

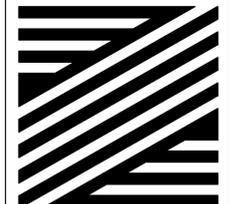
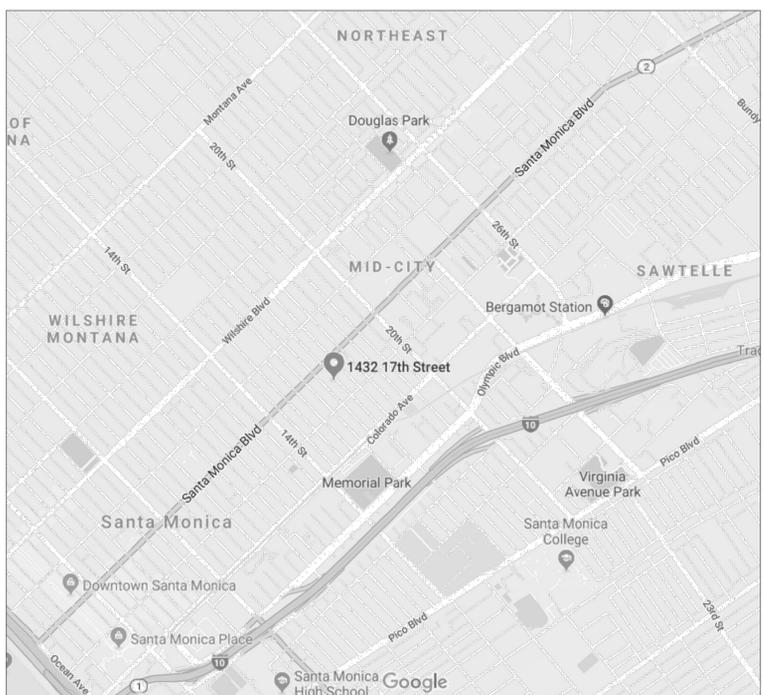
SANTA MONICA BLVD

17th STREET

BROADWAY



LEGAL DESCRIPTION:
SANTA MONICA LOT G BLK 158
APN - 4282-019-007
ZONE = R2



ZOHRABIANS

Zohrabians Architects and Builders, Inc.
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Glendale, California 91208

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zab@zohrabians.com

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CLIENT:

Victoria SK Holdings, LLC

Victoria SK Holdings, LLC
9437 Santa Monica Blvd. #208
Beverly Hills Ca. 90210

PROJECT:

17th St. Villas

1432 17th St.
Santa Monica Ca. 90404

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

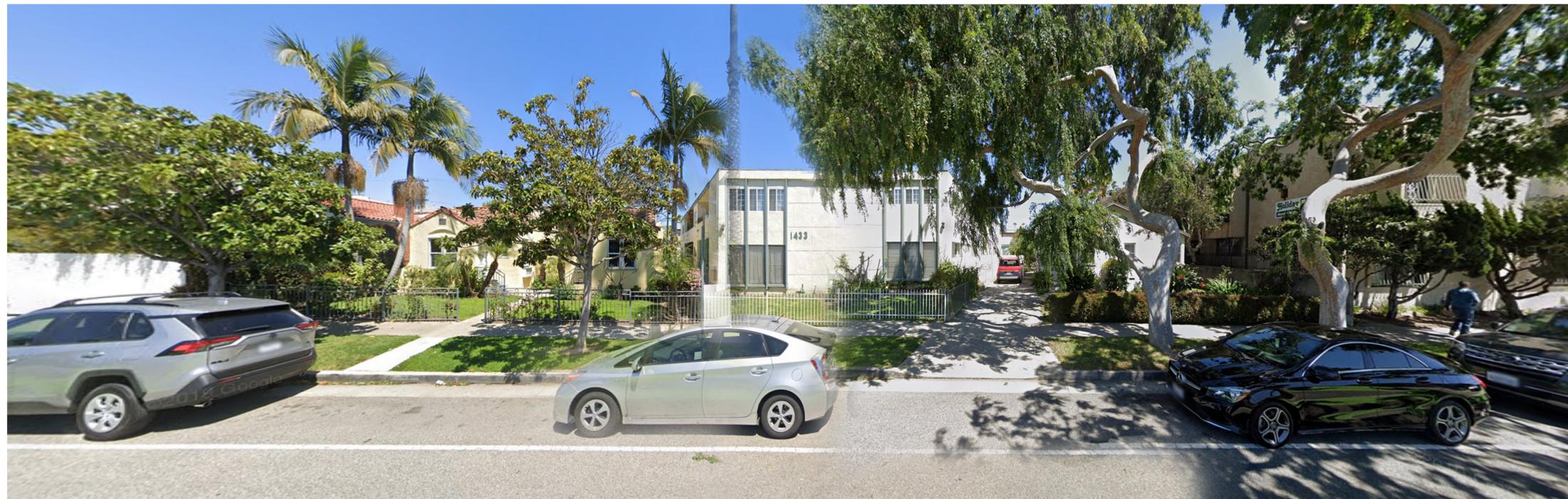
NEIGHBORHOOD
FIGURE/GROUND MAP AND
AERIAL LOCATION MAP

DATE	10.29.18
SCALE	1/32" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

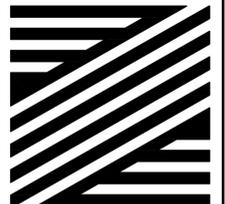
A1.4



1 PROPERTY STREET FRONTAGE



2 ACROSS THE STREET FRONTAGE



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Santa Monica Ca. 90404

REVISIONS		
DESCRIPTION	DATE	BY

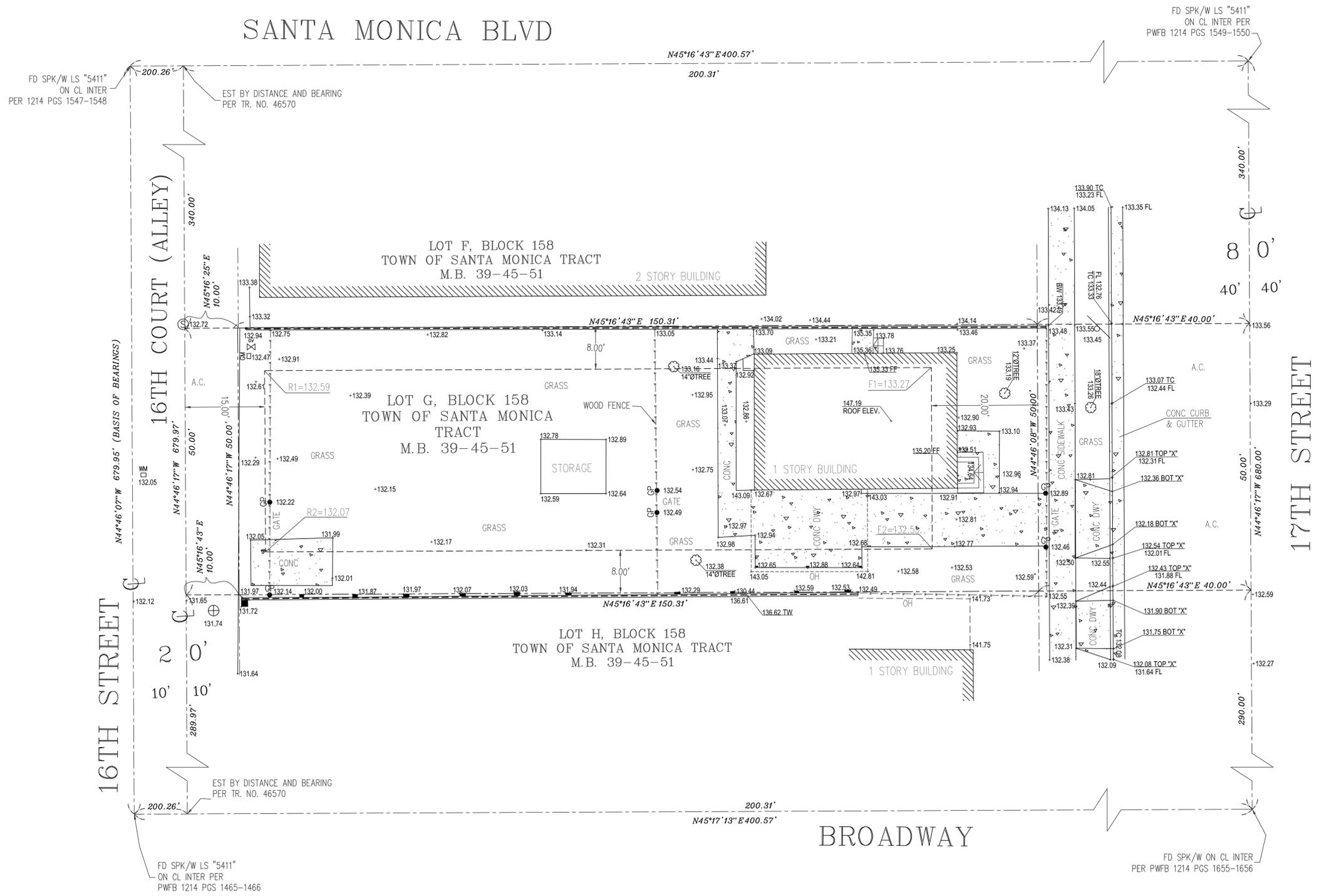
SHEET TITLE:

PHOTO MONTAGE

DATE	05.15.20
SCALE	NA
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

A1.5

SANTA MONICA BLVD



LEGAL DESCRIPTION:
 THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:
 LOT G OF SANTA MONICA TRACT AS PER MAP RECORDED IN BOOK 39 PAGES 45-51 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 4282-019-007

BASIS OF BEARINGS:
 THE BEARING NORTH 44° 46' 17" WEST, ON THE CENTERLINE OF 16TH STREET AS SHOWN ON TRACT NO. 46510, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 1173, PAGE 19, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:
 CONTAINING AN AREA OF 7,527.74 SQ. FT., OR 0.1728 ACRES, MORE OR LESS.

BENCHMARK:
 BM ID: 434-8
 P.K. NAIL IN LEAD NORTH CURB RETURN OF 17TH STREET AND BROADWAY 2.4 FT. NORTHWEST OF NORTHWEST CURB OF BROADWAY 5.0 FT.
 ELEV. = 127.895 FT.

SURVEYOR'S NOTE:
 THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.
 SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING, WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.

RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS, IF ANY, ARE NOT SHOWN.

LEGEND:

APN	- ASSESSOR'S PARCEL NUMBER	MB	- MAP BOOK
A.C.	- ASPHALT CONCRETE	OH	- OVERHANG
BM	- BENCHMARK	PG	- PAGE
BW	- BACK OF WALK	PM	- PARCEL MAP
C/CL	- CENTERLINE	SPK/W	- SPIKE & WASHER
COL	- COLUMN	TC	- TOP OF CURB ELEV.
CONC	- CONCRETE	TR	- TRACT MAP
COR	- CORNER	TW	- TOP OF WALL ELEV.
EST	- ESTABLISH		
FB	- FIELD BOOK		
FD	- FOUND		
FF	- FINISH FLOOR ELEV.		
FL	- FLOWLINE ELEV.		
FS	- FINISH SURFACE ELEV.		
INTER	- INTERSECTION		

SYMBOLS:

■	COLUMN	⊙	SEWER MANHOLE
⊕	GAS METER	⊗	TREE
⊖	GAS VALVE	⊙	WATER VALVE
⊙	GATE POST		

AVERAGE NATURAL GRADE CALCULATION:

$$ANG = \frac{F1+F2+R1+R2}{4}$$

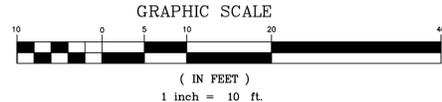
$$ANG = \frac{133.27+132.55+132.59+132.07}{4}$$

$$ANG = 132.62 \text{ FT}$$

16TH STREET (ALLEY)

17TH STREET

BROADWAY



VICINITY MAP NOT TO SCALE

M&G CIVIL ENGINEERING AND LAND SURVEYING

TITLE: TOPOGRAPHIC SURVEY		1432 17TH STREET, SANTA MONICA, CA 90404	
CLIENT: Zohrabians Architects and Builders Inc.	JOB NO: 18-14037	SCALE: 1" = 10'	DATE: 10/22/18
DESIGNED BY: F.G. / W.G.		DRAWN BY: MK	REVISION (S):
CHECKED BY: C.D.L.			SHEET 1 OF 1 SHEET



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CLIENT:
 Victoria SK Holdings, LLC
 Victoria SK Holdings, LLC
 9437 Santa Monica Blvd. #208
 Beverly Hills Ca. 90210

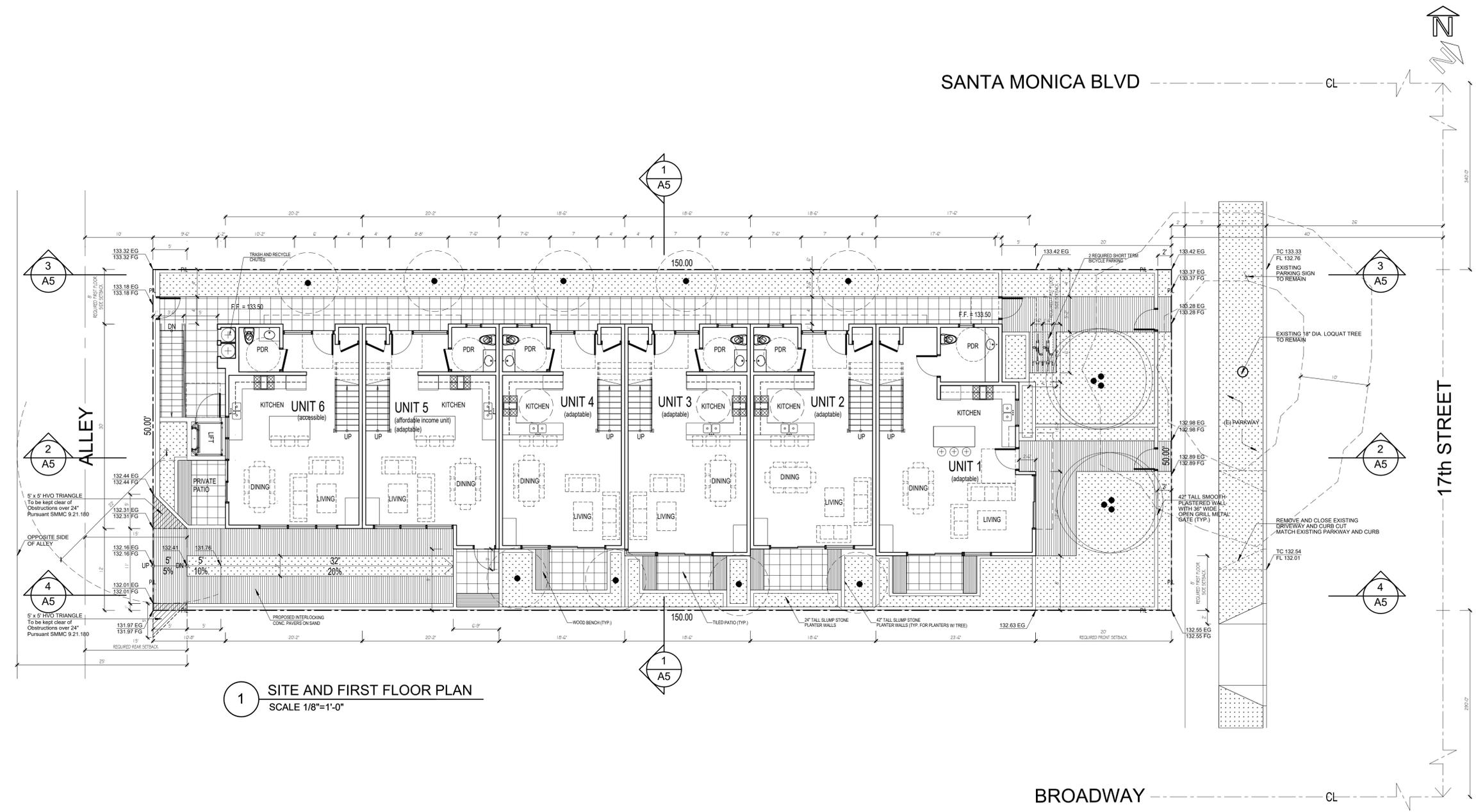
PROJECT:
 17th St. Villas
 Luxury Condominiums
 1432 17th St.
 Santa Monica Ca. 90404

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
 SITE AND FIRST FLOOR PLAN

DATE	01.08.2020
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062216
SHEET	

A2.1



1 SITE AND FIRST FLOOR PLAN
 SCALE 1/8"=1'-0"

PROJECT DESCRIPTION:
 NEW PROPOSED 6-UNIT TWO STORY+ Mazzanine CONDOMINIUMS INCLUDING DENSITY BONUS INCLUSIONARY UNIT OVER SEMI-SUBTERRANEAN PARKING GARAGE

PROJECT DATA:
 LEGAL DESCRIPTION: SANTA MONICA LOT G BLK 158
 APN : 4282-019-007
 LOT AREA = 7,500 s.f.
 ZONE = R2

ALLOWABLE DENSITY:
 ALLOWABLE NUMBER OF UNITS = 7,500 s.f. / 2,000 s.f. = 3.75 units

DENSITY BONUS:
 MAX. ALLOWABLE DENSITY BONUS = 35%
 MAX. ALLOWABLE NUMBER OF UNITS WITH DENSITY BONUS = 4 (1.35) = 5.4 = 6 units

PROPOSED DENSITY:
 PROPOSED NUMBER OF UNITS = 6 units (Including Density Bonus)
 Min. Required Lower Income Restricted Affordable Units = 10%
 Bonus granted for providing 10% Low Income units = 20% (table 9.22.030.A)
 Additional Lower Income Restricted Affordable Units Provided = 10%
 Additional Bonus Granted = 10 (1.5%) = 15%
 Total Proposed Density Bonus = 35%

INCLUSIONARY UNITS:
 PROPOSED LOWER-INCOME AFFORDABLE UNITS = 20% (4) = 0.8 = 1 unit
 AFFORDABILITY LEVEL = Lower Income = 80% Income Household

NUMBER OF CONCESSIONS PERMITTED = 2

PROPOSED CONCESSIONS:
 1- 10% Increase In First Floor Parcel Coverage
 2- Waive the required 48" min. unexcavated are at one side yard

BUILDING HEIGHT:
 ALLOWABLE MAXIMUM BUILDING HEIGHT = 30 ft. AND 2 STORIES
 PROPOSED MAXIMUM BUILDING HEIGHT = 30 ft. AND 2 STORIES

AVERAGE NATURAL GRADE (ANG):
 (133.27 + 132.55 + 132.07 + 132.59) / 4 = 132.62

BUILDING COVERAGE:
 ALLOWABLE MAXIMUM BUILDING COVERAGE:
 FIRST FLOOR = 45% + 10% = 55% = 4,125 s.f.
 SECOND FLOOR = 90% OF FIRST FLOOR COVERAGE
 PROPOSED MAXIMUM BUILDING COVERAGE:
 FIRST FLOOR = 3,805 s.f. = 50.73%
 ALLOWABLE SECOND FLOOR = 90% (3,805 s.f.) = 3,424.5 s.f.
 PROPOSED SECOND FLOOR = 3,422 s.f.

REQUIRED PARKING:
 By right Parking Incentives:
 2 CAR / UNIT Inclusive of Handicapped and Guest Parking
 TOTAL REQUIRED PARKING = 2 (6) = 12

PROPOSED PARKING:
 STANDARD = 5
 COMPACT = 5
 HANDICAPPED = 2
 TOTAL PROPOSED PARKING SPACES = 12

REQUIRED OPEN LANDSCAPING:
 REQUIRED TOTAL OPEN LANDSCAPED AREA = 30% (7,500) = 2,250 s.f.
 PROPOSED TOTAL OPEN LANDSCAPED AREA = 2,267 s.f. = 30.22%

OPEN SPACE:
 TOTAL REQUIRED OPEN SPACE = 6 X 150 s.f. = 900 s.f.
 TOTAL PROPOSED PRIVATE OPEN SPACE @ FIRST FLOOR = 803 s.f.
 TOTAL PROPOSED PRIVATE OPEN SPACE @ ROOF DECK = 1138 s.f.
 MAX 20% ALLOWED @ ROOF DECK = (20%) 900 s.f. = 225 s.f.
 TOTAL PROPOSED OPEN SPACE = 1028 s.f.

RESIDENTIAL FLOOR AREA SCHEDULE:

UNIT NO.	1	2	3	4	5	6	TOTAL
BEDROOMS	2+L	2+L	2+L	2+L	2+L	2+L	
FIRST FLOOR	745	613	622	604	610	578	3,772 s.f.
MEZZANINE LEVEL	188	158	158	158	160	153	975 s.f.
SECOND FLOOR	588	563	572	557	601	579	3,460 s.f.
TOTAL	1,521	1,334	1,352	1,319	1,371	1,310	8,207 s.f.

ROOF OPEN SPACE	102	216	196	196	228	200	1,138 s.f.
FIRST FLR OPEN SPACE	188	157	148	166	61	83	803 s.f.
TOTAL	290	373	344	362	289	283	1941 s.f.

PROPOSED AFFORDABLE UNIT:
 DESIGNATED UNIT = NO. 5
 AFFORDABILITY LEVEL = Lower Income = 80% Income Household
 In accordance with Civil code Section 1954.52(b) and 53(a)(2)
 FLOOR AREA = 1,394 s.f.
 BEDROOM COUNT = 2 bedrooms + Loft

NOTE:
 A deed restriction recorded with the Los Angeles county Recorder's Office shall be required prior to the issuance of a building permit to memorialize the affordable housing unit onsite.



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CLIENT:
Victoria SK Holdings, LLC
 Victoria SK Holdings, LLC
 9437 Santa Monica Blvd. #208
 Beverly Hills Ca. 90210

PROJECT:
17th St. Villas
 Luxury Condominiums
 1432 17th St.
 Santa Monica Ca. 90404

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:
PROPOSED MEZZANINE AND SECOND FLOOR PLANS

DATE	01.08.2020
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

A2.3

PROJECT DESCRIPTION:
 NEW PROPOSED 6-UNIT TWO STORY+ MAZZANINE CONDOMINIUMS INCLUDING DENSITY BONUS INCLUSIONARY UNIT OVER SEMI-SUBTERRANEAN PARKING GARAGE

PROJECT DATA:
 LEGAL DESCRIPTION: SANTA MONICA LOT G BLK 158
 APN : 4282-019-007
 LOT AREA = 7,500 s.f.
 ZONE = R2

ALLOWABLE DENSITY:
 ALLOWABLE NUMBER OF UNITS = 7,500 s.f. / 2,000 s.f. = 3.75 units
DENSITY BONUS:
 MAX. ALLOWABLE DENSITY BONUS = 35%
 MAX. ALLOWABLE NUMBER OF UNITS WITH DENSITY BONUS = 4 (1.35) = 5.4 = 6 units

PROPOSED DENSITY:
 PROPOSED NUMBER OF UNITS = 6 units (Including Density Bonus)
 Min. Required Lower Income Restricted Affordable Units = 10%
 Bonus granted for providing 10% Low Income units = 20% (table 9.22.030.A)
 Additional Lower Income Restricted Affordable Units Provided = 10%
 Additional Bonus Granted = 10 (1.5%) = 15%
 Total Proposed Density Bonus = 35%

INCLUSIONARY UNITS:
 PROPOSED LOWER-INCOME AFFORDABLE UNITS = 20% (4) = 0.8 = 1 unit
 AFFORDABILITY LEVEL = Lower Income = 80% Income Household

NUMBER OF CONCESSIONS PERMITTED = 2
PROPOSED CONCESSIONS:
 1- 10% Increase in First Floor Parcel Coverage
 2- Waive the required 48" min. unexcavated are at one side yard

BUILDING HEIGHT:
 ALLOWABLE MAXIMUM BUILDING HEIGHT = 30 ft. AND 2 STORIES
 PROPOSED MAXIMUM BUILDING HEIGHT = 30 ft. AND 2 STORIES
AVERAGE NATURAL GRADE (ANG):
 (133.27 + 132.55 + 132.07 + 132.59) / 4 = 132.62

BUILDING COVERAGE:
 ALLOWABLE MAXIMUM BUILDING COVERAGE:
 FIRST FLOOR = 45% + 10% = 55% = 4,125 s.f.
 SECOND FLOOR = 90% OF FIRST FLOOR COVERAGE
PROPOSED MAXIMUM BUILDING COVERAGE:
 FIRST FLOOR = 3,805 s.f. = 50.73%
 ALLOWABLE SECOND FLOOR = 90% (3,805 s.f.) = 3,424.5 s.f.
 PROPOSED SECOND FLOOR = 3,422 s.f.

REQUIRED PARKING:
 By right Parking Incentives:
 2 CAR / UNIT Inclusive of Handicapped and Guest Parking
 TOTAL REQUIRED PARKING = 2 (6) = 12
PROPOSED PARKING:
 STANDARD = 5
 COMPACT = 5
 HANDICAPPED = 2
 TOTAL PROPOSED PARKING SPACES = 12

REQUIRED OPEN LANDSCAPING:
 REQUIRED TOTAL OPEN LANDSCAPED AREA = 30% (7,500) = 2,250 s.f.
 PROPOSED TOTAL OPEN LANDSCAPED AREA = 2,267 s.f. = 30.22%

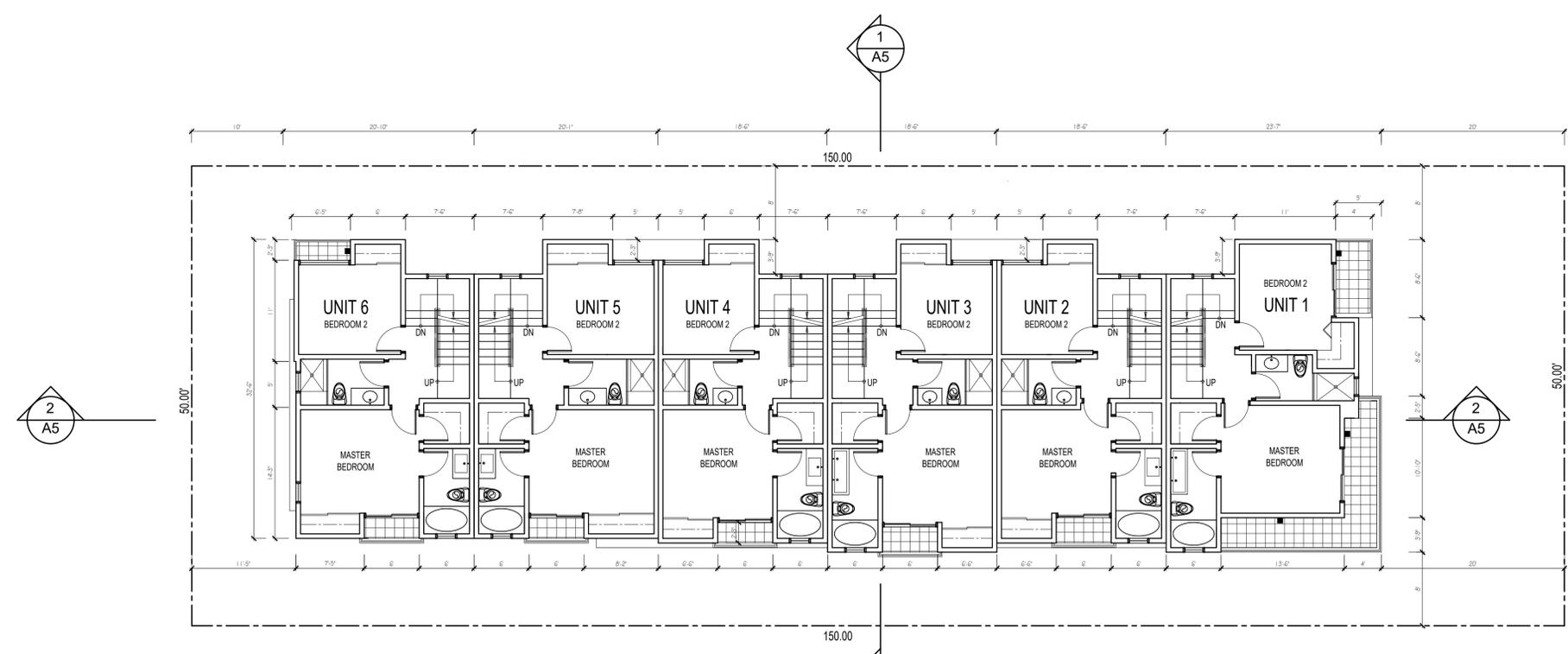
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 TOTAL PROPOSED PRIVATE OPEN SPACE @ FIRST FLOOR = 803 s.f.
 TOTAL PROPOSED PRIVATE OPEN SPACE @ ROOF DECK = 1138 s.f.
 MAX 20% ALLOWED @ ROOF DECK = (20%) 900 s.f. = 225 s.f.
 TOTAL PROPOSED OPEN SPACE = 1028 s.f.

RESIDENTIAL FLOOR AREA SCHEDULE:

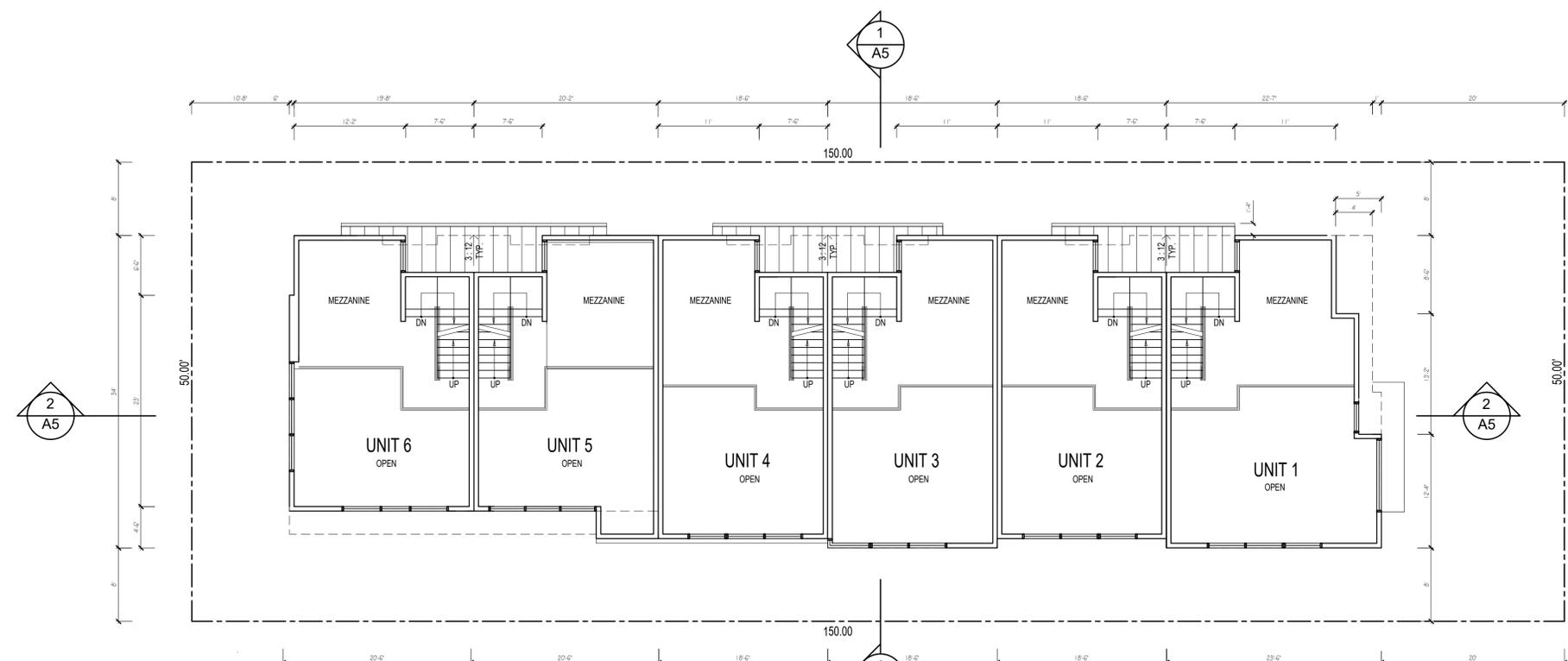
UNIT NO.	1	2	3	4	5	6	TOTAL
BEDROOMS	2 + L	2 + L	2 + L	2 + L	2 + L	2 + L	
FIRST FLOOR	745	613	622	604	610	578	3,772 s.f.
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TOTAL	1,521	1,334	1,352	1,319	1,371	1,310	8,207 s.f.

ROOF OPEN SPACE	102	216	196	196	228	200	1,138 s.f.
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TOTAL	290	373	344	362	289	283	1941 s.f.

PROPOSED AFFORDABLE UNIT:
 DESIGNATED UNIT = NO. 5
 AFFORDABILITY LEVEL = Lower Income = 80% Income Household
 In accordance with Civil code Section 1954.52(b) and 53(a)(2)
 FLOOR AREA = 1,394 s.f.
 BEDROOM COUNT = 2 bedrooms + Loft



2 PROPOSED SECOND FLOOR PLAN
 SCALE 1/8"=1'-0"



1 PROPOSED MEZZANINE LEVEL PLAN
 SCALE 1/8"=1'-0"



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9437 Santa Monica Blvd. #208
Beverly Hills Ca. 90210

PROJECT:

17th St. Villas

Luxury Condominiums

1432 17th St.
Santa Monica Ca. 90404

REVISIONS

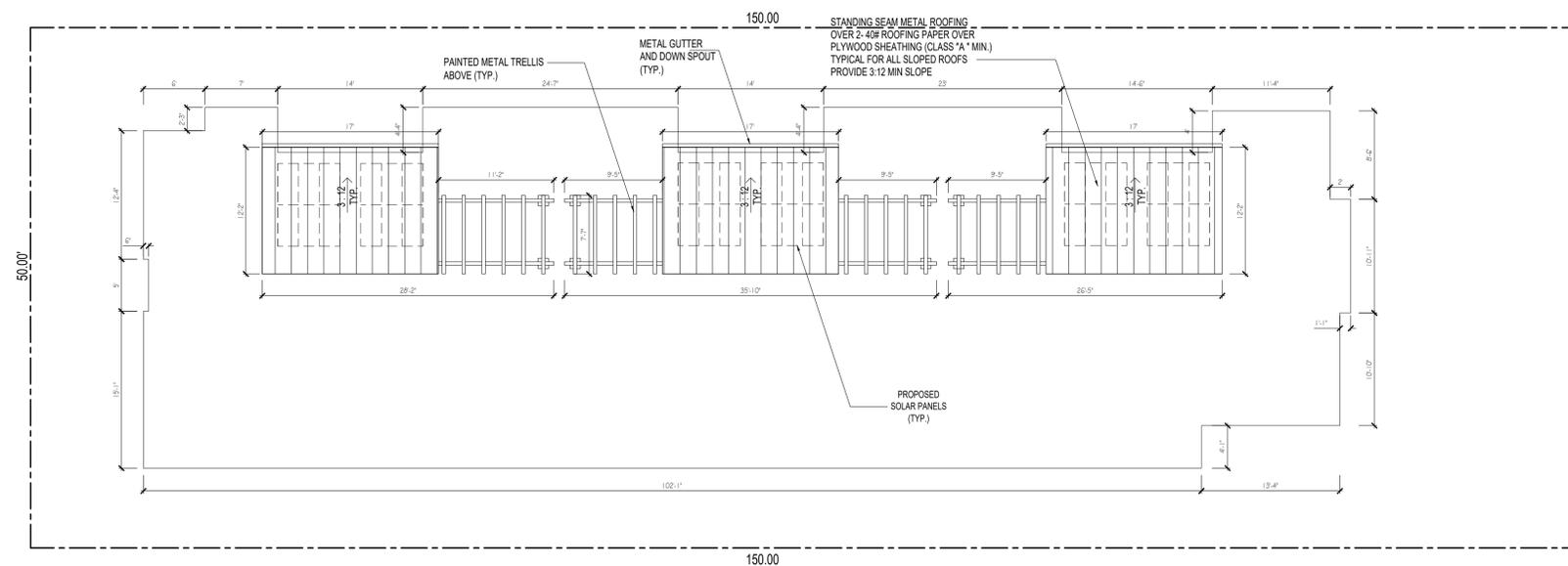
DESCRIPTION	DATE	BY

SHEET TITLE:

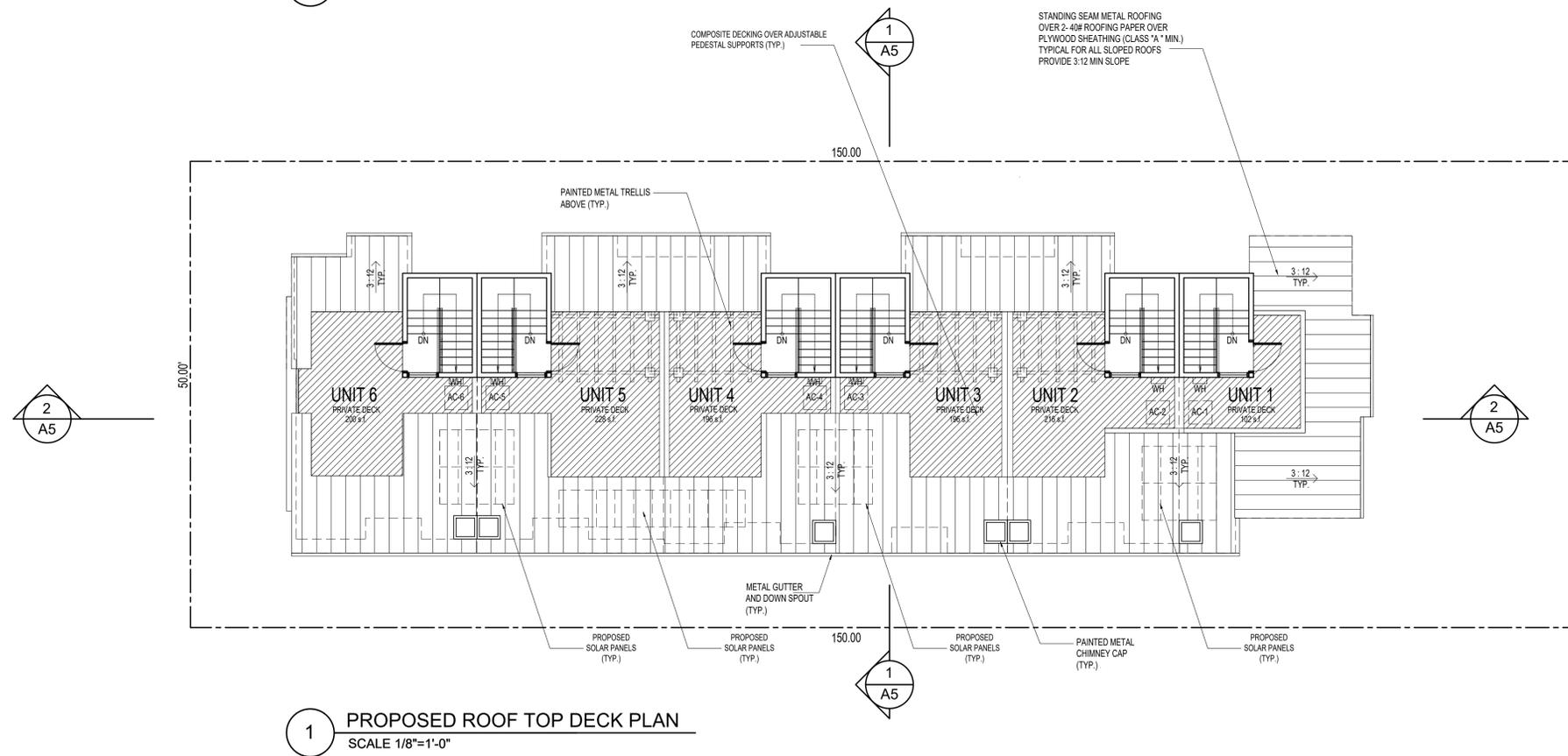
PROPOSED ROOF TOP DECK
AND ROOF PLAN

DATE	01.08.2020
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

A2.4



2 PROPOSED TRELLIS AND STAIRWELL ROOF PLANS
SCALE 1/8"=1'-0"



1 PROPOSED ROOF TOP DECK PLAN
SCALE 1/8"=1'-0"



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STAMP:

SECOND FLOOR COVERAGE:
ALLOWABLE MAXIMUM
SECOND FLOOR COVERAGE = 90% OF GROUND FLOOR
90% x 3750 = 3375 s.f.

PROPOSED
SECOND FLOOR COVERAGE = 3828 s.f. = 51%

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REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
PROPOSED LOT COVERAGE
AND ADDITIONAL SETBACKS

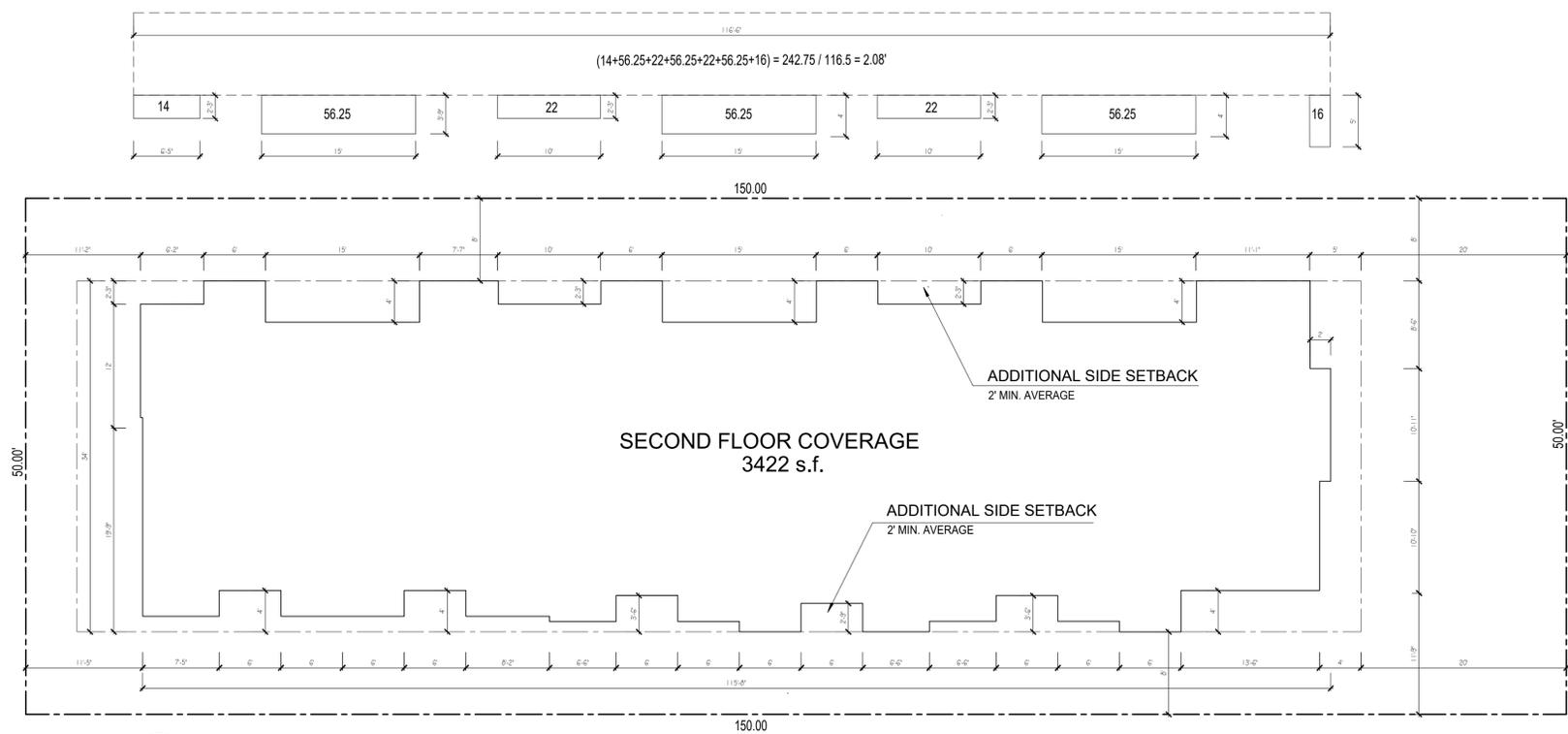
DATE	01.08.2020
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

A2.5

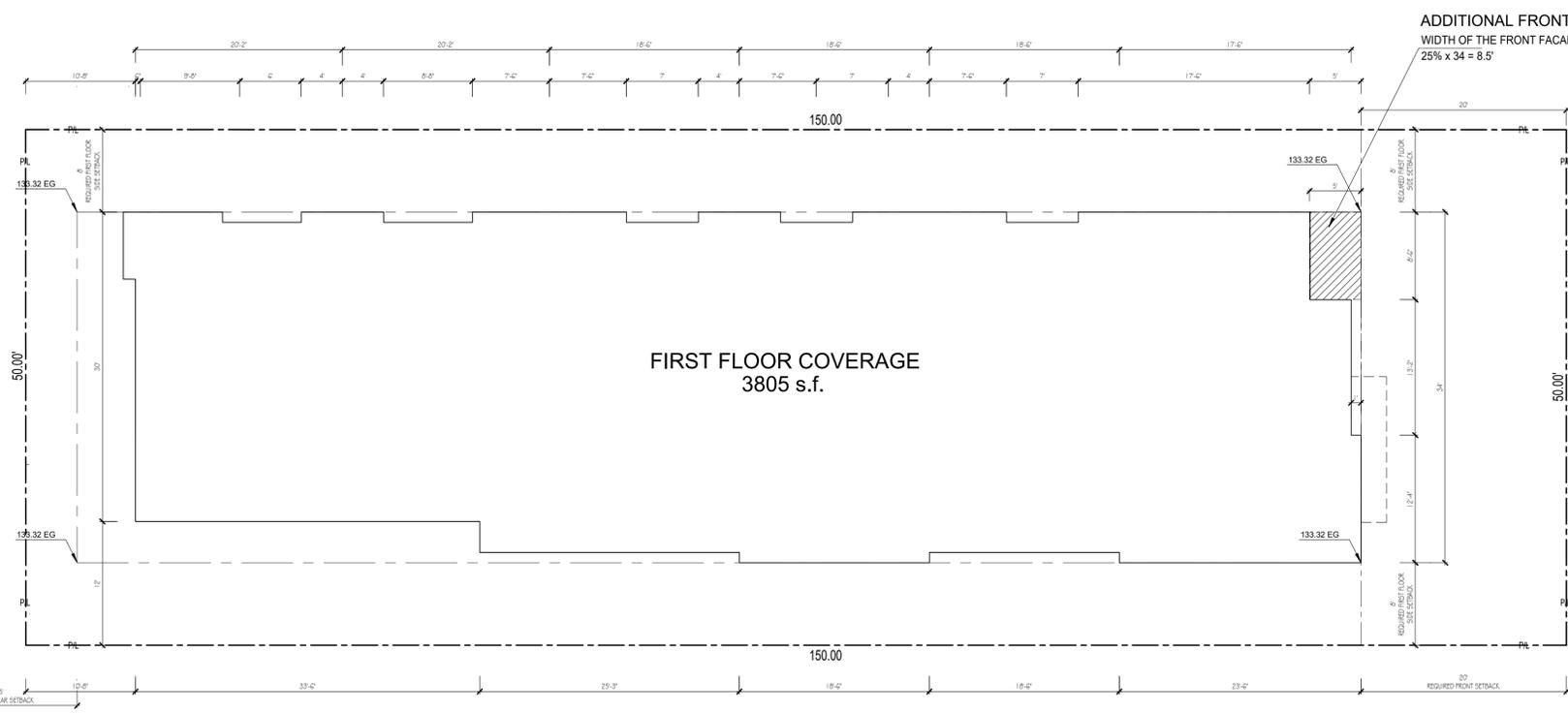
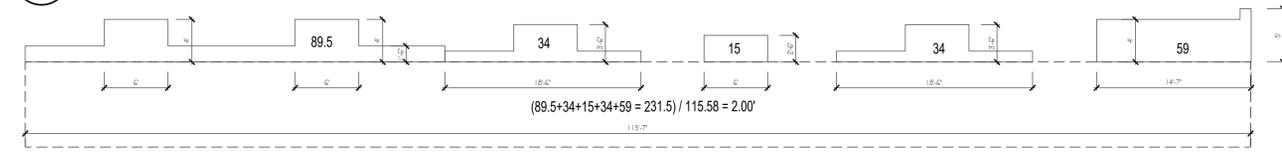
ALLEY

ALLEY

17th STREET



2 SECOND FLOOR SETBACKS AND COVERAGE
SCALE 1/8"=1'-0"



1 FIRST FLOOR SETBACKS AND COVERAGE
SCALE 1/8"=1'-0"

GROUND FLOOR COVERAGE:
MAXIMUM ALLOWABLE
GROUND FLOOR COVERAGE = 45% + 10% = 55%
PROPOSED MAXIMUM BUILDING COVERAGE:
(3750 s.f. X 100) / 7500 = 50%



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CLIENT:

Victoria SK Holdings, LLC

Victoria SK Holdings, LLC
9437 Santa Monica Blvd. #208
Beverly Hills Ca. 90210

PROJECT:

17th St. Villas
Luxury Condominiums
1432 17th St.
Santa Monica Ca. 90404

REVISIONS

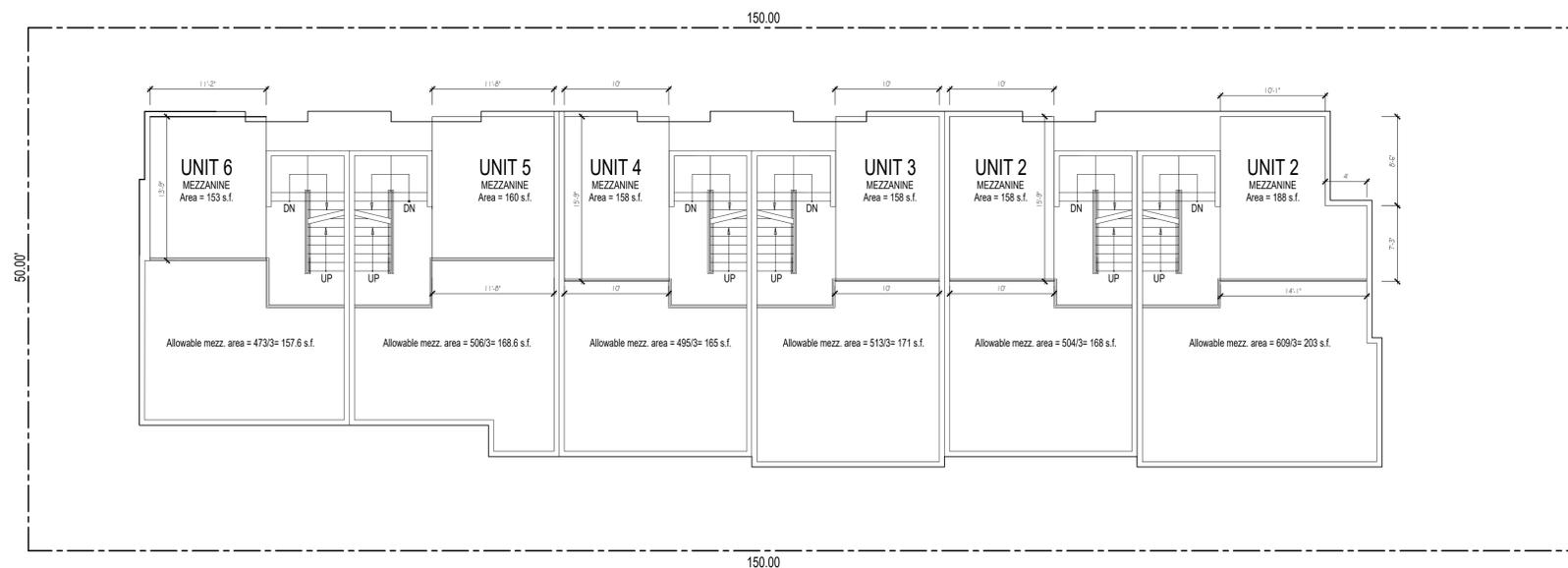
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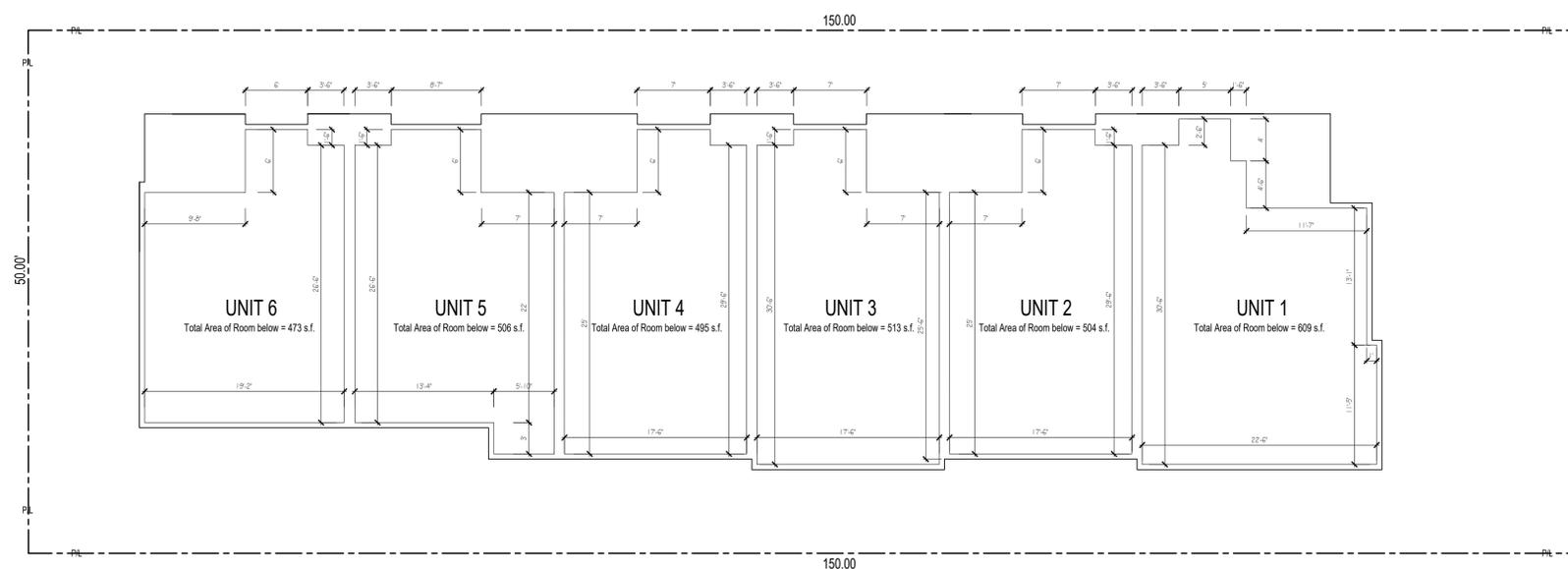
**PROPOSED MEZZANINE LEVEL
AREA CALCULATIONS**

DATE	01.08.2020
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

A2.7



1 PROPOSED MEZZANINE AREA
SCALE 1/8"=1'-0"



1 AREA OF ROOM BELOW MEZZANINE
SCALE 1/8"=1'-0"

ALLEY



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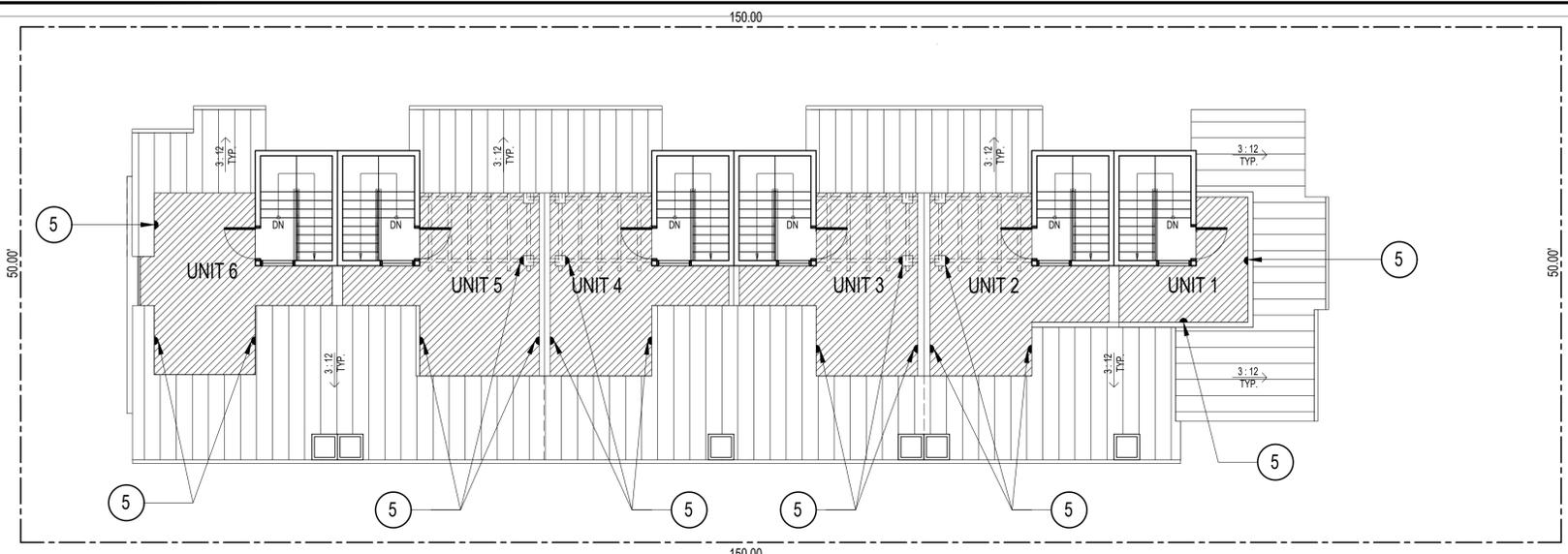
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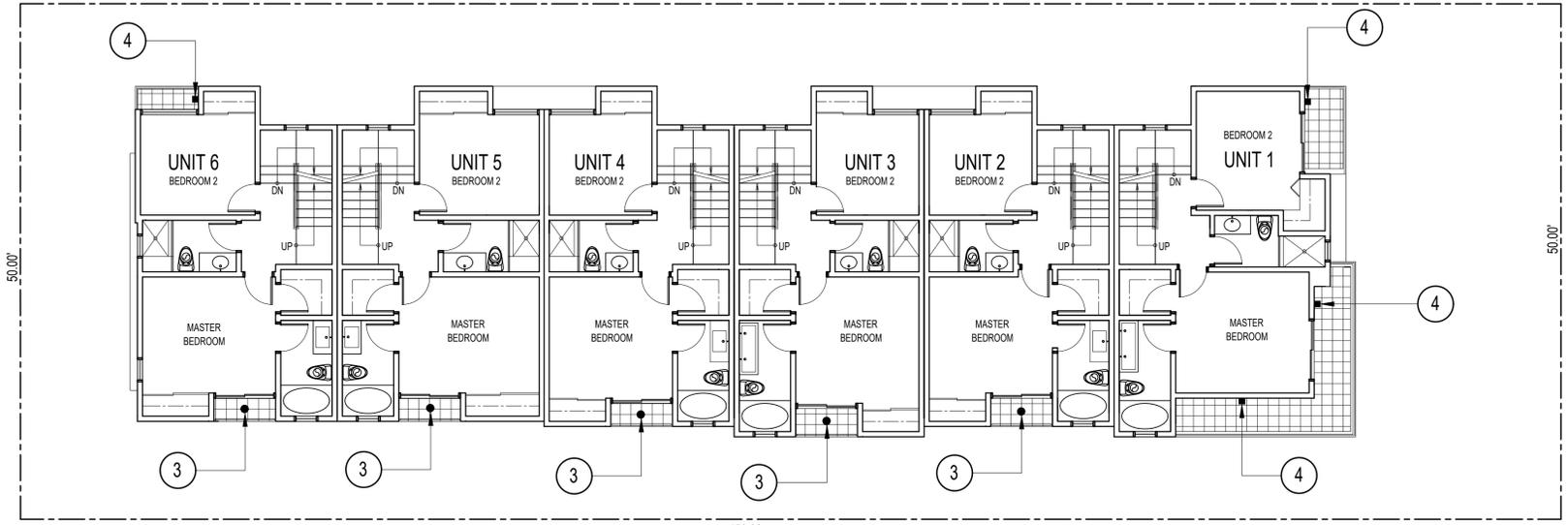
REVISIONS		
DESCRIPTION	DATE	BY

PROPOSED LIGHTING PLAN

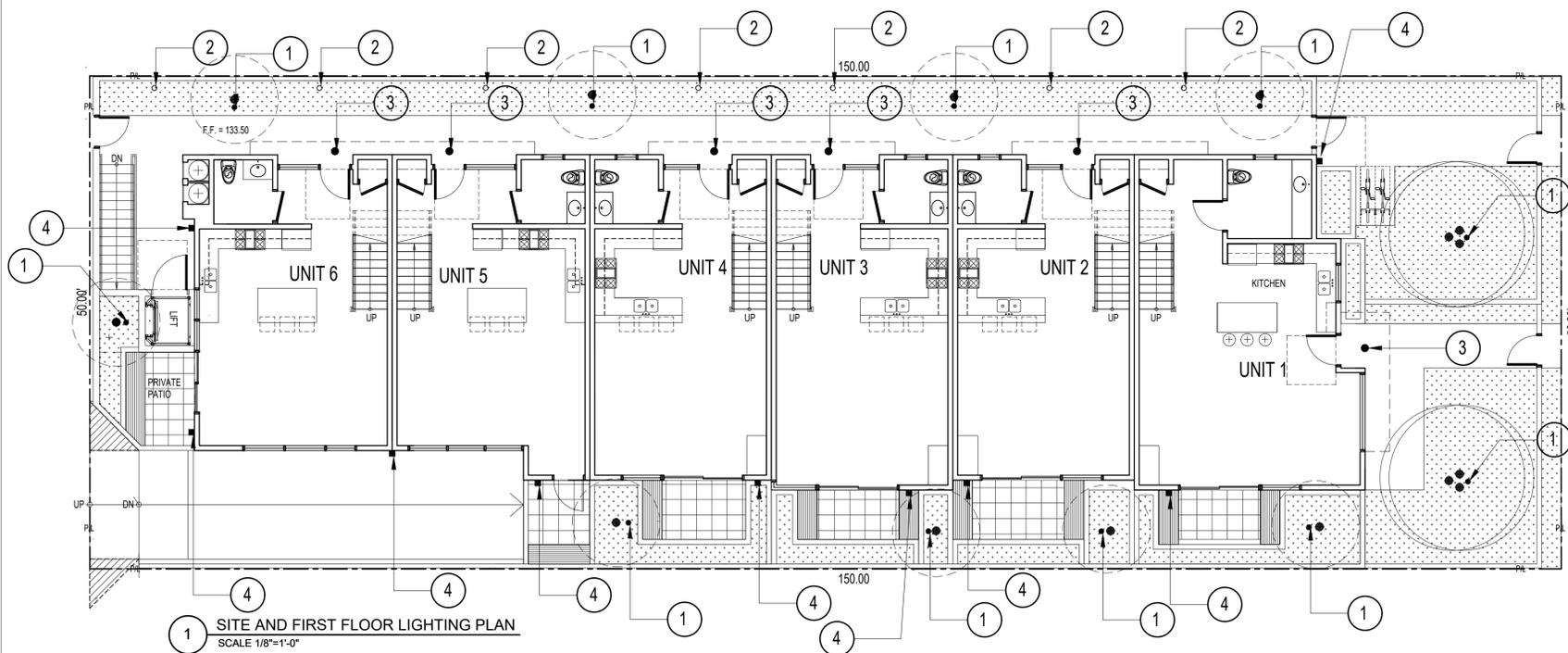
DATE	01.08.2020
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	A2.8



3 PROPOSED ROOF TOP DECK LIGHTING PLAN
SCALE 1/8"=1'-0"



2 SECOND FLOOR LIGHTING PLAN
SCALE 1/8"=1'-0"



1 SITE AND FIRST FLOOR LIGHTING PLAN
SCALE 1/8"=1'-0"

Additional Info:
From the Possini Euro Design brand of lighting, this small outdoor wall light features a bronze black finish and modern lines. The built-in LED uses a mere 14 watts of energy, yet has a light output of 980 lumens, comparable to a 75 watt regular bulb. Please note that this LED is not dimmable.

- 8" high x 5" wide x ADA compliant, extends only 3 1/4" from the wall. Weighs 1.98 lbs.
- Built-in 14 watt non-dimmable LED; 3000K, 80 CRI, 980 lumens; comparable to a 75 watt incandescent.
- Modern outdoor LED wall light by Possini Euro Design.
- Bronze black finish.
- Box design; frosted lens over the LED panel directs light downwards.
- Wet location outdoor rated.



5 14 WATT SHIELDED SURFACE MOUNT DOWN LIGHT (ROOF TOP DECK ONLY)



3 4" RECESSED LED DOWN LIGHT IN OVERHEAD CANOPY

Product Overview

The DLE4 Edge Lit 4 in. Round LED Downlight creates an attractive visual aesthetic with a low profile that's incredibly easy to install. The edge-lit technology uses a reflective light guide panel that disperses light through a diffused lens, making it a practical, economical, and energy efficient solution for lighting your home or office. This high-performance downlight features 98 CRI, with an RB value exceeding 50, making the DLE4 among the highest rated LED light fixtures in terms of light output quality. Installation no longer requires a recessed housing, but rather a simple 4.25 in. in diameter cut-out in the ceiling using the provided template. The ultra-thin fixture depth (less than 1 in.) and off-board driver (included) allows for a more flexible installation and increased lifespan with superior heat management. The DLE4 features adjustable spring-loaded retention tabs for a secure fit, eliminating the need for a J-box or recessed housing. Adding light in tight spaces such as living rooms, hallways, bathrooms, basements, entryways, porches, and utility closets just got easier. The DLE4 is Title 24 Compliant (except 5000K version), ENERGY STAR rated, Insulation Contact rated (IC-rated), Airtight, Damp-location rated, and protected by NICOR's 5-Year Limited Warranty. The DLE4 comes ready to install and use right out of the box, no other components are required.

- Includes LED downlight module, off-board driver, and black faceplate
- Includes 4.25 in. cut-out template
- Installs directly into the ceiling, no housing or junction box needed
- 5000K color temperature
- 764 Lumens
- 8.3-Watt
- 120-Volt AC
- Dimmable down to 5% using standard LED dimmers
- Lifetime rated for over 54,000 hours
- Insulation contact rated (IC-rated)
- Aged copper, black, and nickel faceplates sold separately
- ENERGY STAR rated, airtight, and damp-location rated
- 5-year limited warranty



4 60 WATT SHIELDED SURFACE MOUNT WALL LIGHT

General Information

Eglo 203033A
Walker Hill® Light 15 Inch Matte Black Outdoor Wall Light

Enhance the look of your door with the Walker Hill Outdoor Wall Light by Eglo. With its versatile transitional design, this distinctive light is sure to pair well with many decorative styles.

- | | |
|---------------------------|---------------------------------|
| Brand Information | Design Information |
| • Brand: Eglo | • Category: Outdoor Wall Lights |
| • Collection: Walker Hill | • Finish: Matte Black |
| • SKU: 203033A | • Glass: Clear |
| • UPC: 900806181346 | • Material: Steel |

- | | |
|------------------------------|--------------------------------------------|
| Dimensions and Weight | Bulb Information |
| • Width: 7.36 in. | • Bulbs Included: No |
| • Height: 15.00 in. | • Bulb Category: Incandescent |
| • Extension Depth: 7.24 in. | • Primary Bulb(s): 1 x 60.00 watts E26 A19 |
| • Weight: 7.28 lb. | • Total Wattage: 60W |

- | | |
|-------------------------------------|-----------------------|
| Other Specifications | Product Rating |
| • Ships Via: Ground (FREE SHIPPING) | • Voltage: 120V |
| • Warranty: 1 Year | • Safety Rating: Wet |

- Additional Details**
- LED Compatible
 - Glass Dimensions: H 11in., W 4.63in.



1 50 WATT LED LANDSCAPE UP LIGHTING FOR TREES



2 9.8 WATT LED LANDSCAPE UP LIGHTING FOR TREES

Dimensions		Product Height (in.)		Product Width (in.)	
Product Depth (in.)	7.24	Product Height (in.)	15.00	Product Width (in.)	7.36
Product Length (in.)	7.24	Product Height (in.)	15.00	Product Width (in.)	7.36

Specifications		Product Height (in.)		Product Width (in.)	
Product Depth (in.)	7.24	Product Height (in.)	15.00	Product Width (in.)	7.36
Product Length (in.)	7.24	Product Height (in.)	15.00	Product Width (in.)	7.36



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PROJECT:
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Luxury Condominiums
1432 17th St.
Santa Monica Ca. 90404

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
PROPOSED BUILDING NORTH AND EAST ELEVATIONS

DATE	01.08.2020
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

A4.1

FINISH KEY NOTES:

- 1" SMOOTH FINISHED CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X8 @ 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE
COLOR: White
- SMOOTH FINISHED CEMENT PLASTER OVER CONCRETE BLOCK PLANTERS / FENCE WALL
COLOR: White
- PAINTED HORIZONTAL "HARDIE SIDING" OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X8 @ 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE
COLOR: James Hardie "Night Gray"
- ANODIZED ALUMINUM CORNICE / CAP
COLOR: Match adjacent wall color
- ANODIZED ALUMINUM WINDOW SILL
COLOR: Mat Black
- STANDING SEAM METAL ROOF COVERING
COLOR: Dark Bronze
- METAL CLAD FASCIA
COLOR: Dark Bronze
- PRE-PAINTED METAL GUTTER AND DOWN SPOUT
COLOR: Mat Black
- MARVIN "ULTREX" FIBERGLASS FRAMED DUAL GLAZED WINDOW
COLOR: Ebony
- MARVIN "ULTREX" FIBERGLASS FRAMED DUAL GLAZED DOOR
COLOR: Ebony
- ANODIZED ALUMINUM CLAD HEADER / BASE
COLOR: Mat Black
- PAINTED FIBERGLASS ENTRY DOOR
COLOR: Mat Black
- PAINTED FIBERGLASS FRAMED DUAL GLAZED SITE LITE
COLOR: Mat Black
- PAINTED METAL RAILING
COLOR: Mat Black
- PAINTED METAL OPEN GRILL GATE
COLOR: Mat Black
- PAINTED METAL CHIMNEY CAP
COLOR: Mat Black
- PAINTED METAL CANOPY / BALCONY
COLOR: Mat Black
- PAINTED METAL TRELLIS
COLOR: Mat Black
- PRE FINISHED LIGHT FIXTURE
COLOR: Mat Black



1 PROPOSED BUILDING NORTH ELEVATION
SCALE 1/8"=1'-0"



2 PROPOSED BUILDING EAST ELEVATION
SCALE 1/8"=1'-0"



1 PROPOSED BUILDING SOUTH ELEVATION
SCALE 1/8"=1'-0"



2 PROPOSED BUILDING WEST ELEVATION
SCALE 1/8"=1'-0"

FINISH KEY NOTES:

1. 1" SMOOTH FINISHED CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 @ 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE
COLOR: White
2. SMOOTH FINISHED CEMENT PLASTER OVER CONCRETE BLOCK PLANTERS / FENCE WALL
COLOR: White
3. PAINTED HORIZONTAL "HARDIE SIDING" OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 @ 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE
COLOR: James Hardie "Night Gray"
4. ANODIZED ALUMINUM CORNICE / CAP
COLOR: Match adjacent wall color
5. ANODIZED ALUMINUM WINDOW SILL
COLOR: Mat Black
6. STANDING SEAM METAL ROOF COVERING
COLOR: Dark Bronze
7. METAL CLAD FASCIA
COLOR: Dark Bronze
8. PRE-PAINTED METAL GUTTER AND DOWN SPOUT
COLOR: Mat Black
9. MARVIN "ULTREX" FIBERGLASS FRAMED DUAL GLAZED WINDOW
COLOR: Ebony
10. MARVIN "ULTREX" FIBERGLASS FRAMED DUAL GLAZED DOOR
COLOR: Ebony
11. ANODIZED ALUMINUM CLAD HEADER / BASE
COLOR: Mat Black
12. PAINTED FIBERGLASS ENTRY DOOR
COLOR: Mat Black
13. PAINTED FIBERGLASS FRAMED DUAL GLAZED SLIDE LITE
COLOR: Mat Black
14. PAINTED METAL RAILING
COLOR: Mat Black
15. PAINTED METAL OPEN GRILL GATE
COLOR: Mat Black
16. PAINTED METAL CHIMNEY CAP
COLOR: Mat Black
17. PAINTED METAL CANOPY / BALCONY
COLOR: Mat Black
18. PAINTED METAL TRELLIS
COLOR: Mat Black
19. PRE FINISHED LIGHT FIXTURE
COLOR: Mat Black



ZOHRABIANS

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Beverly Hills Ca. 90210

PROJECT:

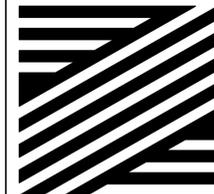
17th St. Villas
Luxury Condominiums
1432 17th St.
Santa Monica Ca. 90404

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
PROPOSED BUILDING
SOUTH AND WEST ELEVATIONS

DATE	01.08.2020
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

A4.2



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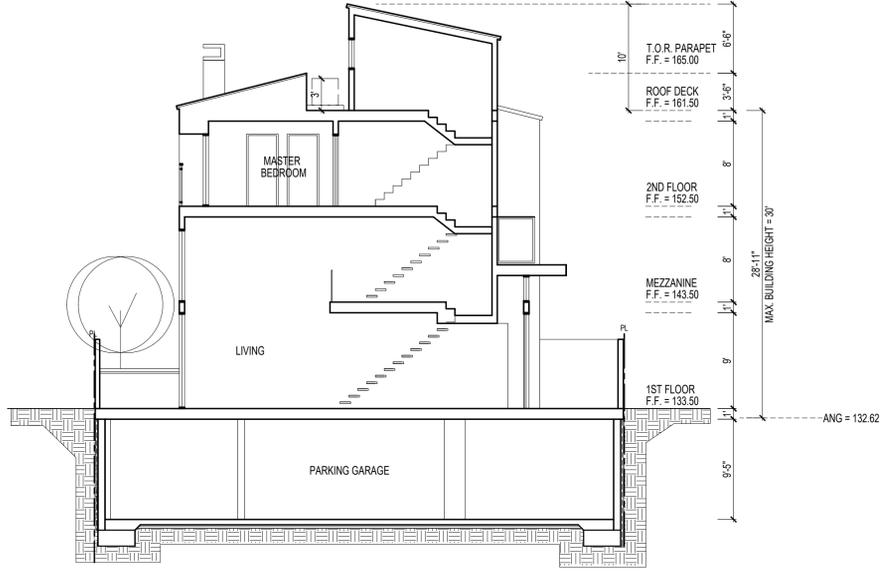
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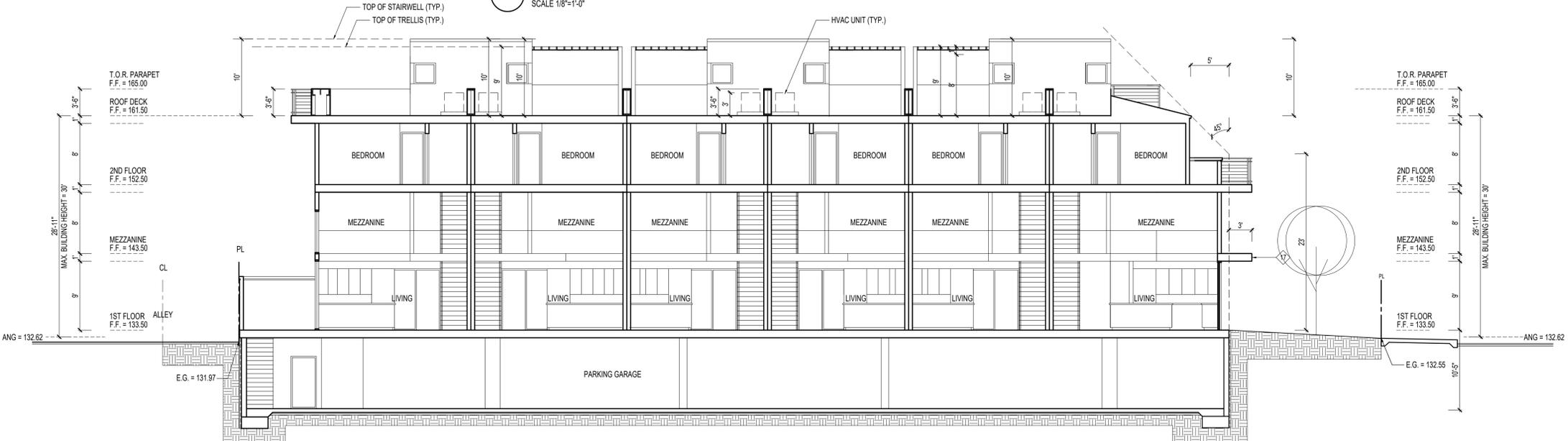
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A5



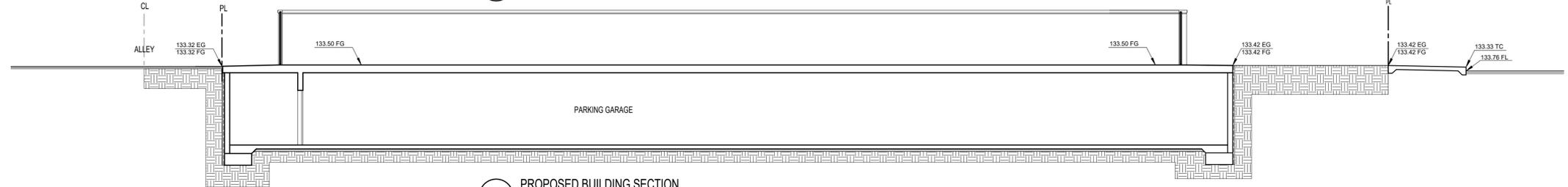
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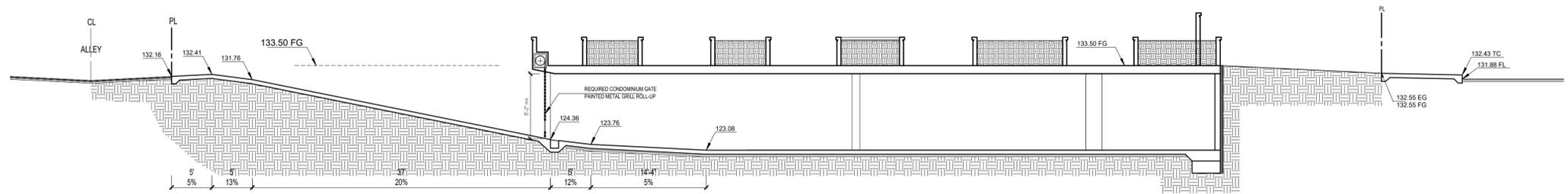
2 PROPOSED BUILDING SECTION

SCALE 1/8"=1'-0"



3 PROPOSED BUILDING SECTION

SCALE 1/8"=1'-0"



4 PROPOSED BUILDING SECTION

SCALE 1/8"=1'-0"



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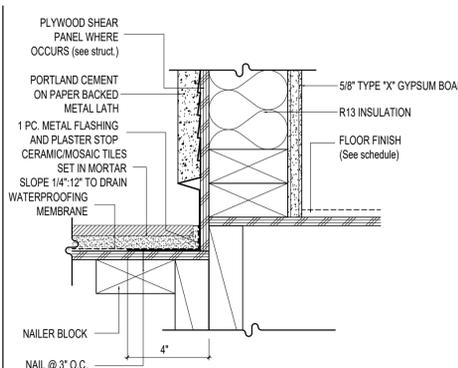
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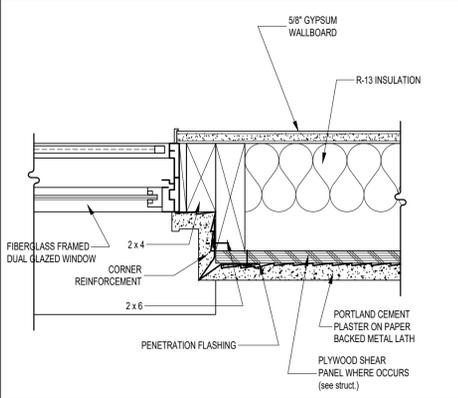
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SHEET	

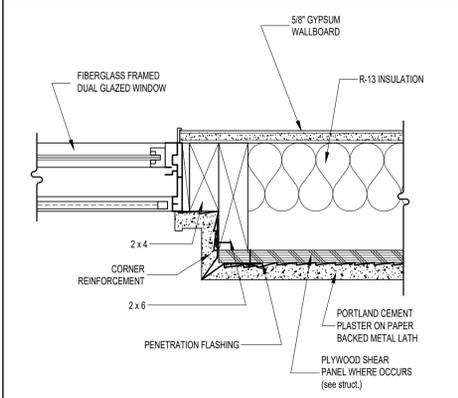
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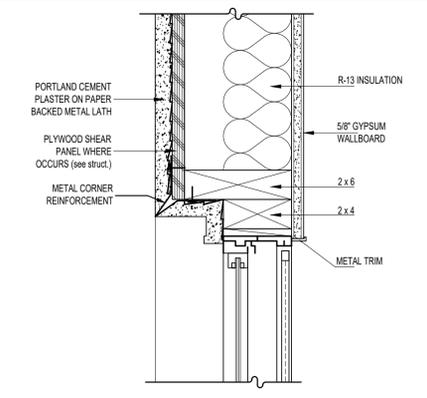
9 BALCONY / TERRACE BASE 5 1



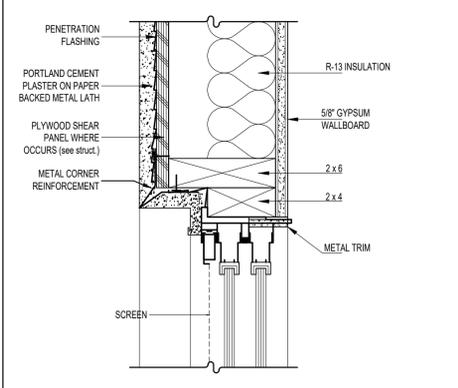
WINDOW JAMB N.T.S. 10



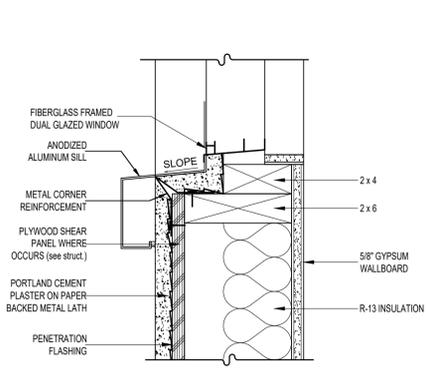
SLIDING GLASS DOOR JAMB N.T.S. 6



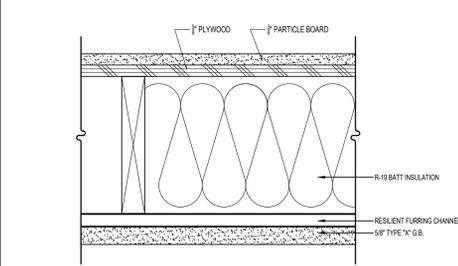
WINDOW HEAD N.T.S. 2



SLIDING GLASS DOOR HEAD N.T.S. 7

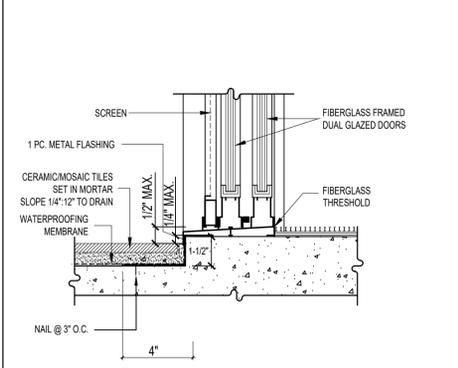


WINDOW SILL N.T.S. 3

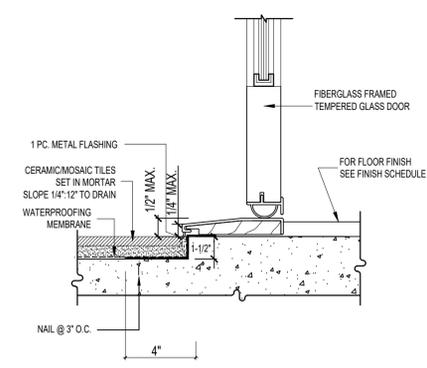


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GA FILE NO. FC 5109

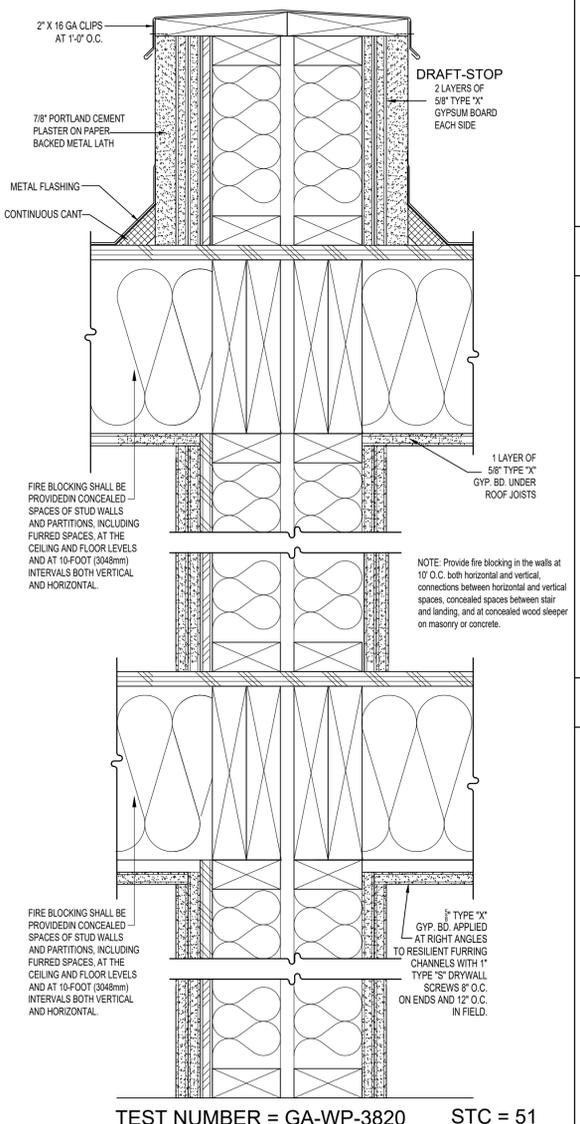
1-HR RATED FLOOR/CEILING N.T.S. 12



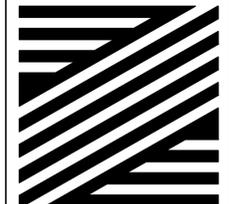
SLIDING GLASS DOOR SILL N.T.S. 8



EXT. DOOR THRESHOLD N.T.S. 4



TEST NUMBER = GA-WP-3820 STC = 51
1-HR RATED SOUND WALL N.T.S. 19



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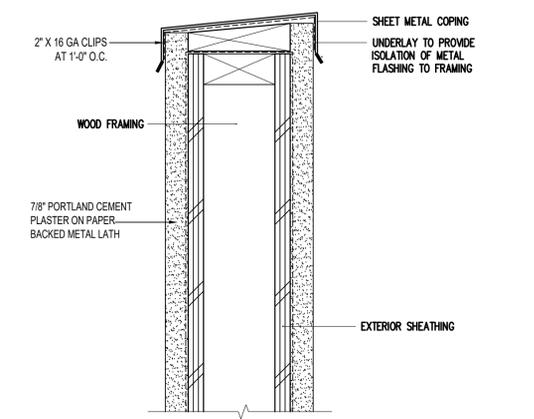
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REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
DETAILS

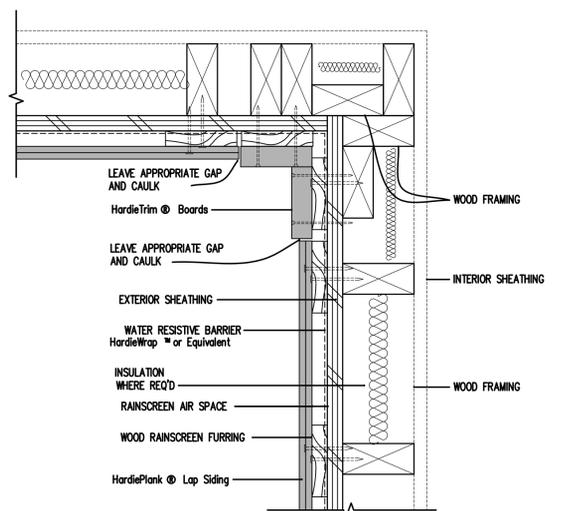
DATE	01.08.2020
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DRAWN BY	HZ
JOB NUMBER	062218
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A6.2

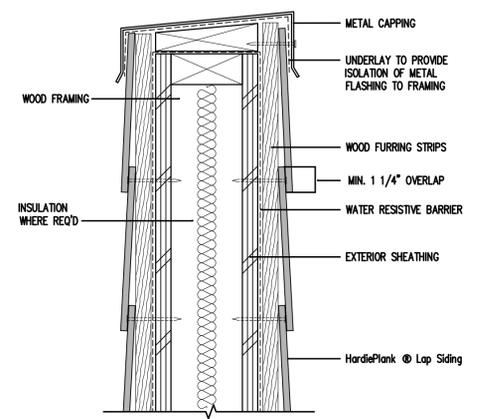


1 PARAPET

2 OUTSIDE CORNER - RAINSCREEN

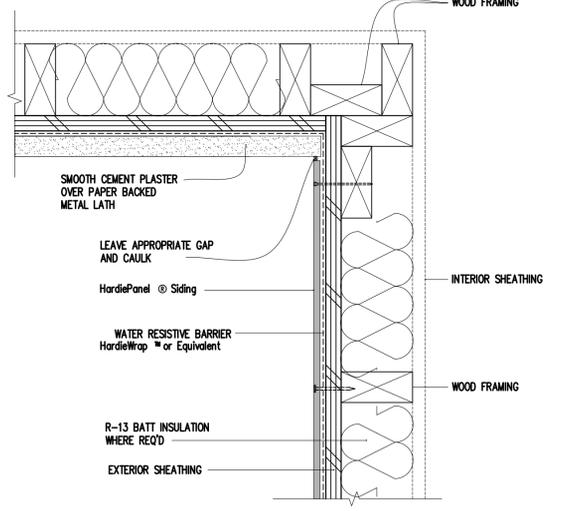


1 INSIDE CORNER - RAINSCREEN

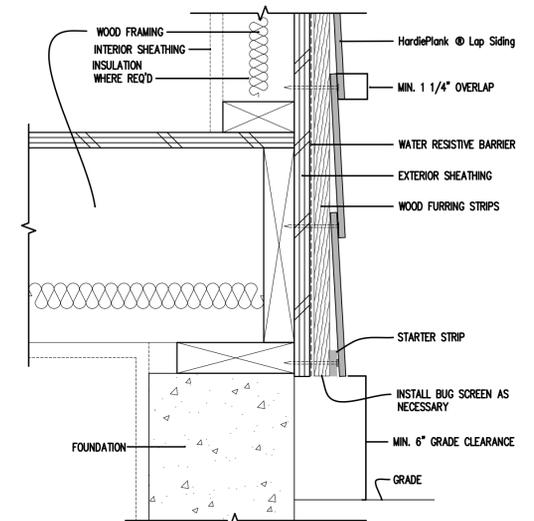


9 PARAPET - RAINSCREEN

5 HORIZONTAL LAP VIEW - RAINSCREEN

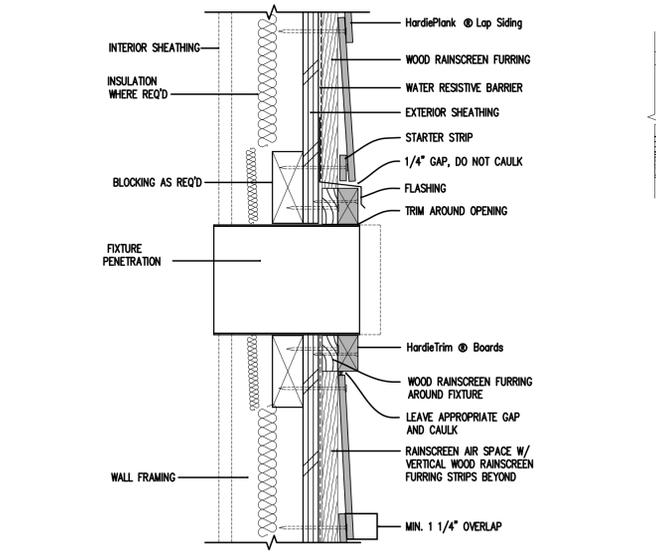


6 PLASTER TO SIDING INSIDE CORNER

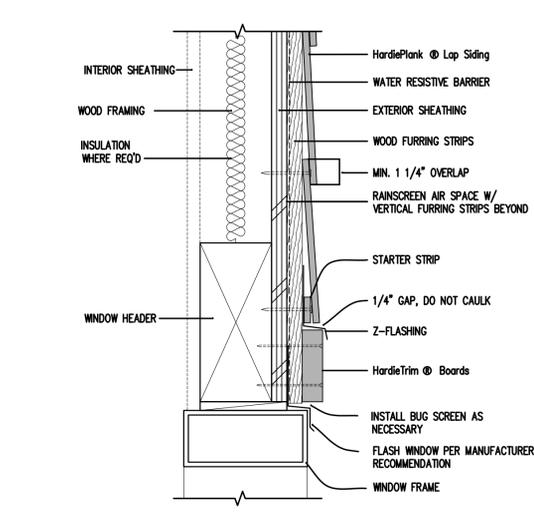


6 GRADE CLEARANCE - RAINSCREEN

8 HARDSCAPE CLEARANCES, RAINSCREEN, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.

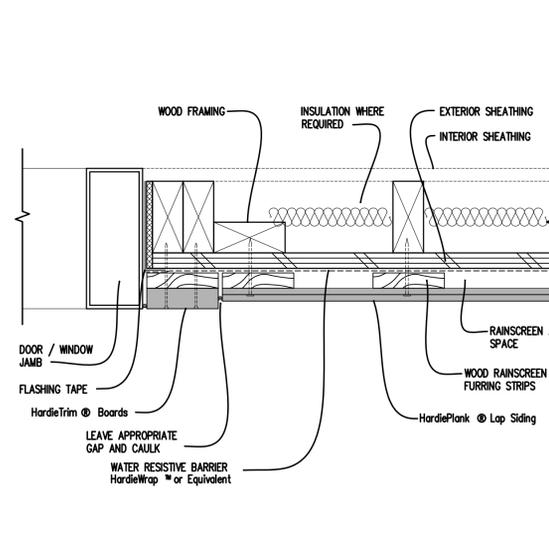


7 FIXTURE PENETRATION - RAINSCREEN

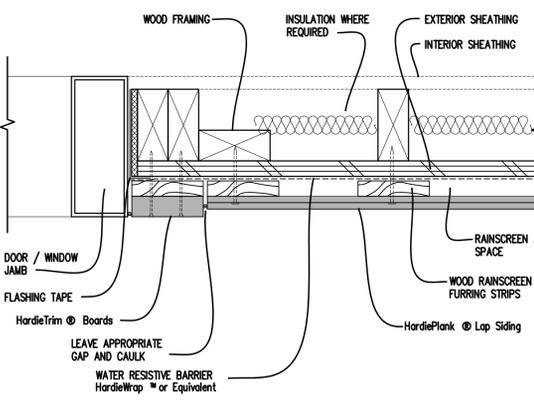


3 WINDOW/DOOR HEAD - RAINSCREEN

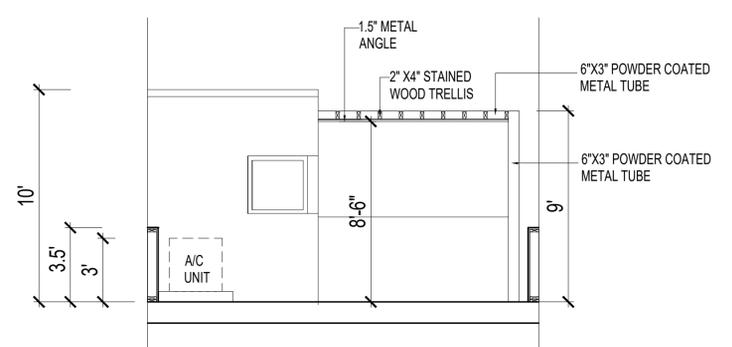
4 WINDOW SILL - RAINSCREEN



10 DOOR / WINDOW JAMB - RAINSCREEN

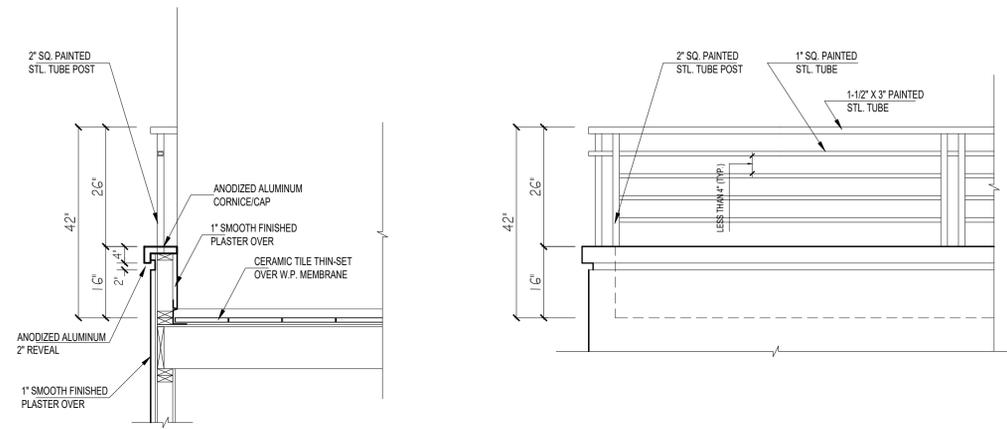


7 FIXTURE PENETRATION - RAINSCREEN



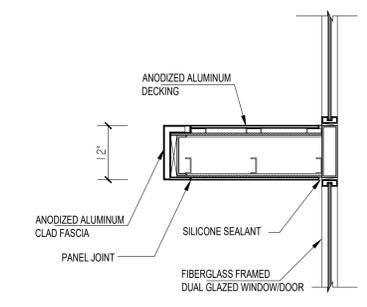
ROOF DECK TRELLIS DETAILS

7



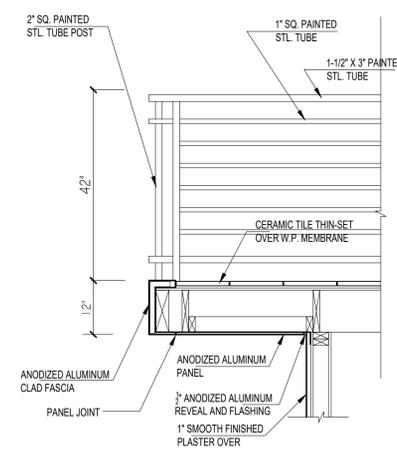
BALCONY / DECK GUARDRAIL

1



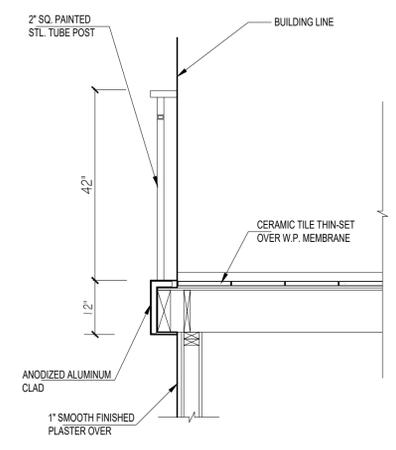
METAL CANOPY

8



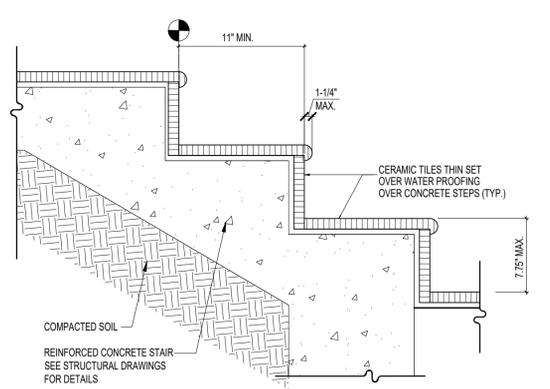
TERRACE GUARDRAIL

5



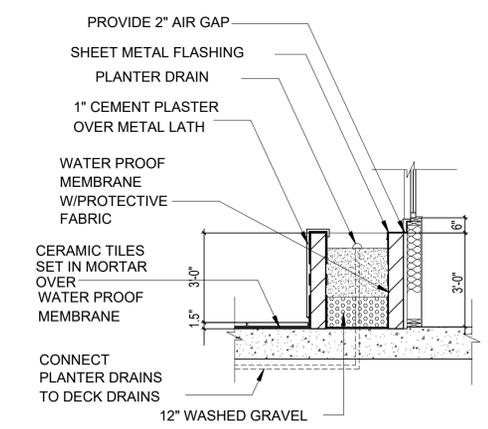
BALCONY / DECK GUARDRAIL

2



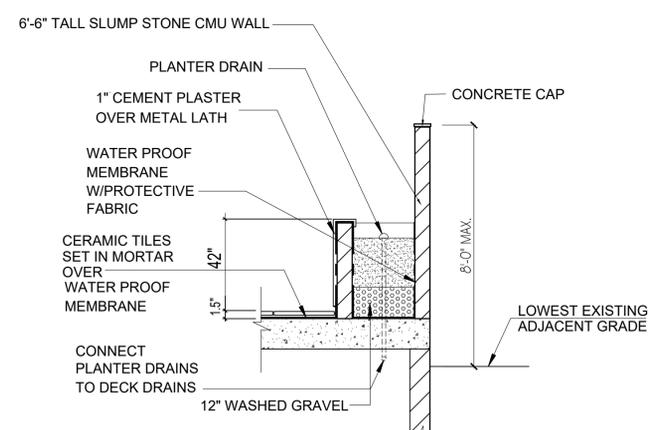
EXTERIOR STAIR

9



PLANTER ON CONCRETE DECK

6



PLANTER ON CONCRETE DECK AND FENCE WALL

3



ZOHRABIANS

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CLIENT:
Victoria SK Holdings, LLC
Victoria SK Holdings, LLC
9437 Santa Monica Blvd. #208
Beverly Hills Ca. 90210

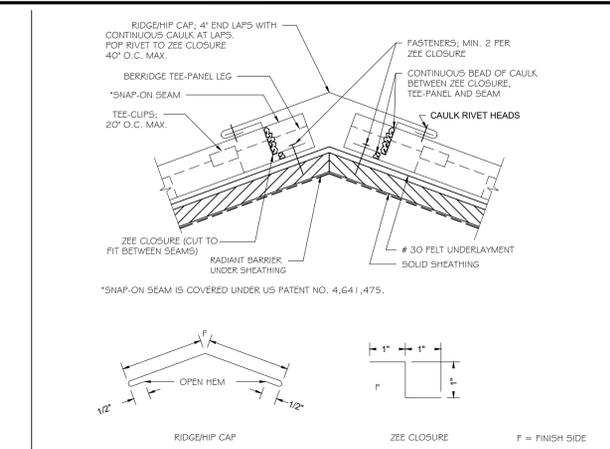
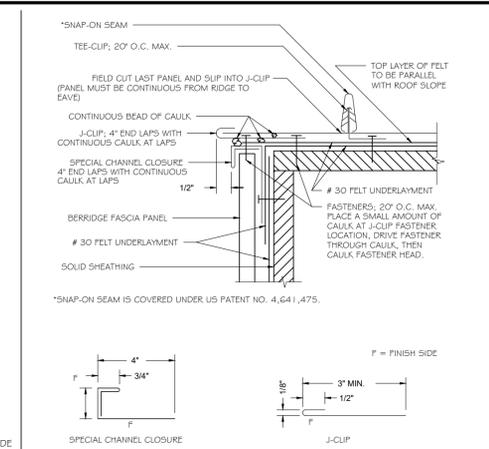
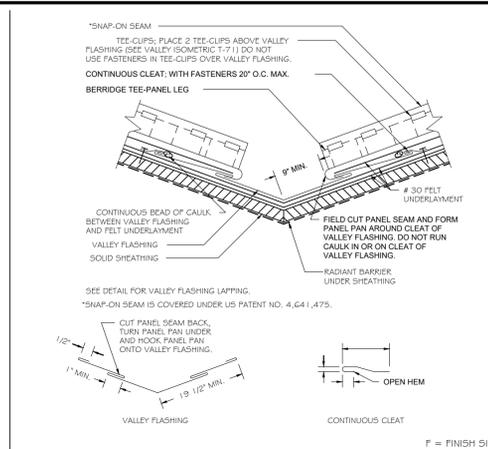
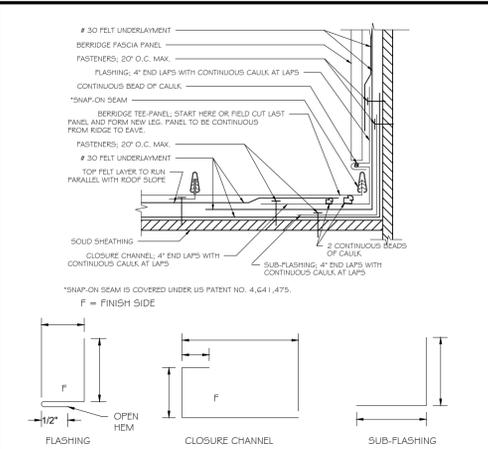
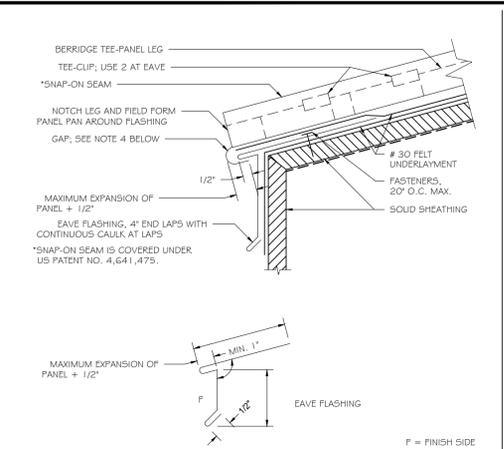
PROJECT:
17th St. Villas
Luxury Condominiums
1432 17th St.
Santa Monica Ca. 90404

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
DETAILS

DATE	01.08.2020
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

A6.3



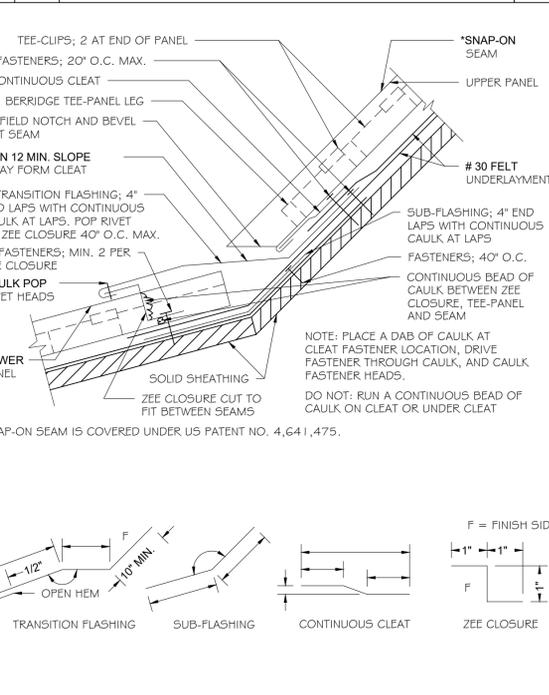
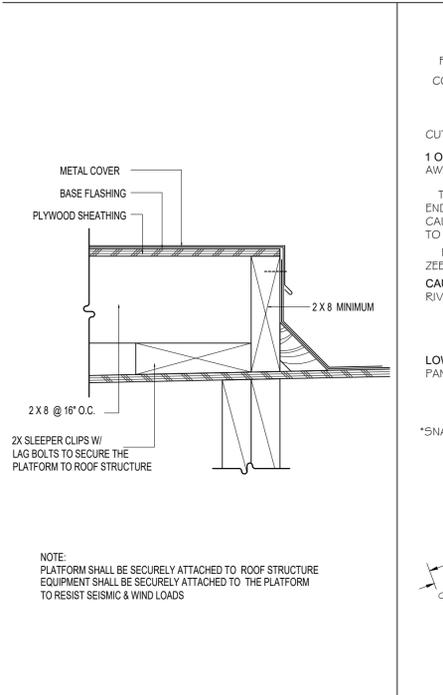
METAL ROOF EAVE 5

RAKE WALL 4

METAL ROOF VALLEY 3

METAL ROOF GABLE 2

METAL ROOF HIP / RIDGE 1



HVAC PAD 11

SLOPE TRANSITION DETAIL 8

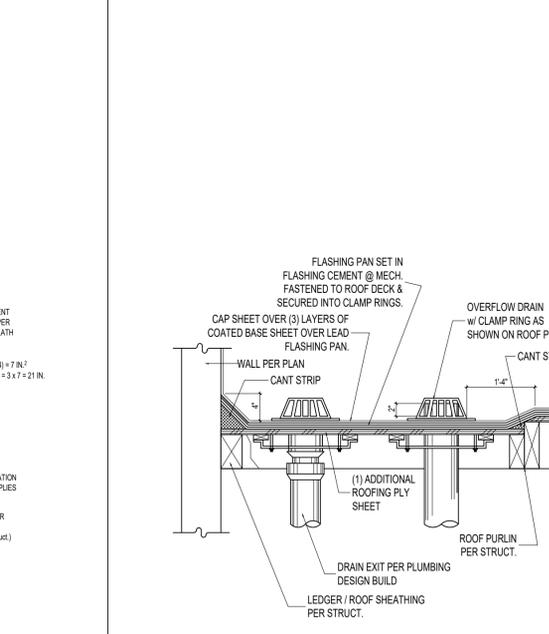
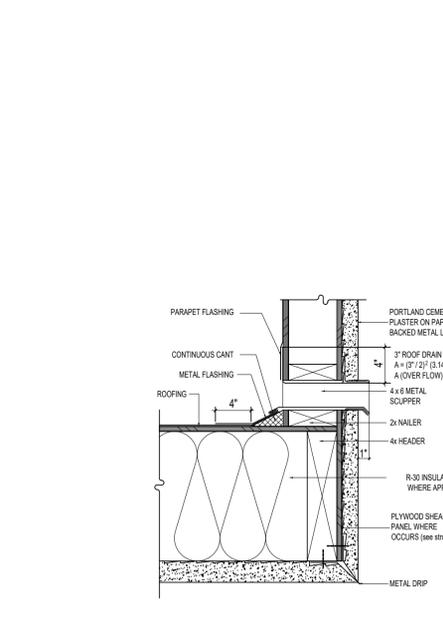
24" MAXIMUM PROFILE
PANEL - SEAM ASSEMBLY
UL CONSTRUCTION ASSEMBLY COMPONENTS

- METAL ROOF DECK PANELS: No. 24 MSQ min. 40,000 psi yield strength coated steel. Panel widths to be 12-3/4" or 19-3/4" and rib height to be 5/8". Total seam height with snap-on seam cover in place is nominal 1". Panels to be continuous length. End laps to be overlapped minimum 6". A line of sealant may be used at end and sidelaps. Berridge Manufacturing Company - "Tee-Panel"
- ROOF DECK FASTENERS: (Panel Clips) one piece clip, 3/4" high x 1-1/2" wide x 1-5/8" long, formed from the same type and thickness material as that used to fabricate metal panels. Clips spaced maximum 24" O.C., located at panel sides with guide holes in bottom to accommodate screw fasteners. Berridge Manufacturing Company - "Tee-Clips"
- FASTENERS: Screws used to attach the panel clips to plywood to be No. 10 by 1" long pan-head wood screw with a No. 2 Phillips drive. One screw per clip. Screws used to attach plywood substructure to wood trusses of joist to be deformed shank nails. When light ga. Structural Steel joists are used, screws to be No. 12 x 1-5/8" long with Phillips drive head. Spacing of screws to be 6" O.C. at plywood ends and 12" O.C. at interior joints.
- SUBSTRUCTURE: (Plywood) Plywood decking to be a nominal 5/8" thick, exposure sheathing span C-D, 40/20 plywood. All butt joints are to be sealed with tape and/or caulked.
- FELT PAPER: Two ply, No. 30 felt per 100 square feet. Berridge Manufacturing Company - "Tee-Clips"
- JOISTS: Joist spaced at 2'-0" O.C. may be one of the following:
 - Nom. 2 x 6 wood joists No. 2 or better.
 - Nom. 2 x 4 wood when used on a top chord of a wood truss, No. 2 or better.
 - Light gauge structural steel framing with the member against the plywood to be a minimum No. 22 MSQ coated steel.

FOR ADDITIONAL INFORMATION, PLEASE REFER TO THE UNDERWRITERS LABORATORY, INC. BUILDING MATERIALS DIRECTORY.

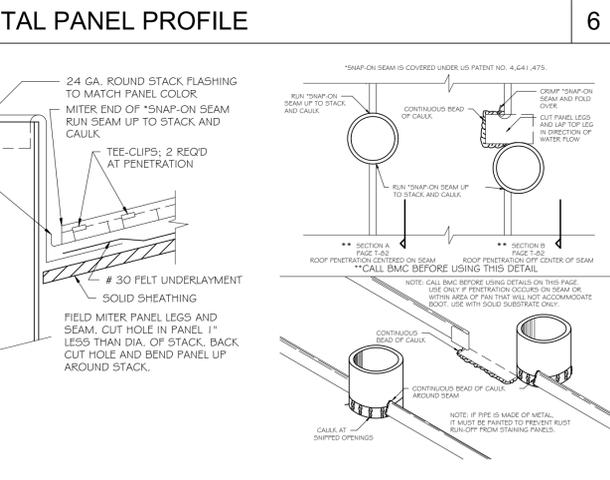
CONSTRUCTION NO. 296

UL 90 APPROVED 7



ROOF OVERFLOW SCUPPER 12

ROOF PENETRATION 10



METAL PANEL PROFILE 6

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9437 Santa Monica Blvd. #208
Beverly Hills Ca. 90210

PROJECT:
17th St. Villas
Luxury Condominiums
1432 17th St.
Santa Monica Ca. 90404

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
DETAILS

DATE	01.08.2020
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	062218
SHEET	

ROOF DRAIN/OVERFLOW 10



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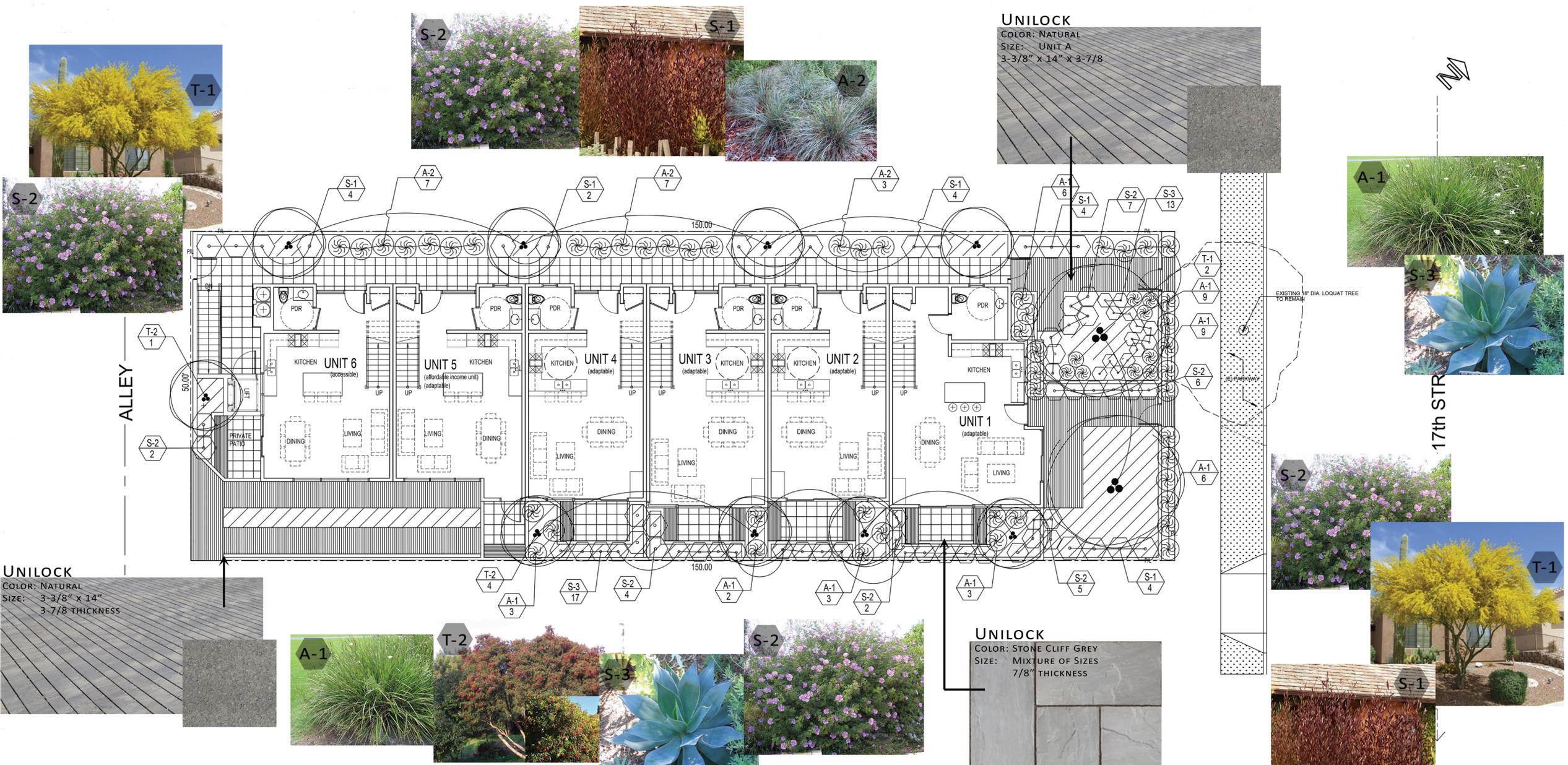
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 9437 Santa Monica Blvd. #208
 Beverly Hills Ca. 90210

PROJECT:
17th St. Villas
 1432 17th St.
 Santa Monica Ca. 90404
 S:

REVISIONS		
DESCRIPTION	DATE	BY
MSC-	10-18-18	LEA

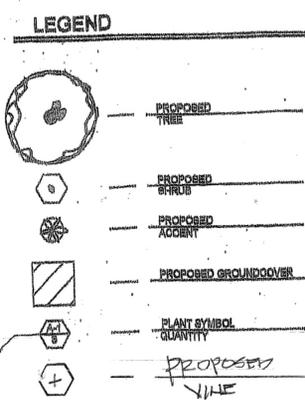
DATE	08.10.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ / LEA
JOB NUMBER	062218
SHEET	L-1



WATER USEABLE (WUCOLS)

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPECIES
T-1	PARKINSONIA / DESERT HUSSONIA	PALO VERDE / MULTI.	40' BX	2	-
T-2	HETEROPANES SPENSIFOLIA	TOYON / MULTI.	24' BX	9	-
S-1	DODONAEA VISCOSEA	HOPSEED BUSH	5 GAL.	14	5' D.C.
S-2	ALOE VERA HUESGELII	BLUE HIBISCUS	5 GAL.	20	4' D.C.
S-3	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	5 GAL.	40	3' D.C.
A-1	VIETES BICOLOR	FORTNIGHT LILY	5 GAL.	102	REPRODUCE
A-2	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	5 GAL.	17	" "
GROUNDCOVER	SENECIO SERPENS	BLUE SENECEO	FLATS	AS NEEDED	12" D.C.



A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRADICTED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL.

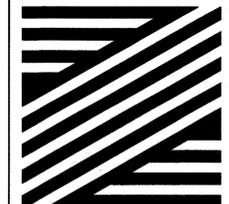
PLANTING PLAN

LW = LOW WATER USEABLE / P.F. = .3
 LANDSCAPE AREA = 1,004 SQ. FT.

MWELLO COMPLIANCE
 I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169



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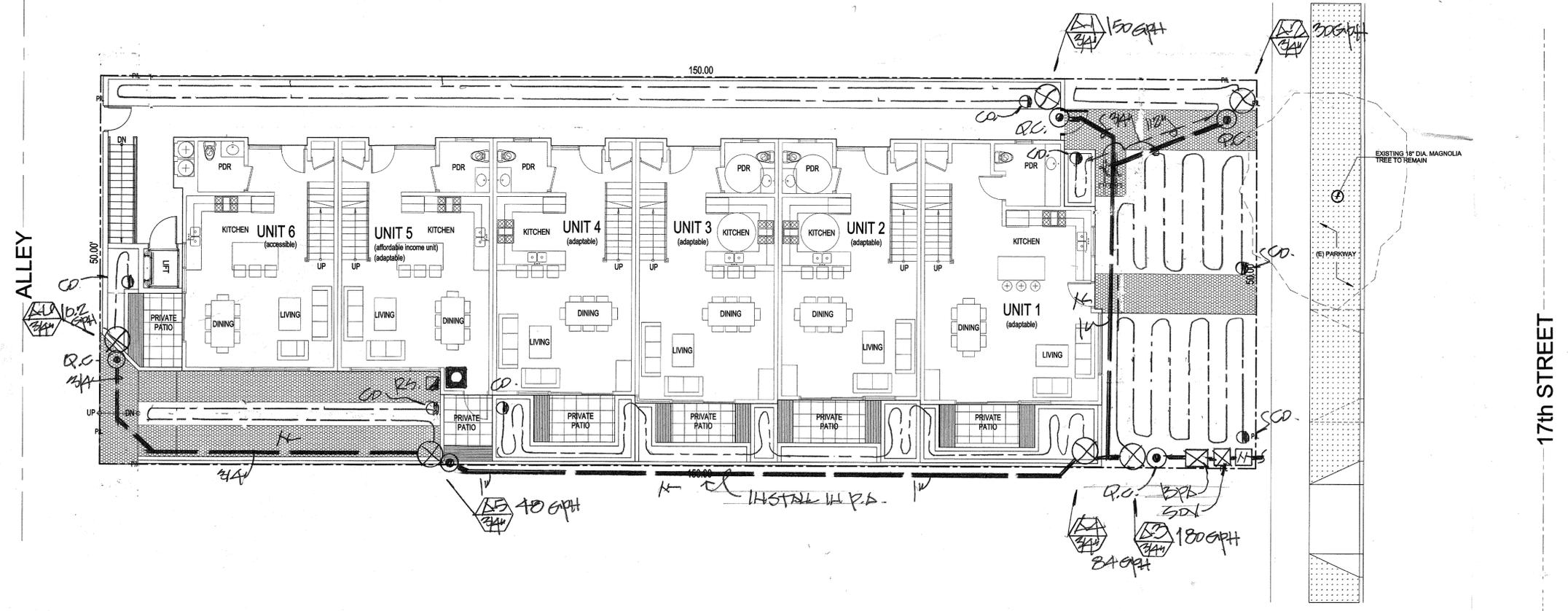
PROJECT:
17th St. Villas

1432 17th St.
Santa Monica Ca. 90404

REVISIONS		
DESCRIPTION	DATE	BY
MSC-	10/28/19	LG

DATE	08.10.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ / LG
JOB NUMBER	062218
SHEET	

L-2



17th STREET

ALLEY

Reference Evapotranspiration (ETo) / 44.2

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF x IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
A-1/LH	.3	▼	.81	.25	1309	327.25	37.744
A-2/LH	.3	▼	.81	.25	1159	289.75	33.521
A-3/LH	.3	▼	.81	.25	1159	289.75	33.521
A-4/LH	.3	▼	.81	.25	1240	310.00	35.224
A-5/LH	.3	▼	.81	.25	1159	289.75	33.521
A-6/LH	.3	▼	.81	.25	1159	289.75	33.521
Special Landscape Areas							
					1		
					1		
					1		
					1		
					1		
Totals					4124 (A)	590.7 (B)	16.191
Totals							16.191
ETWU Total							16.191
Maximum Allowed Water Allowance (MAWA)							24.190

Hydrozone #/Planting Description E.g.
1.) Front lawn
2.) low water use plantings
3.) medium water use plantings

Irrigation Method
overhead spray
or drip

Irrigation Efficiency
0.75 for spray head
0.81 for drip

ETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, IA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

TRIP EMITTERS

SYMBOL	DESCRIPTION	MODEL NO.	GPH	PSI
---	PANBIRO DRIP LINES	XF3-04-12-100	L90	30
---	VH EMITTERS @ 12" OC.		100 GPH	

LEGEND

- Weather Based Controller (Rainbird ESP-LUME 8 Gta.)
- Rain Sensor / Rainbird RSD-BEX
- Backflow Preventer (Falcon-BSP-1")
- Quick Coupler / Rainbird 441RC
- Valve / Rainbird / XGB-075-PRF
- Valve No. / GPH
- Schedule 40 SCHD 40 PVC
- Schedule 80 SCHD 80 PVC
- Shut-Off Valve
- Migation Sub-Meter
- CLEANOUT

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.

MANUAL SHUT-OFF VALVES SHALL BE REQUIRED; AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY; TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

A DIAGRAM OF THE IRRIGATION PLAN; SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATION OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

AT THE TIME OF FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

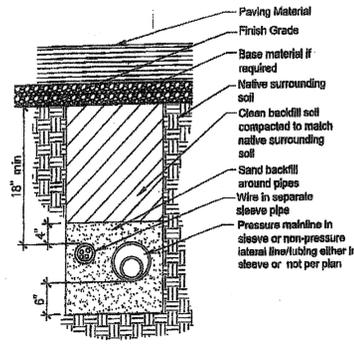
RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

MAWA = 24.190 GPH
ETWU = 16.191 GPH

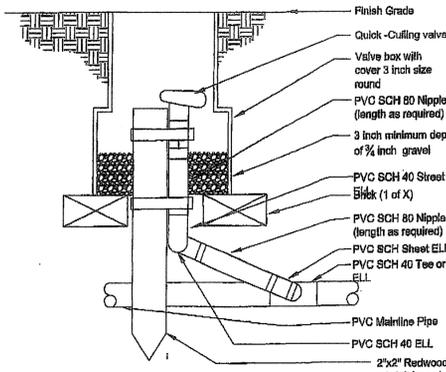
(44.2)(0.62)(.55)(4124) + (16.191)



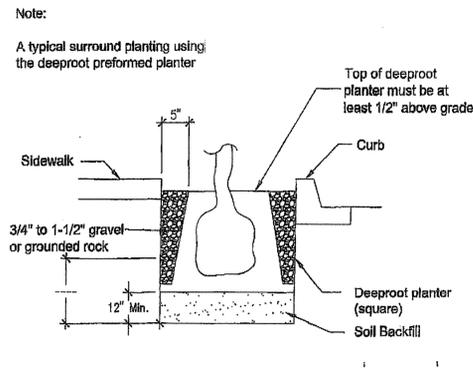
LARRY G. TISON & ASSOCIATES
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LANDSCAPE ARCHITECTURE
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818-241-9169



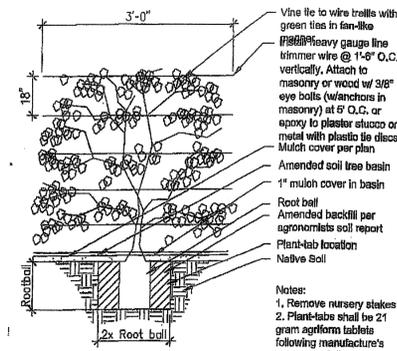
Pipe & wire trenching



Quick coupling valve



Tree Root barriers



Vine Planting detail

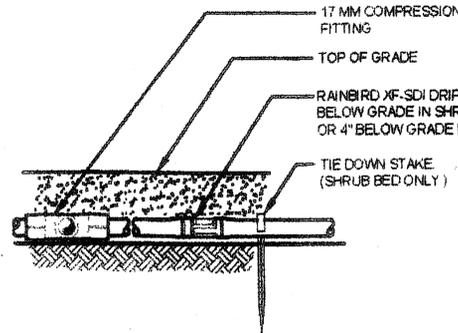
- Contractor shall verify plant count for bidding purposes.
 - Ground cover indicated by shall be continuous under shrub.
 - Planting areas which have no cover indicated shall receive 3" min. fine redwood bark as a ground cover.
 - Contractor shall guarantee plant material for 90 days after installation and replace any diseased or damaged materials during that one year period.
 - The following amendments shall be uniformly broadcast and thoroughly incorporate to a depth of 12" min. by rototiller equal amount per 1,000 sq.ft.
 - Cu. yd. (2") nitrogen stabilized organic amendment from redwood sawdust, fir dust, or finely ground bark 5 lbs. ammonium sulfate.
- Note: This formula is a Std. mix and will change if there are any unusual soil conditions at the site. Compacted backfill shall be 100% on site soil.

Landscape Notes

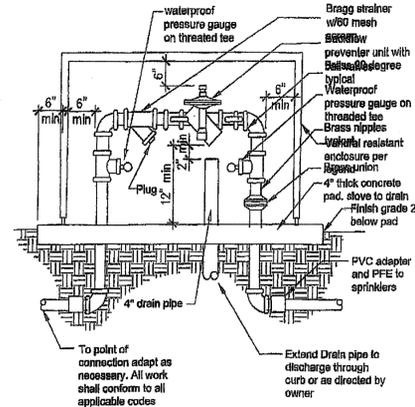
Medium rate (lbs per hour)

Soil Texture	Cover		Bare		Cover		Bare	
	Cover	Bare	Cover	Bare	Cover	Bare	Cover	Bare
Course Sandy Soil	2.00	2.00	2.00	1.50	1.50	1.00	1.00	0.50
Course sandy soil over compact lawn	1.75	1.50	1.25	1.50	1.00	0.75	0.75	0.40
Light Sandy	1.75	1.00	1.25	0.80	1.00	0.80	0.75	0.40
Light Sandy compacted subsoil	1.25	0.75	1.00	0.50	0.75	0.40	0.50	0.30
Uniform Soil	1.00	0.50	0.80	0.40	0.50	0.30	0.40	0.20
Light over compact soil	0.50	0.30	0.50	0.25	0.40	0.16	0.30	0.10
Light clay over	0.20	0.15	0.15	0.10	0.12	0.05	0.10	0.05

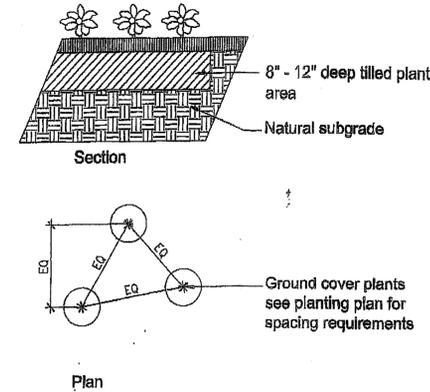
Soil characteristics



DRIP TUBE



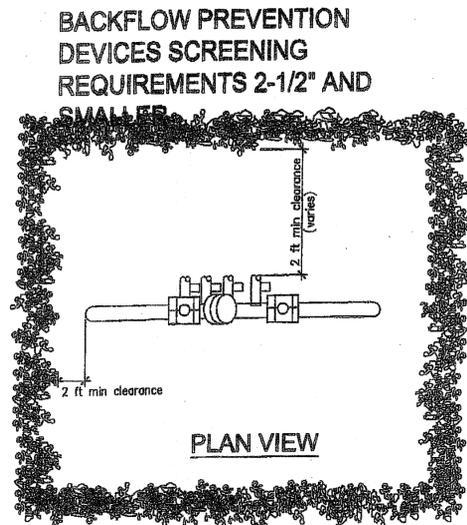
Backflow preventer



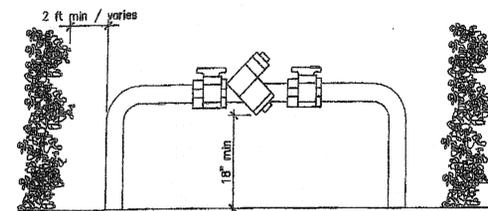
Ground Cover planting detail

- All Irrigation lines under drives to be installed in pvc sleeve @ 18" depth min.
 - Locate all RCV's and HB's in planting areas. (typ.)
 - Jet all lines and trenches under paving 90% min.
 - Install remote control valve in ametek 12" box or equal (one valve per box) & marked "Irrigation", located boxes in ground cover areas whenever possible and a min. 12" from paving or curbs.
 - The contractor shall provide owner with a completely operation system and clean set of marked prints as "as-built" drawing. Reference all trenches with dimensions to nearest building or paving.
 - The contractor shall warrant that the system will be a free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
- Note: All other requirements to be per city standards and specifications.

Irrigation notes

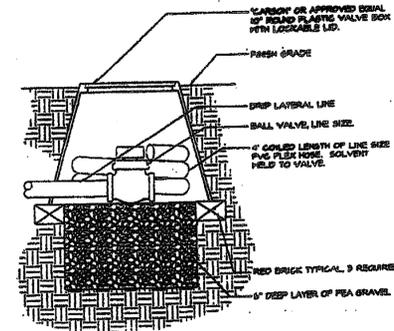


PLAN VIEW

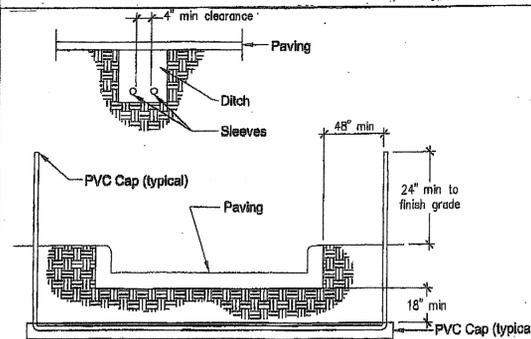


ELEVATION

BACKFLOW DEVICE SCREENING DETAIL

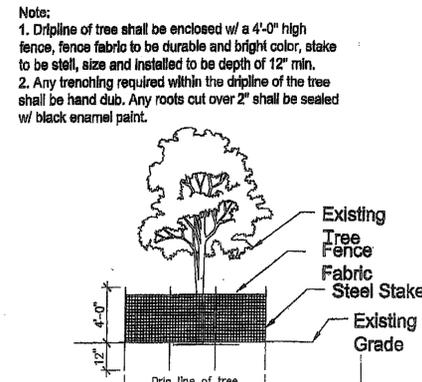


DRIP IRRIGATION FLUSH VALVE DETAIL

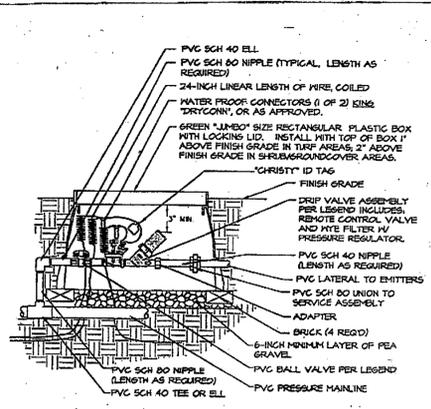


- Notes:
- All PVC irrigation sleeves to be class 200 pipe
 - All joints to be solvent welded and watertight
 - Where there is more than one sleeve, extend the smaller sleeve to 24-inches minimum above finish grade
 - Mechanically temp to 95% compaction.

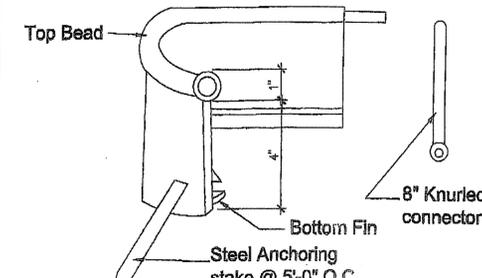
Sleeving



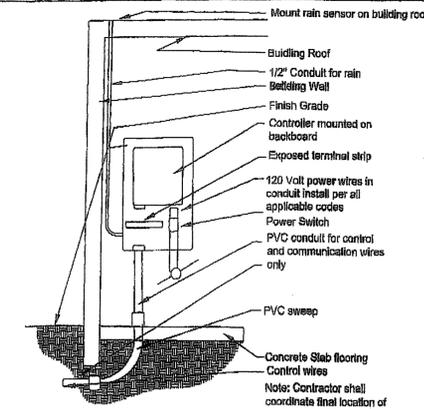
Projection of Existing Tree



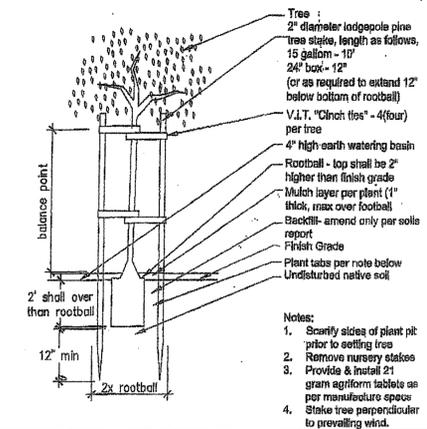
REMOTE CONTROL VALVE



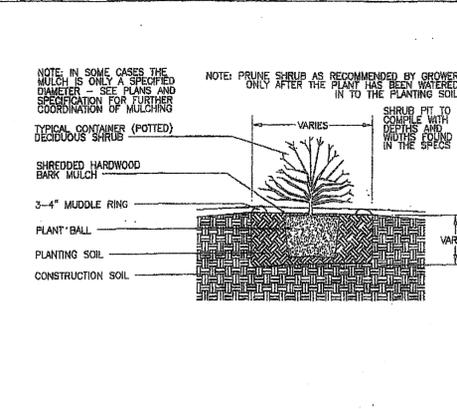
Polyethylene edging



Solid-state Controller



Tree staking detail



CONTAINER SHRUB PLANTING DETAIL

Revisions

THE DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN AGREEMENT OF THE DESIGNER.

WRITTEN DIMENSIONS SHALL BE OBSERVED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

Larry G. Tison & Associates
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. Broadway Suite O, Glendale, California 91205
818-241-1418
larrytison@gmail.com

Note: use details as applicable to this project only.

LANDSCAPE DETAIL & SPECIFICATION PLAN

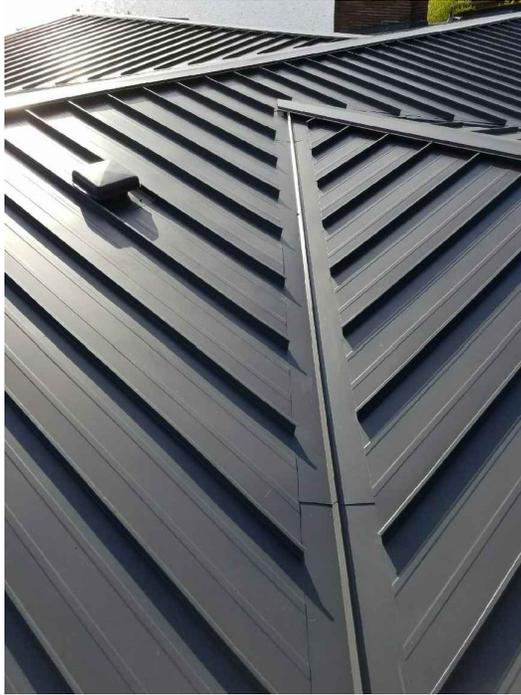
DRAWN: LOT 2
CHECKED: A
DATE: _____
JOB NO.: _____
SHEET: L-3





ZOHRABIANS ARCHITECTS
3467 OCEAN VIEW BLVD. SUITE B
GLENDALE, CA. 91208
T.818.236.3619

PROJECT ADDRESS: 1432 17TH STREET SANTA MONICA CA 90404



STANDING SEAM METAL ROOF - GRAY



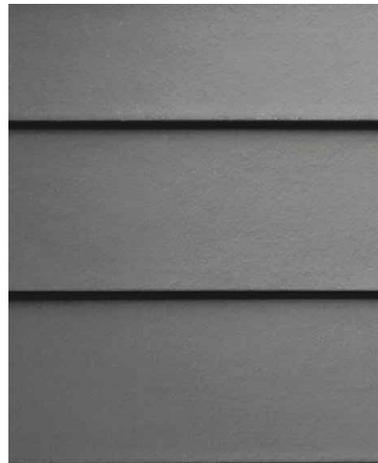
15 HIGH SHIELDED SURFACE
MOUNT WALL LIGHT - BLACK



SLUMP STONE CMU WALL - GRAY



LAHABRA STUCCO
SMOOTH FINISH - CRYSTAL WHITE



JAMES HARDIE
LAP SIDING - NIGHT GRAY



MARVIN DOORS AND WINDOWS
ALL ULTREX - BLACK

1432 17th Street

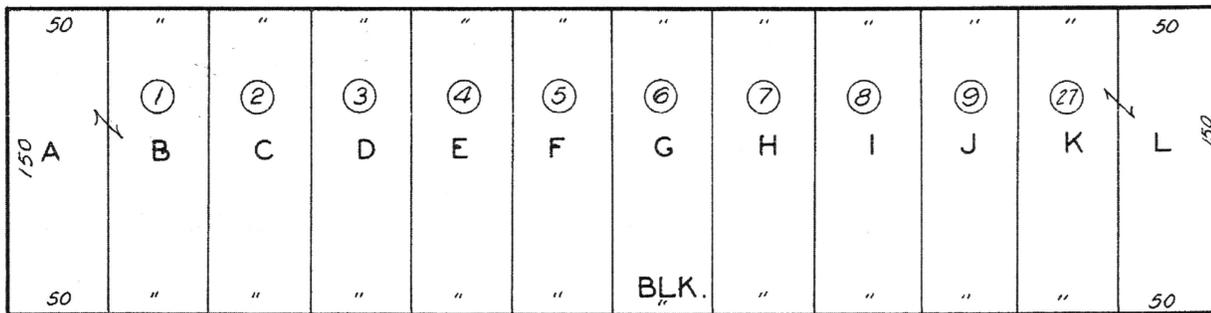
PHOTOGRAPH KEY MAP

18TH

ST.

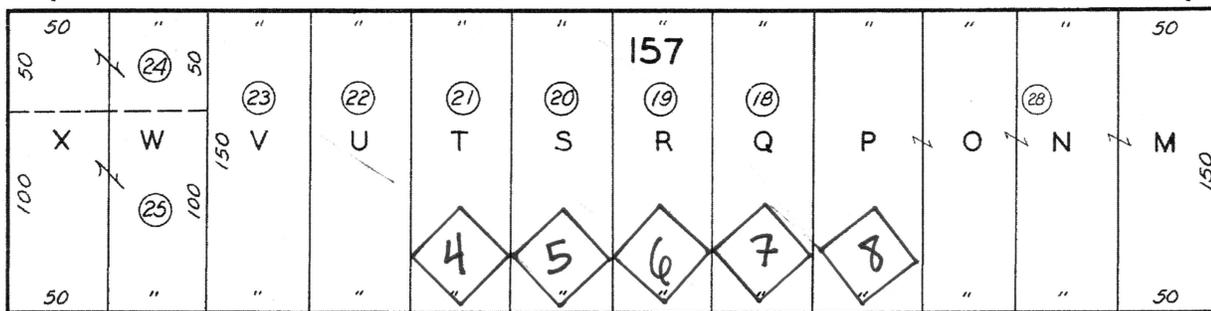
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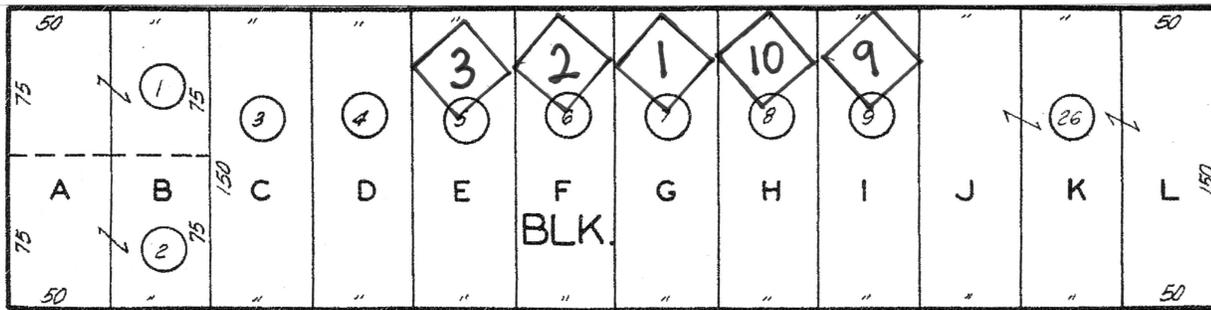
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17TH

ST.

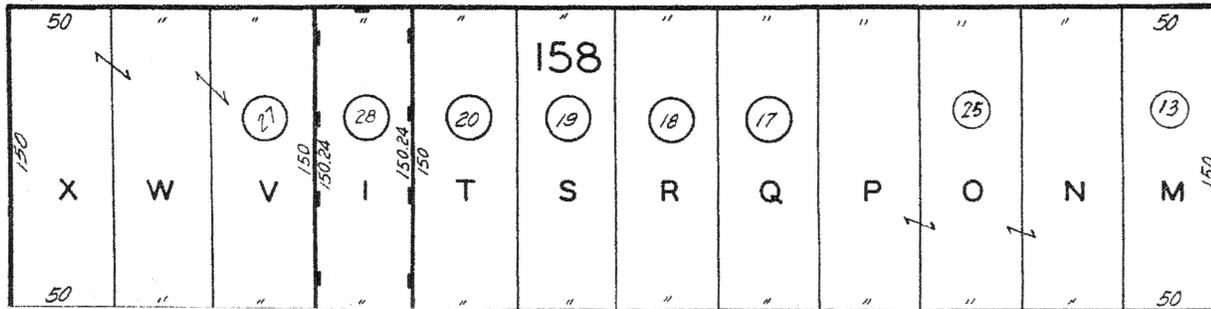
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SANTA MONICA BLVD.

SANTA MONICA BLVD.

SANTA MONICA BLVD.

BROADWAY

BROADWAY



1) 1432 17th St. Santa Monica, Ca. 90404



2) 1428 17th St. Santa Monica, Ca. 90404



3) 1420 17th St. Santa Monica, Ca. 90404



4) 1423 17th St. Santa Monica, Ca. 90404



5) 1427 17th St. Santa Monica, Ca. 90404



6) 1433 17th St. Santa Monica, Ca. 90404



7) 1437 17th St. Santa Monica, Ca. 90404



8) 1447 17th St. Santa Monica, Ca. 90404



9) 1444 17th St. Santa Monica, Ca. 90404



10) 1438 17th St. Santa Monica, Ca. 90404





