area (ft ²)
	0 SLA (ft ²)
Total Landscape Area	1,057.00
Results:	
(ET _o) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]	15,931.32 Gallons
	2,129.71 Cubic Feet
	21.30 HCF
	0.05 Acre-feet
	0.02 Millions of Gallons
MAWA calculation incorporating Effective Precipitation (Optional)	
Precipitation (Optional)	
ET _o of City from Appendix A	44.20 ET _o (inches/year)
Total Landscape Area	1,057.00 LA (ft ²)
Special Landscape Area	0.00 SLA (ft ²)

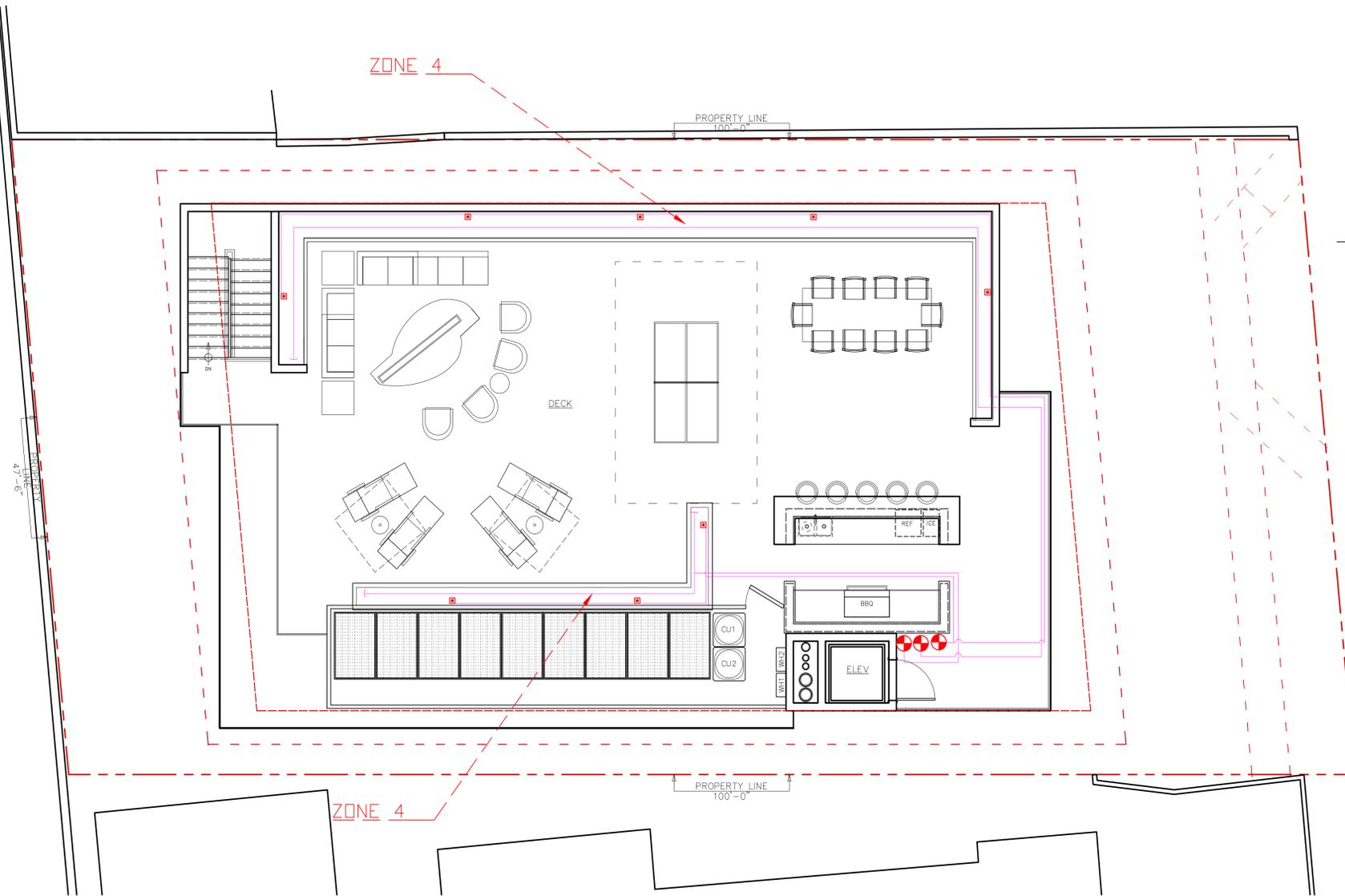
Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
Zone 1	Overhead Spray	High	0.86	-	0.75	0
Zone 2	Overhead Spray	Medium	0.50		0.75	0
Zone 3	Overhead Spray	Medium	0.50	157	0.75	105
Zone 4	Drip	Low	0.30	900	0.81	333
Zone 5	Drip	Low	0.30		0.81	0
Zone 6	Drip	Low	0.20		0.81	0

Results	
MAWA =	15,931
ETWU =	12,001 Gallons
	1,604 Cubic Feet
	16 HCF
	0 Acre-feet
	0 Millions of Gallons

ETWU complies with MAWA



SCALE: 3/16" = 1'-0"



IRRIGATION LEGEND

COMPONENT	VENDOR	MODEL/NOTES
		CONTRACTOR TO CONFIRM AVAILABLE EXISTING PRESSURE
	HUNTER	I-CORE WITH WSS-SEN OR EQUAL, IN LOCKABLE SS CABINET
	HUNTER	PGV-101G-AS-ADJ-R
	HUNTER	ICZ-101-25-R
	HUNTER	ICV-201G-R
	SPEARS	
	SPEARS	
	WILKINS	
	HUNTER	HQ-33DRC-R
	HUNTER	HFS 100 WITH FCT-150-R
	HUNTER	RZWS-18-50-CV-R, 2 PER TREE, 40psi/0.5gpm
		19'
		14'
		10'
		2" UNLESS OTHERWISE NOTED
		1" PVC SCHEDULE 40 UNLESS OTHERWISE NOTED

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Enter value in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Click on the blue cell on right to Pick City Name

City	Name of City
Santa Monica	Name of City

ET_c of City from Appendix A

44.20	ET _c (inches/year)
157	Overhead Landscape Area (ft ²)
900	Drip Landscape Area (ft ²)
0	SLA (ft ²)
1,057.00	Total Landscape Area

Results:
(ET_c) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]

15,931.32	Gallons
2,129.71	Cubic Feet
21.30	HCF
0.05	Acre-feet
0.02	Millions of Gallons

MAWA calculation incorporating Effective Precipitation (Optional) Precipitation (Optional)

44.20	ET _c (inches/year)
1,057.00	LA (ft ²)
0.00	SLA (ft ²)

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
Zone 1	Overhead Spray	High	0.86	-	0.75	0
Zone 2	Overhead Spray	Medium	0.50	-	0.75	0
Zone 3	Overhead Spray	Medium	0.50	157	0.75	105
Zone 4	Drip	Low	0.30	900	0.81	333
Zone 5	Drip	Low	0.30	-	0.81	0
Zone 6	Drip	Low	0.20	-	0.81	0

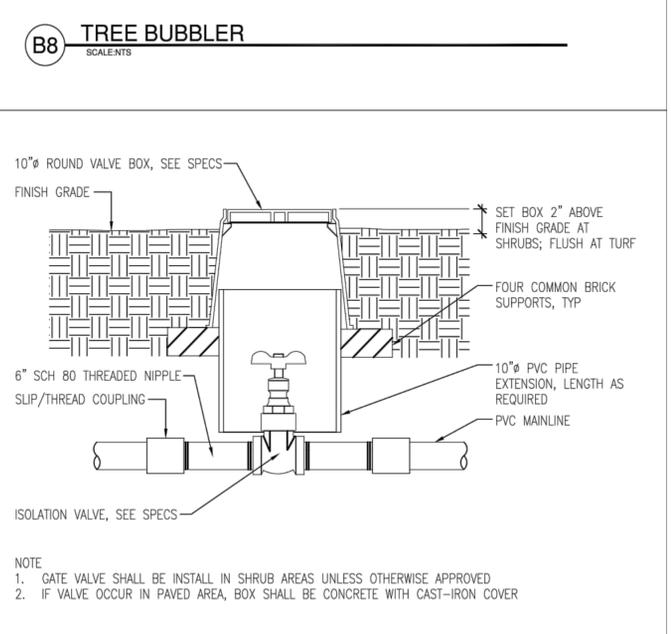
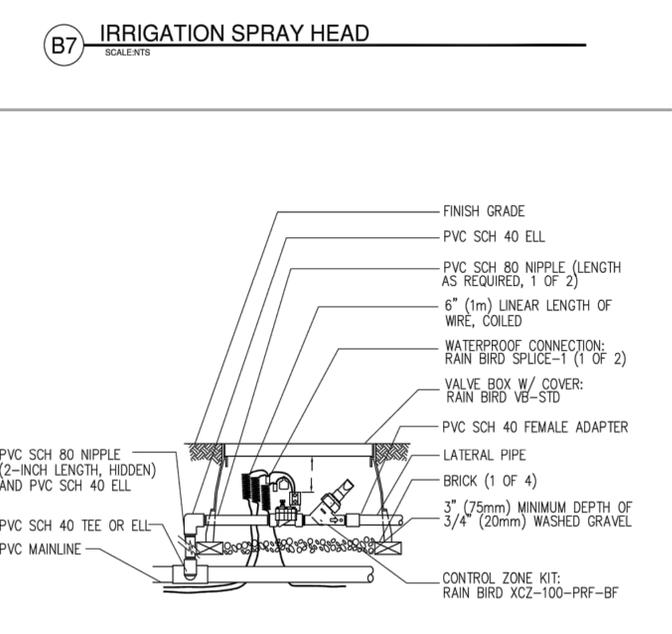
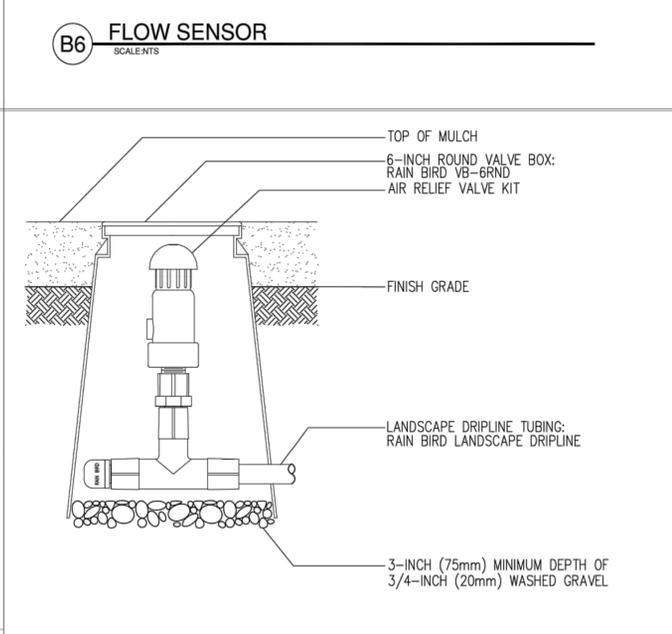
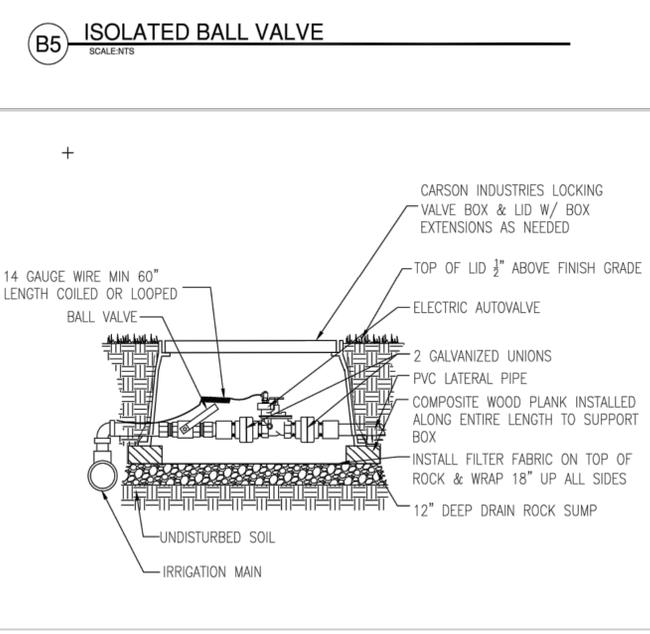
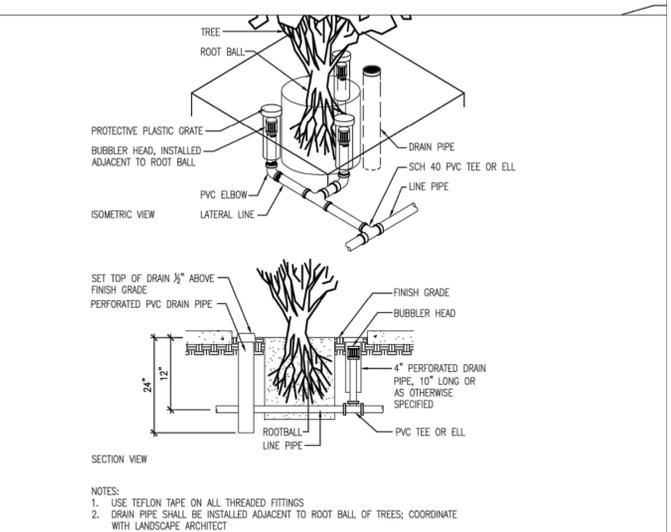
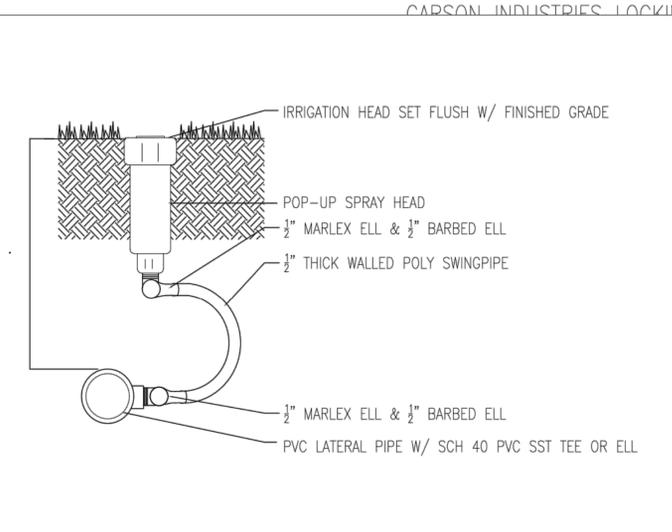
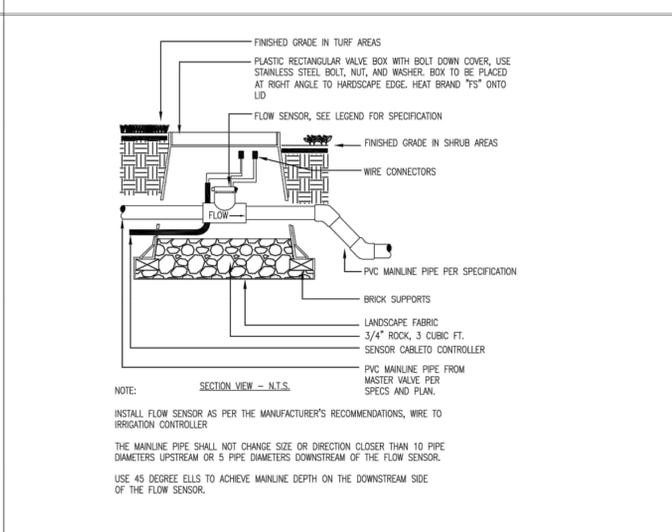
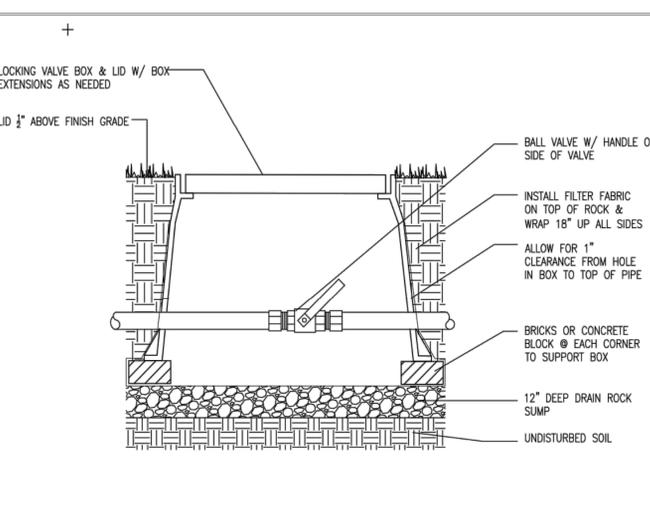
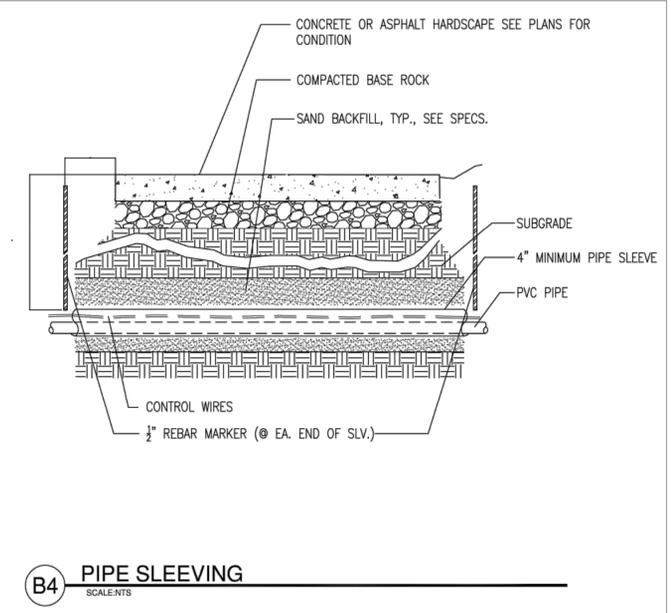
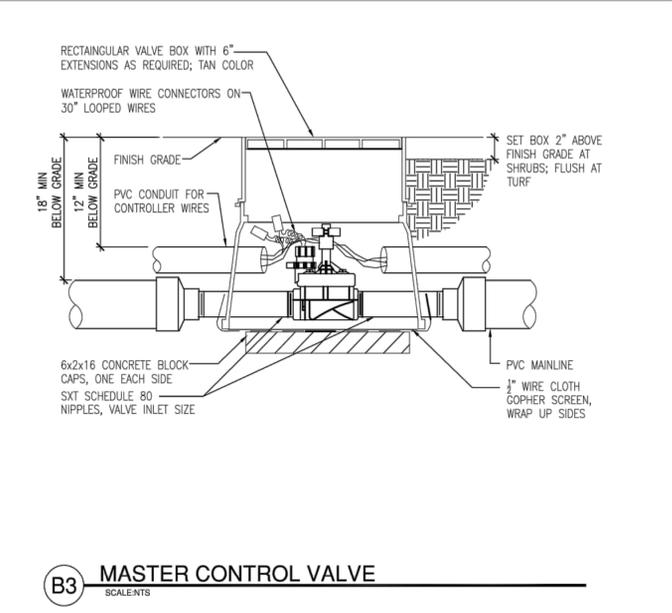
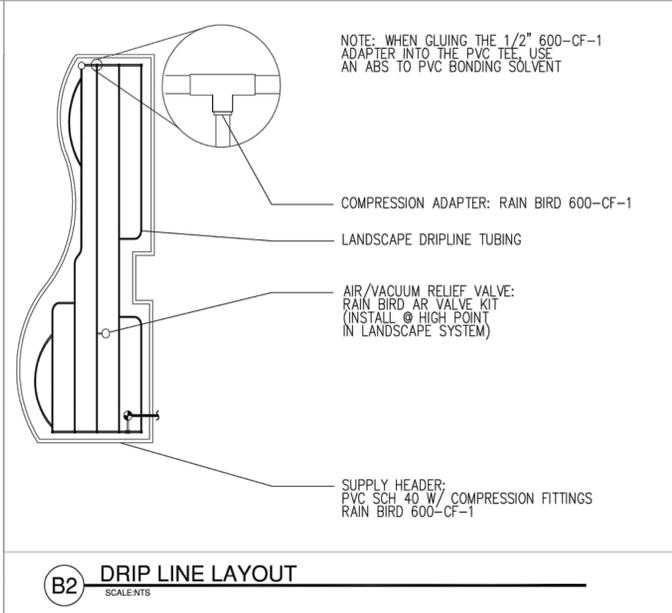
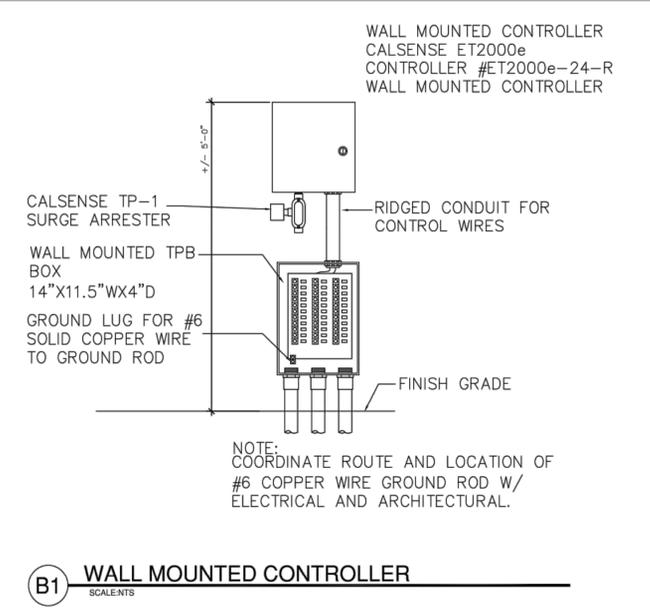
438	
0	
Sum	1,057

Results

MAWA = 15,931	ETWU = 12,001 Gallons	ETWU complies with MAWA
	1,604 Cubic Feet	
	16 HCF	
	0 Acre-feet	
	0 Millions of Gallons	



SCALE: 3/16" = 1'-0"



B9 REMOTE CONTROL VALVE
SCALENTS

B10 AIR RELIEF VALVE
SCALENTS

B11 DRIP VALVE KIT
SCALENTS

B12 GATE VALVE
SCALENTS







