

17th STREET CONDOS

1949 17th street, Santa Monica, CA 90404



OWNER:
JDHUANG Investment Inc.
 Lin Liu
 15 New Dawn
 Irvine, CA 90275
 949-630 5765

DESIGN:
DES-ARC
 12515 Wagner St.
 LA, CA 90066
 tel: 310 435 0752

STRUCTURAL ENGINEER
LEE & LEE STRUCTURAL ENGINEERING INC. 3550 WILSHIRE BLVD, # 480 LA, CA 90010 213-351-0034

△	XX/04	ISSUE FOR PLAN CHECK

MULTI FAMILY RESIDENTIAL PROJECT
 Five Unit Condo Building
 1949 17th st, Santa Monica, CA 90404

TITLE
COVER SHEET

SCALE	DATE
	02.02.2020

SHEET NUMBER
A-0.0

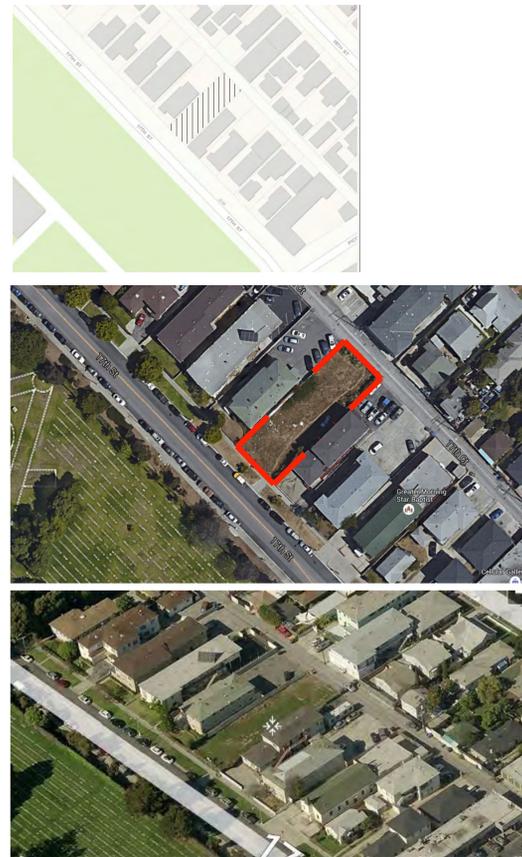
AGENCY SUBMITTAL

PROJECT TEAM		SCOPE OF WORK:	SHEET INDEX
OWNER: JDHUANG Investment Inc. 15 NEW DAWN IRVINE, CA 90275 9 49-630 5765	CIVIL ENGINEER JK & ASSOCIATES 1295 Los Angeles St #4 Glendale, CA 91204 T: 818-507-9881 F: 818-507-9882	TWO STORY CONDOMINIUM BUILDING (8,495 G.S.F.) INCLUDING 5 TOWNHOUSE UNITS AND ONE LEVEL UNDERGROUND PARKING	GENERAL/PROJECT INFO ARCHITECTURAL A-0.0 COVER SHEET A-0.1 PROJECT INFO A-0.2 SITE PLAN/ PARKING A-0.3 SETBACK DIAGRAMS A-1.1 FIRST LEVEL / SECOND LEVEL FLOOR PLANS A-1.2 THIRD LEVEL/ ROOF PLANS A-1.3 DEMOPLAN / BASEMENT PLAN A-2.1 SECTIONS A-3.1 ELEVATIONS A-3.2 COLOR ELEVATIONS A-5.1 PERSPECTIVE VIEWS A-5.3 PERSPECTIVE VIEWS A-6.1 NEIGHBORHOOD STUDY
DESIGN : DES-ARC 12515 Wagner St. Los Angeles, CA 90066	SURVEY BROOKS AND ASSOCIATES 3300 LEWIS AVENUE SIGNAL HILL, CA 90755 (562) 508-9010		
STRUCTURAL ENGINEER: LEE & LEE STRUCTURAL ENGINEERING INC. 3550 WILSHIRE BLVD, SUITE 480 LOS ANGELES, CA 90010 JUNO@LEENLEE.NET T) 213-351-0034 F) 213-368-0034	LANDSCAPE Yael Lir Landscape Architects 1010 Sycamore Ave. Suite 313 South Pasadena, CA 91030 Tel 323.258.5222 Fax 323.258.5333		
GEOLOGY & SOILS ENGINEERS: Hamilton & Associates, Inc. 1641 Border Avenue Torrance, California 90501 P 310-618-2190 F 310-618-2191	MEP ENGINEERS:		

PROJECT INFORMATION / INQUIRY

DISCRIPTION	ALLOWED/ REQUIRED	BONUS/ INSENTIVES	ADJUSTED per insentives	PROVIDED
MINIMUM PARCEL DIMENSIONS:				7,750 s.f.(exist.)
LOT AREA	5,000 s.f.	+ ½ of alley	7,750 s.f. + 500sf (½ of alley) = 8,250 sf	8,250 s.f. (+1/2 of alley)
WIDTH	50'			50'
LENGTH	150'			155'
MAXIMUM UNIT DENSITY (DWELLING UNIT/AREA)	1unit/2000 s.f = 4 UNITS (as per table 9.08-030)	if provide Low Income units on site (for 20% of low income – up to 35% bonus). (as per 9.04.10.14.050 Density bonus increase for affordable housing in residential zones)	provide 1 Low Income Units = 20% (eligible for– 35% bonus). 4UNITS + 35% bonus = 5 UNITS	5 UNITS (4+1 affordable)
MAXIMUM PARCEL COVERAGE (MPC)	(as per table 9.08-030 - for R2 Zone - Multifamily Residential Districts)	(as per 9.04.10.14.060 State incentives for affordable housing in residential zones) Eligible for 2 incentives, when providing 20% of Low Income Units		
FIRST STORY	45% = 3,713 sf allowed	10% increase of the first floor parcel coverage	3,713 sf + 337sf (10% bonus) = 4,083 sf	3,280sf
SECOND STORY	90% of L1 = 3,342 sf	90% of the increase first floor parcel coverage	90% of 4,083 sf (L1) = 3,675 sf	3,326sf (89.5%of allowable L1)
TOTAL NEW BUILDING AREA (decks not included)				7,215 GSF
MINIMUM SETBACKS	(as per table 9.08-030 - for R2 Zone - Multifamily Residential Districts)	(as per 9.22.040 State incentives for affordable housing in residential zones) Eligible for 2 incentives, when providing 20% of Low Income Units		
FRONT YARD	20' or as established in the Official District Map, whichever is greater	NA		
SIDE YARD	8'	up to15% deviation of one side yard setback	15% deviation of side yard setback = 6.8'	6.8' (west side)
REAR YARD	15'	up to15% deviation of one side yard setback	15% deviation of rear yard setback = 12.75'	15'
DISCRIPTION	ALLOWED/ REQUIRED	BONUS/ INSENTIVES	ADJUSTED	PROVIDED
PRIVATE OPEN SPACE (for four and five units)	(as per table 9.08-030) 100 s.f./ Unit 500 s.f. (required) - planted area - 30 % of parcel area adjoining the street - 50% of interior setback (min 3' width)	(as per 9.04.10.14.060 State incentives for affordable housing in residential zones) incentives, when providing 20% of Low Income Units	private – 60 sf /unit min. + 300 SF total - 150 sf / unit min + 750 SF	private: - L1 - 600 s.f. - roof deck - 800sf total: 2,500 s.f.
MINIMUM BUILDING HEIGHT	2 stories - 23' max (as per table 9.08.030) - exceptions above the height limit: - stairs enclosure - mechanical equipment enclosure (up to 12' height) (as per table 9.21.060)			2 stories max. 30' height with roof deck @23' height
PARKING REQUIREMENTS (for multi family housing with affordable units)	(as per table 9.28.060 - for Multifamily Dwelling)	(as per 9.04.10.14.060 State incentives for affordable housing in residential zones) incentives, when providing 20% of Low Income Units		
	1 bedroom - 0.75 space/unit 2 bedrooms - 2 spaces /unit Guest parking - 1 space	1 bedroom - 0.75 space/unit 2 bedrooms - 2 spaces /unit Guest parking - 0 spaces	2 bedroom - 2 spaces /unit 2 bedroom(afford.)- 1 spaces /unit Guest parking - 0 space	9 parking spaces in an underground garage + 1 handicap/ guest at grade
NOTE:				
ADDITIONAL CONDITIONS, THAT COULD EFFECT THE INITIAL STUDIES AND ESTIMATES:				
DESIGN REVIEW AND PUBLIC HEARING	The DESIGN REVIEW recommendations and the PUBLIC HEARING comments, could influence, the density, the lot coverage, height restrictions, the volumetric configuration, which could effect the plan layouts, the unit mix, the build-able area.			
EXISTING TREE REMOVAL	- as per City Arborist assessment and recommendations (not provided in this inquiry), could require the preservation of some existing trees. - could effect the initial layout study			

VICINITY MAP



LEGAL DISCRIPTION

OWNER	JDHUANG Investment Inc. 15 New Dawn Irvine, CA 90275 949-630 5765
ADDRESS	1949 17th Street, Santa Monica, CA 90404
A P N	4274-015-020
TRACT	48027
MAP REF:	M-B 1167.9.10
BLOCK	
LOT	1
PARCEL	-
ZONE	R2 - (Low density housing)
TYPE OF CONST.	V
LOT AREA	7,753 s.f.
EXIST.	EMPTY
PERMITTED USAGE	Multi family Dwellings (apartments, condos)
DENSITY	1unit/2000 s.f

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PROJECT SUMMERY

DISCRIPTION	PROPOSED	NOTES
LOT AREA	7,750 s.f.(exist.) 8,250 s.f. (+1/2 of alley)	
EXIST.	EMPTY LOT	
NEW MULTI FAMILY DWELLING	5 UNITS	4 two bedroom condos 1 low income unit
BUILDING HEIGHT	2 STORY	30' MAX.
UNIT TYPES	UNIT A - 1,475 SF UNIT B - 1,303 SF UNIT C - 1,123 SF	2 bedroom / 2.5 bath, townhouse unit, balcony (71SF) - not included (roof decks not included) 2 bedroom / 2.5 bath, townhouse unit, balcony (49SF) -not included (roof decks not included) 2 bedroom / 2.5 bath, townhouse unit, balcony (49SF) -not included (roof decks not included)
LOT COVERAGE L1	3,280 SF	38.1 % of lot area
L2	3,326 SF	89.5 % of allowable L1
Roof	700 SF (stairs enclosure)	21 % of gross roof area
TOTAL NEW BUILDING AREA (NET)	L1 - 3,309 SF L2 - 3,306 SF ROOF FLOOR - 635 SF TOTAL - 7,250 SF	roof decks and balcony not included <7,500 sf no Development Review required
SUBTERRANEAN GARAGE	B1 - 4,500sf	- 9 parking spaces - bicycle parking

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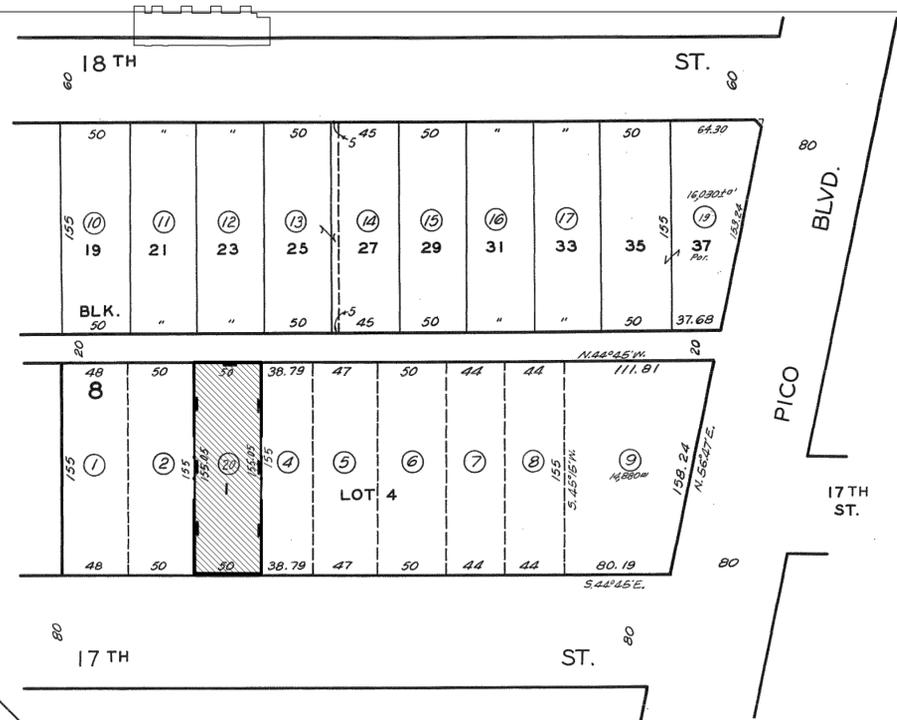
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PARCEL MAP

4274 15

SCALE 1" = 60'

1995



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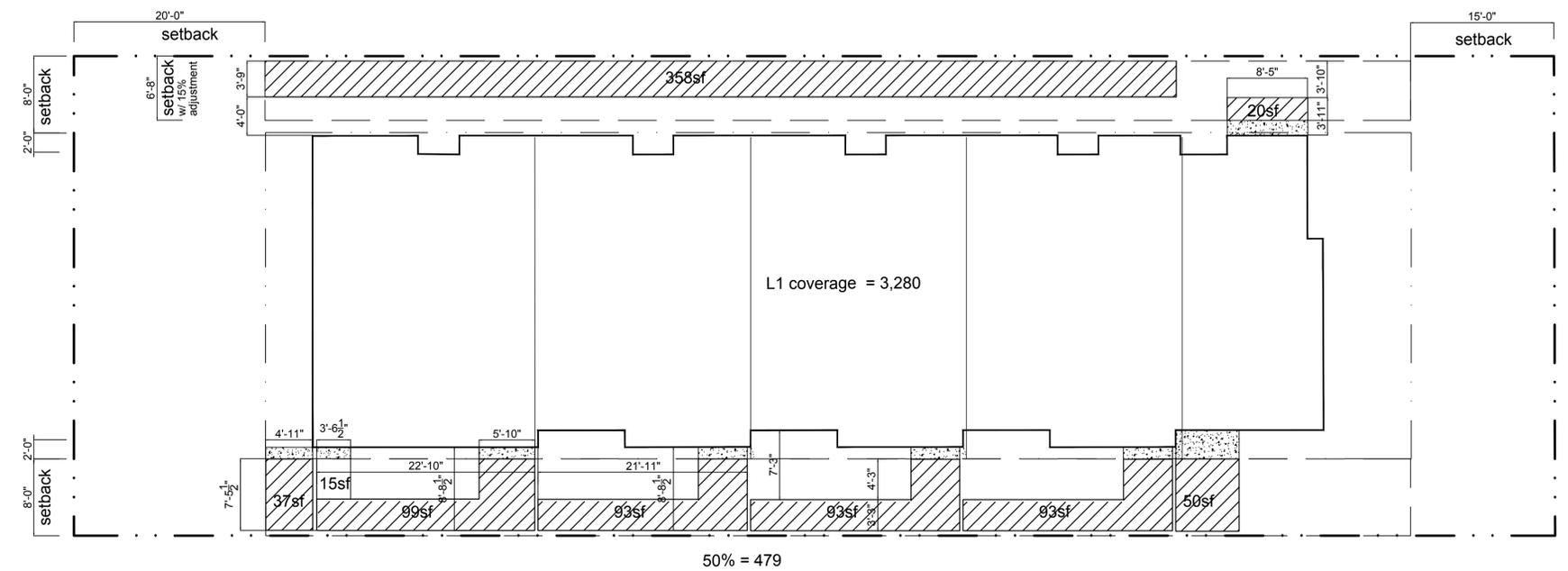
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DIAGRAMS

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SIDE YARD LANDSCAPING DIAGRAM

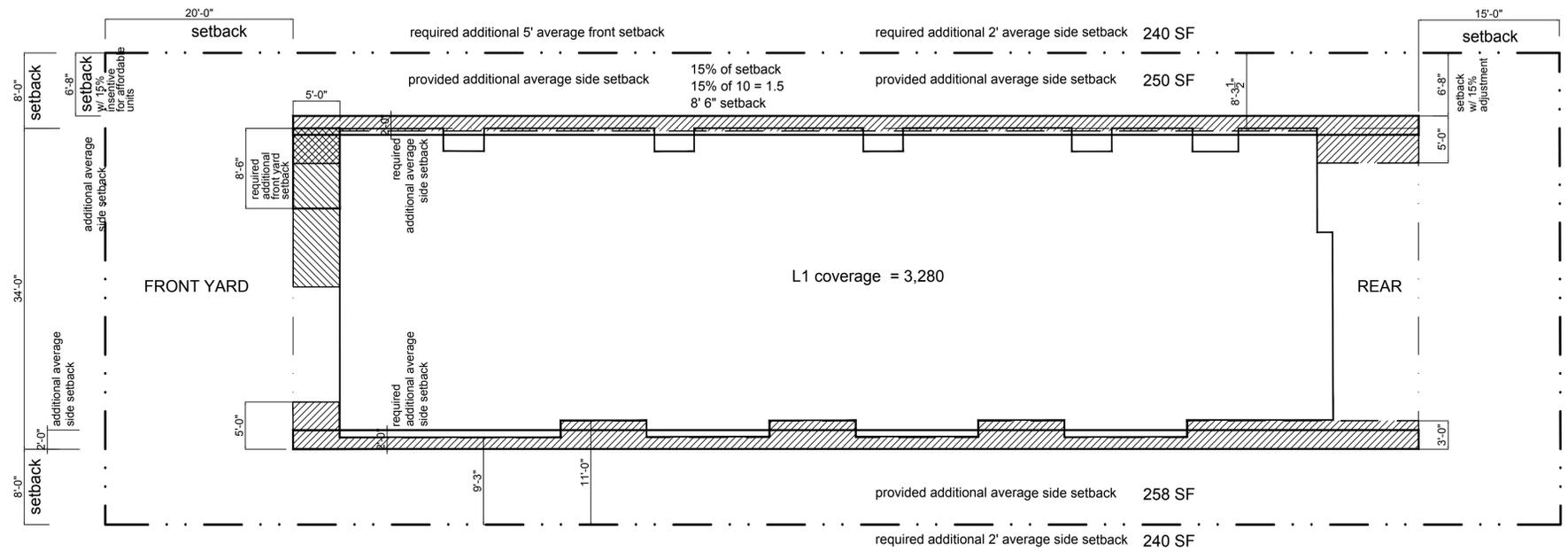
1/8"=1'-0"

NORTHERN SIDE SETBACK AREA

DESCRIPTION	AREA	RATIO	NOTES
TOTAL SIDE SETBACK AREA (W/ 15% ADJUSTMENT PER INCENTIVE)	743 SF		15 % DIVIATION PER 9.22.040
REQUIRED LANDSCAPED AREA	371 SF	50%	PER 9.08.030.G
PROVIDED LANDSCAPED AREA	378 SF	50.2%	

SOUTHERN SIDE SETBACK AREA

DESCRIPTION	AREA	RATIO	NOTES
TOTAL SIDE SETBACK AREA	959 SF		
REQUIRED LANDSCAPED AREA	479 SF	50%	PER 9.08.030.G
PROVIDED LANDSCAPED AREA	480 SF	50.1%	



SETBACK DIAGRAM

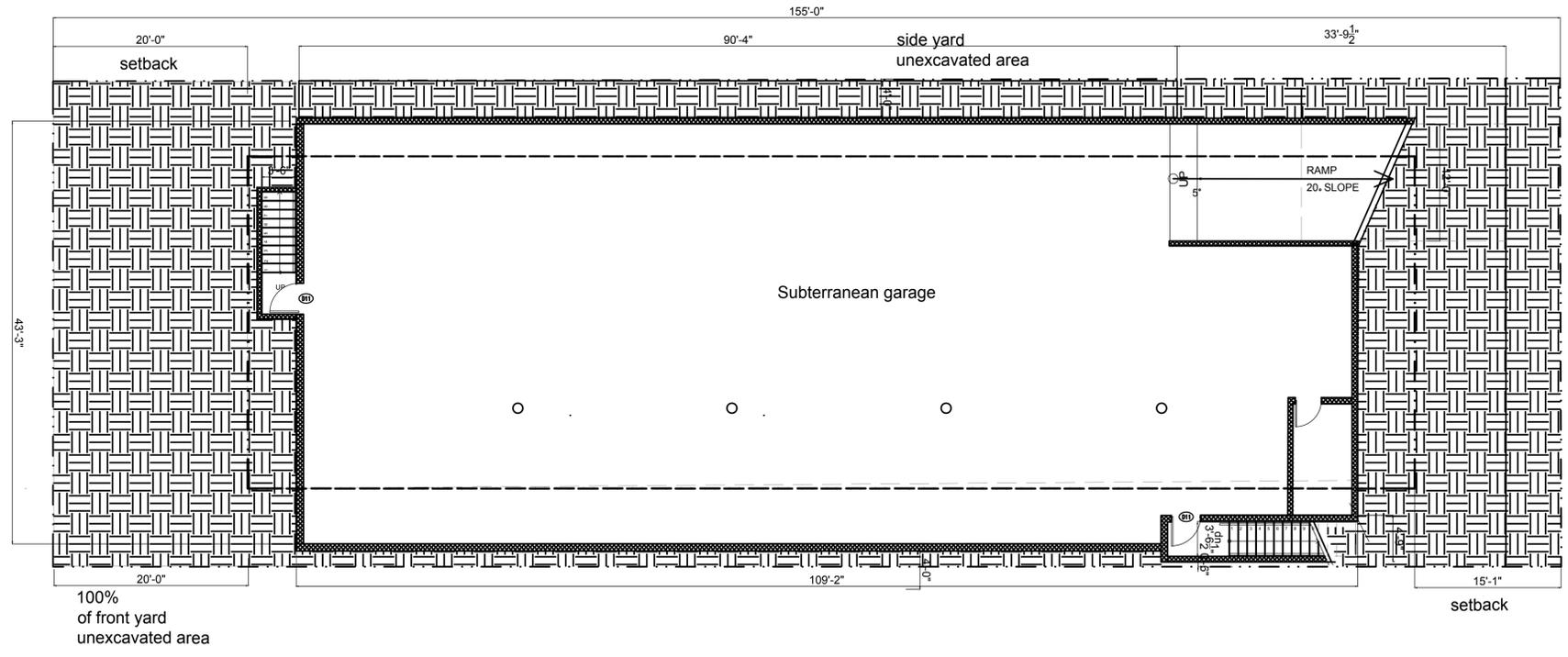
1/8"=1'-0"

NORTHERN SIDE ADJUSTABLE SETBACK

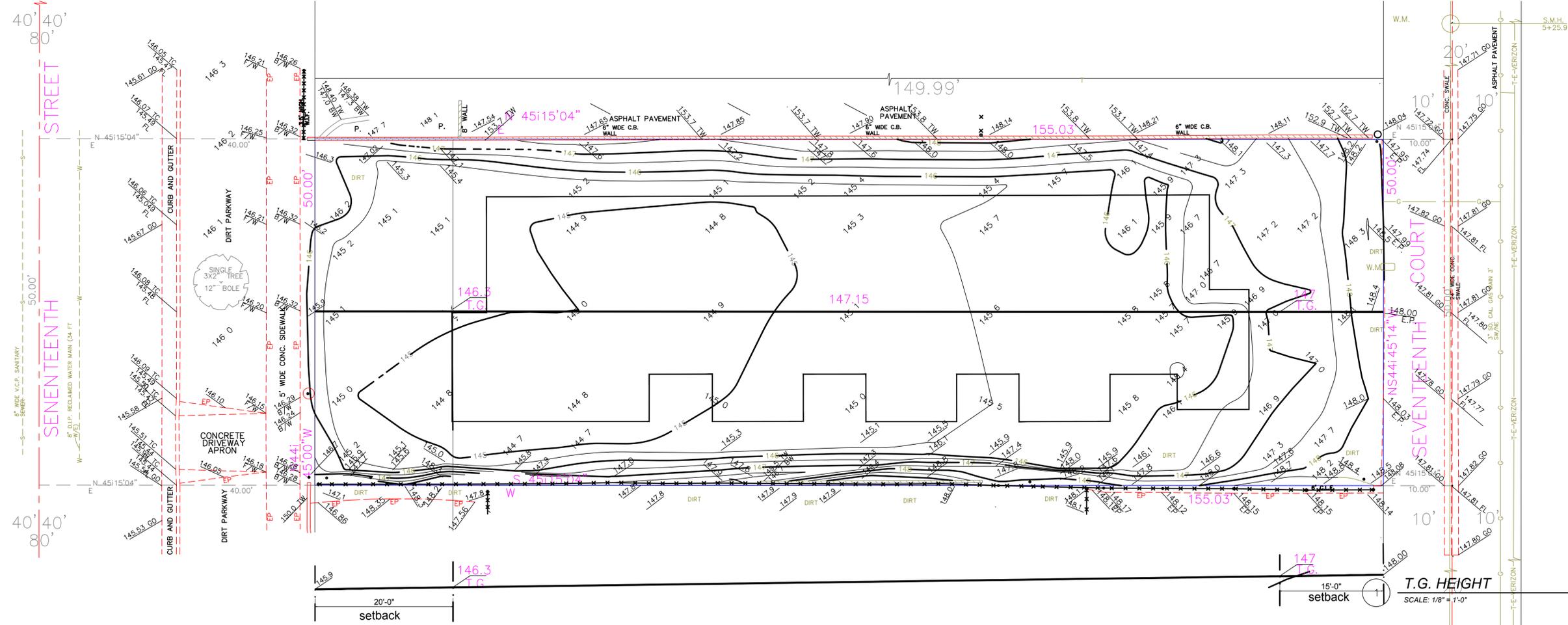
DESCRIPTION	AREA	RATIO	NOTES
SETBACK ADJUSTED (W/ 15% ADJUSTMENT PER INCENTIVE)		6.8'	15 % DIVIATION PER 9.22.040
REQUIRED ADJUSTABLE SETBACK	240 SF	1'-8"X120'	PER 9.08.030.G
PROVIDED ADJUSTABLE SETBACK	250 SF	VARIABLE	

SOUTHERN SIDE ADJUSTABLE SETBACK

DESCRIPTION	AREA	RATIO	NOTES
REQUIRED ADJUSTABLE SETBACK	240 SF	2'X120'	PER 9.08.030.G
PROVIDED ADJUSTABLE SETBACK	258 SF	VARIABLE	



2 UNEXCAVATED AREA
SCALE: 1/8" = 1'-0"



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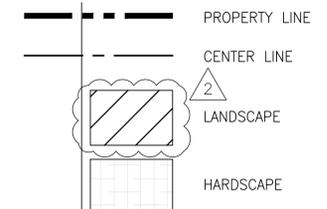
TITLE
FLOOR PLANS

SCALE DATE
 1/8" = 1'-0" 02.02.2020

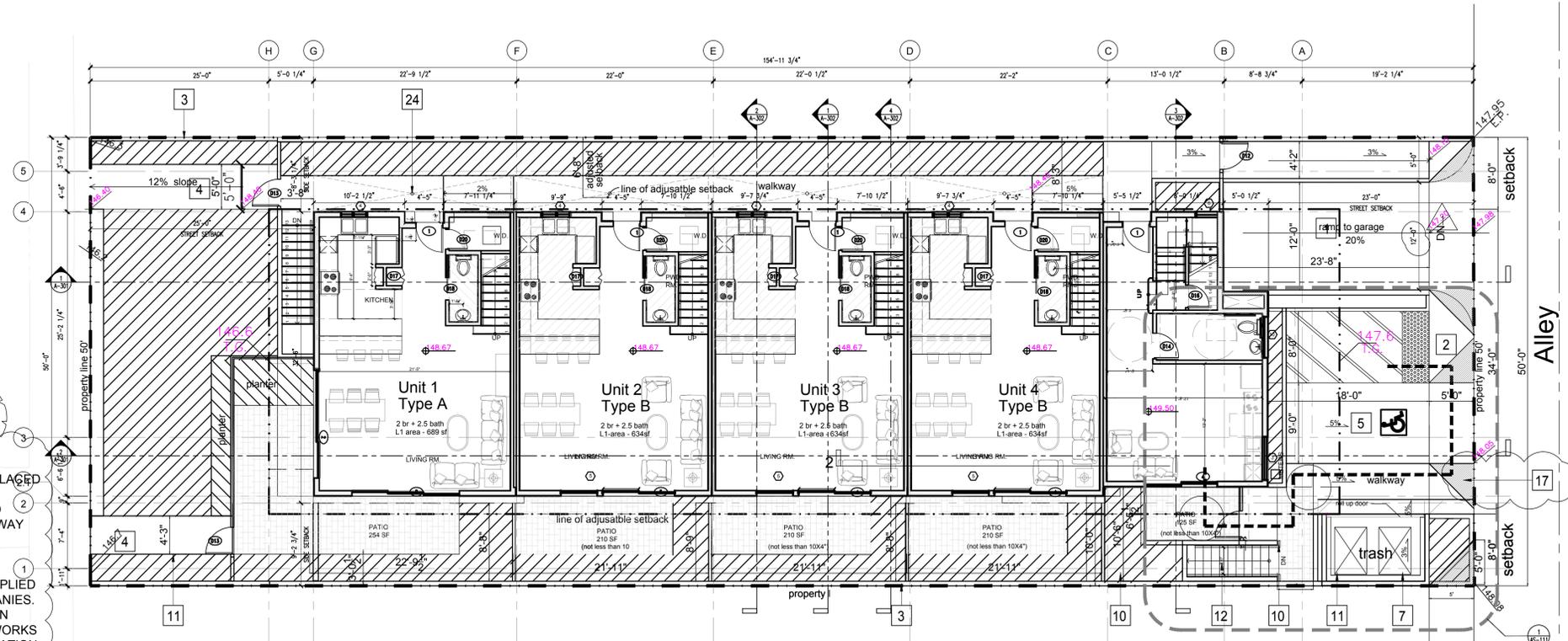
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AGENCY SUBMITTAL

LEGEND



TREE PROTECTION FENCE MUST BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
 PHOTOS OF INSTALLED TREE PROTECTION FENCE TO BE SENT TO public.landscape@sungov.net*
 SEE TREE PROTECTION ZONE GUIDELINE AT G-103
 ALL UTILITIES CONNECTIONS AT THE ALLEY

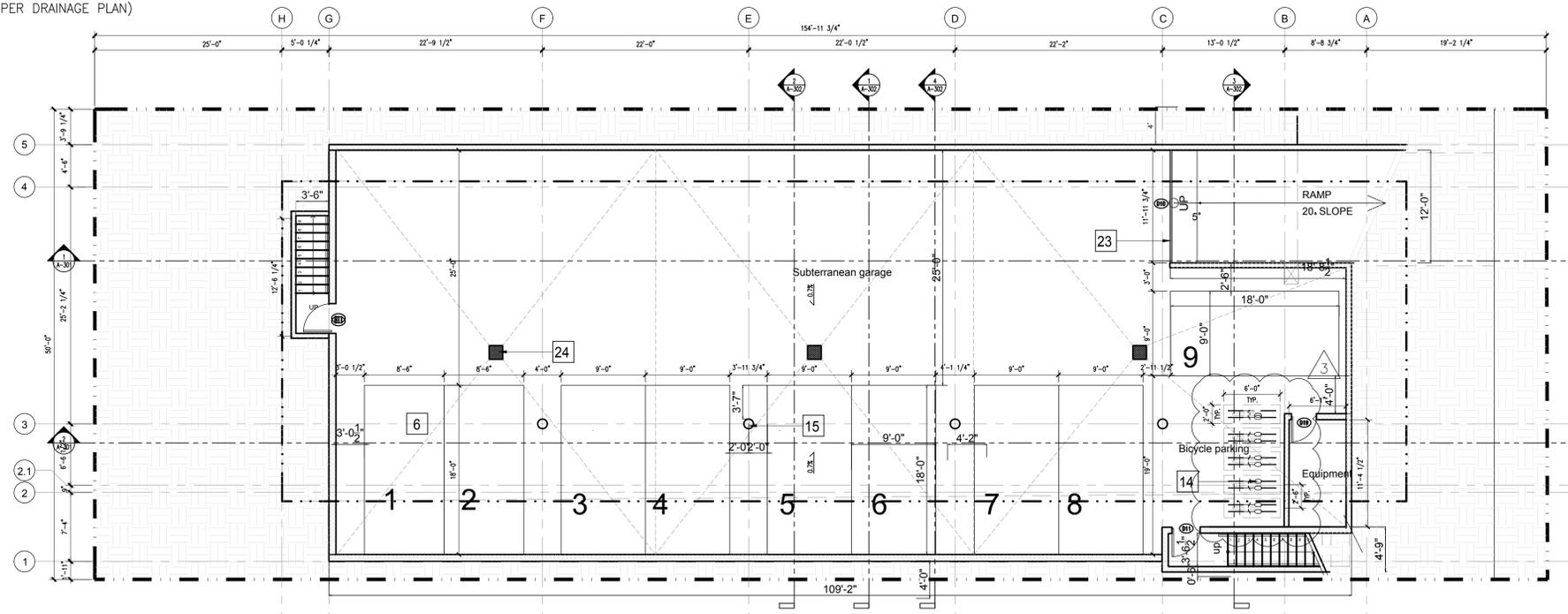


PUBLIC WORK NOTES:

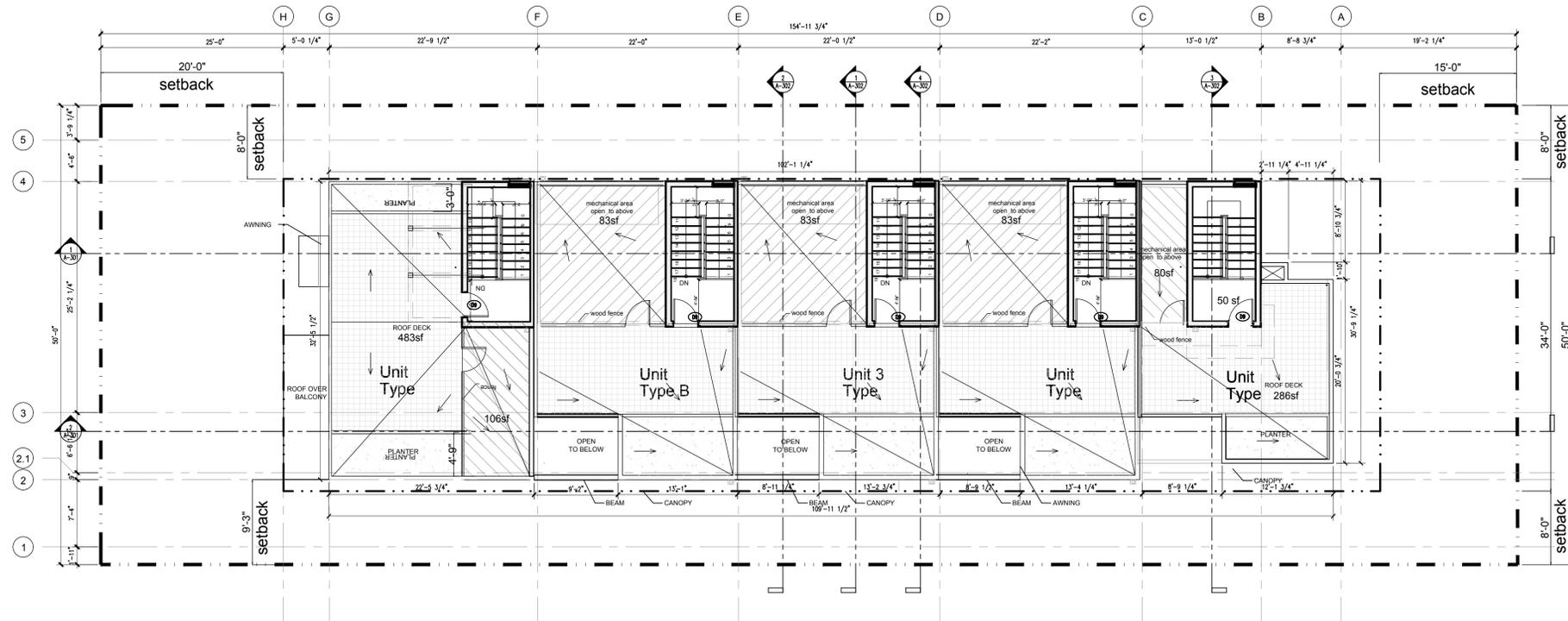
- PW1: DRIVEWAY APRON SHALL BE REMOVED AND REPLACED WITH CURBING, PARKWAY, AND SIDEWALK IN CONFORMITY WITH THE CURBING, PARKING, AND SIDEWALK ADJOINING SUCH ABANDONED DRIVEWAY APRON (SMMC 7.24.050 AND 7.24.060.)
- PW2: ALL SITE UTILITIES SHALL BE INSTALLED UNDERGROUND PER THE APPROVED PLANS SUPPLIED OR REVIEWED BY THE RELEVANT UTILITY COMPANIES. A SEPARATE PUBLIC WORKS UTILITY EXCAVATION PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS COUNTER, CITY HALL ROOM 113 FOR ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY
- PW3: PRIOR TO FIRE SPRINKLER INSTALLATION, CONTACT CITY FIELD INSPECTOR AT 310-458-8535 TO COORDINATE INSTALLATION OF DCDA.

KEYNOTES

- 1 SITE ENTRANCE
- 2 RIGHT-OF-WAY
- 3 5'H CONCRETE BLOCK WALL
- 4 WALK WAY
- 5 VAN ACCESSIBLE PARKING SPACE (1/G-107)
- 6 STANDARD PARKING SPACE 8'-6"x18'
- 7 TRASH ENCLOSURE
- 8 BUILDING OUTLINE ABOVE OR BELOW
- 9 ROOF OUTLINE BELOW
- 10 3'-6"H WOOD FENCE
- 11 3'-6"H WOOD GATE
- 12 ACCESSIBLE PATH OF TRAVEL
- 13 LONG TERM BICYCLE STORAGE - WALL HANGING
- 14 SHORT TERM BICYCLE RACK (7/AS-111)
- 15 COLUMN
- 16 WALL MOUNT BICYCLE RACK
- 17 5'X5' HVO TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS OVER 24 INCHES PURSUANT TO SMMC 9.21.180.
- 18 MAIN SWITCH GEAR
- 19 FIRE DOUBLE CHECK VALVE LOCATION DCDA
- 20 ABANDONED DRIVEWAY PER PUBLIC WORK NOTE - PW1
- 21 CURB FACE
- 22 UNDERGROUND ELECTRIC CONDUIT (PER ELEC. PLAN) PER PUBLIC WORK NOTE - PW2
- 23 TRENCH DRAIN (PER DRAINAGE PLAN)
- 24 FLOOR DRAIN (PER DRAINAGE PLAN)



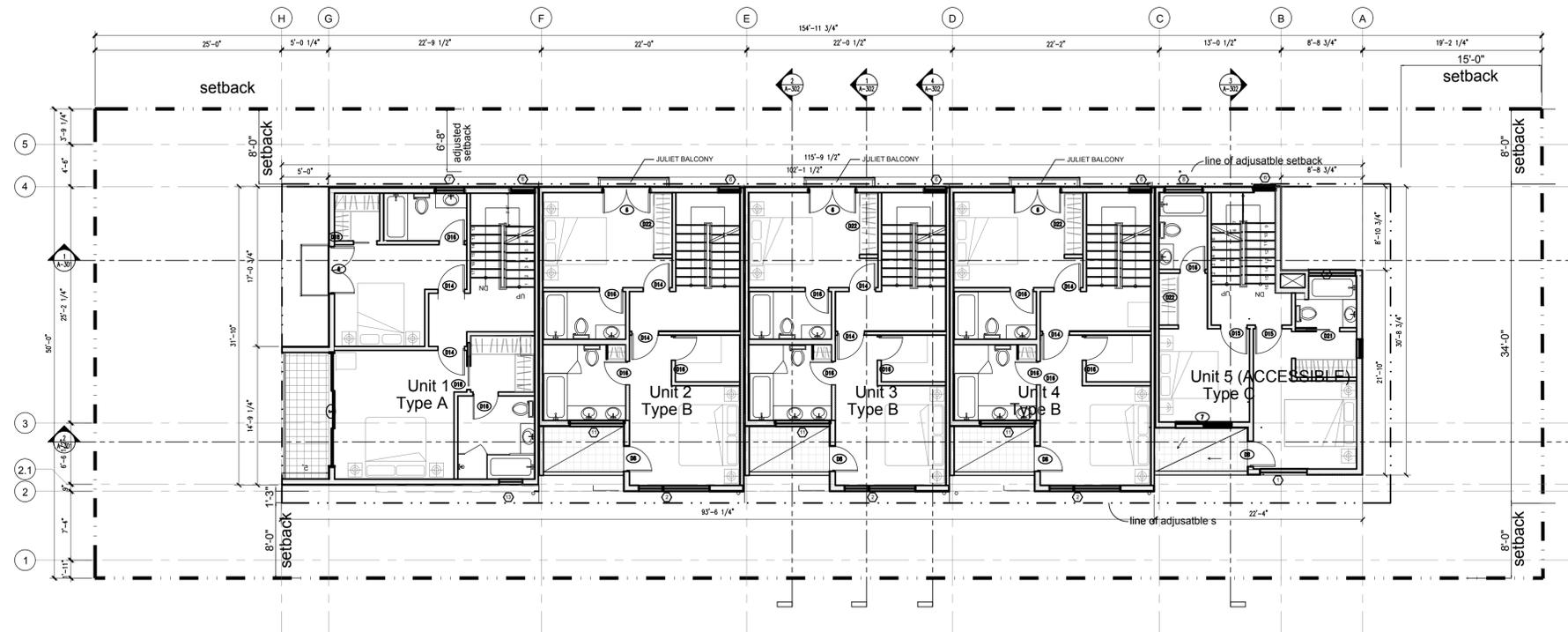
ADDITIONAL NOTES:
 THE ACCESSIBLE ROUTE AS DELINEATED IS A BARRIER-FREE ROUTE 48" MINIMUM IN WIDTH WITH NO ABRUPT LEVEL CHANGES EXCEEDING 1/2", THE CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL DOES NOT EXCEED 5%. THE SURFACE IS FIRM, STABLE AND SLIP RESISTANT. THE ACCESSIBLE PATH OF TRAVEL IS FREE OF 80".



ROOF NOTES:

1. THE COOL ROOF SPECS REFLECTIVE VALUES MIN PER T-
2. A PV SYSTEM (13KWDC) WILL BE UNDER A SEPARATE PERM

2 SITE PLAN (ROOF DECK)
SCALE: 1/8" = 1'-0"



1 SITE PLAN (2ND FLOOR)
SCALE: 1/8" = 1'-0"



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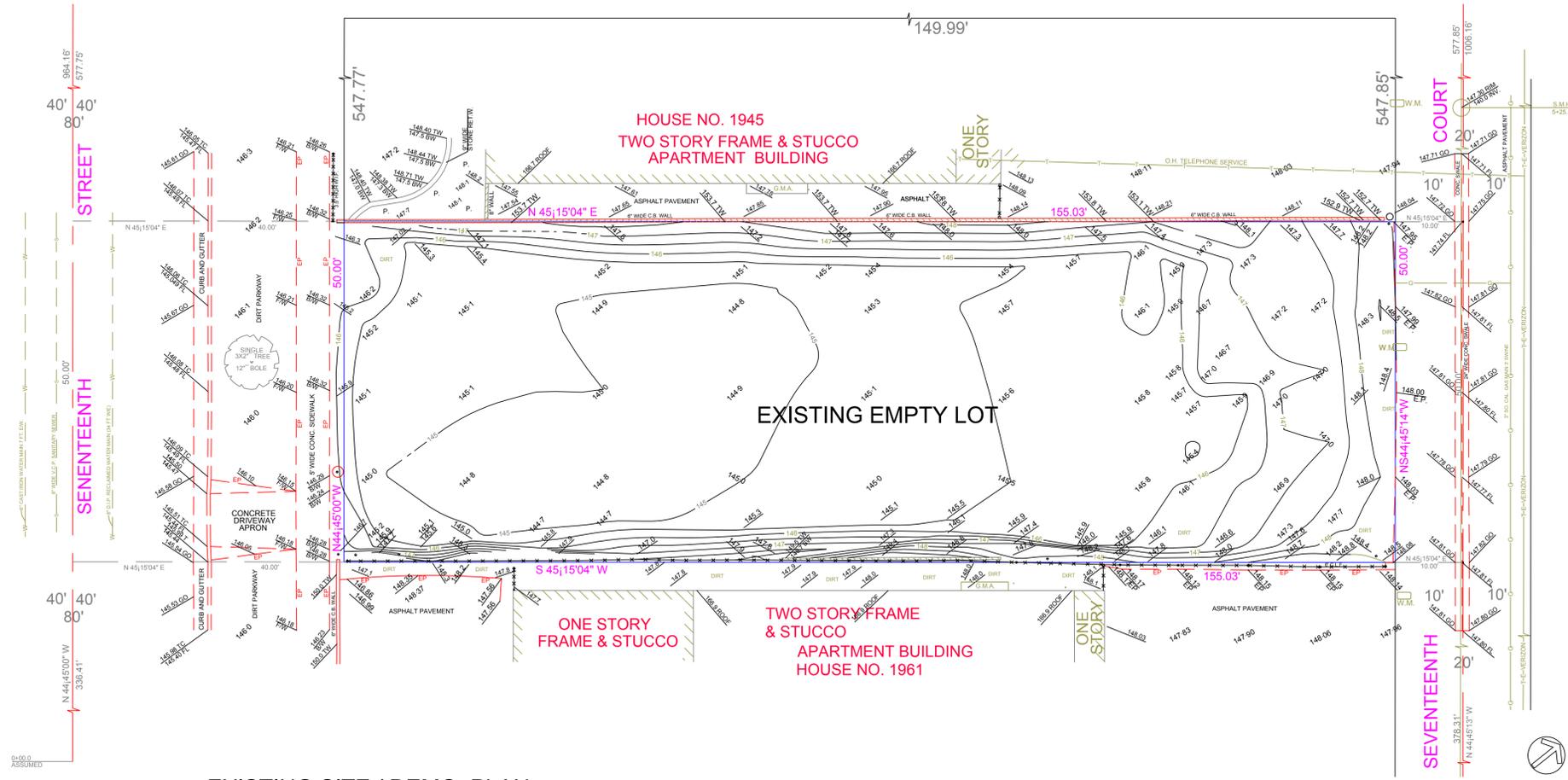
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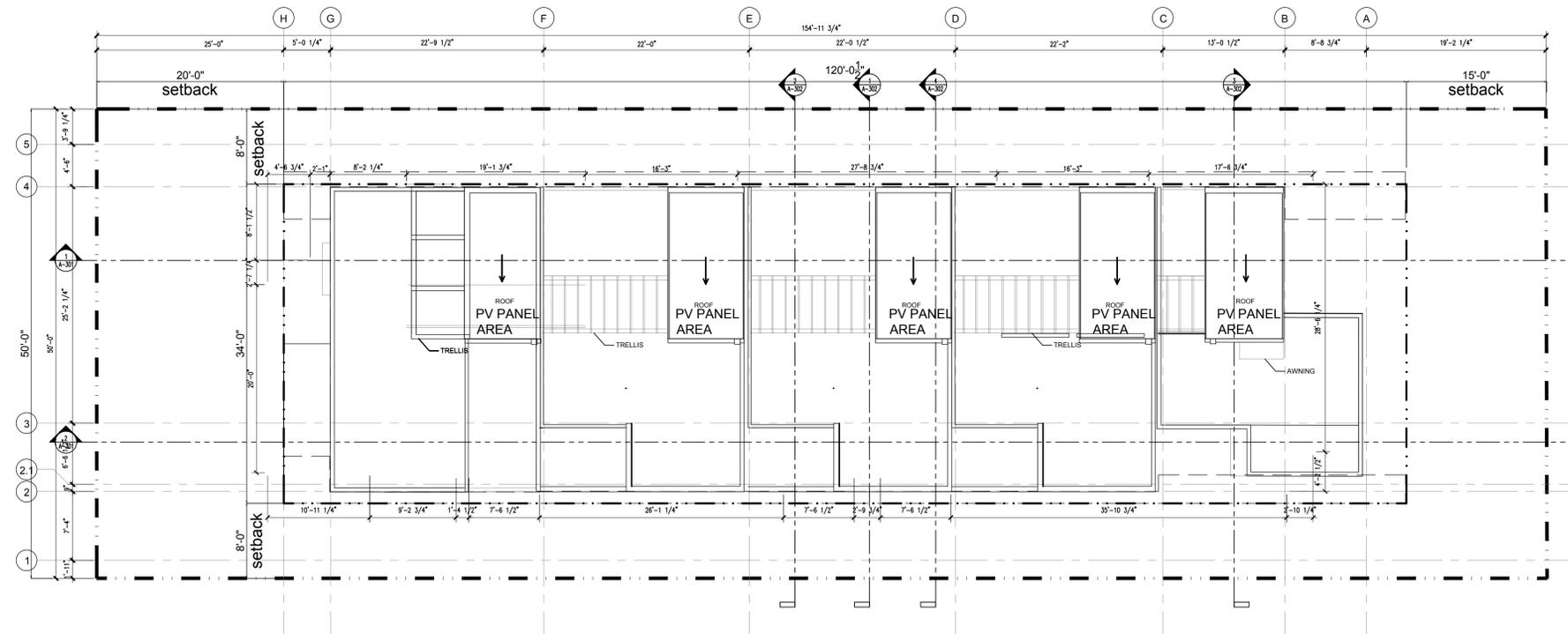
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AGENCY SUBMITTAL



EXISTING SITE / DEMO PLAN

3/32"=1'-0"



ROOF NOTES:

1. THE COOL ROOF SPECS REFLECTIVE VALUES MIN PER T-
2. A PV SYSTEM (13KWDC) WILL BE UNDER A SEPARATE PERM

1 SITE PLAN (ROOF)
SCALE: 1/8" = 1'-0"

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AGENCY SUBMITTAL

MULTI FAMILY RESIDENTIAL PROJECT
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KEYNOTES

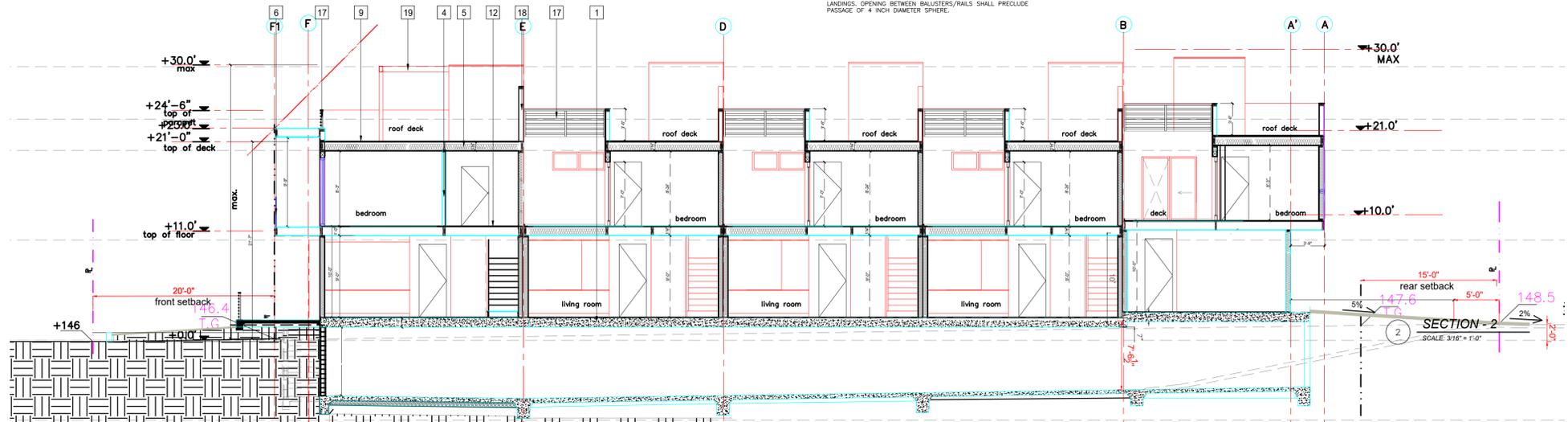
- 1 CONCRETE DECK - SEE STRUCTURAL
- 2 EXTERIOR WOOD STUDS FRAMING WALL: 2 x 8 WOOD STUDS @ 16" O.C.; PLYND SHTD PER STRUCTURAL; MIN. 7/8" PLASTER OVER PAPER BACKED LATH ASSEMBLY ON EXTERIOR SURFACE; MIN. R-19 BATT INSULATION; 5/8" GYP. BD ON INTERIOR SURFACE
- 3 AIR SHAFT
- 4 INTERIOR NON-RATED STUD WALL-TYP (SEE STRUCTURAL) SHEAR WALL WHERE OCCURS @ 2x STUDS AT 16" O.C. @ 5/8" GYP. BOARD
- 5 BATT INSULATION AS NOTED
- 6 42" H. MIN. GLASS GUARDRAIL

- 7 36" ~ 38" H. HANDRAIL.
- 8 METAL TRELLIS
- 9 DECK/BALCONY WATER PROOFING PER WESTCOAT SYSTEM ICC ESR 2201
- 10 EXTERIOR FURRING WALL
- 11 SPRAYED ON FOAM ROOFING SYSTEM
- 12 3/4" GYPCRETE FLOOR TOPPING TYP. ON SECOND FLOOR

- 13 ONE HOUR FIRE-RESISTIVE CONSTRUCTION IN BETWEEN OF THE UNITS USES. 5/8" TYPE "X" GYP. BD.
- 14 1-HR FIRE-RESISTIVE CONSTRUCTION UNDER THE STAIR W/ 5/8" TYPE "X" GYP. BD.
- 15 48" H. PONY WALL
- 16 DOWN SPOUT
- 17 PARAPET WALL
- 18 ONE HOUR FIRE-RESISTIVE CONSTRUCTION IN BETWEEN OF THE UNITS USES.
- 19 METAL TRELLIS
- 20 PLANTER BOX

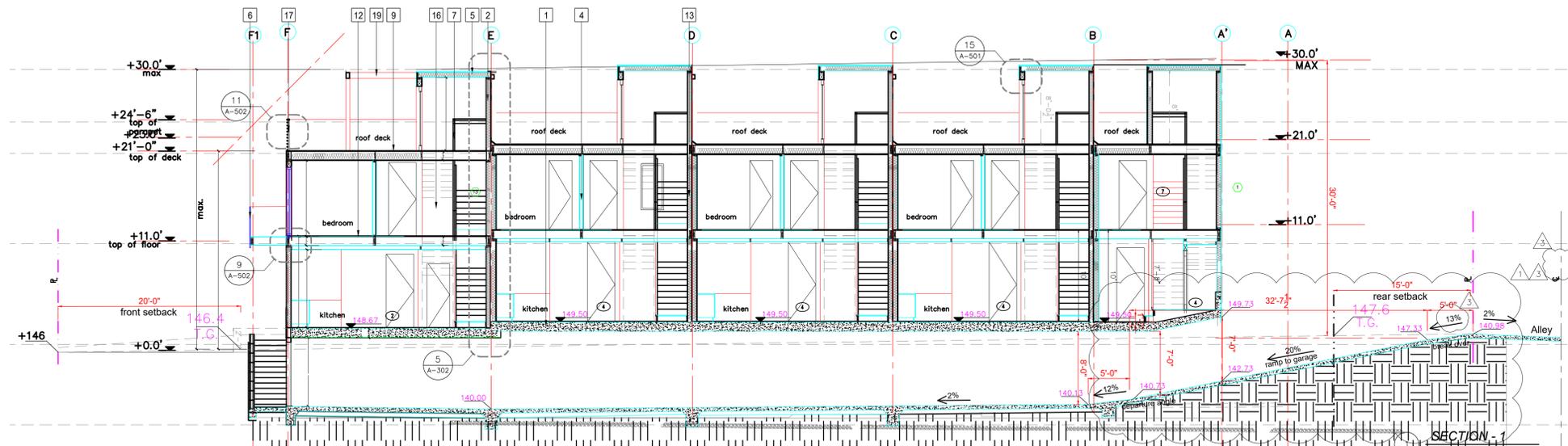
SECTION NOTES

1. PROVIDE R-30 BATT INSULATION AT ROOF.
2. PROVIDE R-19 BATT INSULATION AT JOIST SPACES.
3. PROVIDE R-19 BATT INSULATION AT EXTERIOR WALLS.
4. PROVIDE R-19 BATT INSULATION UNDER THE STAIR.
5. ROOFING MATERIAL TO BE FIRE RATED CLASS "F".
6. PIPE AND VENT PENETRATIONS TO BE WATERPROOFED.
7. ALL STAIRS TO HAVE A MAXIMUM RISE OF 7.75 INCHES AND MINIMUM RUN OF 10 INCHES WHEN THE STAIRWAY SERVING AN OCCUPANT LOAD OF LESS THAN 10.
8. HANDRAIL SHALL BE 34 TO 38 INCHES ABOVE THE NOSING OF TREADS.
9. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4-INCH DIAMETER SPHERE. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A HANDRAIL SHALL PRECLUDE THE PASSAGE OF A 6-INCH DIAMETER SPHERE.
10. THE HANDRIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1 1/2 INCHES NOR MORE THAN 2 INCHES IN CROSS SECTIONAL DIMENSION.
11. PROVIDE 42 INCH HIGH PROTECTIVE GUARDRAIL FOR DECKS, PORCHES, BALCONIES AND RAISED FLOORS (WHEN MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW), AND OPEN SIDES OF STAIR LANDINGS. OPENING BETWEEN BALUSTERS/RAILS SHALL PRECLUDE PASSAGE OF 4 INCH DIAMETER SPHERE.
12. PROVIDE MINIMUM STUD/RAPTER SIZING TO ACCOMMODATE INSULATION SPECIFIED. WHERE CONFLICT OCCURS NOTIFY GENERAL CONTRACTOR IMMEDIATELY. PROVIDE 1" MINIMUM CLEARANCE BETWEEN INSULATION AND ROOF SHEATHING. WHERE RAFTER VENTILATION IS REQUIRED, PROVIDE 2x12, 2x4, AND 2x6 FOR R-30, R-19, R-13 RESPECTIVELY.
13. HANDRAILS CONNECTIONS TO WITHSTAND A 20 POUNDS - PER-FOOT LATERAL LOAD, BUT NOT LESS THAN 200 LBS IN ANY DIRECTION. SEE STRUCTURAL DWGS.
14. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (11LUX).



SECTION 2-2

1/8"=1'-0"



SECTION 1-1

1/8"=1'-0"

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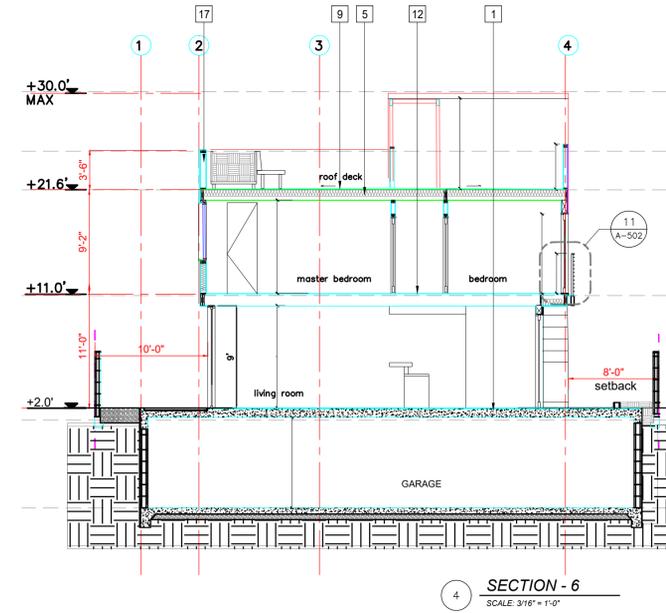
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KEYNOTES

- 1 CONCRETE DECK - SEE STRUCTURAL
- 2 EXTERIOR WOOD STUDS FRAMING WALL: 2 x 6 WOOD STUDS @ 16" O.C.; PLYWD SHTG PER STRUCTUREAL; MIN. 7/8" PLASTER OVER PAPER BACKED LATH ASSEMBLY ON EXTERIOR SURFACE; MIN. R-19 BATT INSULATION; 5/8" GYP. BD ON INTERIOR SURFACE
- 3 AIR SHAFT
- 4 INTERIOR NON-RATED STUD WALL-TYP (SEE STRUCTURAL) SHEAR WALL WHERE OCCURS o/ 2x STUDS AT 16" O.C. o/ 5/8" GYP. BOARD
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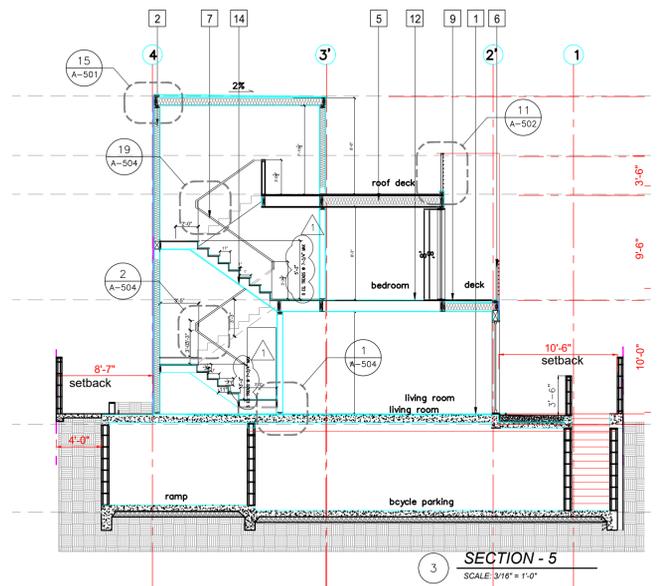
SECTION NOTES

1. PROVIDE R-30 BATT INSULATION AT ROOF.
2. PROVIDE R-19 BATT INSULATION AT JOIST SPACES.
3. PROVIDE R-19 BATT INSULATION AT EXTERIOR WALLS.
5. ROOFING MATERIAL TO BE FIRE RATED CLASS "B".
7. PIPE AND VENT PENETRATIONS TO BE WATERPROOFED.
10. ALL STAIRS TO HAVE A MAXIMUM RISE OF 7.75 INCHES AND MINIMUM RUN OF 10 INCHES WHEN THE STAIRWAY SERVING AN OCCUPANT LOAD OF LESS THAN 10.
11. HANDRAIL SHALL BE 34 TO 38 INCHES ABOVE THE NOSING OF TREADS.
12. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4-INCH DIAMETER SPHERE. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A HANDRAIL SHALL PRECLUDE THE PASSAGE OF A 6-INCH DIAMETER SPHERE.
13. THE HANDGRIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1 1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS SECTIONAL DIMENSION.
14. PROVIDE 42 INCH HIGH PROTECTIVE GUARDRAIL FOR DECKS, PORCHES, BALCONIES AND RAISED FLOORS (WHEN MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW), AND OPEN SIDE(S) OF STAIR LANDINGS. OPENING BETWEEN BALUSTERS/RAILS SHALL PRECLUDE PASSAGE OF 4 INCH DIAMETER SPHERE.
15. PROVIDE MINIMUM STUD/RAFTER SIZING TO ACCOMMODATE INSULATION SPECIFIED. WHERE CONFLICT OCCURS NOTIFY GENERAL CONTRACTOR IMMEDIATELY. PROVIDE 1" MINIMUM CLEARANCE BETWEEN INSULATION AND ROOF SHEATHING. WHERE RAFTER VENTILATION IS REQUIRED, PROVIDE 2x12, 2x8, AND 2x6 FOR R-30, R-19, R-13 RESPECTIVELY.
16. HANDRAILS CONNECTIONS TO WITHSTAND A 20 POUNDS - PER-FOOT LATERAL LOAD, BUT NOT LESS THAN 200 LBS IN ANY DIRECTION. SEE STRUCTURAL DWGS.
17. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (11LUX).



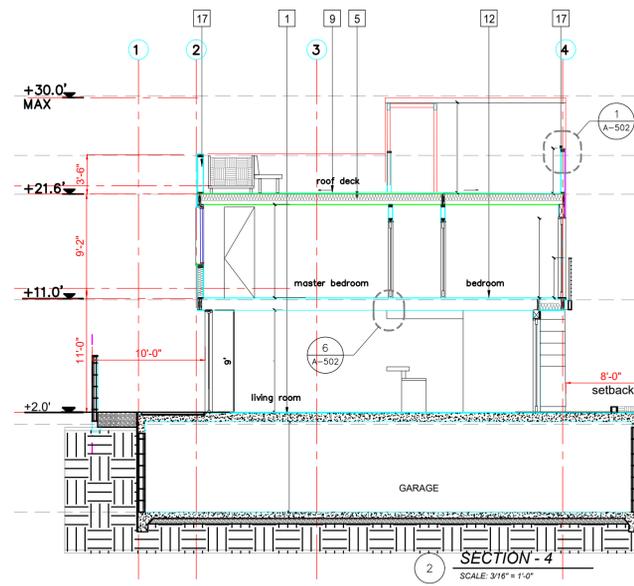
SECTION 6-6

1/8"=1'-0"



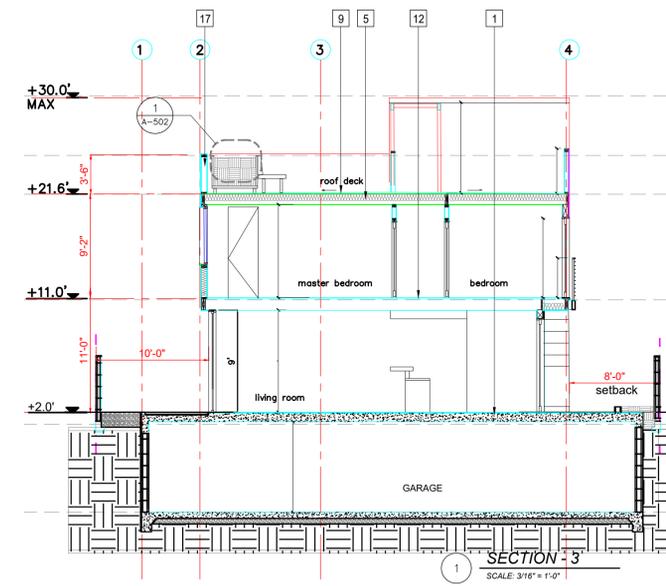
SECTION 5-5

1/8"=1'-0"



SECTION 4-4

1/8"=1'-0"



SECTION 3-3

1/8"=1'-0"

MULTI FAMILY RESIDENTIAL PROJECT
 Five Unit Condo Building
 1949 17th st, Santa Monica, CA 90404

TITLE
SECTIONS

SCALE DATE
 02.02.2020

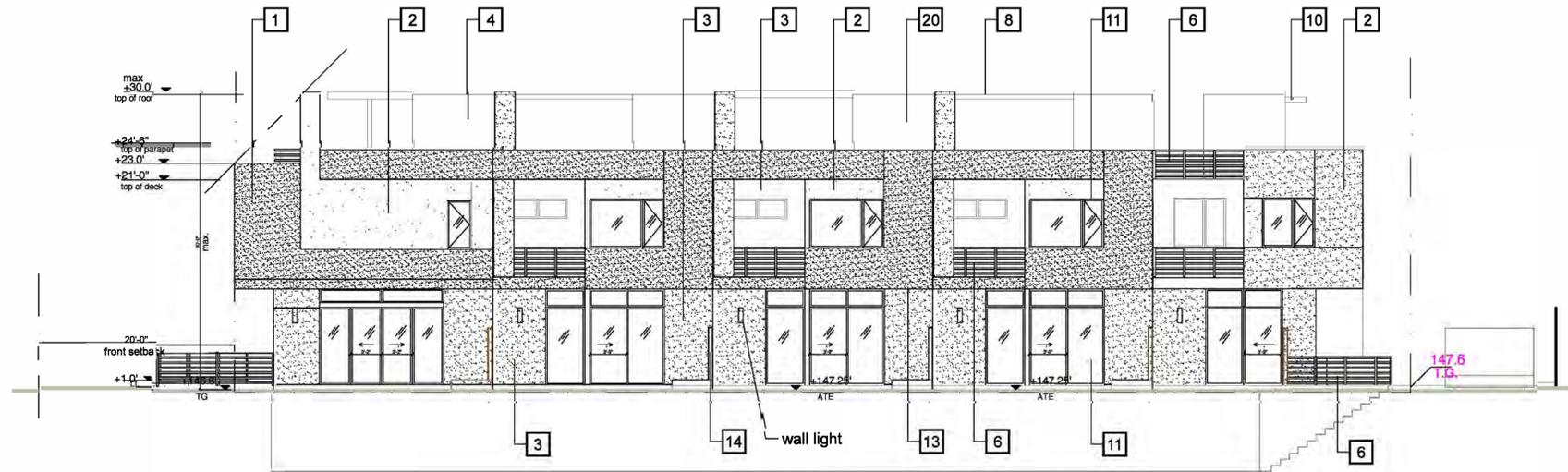
SHEET NUMBER
A-2.2

AGENCY SUBMITTAL

OWNER:
JDHUANG
Investment Inc.
 Lin Liu
 15 New Dawn
 Irvine, CA 90275
 949-630 5765

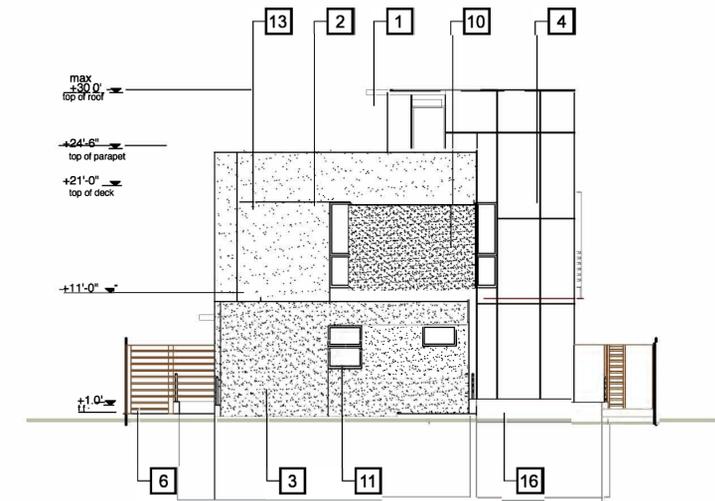
DESIGN:
DES-ARC
 12515 Wagner St.
 LA, CA 90066
 tel: 310 435 0752

△ XX/04 ISSUE FOR PLAN CHECK



ELEVATION SOUTHWEST

1/8"=1'-0"



ELEVATION SOUTHEAST

1/8"=1'-0"

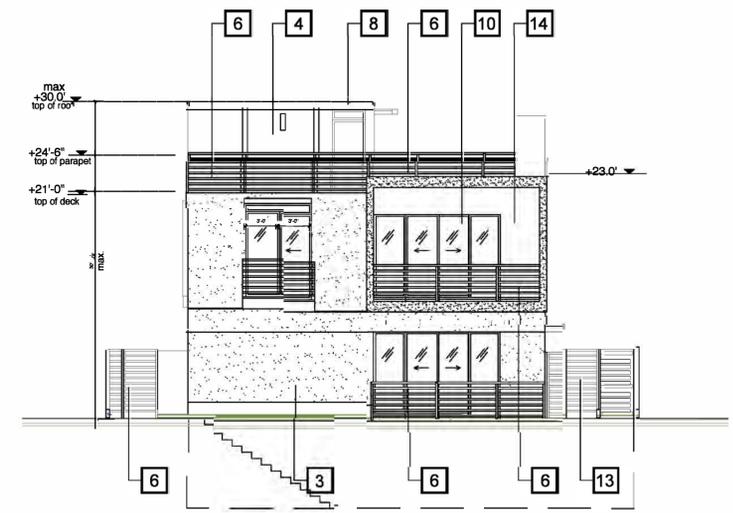
MATERIAL LEGEND

- | | | | |
|---|---|---|---|
| 1 WALL 1 - STUCCO - W1 (Benjamin Moor 2031-40 "Spring Meadow Green"-smooth) | 6 METAL RAILING PAINTED - P1 (Benjamin Moor 2035-10 "Blacktop") | 11 ALUM. DOOR / WINDOW - Dark Bronze Anodized | 16 CONCRETE - smooth |
| 2 WALL 2 - STUCCO - W2 (La Habra X-81588 "Morning side" - smooth) | 7 METAL RAILING PAINTED - P2 (Benjamin Moor 2055-30 "Yellow Maringold") | 12 1/2" ALUM. REGLET | 17 PAVING 1 - (Belgard pavers -"Urbana stone") |
| 3 WALL 3 - STUCCO -W3 (La Habra X-40 "Dove grey" - smooth) | 8 METAL TRELLIS PAINTED - P1 (Benjamin Moor 2035-10 "Blacktop") | 13 3/4" ALUM. REGLET | 18 PAVING 2 - Concrete pavers |
| 4 WALL 4 - CEMENTITIOS BOARDS -W4 (HardiePlank "Ivory gray"- smooth) | 9 METAL PANEL PAINTED - P1 (Benjamin Moor 2035-10 "Blacktop") | 14 TREATED MAHOGANY WOOD SIDING - clear | 19 PAVING 3 - (Belgard pavers - Porcelain tiles) |
| 5 WALL 5 - STUCCO - W2 (Benjamin Moor 2055-30 "Yellow Maringold"-smooth) | 10 METAL EYEBROW PAINTED - P1 (Benjamin Moor 2035-10 "Blacktop") | 15 SOLID WOOD DOOR - MAHOGANY - clear | 20 SOLAR PANELS |



ELEVATION NORTHEAST

1/8"=1'-0"



ELEVATION NORTHWEST

1/8"=1'-0"

MULTI FAMILY RESIDENTIAL PROJECT
 Five Unit Condo Building
 1949 17th st, Santa Monica, CA 90404

TITLE
ELEVATIONS

SCALE DATE
 02.02.2020

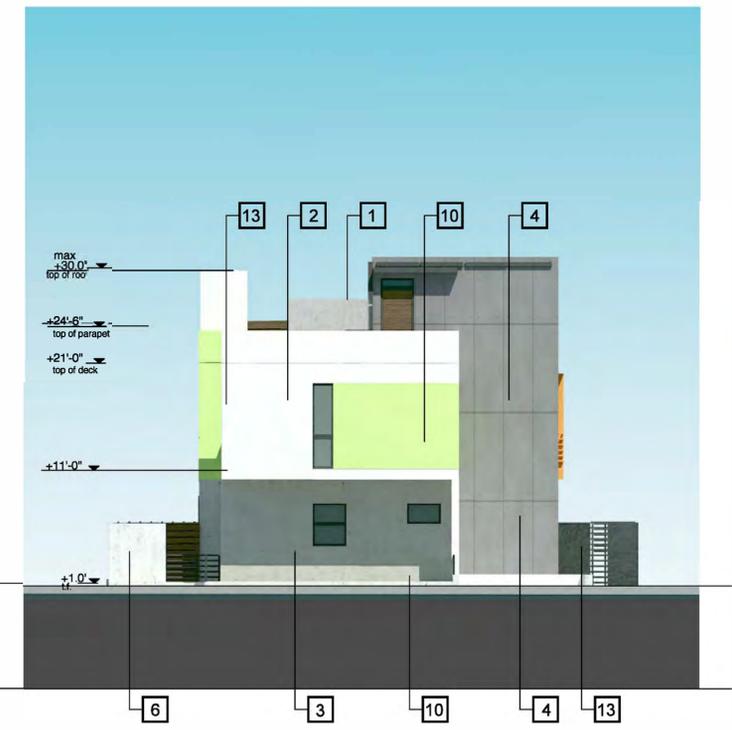
SHEET NUMBER
A-3.1

AGENCY SUBMITTAL



ELEVATION NORTHWEST

1/8"=1'-0"



ELEVATION NORTHEAST

1/8"=1'-0"

MATERIAL LEGEND

- | | | | |
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ELEVATION SOUTHEAST

1/8"=1'-0"



ELEVATION SOUTHWEST

1/8"=1'-0"

OWNER:
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Lin Liu
15 New Dawn
Irvine, CA 90275
949-630 5765

DESIGN:
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LA, CA 90066
tel: 310 435 0752

STRUCTURAL ENGINEER
LEE & LEE STRUCTURAL
ENGINEERING INC. 3550
WILSHIRE BLVD, # 480
LA, CA 90010
213-351-0034

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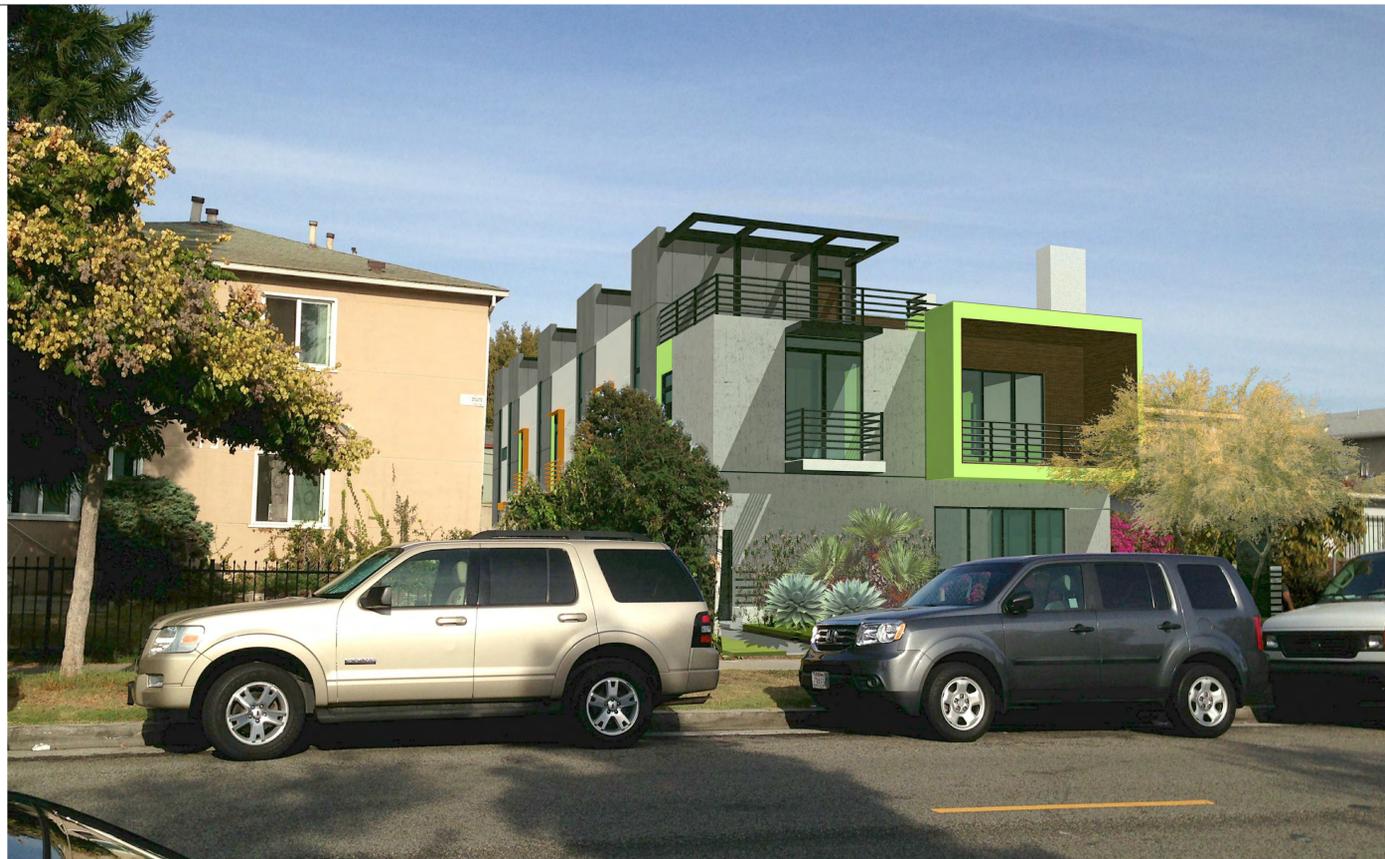
MULTI FAMILY RESIDENTIAL PROJECT
Five Unit Condo Building
1949 17th st, Santa Monica, CA 90404

TITLE
COLORED ELEVATIONS

SCALE DATE
02.02.2020

SHEET NUMBER
A-3.2

AGENCY SUBMITTAL



STREET VIEW FROM NORTH WEST



STREET VIEW FROM SOUTH WEST



TOP VIEW FROM SOUTH WEST



TOP VIEW FROM NORTH WEST

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MULTI FAMILY RESIDENTIAL PROJECT
 Five Unit Condo Building
 1949 17th st, Santa Monica, CA 90404

TITLE
**PERSPECTIVE
 VIEWS**

SCALE	DATE
	02.02.2020

SHEET NUMBER
A-5.1

AGENCY SUBMITTAL



ALLEY VIEW FROM EAST



ALLEY VIEW FROM NORTH-EAST



TOP VIEW FROM NORTH EAST



TOP VIEW FROM NORTHWEST

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MULTI FAMILY RESIDENTIAL PROJECT
 Five Unit Condo Building
 1949 17th st, Santa Monica, CA 90404

TITLE
**PERSPECTIVE
 VIEWS**

SCALE	DATE
	02.02.2020

SHEET NUMBER
A-5.2

AGENCY SUBMITTAL



17th STREET VIEW FROM SOUTH WEST



EXISTING STREET VIEW FROM WEST



STREET VIEW FROM SOUTH WEST



EXISTING ALLEY VIEWS

OWNER:
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 949-630 5765

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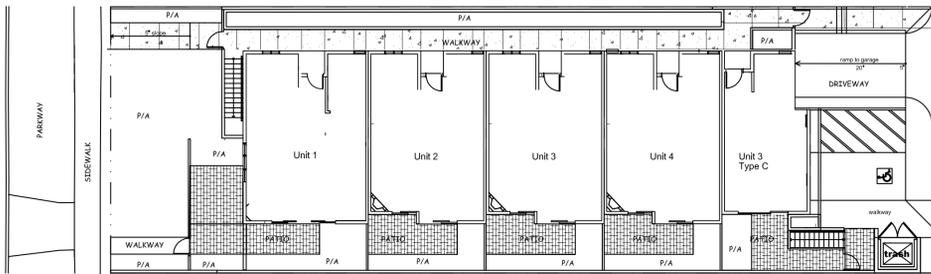
MULTI FAMILY RESIDENTIAL PROJECT
 Five Unit Condo Building
 1949 17th st, Santa Monica, CA 90404

TITLE
**NEIGHBORHOOD
 VIEWS**

SCALE	DATE
	02.02.2020

SHEET NUMBER
A-6.1

AGENCY SUBMITTAL



CALL BEFORE YOU DIG - 811 DIG ALERT UNDERGROUND SERVICE ALERT.
 1. DELINEATE THE SITE. IT IS MANDATORY THAT YOU OUTLINE THE PROPOSED EXCAVATION SITE WITH WHITE PAINT OR STAKES.
 2. CALL AT LEAST TWO WORKING DAYS BEFORE YOU DIG. YOU MAY CALL 14 DAYS PRIOR TO THE EXCAVATION.
 3. YOU ARE RESPONSIBLE FOR DAMAGE IF DAMAGE TO UNDERGROUND UTILITIES RESULTS FROM YOUR DIGGING.

WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS PLAN SUBMITTAL NOTES

1. PARKWAY DECLARATIONS:

- a. ALL EXISTING SPRINKLERS AND SPRAY HEADS SHALL BE REMOVED IN THE PARKWAY.
- b. THE INSTALLATION OF NEW SPRINKLER IRRIGATION SYSTEMS ARE PROHIBITED IN THE PARKWAY.
- c. THE INSTALLATION OF ANY IRRIGATION SYSTEM IN THE PARKWAY SHALL NOT DAMAGE THE ROOTS OF THE STREET TREE.
- d. NO MULCH SHALL BE APPLIED WITHIN SIX INCHES (6) OF THE BASE OF A STREET TREE.
- e. NO PLANT MATERIAL SHALL BE INSTALLED WITHIN TWENTY-FOUR (24) INCHES OF THE BASE OF A STREET TREE.
- f. THE PROPERTY OWNER ADJACENT TO THE PARKWAY ASSUMES LIABILITY FOR ANY IMPROVEMENTS TO THE PARKWAY AREA.

2. GENERAL NOTATIONS:

- a. AN OPEN-TRENCH INSPECTION BY CITY STAFF IS REQUIRED PRIOR TO COVERING BELOW GRADE PIPES, LATERALS, AND MAINS. THE DESIGNER OF THE LANDSCAPE, OR THEIR DESIGNEE, AND GENERAL CONTRACTOR, OR THEIR DESIGNEE, PERFORMING THE INSTALLATION MUST BE PRESENT AT THE OPEN-TRENCH INSPECTION. FOR OPEN-TRENCH INSPECTIONS, CALL THE OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT AT (310) 458-8405.
- b. PRIOR TO FINAL INSPECTION INSTALLER SHALL TEST THE IRRIGATION SYSTEM TO VERIFY THAT IT MEETS THE APPROVED DESIGN AND SPECIFICATIONS.
- c. PRIOR TO FINAL INSPECTION INSTALLER MUST PROGRAM THE IRRIGATION CONTROLLER.
- d. A FINAL INSPECTION BY CITY STAFF IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY TO ENSURE THAT THE SYSTEM WAS BUILT TO APPROVED PLANS AND SPECIFICATIONS. FOR FINAL INSPECTIONS, CALL THE OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT AT (310) 458-8405. THE FOLLOWING ITEMS WILL BE REQUIRED AT FINAL INSPECTION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY:
 - i. POST-INSTALLATION SOIL TEST RESULTS WHICH MUST CONTAIN THE PERCENTAGE (%) OF ORGANIC MATTER; MAY ALSO INCLUDE BUT IS NOT LIMITED TO SOIL TEXTURE; INFILTRATION RATE OR SOIL TEXTURE INFILTRATION RATE TABLE; PH; TOTAL SOLUBLE SALTS; SODIUM; AND RECOMMENDATIONS DETERMINED BY LABORATORY TEST. EXCEPTION: LANDSCAPES CONTAINED ENTIRELY IN PLANTERS OR CONTAINERS ARE EXEMPT FROM THIS REQUIREMENT.
 - ii. A DETAILED IRRIGATION CONTROLLER MAP MUST BE INSTALLED INSIDE OR NEAR THE IRRIGATION CONTROLLER WITH AT MINIMUM A DESCRIPTION FOR EACH ZONE INCLUDING: PLANT MATERIAL, WATERING DEVICE, VALVE OR STATION NUMBER, RUN TIME FOR PEAK DEMAND MONTH AND PRECIPITATION RATE.
 - iii. IRRIGATION SCHEDULES INCLUDING ESTABLISHMENT PERIOD START AND END DATES, MUST BE POSTED INSIDE THE IRRIGATION CONTROLLER HOUSING UNIT BY THE INSTALLER.
- e. ELECTRONIC SUBMISSION OF AN AS-BUILT SET OF PLANS TO THE CITY IS REQUIRED IF REQUESTED BY CITY INSPECTOR.
- f. PRIOR TO CONSTRUCTION OF LANDSCAPED AREA OR IRRIGATION, THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS.
- g. ALL LANDSCAPING AND IRRIGATION SYSTEMS MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
- h. THE IRRIGATION SYSTEM MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
- i. THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION TO CHECK FOR ADHERENCE TO THE DESIGN, INCLUDING THAT THE PROPER INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY, MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS, AND SENSORS MEETS THE INTENT OF THE IRRIGATION DESIGN PLAN AS DESIGNED AND APPROVED.

3. CONSTRUCTION NOTATIONS:

- a. AREAS DESIGNATED AS MULCH ON APPROVED LANDSCAPE PLANS, INCLUDING AREAS COVERED BY WOOD CHIPS, GRAVEL, STONE, DECOMPOSED GRANITE, AND AREAS DESIGNATED AS ARTIFICIAL TURF ON APPROVED LANDSCAPE PLANS CANNOT BE REPLACED WITH TURFGRASS OR HIGH WATER USE PLANTS AS DEFINED IN THE CURRENT EDITION OF THE WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS), ONCE MULCH OR ARTIFICIAL TURF HAS BEEN INSTALLED.

4. LANDSCAPE NOTATIONS:

- a. TURFGRASS, INCLUDING EXISTING PLANT MATERIAL, IS NOT ALLOWED ON SLOPES GREATER THAN TWENTY-FIVE PERCENT (25%) WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE AND WHERE TWENTY-FIVE PERCENT (25%) MEANS ONE FOOT (1') OF VERTICAL ELEVATION CHANGE FOR EVERY FOUR FEET (4) OF HORIZONTAL LENGTH (RISE DIVIDED BY RUN X 100 = SLOPE %).
- b. PLANT MATERIAL LISTED IN THE CURRENT INVASIVE PLANT INVENTORY FOR THE SOUTHWEST REGION BY THE CALIFORNIA INVASIVE PLANT COUNCIL OR LISTED FOR THE SOUTH COAST REGION BY THE PLANTRIGHT ORGANIZATION ARE PROHIBITED, INCLUDING EXISTING PLANT MATERIAL, EXCEPT FOR KNOWN NON-FRUITING, NON-INVASIVE, STERILE VARIETIES, CULTIVARS OR SELECTIONS.
- c. LANDSCAPES INSTALLING NEW PLANT MATERIAL BUT WITHOUT A PERMANENT, AUTOMATED IRRIGATION SYSTEM, WHERE WATER IS ACCESSED ONLY THROUGH A HOSE BIB OR QUICK COUPLER CONNECTION, ARE NOT REQUIRED TO SUBMIT A HYDROZONE MATRIX, AN IRRIGATION PLAN, OR AN IRRIGATION DETAIL AND SPECIFICATIONS PLAN, ADD THIS NOTE: NO PERMANENT, AUTOMATED IRRIGATION SYSTEM TO BE INSTALLED. ANY FUTURE IRRIGATION SYSTEM INSTALLATION WILL REQUIRE A FULL LANDSCAPE PLAN SUBMITTAL FOR CITY OF SANTA MONICA REVIEW AND APPROVAL PRIOR TO INSTALLATION.

GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY THE DEPARTMENT OF PUBLIC WORKS OF SANTA MONICA CALIFORNIA.
 - 1. SUBMITTALS. THE CONTRACTOR SHALL FOLLOW THE PLANS AND WILL NOT SUBSTITUTE SPECIFIED PRODUCTS, BUILDING MATERIALS OR PLANTS UNLESS APPROVED BY LANDSCAPE ARCHITECT/OWNER. ALL PROPOSED SUBSTITUTIONS SHALL BE DESCRIBED AND DOCUMENTED IN SUBMITTALS BY THE CONTRACTOR, AND SUBMITTED TO THE LANDSCAPE ARCHITECT/OWNER 2 WEEKS PRIOR TO INSTALLATION.
 - 2. PERMITS AND INSPECTIONS. THE CONTRACTOR SHALL ARRANGE SHALL ARRANGE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS. DELIVER ALL PERMITS AND CERTIFICATES OF INSPECTION TO THE CITY OF SANTA MONICA.
 - 3. PROTECTION OF EXISTING FEATURES. STRUCTURES, STREETS, SIDEWALK, TREES, ALL HARDSCAPE, UTILITIES TO REMAIN AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
 - 4. ACCEPTANCE OF COMPLETED PROJECT. THE PROJECT SHALL BE ACCEPTED AS COMPLETE WHEN THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - 4.1. ALL WORK REQUIRED BY CONTRACT ADMINISTRATION THROUGH ITS FINAL INSPECTION HAS SATISFACTORILY BEEN ACCOMPLISHED.
 - 4.2. THE DEPARTMENT OF BUILDING AND SAFETY HAS SIGNED OFF THE FINAL INSPECTION APPROVAL AT THE BOTTOM OF THE JOB INSPECTION CARD. (IF REQUIRED)
 - 4.3. THE CONTRACTOR HAS MADE ALL PAYMENTS TO SUBCONTRACTORS AND MATERIAL SUPPLIERS AND NO LIENS EXIST.
- B. ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. FAILURE TO DO SO WILL PLACE RESPONSIBILITY ON THE CONTRACTOR FOR CORRECTION.
- C. THE CONTRACTOR SHALL VERIFY ON SITE, ALL DIMENSIONS AND LOCATION OF ANY UNDERGROUND UTILITY.
- D. A SEPARATE APPLICATION AND PERMIT(S) IS/ARE REQUIRED FOR:
 - 1. DEMOLITION WORK
 - 2. RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL OR SUPPORTING A SURCHARGE.
 - 3. EACH SEPARATE STRUCTURE
 - 4. FENCES GREATER THAN SIX (6) FEET HIGH

PROJECT CONTACT LIST

UTILITIES
 UNDERGROUND SERVICE DIG ALERT OF SOUTHERN CALIFORNIA
 PHONE 800.422.4133

SHEET INDEX

- L-1 COVER SHEET
- L-1A COLORE SITE PLAN
- L-2 CONSTRUCTION PLAN
- L-3 PLANTING PLAN
- L3A COLORED ROOF PLAN
- L-4 ROOF PLATING PLAN
- L-5 IRRIGATION PLAN
- L-6 ROOF IRRIGATION PLAN
- L-7 ELEVATION TIME OF PLANTING
- L-8 ELEVATION 2 YEARS GROWTH
- L-9 DETAIL SHEET
- L-10 IRRIGATION SPECIFICATIONS
- L-11 PLANT PHOTOS

REVISIONS	DATE
1.	8.24.16
2.	1.11.17
3.	12.07.18
4.	1.29.19
5.	6.06.19
6.	
7.	
8.	
9.	



ASLA
 Yael Lir Landscape Architects
 1010 Sycamore Ave. Suite 313
 South Pasadena, CA 91030
 Tel 323.258.5222
 Fax 323.258.5333
 yael@yaellir.com

1949 17TH STREET
 SANTA MONICA, CA 90404

COVER SHEET



DATE: DEC. 14, 2015
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 176015
 DRAWN BY:

L-1

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	ANSI/ASABE S623.1
⊙	<i>Cercidium 'Desert Museum'</i>	Palo Verde	24"box	2		0.5
⊙	<i>Laurus nobilis</i>	Sweet Bay	15-gal	7		0.5

Prior to construction of landscaped area or irrigation, the contractor must obtain and review a copy of the Water Efficient Landscape and Irrigation Standards.

All landscaping and irrigation systems must comply with all local, state, and federal laws and regulations.

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	ANSI/ASABE S623.1
⊙	<i>Agave d. 'Variagata'</i>	Dwarf Century Plant	5-gal	3		0.3
⊙	<i>Agave Media picta 'Alba'</i>		5-gal	24"oc		0.3
⊙	<i>Aristida purpurea</i>	Purple Three Awn	5-gal	24"oc		0.3
⊙	<i>Artemisia p. 'David's Choice'</i>	Coastal Sagewort	5-gal	4		0.3
⊙	<i>Dodonea viscosa 'Purpurea'</i>	Hopseed Bush	5-gal	4		0.3
⊙	<i>Echeveria 'After Glows'</i>		5-gal	4	w/ crushed rocks under	0.3
⊙	<i>Echeveria imbricate</i>	Hen and Chick	1-gal	10"oc		0.3
⊙	<i>Sedum r. 'Angelina'</i>	Angelina Stonecrop	1-gal	10"oc		0.3
⊙	<i>Euphorbia tirucalli 'Sticks on Fire'</i>	Red Pencil Tree	5-gal	4		0.3
⊙	<i>Heuchera maxima</i>	Island Alum Root	5-gal	24"oc		0.3
⊙	<i>Muhlenbergia rigens</i>	Deer Grass	5-gal	3		0.3
⊙	<i>Parthenocissus tricuspidata</i>	Boston Ivy	5-gal	12		0.3
⊙	<i>Westringia f. 'Wynabbie Gem'</i>	Coast Rosemary	5-gal	46		0.3

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 3" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - *150 LBS GRO-POWER
 - *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

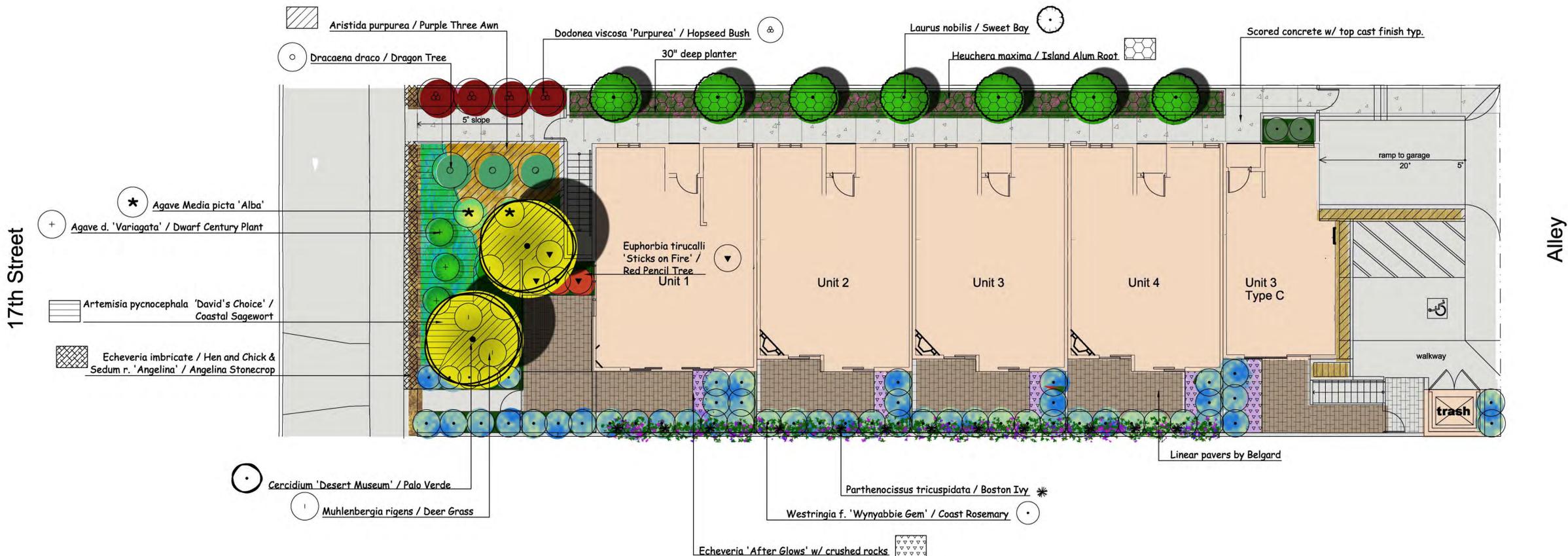
PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.

All trees to be planted with commercial root barriers. 3" deep shredded Cedar bark to spread between plants.

NOTE:
All groundcover areas where plants are 4' oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

NOTE:
Waterproofing and drains in planters by others.

Linear pavers to be by Belgard
12" x 24" size
Contact Phil Gallicchio
714.623.8464



REVISIONS	DATE
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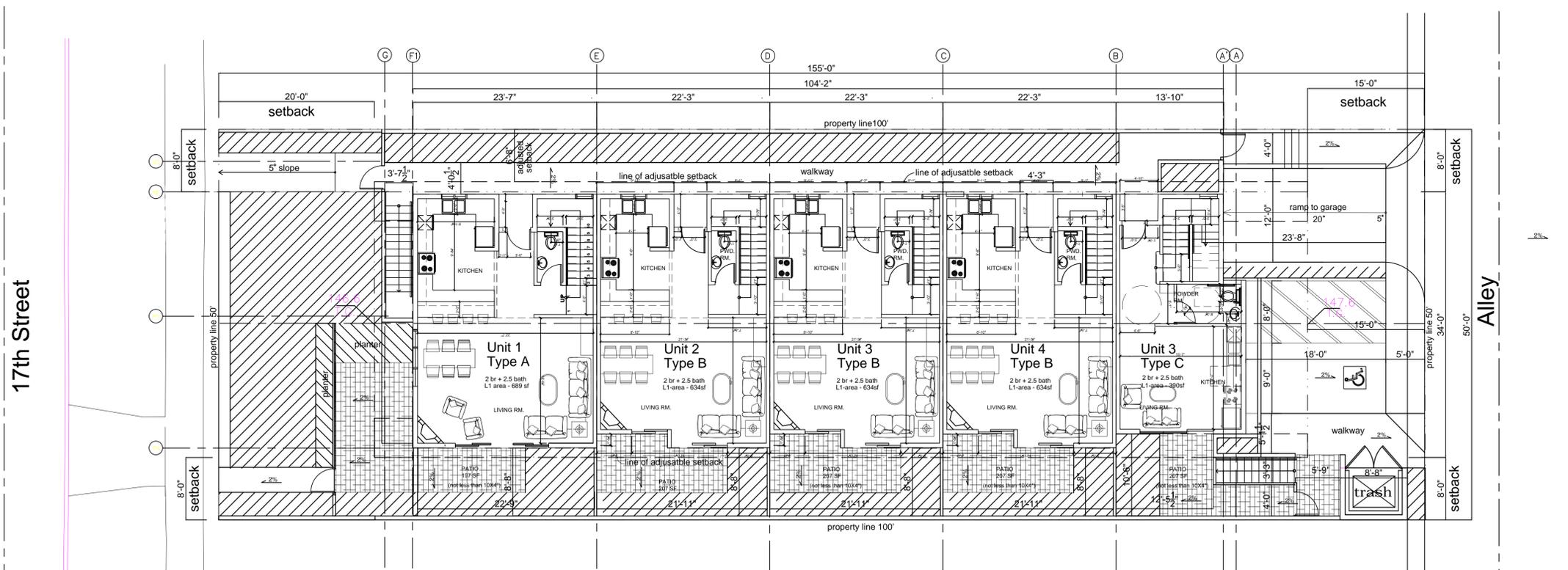
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1949 17TH STREET
SANTA MONICA, CA 90404

PLANTING PLAN



DATE: DEC. 14, 2015
SCALE: 1/8"=1'-0"
JOB NUMBER: 176015
DRAWN BY:



lot - 7750+500 = 8,250
 B1 coverage - 45% of lot
 45% 8250 = 3,712.5
 10% 3712.5 = 371
 total allowed = 4,083
 coverage provided = 3,280
 L1 NET = 3,090

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1949 17TH STREET
 SANTA MONICA, CA 90404

CONSTRUCTION PLAN



DATE: DEC. 14, 2015
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 176015
 DRAWN BY:

CONSTRUCTION NOTES

- A. ALL FORMS AND ALIGNMENTS OF PAVING, LAYOUT, AND SPECIAL PAVING AREAS SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLACING (GIVE A MINIMUM OF 48 HOURS NOTICE).
- B. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
- C. THE CONTRACTOR SHALL NOTE AND INSTALL ALL SLEEVE LOCATIONS SHOWN ON THE IRRIGATION PLANS IN EXCESS OF EXISTING SLEEVES PER THE LANDSCAPE ARCHITECT'S APPROVAL.
- D. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE.
- E. THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION PROCESSES.
- F. THE CONTRACTOR MUST CHECK ALL DIMENSIONS, FRAMING CONDITIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES.
- G. THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED WORK. ALL BRACING, TEMPORARY SUPPORTS, SHORING, MASONRY, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT DOES NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND SAFETY CONDITIONS AT THE WORKSITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.
- H. SITE CLEAN-UP SHALL TAKE PLACE ON A DAILY BASIS.

CALCULATIONS OF PLANTABLE LANDSCAPE AREA		
THIS EXACT TABLE MUST APPEAR ON LANDSCAPE PLANS SUBMITTED TO THE CITY FOR REVIEW (REVISED 5/18/18)		
	PERCENTAGE	SQUARE FEET
A. PARCEL		7750.00
B. COMBINED AREA OF ALL BUILDING FOOTPRINTS		3280.00
C. TOTAL NON-PERMEABLE HARDSCAPE		2754.00
D. TOTAL POOL, SPA, AND POND SERVICE AREA		0.00
E. TOTAL WATER FEATURE(S) SURFACE AREA		0.00
F. TOTAL PLANTABLE LANDSCAPE AREA (A - B - C - D - E)	100%	1716.00
G. TOTAL PERMEABLE HARDSCAPE AREAS	44%	755.00
H. TOTAL PLANTED AREAS (F - G)	56%	961.00
1. TOTAL AUTO IRRIGATED PLANTED AREAS (HYDROZONE MATRIX)		2214.00
2. TOTAL NON-AUTO IRRIGATED PLANTED AREAS (HAND WATERED AREAS; NOT MULCH, DG OR NON-PLANTED PERMEABLE AREAS)		0.00
I. INCLUDE THE FOLLOWING MEASUREMENTS IN SQUARE FEET AND AS A PERCENTAGE OF THE TOTAL PLANTABLE LANDSCAPE AREA (F) FOR ALL PLANTED AREAS (IRRIGATED AND NON-IRRIGATED) USING PLANT FACTORS AS DEFINED BY ANSI/ASABE S823.1 FOR BOTH NEW AND EXISTING PLANT MATERIAL		
a. TOTAL TURFGRASS AND HIGH WATER USE PLANT MATERIAL (COOL/WARM SEASON GRASSES, ANNUALS, BEDDING PLANTS)	0.0%	0.00
b. TOTAL MODERATE WATER USE PLANT MATERIAL (TREES, SHRUBS, VINES, GROUNDCOVERS, HERBACEOUS PERENNIALS, HEDGES)	18.5%	318.00
c. TOTAL LOW AND VERY LOW WATER USE PLANT MATERIAL (DESERT ADAPTED PLANTS)	110.5%	1896.00
d. TOTAL EDIBLE PLANT MATERIAL (DO NOT INCLUDE IN PARTS "a", "b", "c", AND "e"; DECIDUOUS/EVERGREEN FRUIT TREES, VEGETABLE CROPS)	0.0%	0.00
e. TOTAL PLANTED AREA IRRIGATED WITH AN APPROVED ALTERNATIVE WATER SUPPLY (DO NOT INCLUDE IN PARTS "a", "b", "c", AND "d")	0.0%	0.00

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	ANSI/ASABE S623.1
⊙	Cercidium 'Desert Museum'	Palo Verde	24"box	2		0.5
⊙	Laurus nobilis	Sweet Bay	15-gal	7		0.5

Prior to construction of landscaped area or irrigation, the contractor must obtain and review a copy of the Water Efficient Landscape and Irrigation Standards.

All landscaping and irrigation systems must comply with all local, state, and federal laws and regulations.

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	ANSI/ASABE S623.1
⊙	Agave d. 'Variagata'	Dwarf Century Plant	5-gal	3		0.3
⊙	Agave Media picta 'Alba'		5-gal	24"oc		0.3
⊙	Aristida purpurea	Purple Three Awn	5-gal	24"oc		0.3
⊙	Artemisia p. 'David's Choice'	Coastal Sagewort	5-gal	4		0.3
⊙	Dodonea viscosa 'Purpurea'	Hopseed Bush	5-gal	4		0.3
⊙	Echeveria 'After Glows'		5-gal	4	w/ crushed rocks under	0.3
⊙	Echeveria imbricate	Hen and Chick	1-gal	10"oc		0.3
⊙	Sedum r. 'Angelina'	Angelina Stonecrop	1-gal	10"oc		0.3
⊙	Euphorbia tirucalli 'Sticks on Fire'	Red Pencil Tree	5-gal	4		0.3
⊙	Heuchera maxima	Island Alum Root	5-gal	24"oc		0.3
⊙	Muhlenbergia rigens	Deer Grass	5-gal	3		0.3
⊙	Parthenocissus tricuspidata	Boston Ivy	5-gal	12		0.3
⊙	Westringia f. 'Wynabbie Gem'	Coast Rosemary	5-gal	46		0.3

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 3" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - *150 LBS. GRO-POWER
 - *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

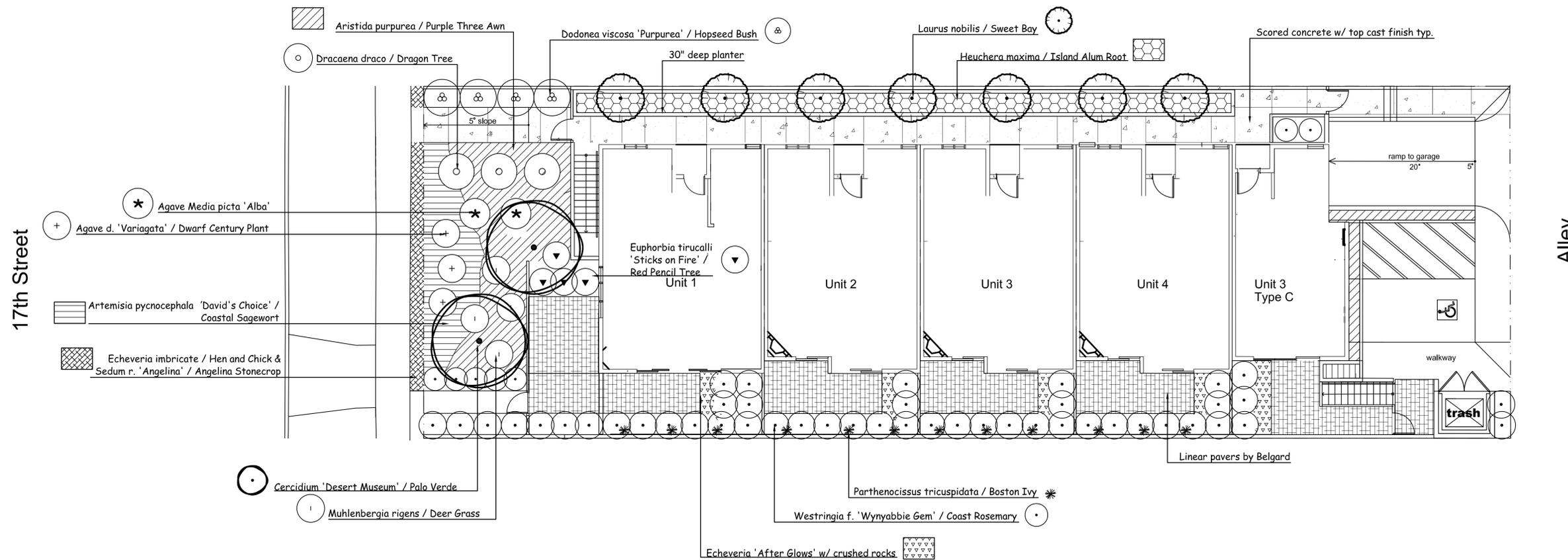
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All trees to be planted with commercial root barriers.
3" deep shredded Cedar bark to spread between plants.

Linear pavers to be by Belgard
12" x 24" size
Contact Phil Gallicchio
714.623.8464

NOTE:
All groundcover areas where plants are 4" or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

NOTE:
Waterproofing and drains in planters by others.



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1949 17TH STREET
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PLANTING PLAN



DATE: DEC. 14, 2015
SCALE: 1/8"=1'-0"
JOB NUMBER: 176015
DRAWN BY:

LANDSCAPE PLANTING SPECIFICATIONS

1. GENERAL
 - A. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED IN THE LANDSCAPE PLAN, DETAIL DRAWINGS AND IN THESE SPECIFICATIONS.
 - B. ANY DEVIATION FROM THE PLAN OR SPECIFICATIONS IS TO HAVE A PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
 - C. ALL MATERIALS AND WORKMANSHIP SHALL BE OF HIGHEST QUALITY. WORK SHALL MEET THE
 - D. REQUIREMENTS OF ALL GOVERNMENT CODES, ORDINANCES AND LAWS RELATING TO THE WORK.
 - E. SAMPLES AND/OR PHOTOGRAPHS OF ALL MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR WRITTEN APPROVAL PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT AND OWNER RESERVE THE RIGHT TO REJECT UNSATISFACTORY MATERIAL BEFORE AND AFTER PLANTING. ACCEPTABLE REPLACEMENTS WILL BE REQUIRED
 - F. PRIOR TO FINAL ACCEPTANCE.
 - G. UNTIL ALL WORK IS COMPLETED AND ACCEPTED BY THE OWNER, THE LANDSCAPE CONTRACTOR SHALL ASSUME ALL RISKS AND BEAR ALL LOSSES TO HIS MATERIALS AND EQUIPMENT.
 - H. DURING THE COURSE OF THE CONTRACT (INCLUDING THE MAINTENANCE PERIOD) THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND MAINTAIN PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE, THE MINIMUM AMOUNT OF PUBLIC LIABILITY INSURANCE SHALL BE \$1,000,000 FOR EACH PERSON INJURED, THE MINIMUM AMOUNT OF PROPERTY DAMAGE INSURANCE SHALL BE \$1,000,000 FOR ANY SINGLE PROPERTY DAMAGE CLAIM.
 - I. THE LANDSCAPE CONTRACTOR SHALL REPAIR WORK DAMAGED BY HIM OR MAKE PAYMENT FOR EACH REPAIR. SHOULD THE LANDSCAPE CONTRACTOR HAVE HIS WORK DAMAGED BY ANOTHER CONTRACTOR, HE IS TO MAKE ARRANGEMENTS WITH THE OTHER CONTRACTOR FOR THE CONTRACTOR'S REPAIR OR THAT CONTRACTOR'S PAYMENT FOR THE REPAIR.
 - J. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON-CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. CONTRACTOR IS TO SUPPLY A SUFFICIENT QUANTITY OF PLANTS TO FULFILL THE SPACING REQUIREMENTS.
2. WEED CONTROL
 - A. THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND OR UNWANTED GRASSES (INCLUDING THE ROOTS) EXISTING IN THE LANDSCAPE AREAS. ALL LANDSCAPE AREAS ARE TO RECEIVE A CORN GLUTEN PRE-EMERGENT HERBICIDE PER MANUFACTURER'S INSTRUCTIONS. APPLICATION OF THE HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.
3. SOIL CONDITIONING AND GRADING
 - A. ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE DRAWINGS IS BY THE GENERAL CONTRACTOR. FINISH GRADING IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. FINISH GRADING WILL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE ROTO-TILLING THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS OR CLODS OF 2" DIAMETER OR LARGER (TURF AREA). REMOVAL OF MINOR AMOUNTS OF CONSTRUCTION WASTE IS INCLUDED. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT FLASHING AND PAVING.
 - B. ALL LANDSCAPE AREAS ARE TO RECEIVE AN EVEN APPLICATION OF 4 CUBIC YARDS OF NITROHUMUS, 30 POUNDS OF 6.20.20 FERTILIZER, 50 POUNDS OF TRI-C HUMATE PLUS AND 10 POUNDS OF SOIL SULFUR FOR EACH 1000 SQUARE FEET. THE ABOVE AMENDMENTS ARE TO BE INCORPORATED UNIFORMLY INTO THE TOP 6" OF SOIL. AGRIFORM 21 GRAM PLANT TABLET INSTALLED IN ALL PLANTING PITS. REFER TO DETAILS FOR AMOUNTS. IN ADDITION ALL LANDSCAPE AREAS ARE TO BE PREPARE AS RECOMMENDED IN THE SOILS REPORT RECOMMENDATIONS
4. PLANTING
 - A. PRIOR TO PLANTING & BACKFILLING ALL PLANTERS ON DECK, CONTRACTOR TO PERFORM A 24 HOUR TEST OF WATERPROOFING MATERIAL BY SEALING ALL DRAINS & FILLING PLANTERS WITH WATER FOR A MINIMUM OF 24 HOURS. DRAINS TO BE UNSEALED AT END OF TEST TO ALLOW FOR WATER FLOW VERIFICATION. LEAKING TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - B. ALL PLANTS ARE TO HAVE A PLANTING PIT TWO TIMES THE DIAMETER OF THE ROOTBALL AND 6" BELOW ITS DEPTH. THE PLANT PIT IS TO BE BACKFILLED (AFTER POSITIONING OF PLANT) WITH THE FOLLOWING PER YARD BLEND.
 - C. PLANTERS @ GRADE: 50% - SITE SOIL; 50% - KELLOGG 'SOIL AMEND' GROUND COVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
 - D. MULCH ALL SHRUB AND GROUND COVER AREAS WITH A 3" LAYER WOOD BARK MULCH. KEEP MULCH 6" AWAY FROM PLANT TRUNK.
 - E. WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING. STAKING OF TREES IS TO BE PER DETAILS. SOD IS TO BE FRESHLY CUT OVERSEEDED 'MEDALLION' FROM PACIFIC SOD AND PLACED IN SECTIONS NOT
 - F. SMALLER THAN ONE SQUARE FOOT. STAGGER THE JOINTS BETWEEN ROLLS. SIFT SOIL (USE SOIL WASTE THAT HAS FALLEN OFF SOD) INTO ALL JOINTS TO FILL ANY VOIDS CREATED. ROLL SOD WITH LIGHTLY WEIGHTED ROLLER AFTER COMPLETION OF ALL SODDING OPERATIONS.
5. CLEAN UP
 - A. AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LE# NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE TO BE REMOVED FROM THE SITE.
5. MAINTENANCE
 - A. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF NINETY (90) CALENDAR
7. GUARANTEE
 - A. ALL PLANT MATERIAL (OTHER THAN FLATTED MATERIAL) LESS THAN 24" BOX SIZE SHALL BE GUARANTEED FOR A PERIOD OF 3 MONTHS. ALL PALMS & 24" BOX MATERIAL AND LARGER MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. GUARANTEE PERIOD COMMENCES FROM THE TIME OF FINAL INSPECTION AND ACCEPTANCE BY THE OWNER.
 - B. PLANTS USED FOR REPLACEMENT SHALL BE THE SAME KIND AND SIZE AS ORIGINALLY PLANTED. THEY ARE TO BE PLANTED FOLLOWING THE ORIGINAL PLANS AND SPECIFICATIONS.

LANDSCAPE MANAGEMENT SCHEDULE

- JANUARY:**
- PRUNE ANY TREE BRANCHES THAT INTERFERE WITH PUBLIC SAFETY OR SIGHT LINES.
 - MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED. (USE MULCHING MOWER THAT CHOPS CLIPPINGS FINELY AND BLOWS MULCH DOWN INTO TURF TO DECOMPOSE AND FEED SOIL.)
- FEBRUARY:**
- APPLY ORGANIC COMPOST AROUND TREES OR SHRUBS IN LATE FEBRUARY. MAKE APPLICATION PRIOR TO A RAINFALL SO THE RAIN WILL SOAK THE COMPOST IN. MULCH MOW ALL TURF AREAS ONCE PER MONTH.
 - ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.
- MARCH:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
 - REPLACE ANY DEAD OR MISSING PLANTS
 - FLUSH OUT IRRIGATION SYSTEMS AS NEEDED, RUN AND CHECK FOR PROPER OPERATION OF EACH VALVE ZONE. TEST SENSORS (RAIN, SOIL, OR WEATHER SENSORS).
 - REMOVE AND CLEAN WYE FILTER SCREENS.
 - CLEAN OR REPLACE PLUGGED SPRINKLER NOZZLES. REPLACE PLUGGED DRIP EMITTERS.
 - REPLACE IRRIGATION CONTROLLER PROGRAM BACK-UP BATTERIES.
- APRIL:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
 - APPLY ORGANIC COMPOST AROUND TREES OR SHRUBS. SHRUBS/GROUNDCOVER AREAS MAY BE ELIMINATED WHEN THE PLANTS REACH MATURITY.
 - ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.
- MAY:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
 - TURN ON IRRIGATION SYSTEM, RUN AND VISUALLY INSPECT FOR PROPER ZONE COVERAGE. SET ET-BASED, WEATHER OR SOIL-SENSOR-BASED, OR SEASONAL PROGRAMS TO ADJUST IRRIGATION UP IN JULY-AUGUST, AND DOWN FOR MAY-JUNE AND SEPTEMBER.
- JUNE:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
 - PRUNE SPRING & WINTER-FLOWERING SHRUBS AS NEEDED TO MAINTAIN PROPER SHAPE(NATURAL, TOUCHING, NOT HEDGED OR TOPIARY EXCEPT WHERE SPECIFIED BY OWNER).
 - ADD NEW MULCH TO PLANTED AREA WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.
- JULY:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED
 - PRUNE VINES AS NEEDED
- AUGUST:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED
 - ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.
- SEPTEMBER:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED
 - PRUNE VINES AS NEEDED
 - APPLY ORGANIC COMPOST AROUND TREES OR SHRUBS IN SEPTEMBER OR EARLY OCTOBER. THE SHRUBS/GROUNDCOVER AREAS MAY BE ELIMINATED WHEN THE PLANTS REACH MATURITY
- OCTOBER:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED
 - ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH ADDITIONS ARE NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.
- NOVEMBER:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
- DECEMBER:**
- MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
 - PRUNE ANY TREE BRANCHES THAT INTERFERE WITH
 - PRUNE SUMMER AND FALL-BLOOMING SHRUBS AS NEEDED TO

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	ANSI/ASABE S623.1
○	Carex divulsa	Berkeley Sedge	5-gal	2	0.5
○	Chondropetalum tectorum	Cape Rush	5-gal	14	0.5
○	Grevillea 'Robyn Gordon'		5-gal	4	0.5
○	Muhlenbergia capillaris	Pink Muhly	5-gal	5	0.5
○	Sedum spathulifolium		1-gal	18"oc	0.5

Landscape Form items

Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange
Trash	Parc Vue	Stainless Steel

tel: 800.521.2546

2" deep shredded Cedar bark to spread between plants.

NOTE:
All groundcover areas where plants are 4' oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

NOTE:
Waterproofing and drains in planters by others.



Carex divulsa / Berkeley Sedge



Chondropetalum tectorum / Cape Rush



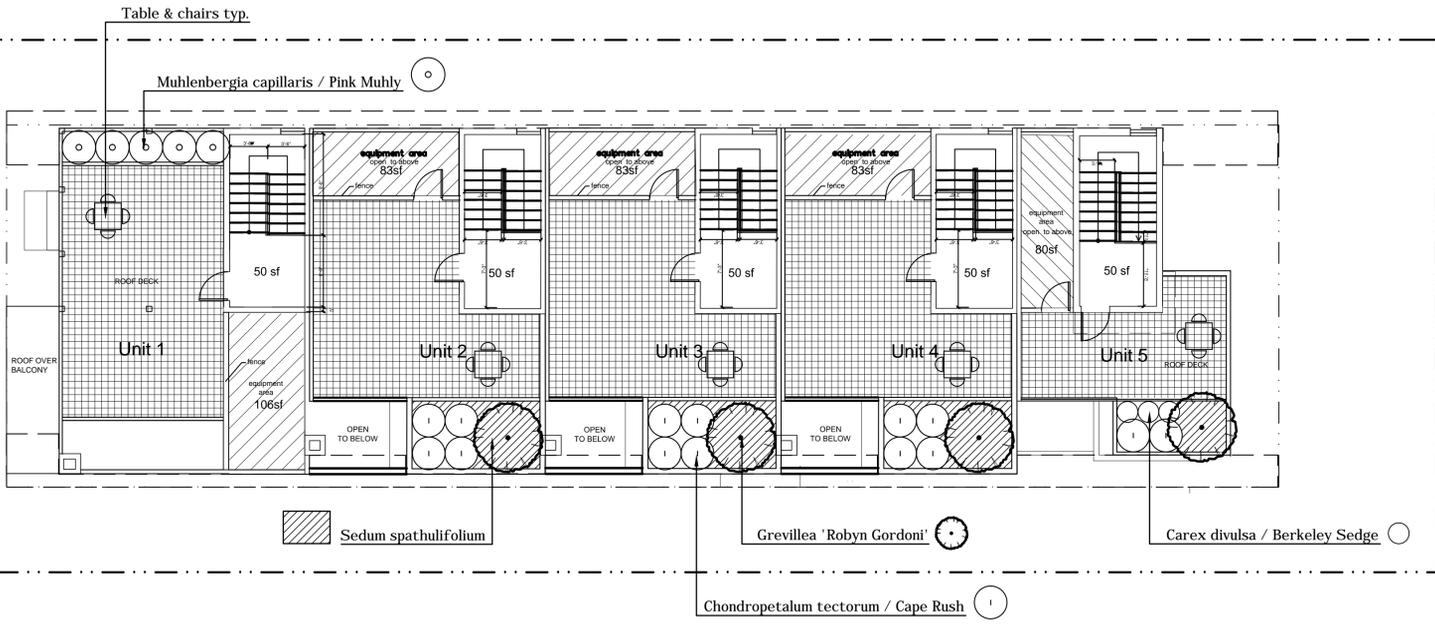
Grevillea 'Robyn Gordon'



Muhlenbergia capillaris / Pink Muhly



Sedum spathulifolium



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1949 17TH STREET
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ROOF PLANTING PLAN



DATE: DEC. 14, 2015
SCALE: 1/8"=1'-0"
JOB NUMBER: 176015
DRAWN BY:

TREE TRUNK WIDTH SIZE	RECOMMEN-DED WATER VOLUME	WATERING FREQUENCY BASED ON SPECIES	MONTHS	
			APRIL TO OCTOBER	NOVEMBER TO MARCH
NEWLY PLANTED (LESS THAN 5")*	10 TO 20 GALLONS	NEWLY PLANTED TREE	WEEKLY	BI-WEEKLY
AVERAGE STREET TREE (16")*	160 GALLONS	MINIMAL	ONCE OR TWICE A MONTH	NONE
SMALL (5" TO 12")*	80 GALLONS	MINIMAL	ONCE OR TWICE A MONTH	NONE
		MODERATE	TWICE TO THREE TIMES A MONTH	ONCE A MONTH
		HIGH	WEEKLY	ONCE TO TWICE A MONTH
MEDIUM (13" TO 21")*	160 GALLONS	MINIMAL	ONCE OR TWICE A MONTH	NONE
		MODERATE	TWICE TO THREE TIMES A MONTH	ONCE A MONTH
		HIGH	WEEKLY	ONCE TO TWICE A MONTH
LARGE (22" TO 30")*	260 GALLONS	MINIMAL	ONCE OR TWICE A MONTH	NONE
		MODERATE	TWICE TO THREE TIMES A MONTH	ONCE A MONTH
		HIGH	WEEKLY	ONCE TO TWICE A MONTH
VERY LARGE (31" AND OVER)*	310 GALLONS	MINIMAL	ONCE OR TWICE A MONTH	NONE
		MODERATE	TWICE TO THREE TIMES A MONTH	ONCE A MONTH
		HIGH	WEEKLY	ONCE TO TWICE A MONTH

* WIDTH OF TREE TRUNK AT FOUR FEET FROM GROUND LEVEL

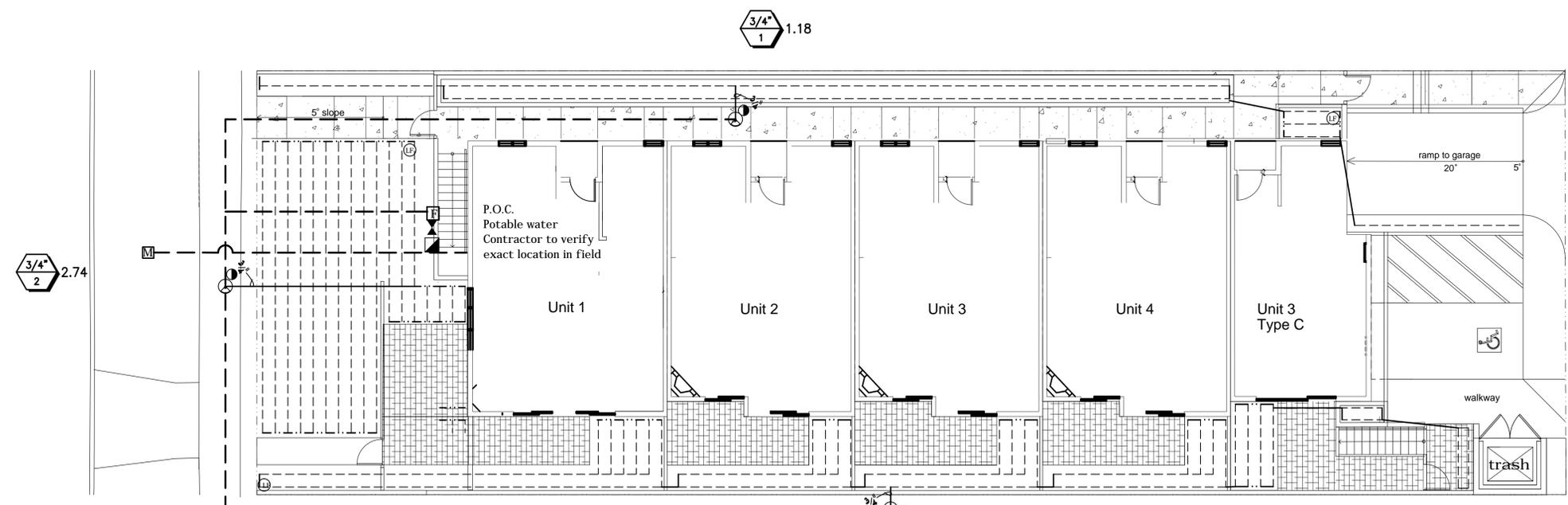
HYDROZONE MATRIX															
HYDROZONE / VALVE	CONTROLLER STATION	SO. FT.	% OF TOTAL PLANTABLE LANDSCAPE AREA (PLA)	% OF SLOPE AT FINISH GRADE	EXPOSURE OR OBSCURATION	HYDROZONE BASIS	HYDROZONE DESCRIPTION	ALTERNATIVE WATER SOURCE	PLANT FACTOR IS BASED ON ANCHORAGE SOIL	IRRI METHOD	IRRIGATION DEVICE MANUFACTURER #	DESIGN FLOW RATE (GPM @ 1.0 PSI)	CALC. PRECIP RATE IN/HR	ZONE GPM	ZONE PSI
A	1	400.0	18.0%	2%	FULL SUN	PL	SHRUBS	RW	0.3	D	NETAFIM / TECHLINE / CV	0.53	0.29	1.2	15
B	2	926.0	42.0%	2%	FULL SUN	PL	SHRUBS	RW	0.3	D	NETAFIM / TECHLINE / CV	0.53	0.28	2.7	15
C	3	570.0	26.0%	2%	FULL SUN	PL	SHRUBS	RW	0.3	D	NETAFIM / TECHLINE / CV	0.53	0.10	0.6	15
D	4	318.0	14.0%	2%	FULL SUN	PL	SHRUBS	RW	0.5	D	NETAFIM / TECHLINE / CV	0.53	0.18	0.6	15
SUBTOTAL		2214.0	100.0%												

MAINTENANCE NOTES
 4 times a year, at the beginning of each season, watering time will be determined by observing at which point water runoff starts. The watering time will be done according to that test. In summer water every 3 days, in winter every 4 days.
 Twice a year all sprinkler system should be checked in order to verify good operating condition of all drippers and valves.
 Periodic landscape consultant visits are strongly recommended to help verifying good & healthy plant development.

PRESSURE GIVEN BY DOUG _____ DATE SEPT. 16, 2019
 PHONE NUMBER (323) 458-8531
 CITY WATER PRESSURE _____
 75 MIN. 85 MAX. 3/4" SIZE NEPTUNE MODEL
 IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE WITH SUPPLIER PRIOR TO INSTALLATION. IF DIFFERENT FROM ABOVE, NOTIFY OWNER. FAILURE OF NOTIFICATION MAY RESULT IN FIELD CHANGES AT NO ADDITIONAL COST TO THE OWNER.



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- IRRIGATION NOTES**
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
 - SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
 - ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
 - PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
 - FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
 - 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
 - BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
 - ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
 - THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
 - IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.

- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.

DESCRIPTION	SYM.	REMARKS
'RAINBIRD' CONTROL VALVE GB SERIES	⊙	
'NIBCO' GATE VALVE T-113	⊙	
'RAINBIRD' FLOW SENSOR FS100B	[F]	
'BROOKS' VALVE BOX SERIES 1419	⊙	
'RAINBIRD' QUICK COUPLER 44 LRC 1"	⊙	
'WILKINS' BACKFLOW PREVENTER 375	⊙	W/WYE STRAINER (BFP TO BE PAINTED DARK GREEN)
'TORO' CUSTOM COMMAND 24 STATION SLEEVING SCH. 40 P.V.C.	---	LOCATION BY OWNER
PRESSURE LINE CLASS 315 PVC	---	TWICE LINE SIZE (MIN.)
NON-PRESSURE LINE SCH. 40 P.V.C.	---	1"
POINT OF CONNECTION	P.O.C.	SEE PLAN FOR SIZE
		VERIFY LOCATION ON SITE

NETAFIM LEGEND	
'NETAFIM' LVC210075-HF	⊙
'NETAFIM' LINE FLUSH VALVE	⊙
'NETAFIM' TECHLINE CV T4CV4-18025	---
NON-PRESSURE 1" SCH. 40 PVC HEADER	---

SIZE NO. GPM

HYDROZONE LEGEND				
PLANT TYPE	PLANT FACTOR	HYDROZONE BASIS	IRRIGATION METHOD	ALTERNATIVE WATER USE
TREES, SHRUBS, VINES, GROUNDCOVERS	0.5	PL PLANT TYPE	D DRIP	
HERBACEOUS PERENNIALS	0.5	IR IRRIGATION METHOD	S SMALL ROTOR	GW GREYWATER
DESERT ADAPTED PLANTS	0.3	SU SUN EXPOSURE	L LARGE ROTOR	RW RAINWATER
ANNUAL FLOWERS & BEDDING PLANTS	0.8	SO SOIL TYPE	B BUBBLER	SW STORMWATER
COOL SEASON TURFGRASS	0.8	SL SLOPE	M MICROSpray	ORW ONSITE RECLAIMED WASTEWATER
WARM-SEASON TURFGRASS	0.6	O OTHER	O OTHER / LOW	O OTHER / LOW
DECIDUOUS FRUIT TREES	0.8			
EVERGREEN FRUIT TREES	1.0			
VEGETABLE CROPS	1.0			

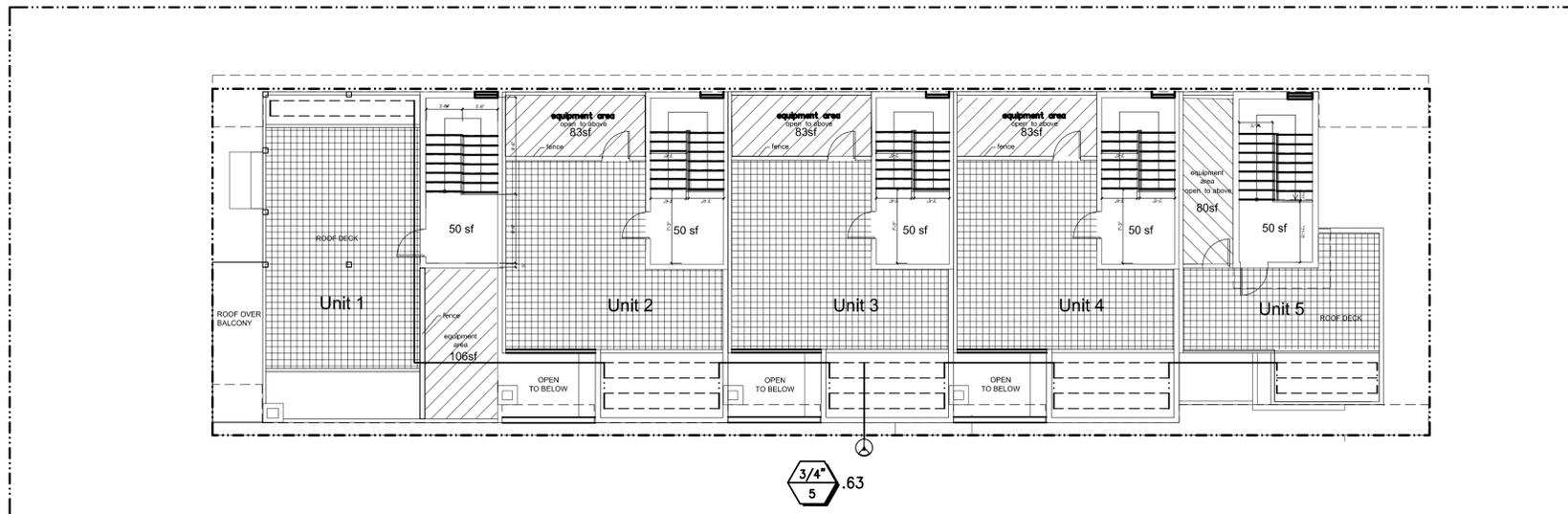
1949 17TH STREET
 SANTA MONICA, CA 90404

IRRIGATION PLAN



DATE: DEC. 14, 2015
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 176015
 DRAWN BY:

IRRIGATION LEGEND		SYM.	
'NIBCO' GATE VALVE T-113			
'BROOKS' VALVE BOX SERIES 1419			
'RAINBIRD' QUICK COUPLER 44 LRC 1"			
'WILKINS' BACKFLOW PREVENTER 375			
'TORO' CUSTOM COMMAND 24 STATION			
'HUNTER' MIN CLICK			
SLEEVING SCH. 40 P.V.C.			
PRESSURE LINE CLASS 315 PVC			
NON-PRESSURE LINE SCH. 40 P.V.C.			
POINT OF CONNECTION			
			W/WYE STRAINER (BFP TO BE PAINTED DARK GREEN) LOCATION BY OWNER LOCATION ON EAVE OF ROOF TWICE LINE SIZE (MIN.) 1"
			SEE PLAN FOR SIZE VERIFY LOCATION ON SITE
NETAFIM LEGEND			
'NETAFIM' LVCZ10075-HF			CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.
'NETAFIM' LINE FLUSH VALVE			
'NETAFIM' TECHLINE CV TLCV4-18025			
NON-PRESSURE 1" SCH. 40 PVC HEADER			



REVISIONS	DATE
1.	8.24.16
2.	1.11.17
3.	12.07.18
4.	
5.	
6.	
7.	
8.	
9.	



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1949 17TH STREET
 SANTA MONICA, CA 90404

ROOF IRRIGATION



DATE: DEC. 14, 2015
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 176015
 DRAWN BY:





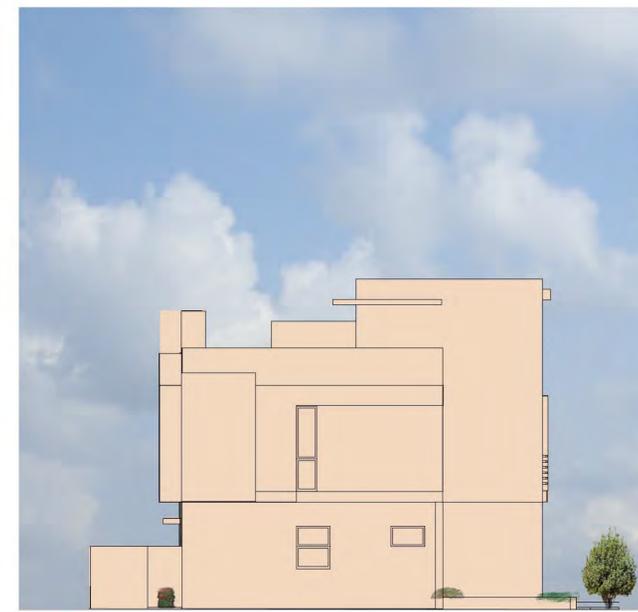
ELEVATION NORTH WEST



ELEVATION SOUTH WEST



ELEVATION SOUTH EAST



ELEVATION NORTH EAST

REVISIONS	DATE
1.	1.18.16
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	



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1494 17TH STREET
 SANTA MONICA, CA 90404

TIME OF PLANTING
 ELEVATION PLAN



DATE: DEC. 14, 2015
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 17TH STREET
 DRAWN BY:





ELEVATION NORTH WEST



ELEVATION SOUTH WEST



ELEVATION SOUTH EAST



ELEVATION NORTH EAST

REVISIONS	DATE
1.	1.18.16
2.	
3.	
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1494 17TH STREET
 SANTA MONICA, CA 90404

2 YEARS GROWTH
 ELEVATION PLAN



DATE: DEC. 14, 2015
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 17TH STREET
 DRAWN BY:



IRRIGATION SPECIFICATIONS

1.0 GENERAL SPECIFICATIONS

1.1 PURPOSE OF PROJECT

1.1.1 THE PURPOSE OF THIS PROJECT IS TO IRRIGATE THE EXTERIOR PLANT MATERIAL ON THE PROPERTY IN A MANNER APPROPRIATE TO THE INDIVIDUAL PLANTS AND THEIR CLIMATE USING MATERIALS AND PROCEDURES WHICH MAXIMIZE RESOURCE CONSERVATION.

1.2 INTENT OF PLAN & SPECIFICATIONS

1.2.1 THE INTENT OF THIS PLAN AND SPECIFICATIONS IS TO INSTALL AN IRRIGATION SYSTEM FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP WHICH SATISFIES THE PURPOSE OF THE PROJECT DESCRIBED ABOVE.

1.2.2 THE PLAN AND SPECIFICATIONS MUST BE USED TOGETHER TO ACCOMPLISH THE PURPOSE OF THE PROJECT. NEITHER DOCUMENTS IS COMPLETE WITHOUT THE OTHER.

1.2.3 IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE PLAN AND THE SPECIFICATIONS, THE FINAL DECISION TO BE FOLLOWED MUST BE MADE BY THE IRRIGATION DESIGNER (ID).

1.3 SCOPE OF WORK

1.3.1 THE WORK INCLUDED IN THESE SPECIFICATIONS CONSISTS OF SUPPLYING ALL LABOR, TOOLS, MATERIALS, PERMITS AND TAXES NECESSARY FOR SATISFYING THE PURPOSE OF THE PROJECT.

1.4 ORDINANCES & REGULATIONS

1.4.1 ALL MUNICIPAL, COUNTY AND STATE LAWS, RULES AND REGULATIONS GOVERNING ANY PORTION OF THIS WORK MUST BE CONSIDERED A PART OF THESE SPECIFICATIONS.

1.4.2 THIS PLAN IS DESIGNED TO COMPLY WITH CITY OF SANTA MONICA MUNICIPAL CODE SECTION 8.108 AND ITS ASSOCIATED STANDARDS.

2.0 MATERIAL SPECIFICATIONS

2.1 ALL MATERIALS MUST BE NEW AND OF THE SIZE, TYPE AND/OR BRAND CALLED FOR ON THE DRAWINGS OR IN THE SPECIFICATIONS. ALL MATERIALS REQUIRED BUT NOT SPECIFIED IN THE PLAN (SUCH AS, BUTNOT LIMITED TO, PVC CEMENT) MUST BE SUPPLIED BY THE INSTALLING CONTRACTOR.

2.2 RESOURCE CONSERVATION IS A SPECIFIC GOAL OF THIS PROJECT. THE INSTALLER MUST TAKE THIS FACTOR INTO CONSIDERATION IN THE CHOICE OF MATERIALS LEFT TO HIS/HER DISCRETION IN THE PLAN.

2.3 CROSS-CONNECTION PREVENTION

2.3.1 EQUIPMENT TO PREVENT BOTH BACK-FLOW AND BACK-SYPHONAGE WHICH MEETS THE REQUIREMENTS OF THE CITY OF SANTA MONICA IS REQUIRED.

2.4 PVC PIPE

2.4.1 BELOW-GRADE RIGID PVC PIPE

2.4.1.1 ALL BELOW-GRADE RIGID PVC PIPE MUST BE RECOGNIZED COMMERCIAL GRADE AND MARKED WITH APPROPRIATE SIZE, CLASS/SCHEDULE, SDR AND LOT NUMBERS AS REQUIRED BY SPECIFICATIONS.

2.4.1.2 IN-GROUND MAIN LINES MUST BE CLASS 315 SOLVENT WELD-TYPE PVC PIPE, SIZED AS INDICATED ON THE PLAN.

2.4.1.3 LATERALS MAY BE SCHEDULE 40 OR CLASS 315 SOLVENT WELD TYPE PVC PIPE. ALL LATERAL PIPING IS 3/4" IN SIZE UNLESS OTHERWISE INDICATED ON THE PLAN.

2.4.1.4 IPS FLEXIBLE PVC PIPE MAY BE SUBSTITUTED FOR RIGID PVC PIPE BELOW GRADE (IN LATERAL LINES ONLY) TO AVOID UNDERGROUND OBSTRUCTIONS ENCOUNTERED DURING TRENCHING OR TUNNELING.

2.5.1 PVC FITTINGS & CEMENT

2.5.1.1 PVC FITTINGS MUST BE OF THE SAME CHEMICAL COMPOUND AS PIPE ON WHICH THEY ARE INSTALLED

2.5.1.2 PVC CEMENT MUST BE "LOW VOC" TYPE AND OF AN APPROPRIATE CHEMICAL COMPOUND FOR THE PIPE ON WHICH IT IS USED. AN APPROPRIATE PRIMER MUST BE USED.

2.6 POLYETHYLENE (PE) TUBING & FITTINGS

2.6.1 ALL PE TUBING MUST BE RECOGNIZED COMMERCIAL GRADE WITH A MINIMUM WALL THICKNESS OF 0.05 INCHES. TUBING WITH AN OUTSIDE DIAMETER OF 16MM OR 18MM IS RECOMMENDED. 17MM TUBING MAY BE USED. TUBING SMALLER THAN 16MM IS SPECIFICALLY PROHIBITED EXCEPT FOR LEADER LINES FOR CONTAINER IRRIGATION.

2.6.2 FITTINGS FOR PE TUBING MUST BE OF THE COMPRESSION TYPE, SEAMLESS IN CONSTRUCTION AND OF THE PROPER SIZE FOR THE TUBING USED. BARBED FITTINGS MAY BE USED IF RECOMMENDED BY TUBING MANUFACTURER.

2.7 BALL VALVES

2.7.1 BALL VALVES ARE REQUIRED AT VARIOUS POINTS IN THE SYSTEM TO CLOSE OFF PORTIONS OF THE SYSTEM FOR MAINTENANCE. BALL VALVES MUST BE SIZED THE SAME AS THE PIPE SECTION IN WHICH THEY ARE PLACED. BALL VALVES MUST BE ENCLOSED IN VALVE BOXES.

2.8 REMOTE CONTROL VALVE ASSEMBLIES (RCVA)

2.8.1 RCVA'S CONSIST OF A REMOTE CONTROL VALVE, A FILTER AND A PRESSURE REGULATION DEVICE.

2.8.2 VALVES

2.8.2.1 VALVES MUST BE CHOSEN FROM GUIDELINES FOR THE DESIGN & CONSTRUCTION OF WATER-EFFICIENT IRRIGATION SYSTEMS IN THE CITY OF SANTA MONICA PUBLISHED BY THE CITY OF SANTA MONICA OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT.** WHICHEVER UNIT IS SELECTED MUST BE USED THROUGHOUT THE PROJECT.

2.8.2.2 VALVES FOR THIS PROJECT MUST BE 0.75" IN SIZE. OVER-SIZING OF VALVES IS NOT CONDUCTIVE TO RESOURCE CONSERVATION AND IS NOT PERMITTED.

2.8.3 FILTERS

2.8.3.1 FILTERS MUST BE SELECTED FROM GUIDELINES FOR THE DESIGN & CONSTRUCTION OF WATER-EFFICIENT IRRIGATION SYSTEMS IN THE CITY OF SANTA MONICA PUBLISHED BY THE CITY OF SANTA MONICA OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT.** WHICHEVER UNIT IS CHOSEN MUST BE USED THROUGHOUT THE PROJECT.

2.8.4 PRESSURE REGULATORS

2.8.4.1 PRESSURE REGULATORS MUST BE CHOSEN FROM GUIDELINES FOR THE DESIGN & CONSTRUCTION OF WATER-EFFICIENT IRRIGATION SYSTEMS IN THE CITY OF SANTA MONICA PUBLISHED BY THE CITY OF SANTA MONICA OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT.** WHICHEVER UNIT IS CHOSEN MUST BE USED THROUGHOUT THE PROJECT.

2.9 SPRINKLERS

2.9.1 SPRINKLERS MUST BE CHOSEN FROM THE MOST CURRENT APPROVED LIST OF WATERING DEVICES PUBLISHED BY THE CITY OF SANTA MONICA OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT.

2.10 RISER UNITS

2.10.1 RISER UNITS ARE THE TRANSITION POINTS FROM BELOW GRADE PIPING TO ABOVE GRADE PIPING IN SOME TYPES OF DRIP SYSTEMS. SEE DETAIL DRAWINGS FOR SIZES AND PART NUMBERS

2.11 DRIP EMITTERS

2.11.1 INDIVIDUAL DRIP EMITTERS MUST BE CHOSEN FROM THE APPROVED LIST PUBLISHED BY THE CITY OF SANTA MONICA OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT. **

2.11.2 MULTI-OUTLET EMITTERS ARE NOT PERMITTED.

2.11.3 EMITTER LINE

2.11.3.1 EMITTER LINE CONSISTS OF PE DRIP TUBING AS DESCRIBED IN 12.6 ABOVE WITH DRIP EMITTERS FORMED INTO THE TUBING AT A PREDETERMINED SPACING. IT IS USED THROUGHOUT THIS PROJECT. SEE DETAIL DRAWINGS FOR SPECIFIC REQUIREMENTS.EMITTER LINE MUST BE CHOSEN FROM THE APPROVED LIST PUBLISHED BY THE CITY OF SANTA MONICA OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT.**

2.12 ANTI-DRAIN VALVES (ADV) ARE NOT REQUIRED ON THIS PROJECT.

2.13 AUTOMATIC CONTROLLER

2.13.1 THE CONTROLLER MUST BE SELECTED FROM MODELS THAT ARE ON THE IRRIGATION ASSOCIATION'S CURRENT APPROVED SWAT LIST.***

2.14 RAIN SENSOR - INCLUDE WITH SOLAR SYNC SENSOR

2.15 CONTROL WIRING

2.15.1 ALL CONTROL WIRE MUST BE OF A TYPE DESIGNED FOR IRRIGATION USE.

2.15.1.1 DIRECT BURIAL CONTROL WIRE MUST BE EITHER 14-1,TYPE UF OR JACKETED, MULTISTRAND,18 GAUGE, SOLID COPPER WIRE WITH A MINIMUM OF TWELVE COLOR-CODED CONDUCTORS ONE OF WHICH MUST BE WHITE. IF A SO-CALLED TWO-WIRE SYSTEM IS USED,CONTROL WIRE MUST BE OF THE TYPE SPECIFIED BY THE MANUFACTURER OF THE SYSTEM.

2.15.2 CONTROL WIRE CONNECTIONS MAY BE MADE IN ONE OF TWO WAYS:

2.15.2.1 WITH CONNECTORS IDENTIFIED BY THEIR MANUFACTURER AS "WATERPROOF."

2.15.2.2 WITH WIRE NUTS INSIDE WEATHERPROOF ENCLOSURES, ABOVE GRADE ONLY. WIRE NUT CONNECTIONS ARE SPECIFICALLY PROHIBITED IN ANY OTHER SITUATION.

2.15.3 ALL CONTROL WIRE CONNECTIONS MUST BE MADE INSIDE AN APPROPRIATE ENCLOSURE DESIGNED FOR THAT PURPOSE.

2.16 MULCH

2.16.1 ALL SURFACE-MOUNTED DRIP TUBING MUST BE COVERED WITH A 3" TO 4" LAYER OF MULCH. IF BARK MULCH IS USED THE TYPE GENERALLY DESCRIBED AS "WALK-ON BARK" IS RECOMMENDED. BARK MULCHES WITH A PEBBLE-LIKE STRUCTURE ARE NOT PERMITTED.

3.0 INSTALLATION SPECIFICATIONS

3.1 GENERAL

3.1.1 WORK MUST BE PERFORMED BY OR UNDER THE DIRECT SUPERVISION OF ACCOMPLISHED JOURNEMEN.

3.1.5 THE COMPLETED WORK MUST CONFORM TO THE LATEST SET OF PLANS AND SPECIFICATIONS, INCLUDING REVISIONS, IN EXISTENCE AT THE TIME OF COMPLETION OF THE WORK.

3.1.6 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL SITE DIMENSIONS PRIOR TO EXECUTING THE PLAN. MAJOR DISCREPANCIES MUST BE RESOLVED BY THE IRRIGATION DESIGNER BEFORE EXECUTION OF THE AFFECTED PORTIONS OF THE PLAN.

3.2 TRENCHING, TUNNELING & CORING

3.2.1 TRENCH / TUNNEL DEPTH MUST BE SUFFICIENT TO OBTAIN A MINIMUM DEPTH OF COVER OVER THE INSTALLED PIPE AND CONTROL WIRE THAT CONFORMS TO THE FOLLOWING DIMENSIONS INDICATED IN THE APPROPRIATE DETAIL DRAWING. WHERE PIPE AND / OR CONDUIT ARE PLACED BELOW PAVING OR HARDSCAPE THE DIMENSIONS ARE CONSIDERED TO BE BELOW THE SUBGRADE.

3.2.2 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ADJUSTMENTS IN TRENCH/TUNNEL LOCATIONS SO AS TO AVOIDCONFLICT WITH EXISTING UTILITIES AND/OR MAJOR PLANT ROOTS.

3.2.3 BOTTOM OF TRENCHES MUST BE MAINTAINED FLAT SO AS TO PROVIDE CONTINUOUS SUPPORT OF PIPE FOR ITS FULL RUN.

3.2.4 TRENCHES FOR PIPE AND CONDUIT UNDER VEHICULAR PAVINGMUST BE EXCAVATED BELOW THE LEVEL OF THE PIPE AND THENBROUGHT UP TO DEPTH WITH COMPACTED BACKFILL. SEE "BACKFILLING" BELOW .

3.2.5 TRENCHING IN THE VICINITY OF EXISTING PLANTS MUST BE DONE BY HAND. USE ALL POSSIBLE CARE TO PROTECT PLANT ROOTS.CUTTING OF PLANT ROOTS LARGER THAN ONE INCH IN DIAMETER MUST BE APPROVED BY THE LANDSCAPE DESIGNER OR THE PROPERTY OWNER.

3.2.6 THE PRIMARY METHOD FOR LAYING PIPE UNDER EXISTING PAVING MUST BE HAND EXCAVATION OR HYDRAULIC BORING.CUTTING OF PAVING MUST BE APPROVED BY THE OWNER ON A CASE BY CASE BASIS. IF PAVEMENT CUTTING IS NECESSARY IT MUST BE REPLACED BY LIKE MATERIAL. THE CONTRACTOR MUST INFORM THE OWNER OF THE COMPLETE ADDITIONAL COST OF CUTTING AND REPLACING THE PAVEMENT AT THE TIME OF REQUEST FOR APPROVAL.

3.2.7 CORING THROUGH WALLS MUST BE COORDINATED WITH THE MASONRY AND/OR GENERAL CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY. CORING THROUGH RETAINING WALLS MUST BE ADDITIONALLY COORDINATED WITH THE PERSON RESPONSIBLE FOR GRADING AND DRAINAGE.

3.3 PIPING

3.3.1 PIPE LAID IN THE SAME TRENCH MUST BE LAID SIDE BY SIDE AND NOT OVERLAPPED. PROVIDE 2" HORIZONTAL CLEARANCE BETWEEN IRRIGATION LINES AND 6" CLEARANCE BETWEEN LINE OF OTHER WORK. DO NOT INSTALL PARALLEL LINES DIRECTLY OVER ANY OTHER LINE.

3.3.2 IT IS RECOMMENDED THAT ALL CUTS IN PVC PIPE MUST BE MADE WITH PVC SHEARS RATHER THAN SAWS TO PRECLUDE CLOGGING OF EMITTERS BY SAWDUST PARTICLES.

3.4 REMOTE CONTROL VALVE ASSEMBLIES (RCVA)

3.4.1 INSTALL RCVA'S AS SHOWN IN DETAIL DRAWINGS.

3.5 TUBING & EMITTER LINE

3.5.1 INSTALL PE TUBING, INCLUDING EMITTER LINE, AS SHOWN IN DETAIL DRAWINGS.

3.5.2 BECAUSE PLANT SIZE AND EXACT LOCATION WITHIN THE ZONE MAY BE CHANGED DURING INSTALLATION, IT IS IMPORTANT FOR THE CONTRACTOR TO ENSURE THAT EACH PLANT RECEIVES A PROPORTIONAL AMOUNT WATER. USE THE FOLLOWING GUIDELINE DURING INSTALLATION: MAKE SURE THAT EMITTER LINE AND/OR DRIP EMITTERS ARE PLACED IN SUCH A MANNER AS TO EVENLY WET AT LEAST 60% OF THE ROOT BALL OF EACH PLANT. SEE DETAIL DRAWINGS FOR MORE GUIDANCE

3.6 AUTOMATIC CONTROLLER

3.6.1 INSTALL THE AUTOMATIC CONTROLLER IN THE LOCATION SHOWN ON THE PLAN. CONFIRM THE CONTROLLER LOCATION WITH THE IRRIGATION DESIGNER, LANDSCAPE ARCHITECT AND PROPERTY OWNER BEFORE INSTALLATION. THE CONTROLLER MUST BE PLACED AT EYE-LEVEL AND MUST BE SECURELY MOUNTED WITH AT LEAST THREE SCREWS.

3.7 HOSE BIBBS

3.7.1 SHALL CONTAIN BUILT-IN PRESSURE VACUUM BREAKERS.

3.7.2 SEE ARCHITECTURAL PLUMBING PLAN (A#) FOR INSTALLATION LOCATIONS.

3.9 POWER & CONTROL WIRE

3.9.1 A PROPERLY GROUNDED 110 VOLT CONNECTION POINT ADJACENT TO THE CONTROLLER MUST BE SUPPLIED BY THE GENERAL CONTRACTOR. 110 VOLT POWER WIRE MUST BE MINIMUM 14 GAUGE AND LOCATED INSIDE CONDUIT APPROVED FOR EXTERIOR, ABOVE-GRADE USE.

3.9.2 ALL WIRE ENTERING THE CONTROLLER MUST DO SO THROUGH APPROPRIATE FITTINGS.

3.9.3 WHENEVER POSSIBLE CONTROL WIRE MUST BE LAID IN THE SAMETRENCH AS THE MAIN LINE. CONTROL WIRE LOCATED ABOVE GRADE MUST BE LOCATED IN APPROVED CONDUIT.

3.9.4 IN-GROUND WIRE MUST BE LAID SLACK, NEVER TAUNT. WHERE WIRE CHANGES DIRECTION BY MORE THAN 30° AN EXPANSION LOOP NOT LESS THAN 6" IN DIAMETER MUST BE INCLUDED. IF 14-1 TYPE WIRE IS USED, WIRES MUST BE BUNDLED TOGETHER WITH CABLE TIES AT TEN FOOT INTERVALS THROUGHOUT THEIR RUN. WIRE MUST BE LAID AT A DEPTH EQUAL TO OR LOWER THAN THE MAIN LINE PIPE AND NOT UNNECESSARILYCRISS-CROSS OVER THE PIPE

3.9.5 ALL CONTROL WIRE CONNECTIONS, AS WELL AS TERMINATIONS OF WIRE PLANNED FOR FUTURE USE, MUST BE MADEIN UTILITY OR VALVE BOXES AND PROPERLY MARKED ACCORDING TO THEIRUSE.

3.9.6 CONTROL WIRES TERMINATING INSIDE THE CONTROLLER MUST BE INDIVIDUALLY AND PERMANENTLY MARKED WITH THE APPROPRIATE VALVE NUMBER. ALTERNATIVELY, WRITTEN INFORMATION RELATING WIRE COLOR-CODE TO VALVE LOCATION AND NUMBER MAY BE PERMANENTLY AFFIXED TO THE INSIDE OF THE CONTROLLER.

3.10 FLUSHING

3.10.1 ALL MAINS AND LATERALS MUST BE FLUSHED OF DEBRIS BEFORE ATTACHMENT OF SPRINKLER HEADS OR EMITTERS.

3.11 BACKFILLING

3.11.1 ALL PIPING MUST BE PRESSURE TESTED BEFORE BACKFILLING. A CITY OF SANTA MONICA INSPECTION IS ALSO REQUIRED BEFORE BACKFILLING

3.11.2 PRESSURE AND NON-PRESSURE LINES IN LANDSCAPING.

3.11.2.1 THE FIRST 6" OF BACKFILL ON TOP OF PIPING OR CONDUIT MUST BE CLEAN, FINE, GRANULAR MATERIAL FREE OF STONES OR FOREIGN MATTER LARGER THAN 1/2" IN SIZE. COMPACTTO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL. RESTORE SOIL SURFACE TO ADJACENT GRADE, FREE OF DEPRESSIONS, HUMPS OR OTHER IRREGULARITIES.

3.11.3 PRESSURE AND NON-PRESSURE LINES UNDER PAVING.

3.11.3.1 TRENCHES LOCATED UNDER AREAS TO BE PAVED MUST BE BACKFILLED WITH SAND 6 INCHES BELOW THE PIPE AND 18 INCHES ABOVE THE PIPE,THEN COMPACTED IN LAYERS TO 95% COMPACTION USING MANUAL OR MECHANICALTAMPING DEVICES. BACKFILL COMPACTION MUST EQUAL THE COMPACTION OF THE ADJACENT UNDISTURBED SOIL AND BE LES IN A FIRM UNYIELDING CONDITION. RESTORE SOIL SURFACE TO ADJACENT SUB-GRADE, FREE OF DEPRESSIONS, HUMPS OR OTHER IRREGULARITIES.

3.11.4 ALL BACKFILL MUST BE COMPACTED SUFFICIENTLY TO AVOID FUTURE SETTLING. VEHICLE WHEELS MUST NOT BE USED FOR COMPACTING SOIL.

3.12 VALVE ASSEMBLY MARKING

3.12.1 EACH VALVE ASSEMBLY AND VALVE BOX MUST BE PERMANENTLY MARKED WITH THE APPROPRIATE MANNER WHICH ALLOWS REPLACEMENT OF COMPONENT PARTS WITHOUT LOSS OF MARKING

3.13 DAMAGE TO PROPERTY

3.13.1 THE CONTRACTOR MUST RESTORE TO ORIGINAL CONDITION,WITHOUT CHARGE, ANY DAMAGE DUE TO NEGLIGENCE OF ANY OF THE CONTRACTOR'S EMPLOYEES, AGENTS OR SUBCONTRACTORS. THE WORK MUST BE COMPLETED BEFORE FINAL PAYMENT IS MADE.

3.14 PROTECTION OF SITE

3.14.1 EXPOSED, OPEN-ENDED PIPE NIPPLES (SUCH AS RISER UNITS)AND SPRINKLER BODIES WITHOUT NOZZLES LES OPEN FOR LATER COMPLETION MUST BE PROTECTED AGAINST DEBRIS INTRUSION WITH PLUGS OR WEATHERPROOF TAPE. USE OF ELECTRICAL TAPE OR DUCT TAPE IS NOT PERMITTED FOR THIS PURPOSE. RECOMMENDED PRODUCT / MODEL: PERMACEL 665 GAFFER TAPE.

3.14.2 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SAFEGUARD THE SITE FROM CASUAL VANDALISM DURING CONSTRUCTION.

3.14.3 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SAFEGUARD THE PUBLIC, THE OWNERS AND VISITORS TO THE PROPERTY FROM HARM DUE TO CONSTRUCTION ACTIVITIES. THIS IS TO INCLUDE BUT NOT BE LIMITED TO THE MARKING, FENCING AND/OR COVERING OF ALL OPEN TRENCHES AND/OR TRIPPING HAZARDS.

4.0 POST-INSTALLATION SPECIFICATIONS

4.1 SITE CLEAN-UP

4.1.1 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL DEBRIS FROM THE SITE AFTER CONSTRUCTION INCLUDING EXCAVATED MATERIAL WHICH IS UNUSABLE FOR BACKFILL

REVISIONS	DATE
1.	8.24.16
2.	1.11.17
3.	12.07.18
4.	
5.	
6.	
7.	
8.	
9.	



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1949 17TH STREET
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SPECIFICATION SHEET



DATE: DEC. 14, 2015
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 176015
 DRAWN BY:





Agave d. 'Variagata' / Dwarf Century Plant



Agave Media picta 'Alba'



Aristida purpurea / Purple Three Awn



Artemisia pycnocephala 'David's Choice' / Coastal Sagewort



Dodonea v. 'Purpurea' / Hopseed Bush



Echeveria 'After Glows'



Echeveria imbricate / Hen and Chick



Sedum r. 'Angelina' / Angelina Stonecrop



Euphorbia t. 'Sticks on Fire' / Red Pencil Tree



Heuchera maxima / Island Alum Root



Cercidium 'Desert Museum' / Palo Verde



Laurus nobilis / Sweet Bay



Muhlenbergia rigens / Deer Grass



Westringia f. 'Wynabbie Gem' / Coast Rosemary



Parthenocissus tricuspidata / Boston Ivy

REVISIONS	DATE
1.	8.24.16
2.	1.11.17
3.	12.07.18
4.	1.29.19
5.	1.06.19
6.	
7.	
8.	
9.	



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PLANT PHOTOS



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