



1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
310.399.7975
KFALOSANGELES.COM



701 COLORADO

701 COLORADO AVE
SANTA MONICA, CA 90401

701 COLORADO

701 COLORADO AVE, SANTA MONICA, CA 90401
ARB SUBMITTAL 04.01.2020

SHEET TITLE:
COVER

SCALE:

DATE:
04.01.2020

SHEET NUMBER:
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1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
310.399.7975
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701 COLORADO

701 COLORADO AVE
SANTA MONICA, CA 90401

SHEET TITLE:
RENDERING

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04.01.2020
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1625 OLYMPIC BOULEVARD
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701 COLORADO

701 COLORADO AVE
SANTA MONICA, CA 90401

SRO UNIT SCHEDULE

2ND FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
202	TYPE K	368	264
203	TYPE B	321	242
2ND FLOOR SRO 2 UNITS			

3RD FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
303	TYPE B	320	241
304	TYPE D	317	240
305	TYPE C	324	252
306	TYPE A	313	235
307	TYPE A	313	235
309	TYPE F	299	220
310	TYPE F	299	220
3RD FLOOR SRO 7 UNITS			

4TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
403	TYPE G	326	250
404	TYPE A	312	235
405	TYPE C	324	252
406	TYPE A	313	235
407	TYPE A	313	235
409	TYPE F	299	220
410	TYPE F	299	220
4TH FLOOR SRO 7 UNITS			

5TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
502	TYPE H	398	295
503	TYPE B	315	237
504	TYPE D	317	240
505	TYPE C	324	252
506	TYPE A	313	235
507	TYPE A	313	235
509	TYPE F	299	220
510	TYPE F	299	220
5TH FLOOR SRO 8 UNITS			

6TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
603	TYPE G	326	250
604	TYPE A	312	235
605	TYPE C	324	252
606	TYPE A	313	235
607	TYPE A	313	235
6TH FLOOR SRO 5 UNITS			

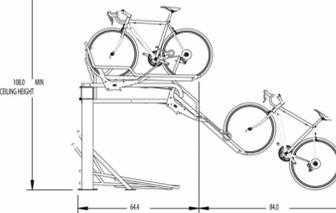
7TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
701	TYPE J	313	236
702	TYPE I	347	261
703	TYPE B	320	239
704	TYPE D	317	240
705	TYPE C	324	252
706	TYPE A	313	235
707	TYPE A	313	235
7TH FLOOR SRO 7 UNITS			

8TH FLOOR LEVEL			
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
801	TYPE J	313	236
804	TYPE B	321	239
805	TYPE C	324	252
806	TYPE A	313	235
807	TYPE A	313	235
8TH FLOOR SRO 5 UNITS			

TOTAL SRO UNIT:	41 UNITS
AVERAGE OF SRO UNIT SIZE:	318 SF
AVERAGE OF SRO LIVING AREA:	240 SF

BIKE RACK DETAILS

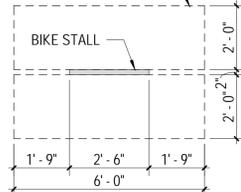
LONG TERM DOUBLE TIER
SARIS STACK RACK
65" LONG, 18" O.C., 84" AISLE



SHORT TERM
SARIS CIRCLE DOCK
36" LONG, 32" HIGH, 24" O.C.

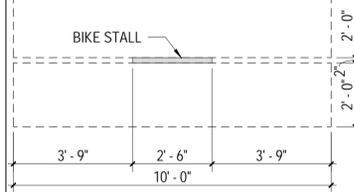


BIKE CLEARANCES



TYPICAL BIKE RACK

BIKE CLEARANCES



CARGO BIKE RACK

AUTOMOBILE PARKING

MAXIMUM ALLOWABLE PARKING PER SMMC TABLE 9.28.060 FOR DCP

RESIDENTIAL - MARKET RATE:	STUDIO: 5 stalls / unit	34 units x 5 = 17 stalls
RESIDENTIAL - AFFORDABLE:	STUDIO: 25 stalls / unit	6 units x 25 = 2 stalls
RESIDENTIAL - MARKET RATE:	1 BR: 5 stalls / unit	7 units x 5 = 4 stalls
RESIDENTIAL - AFFORDABLE:	1 BR: 25 stalls / unit	4 units x 25 = 3 stalls
RESIDENTIAL - MARKET RATE:	2 OR MORE BR: 1 stalls / unit	7 units x 1 = 7 stalls
GUEST PARKING - MARKET RATE:	1 stall / 15 units	48 units / 15 = 3 stalls
GUEST PARKING - AFFORDABLE:	1 stall / 30 units	10 units / 30 = 0 stall
MAXIMUM ALLOWABLE RESIDENTIAL: 34 STALLS		
COMMERCIAL - RESTAURANT < 5,000 SF:	1 stalls / 500 sf	2,267 sf / 500 = 5 stalls
MAXIMUM ALLOWABLE COMMERCIAL: 5 STALLS		
TOTAL MAXIMUM ALLOWABLE PARKING: 39 STALLS		

PROVIDED AUTOMOBILE PARKING

NO PARKING PROVIDED ON SITE.
OFF-SITE PARKING PROVIDED AT 1543 7TH STREET
PER SETTLEMENT AGREEMENT AND RELEASE,
SECTION D, II, JUNE 28TH, 2019.

UNIT COUNT

TIER 1 SRO UNIT MIX		
TYPE	QTY.	PERCENTAGE
SRO	41	
TIER 1 SRO TOTAL	41	

TIER 3 UNIT MIX		
TYPE	QTY.	PERCENTAGE
1 BR	11	65%
2 BR	4	20%
3 BR	3	15%
TIER 3 TOTAL	18	
GRAND TOTAL	59	

REQUIRED UNIT MIX FOR TIER 3 DWELLING UNITS PER SMMC 9.10.070.C.1b:

- AT LEAST 15% OF THE UNITS SHALL BE THREE-BEDROOM UNITS.
- AT LEAST 20% OF THE UNITS SHALL BE TWO-BEDROOM UNITS.
- NO MORE THAN 15% OF THE UNITS SHALL BE STUDIO UNITS.

AFFORDABLE HOUSING

COMPROMISE PROJECT AFFORDABILITY REQUIREMENTS
PER SETTLEMENT AGREEMENT AND RELEASE

20% OF THE TOTAL TIER 2/3 DWELLING UNIT INCREMENT UNITS
FOR AFFORDABLE HOUSING.
18 X 20% = 3.6 UNITS

15% OF THE TOTAL TIER 1 SRO INCREMENT UNITS
FOR LOW INCOME RESIDENTS.
41 X 15% = 6.15 UNITS

PROVIDED AFFORDABLE UNITS

- 4 ONE-BEDROOM TIER 3 DWELLING UNITS
- 6 TIER 1 SRO UNITS

BICYCLE PARKING

BIKE PARKING REQUIREMENTS PER SMMC 9.28.140

COMMERCIAL (RESTAURANT):
LONG TERM: 1 STALL / 3,000 SF, MIN OF 4 STALLS REQUIRED
SHORT TERM: 1 STALL / 4,000 SF, MIN OF 4 STALLS REQUIRED

LONG TERM: 2,267 SF / 3,000 SF = 4 STALLS*
SHORT TERM: 2,267 SF / 4,000 SF = 4 STALLS*

(*OF WHICH RECD CARGO = 4 STALLS X .10 = 1 RECD CARGO STALL)

RESIDENTIAL:
LONG TERM: 1/ BEDROOM = 69 BR X 1 = 69 STALLS*
SHORT TERM: .1/ BEDROOM = 69 BR X .1 = 6.9 STALLS

(*OF WHICH RECD CARGO = 69 STALLS X .10 = 6.9 RECD CARGO STALLS)

TOTAL LONG TERM: 73 STALLS
TOTAL SHORT TERM: 11 STALLS
TOTAL BICYCLE REQUIRED: 84 STALLS

PROVIDED BICYCLE PARKING

COMMERCIAL (RESTAURANT):
LONG TERM: 4 STALLS
SHORT TERM: 4 STALLS

RESIDENTIAL:
LONG TERM: 69 STALLS
SHORT TERM: 7 STALLS

TOTAL PROVIDED: 84 STALLS

REFUSE & RECYCLING

REFUSE & RECYCLING ROOM REQUIREMENTS PER SMMC 9.21.130
RESOURCE RECOVERY AND RECYCLING STANDARDS

MIXED USE DEVELOPMENTS SHALL INCLUDE A REFUSE AND RECYCLING
ROOM WITH THE MINIMUM DIMENSIONS STATED IN TABLE 9.21.130.B. OR
SHALL PROVIDE EQUIVALENT SPACE AVAILABLE IN A CENTRALIZED
AREA

PER TABLE 9.21.130.B - AGGREGATE FLOOR AREA OF 20,001-40,000
SQ.FT. REQUIRES MINIMUM TRASH ROOM DIMENSIONS OF
28'-0"X20'-0"X10'-0".
ANY DEVELOPMENT WITH MORE THAN 40 RESIDENTIAL UNITS OR
WITH MORE THAN 40,000 SQ.FT. OF FLOOR AREA SHALL BE REVIEWED
BY THE DIRECTOR OF PUBLIC WORKS.

OPEN SPACE

OPEN SPACE REQUIREMENTS PER DCP:

25% OF TOTAL BUILDABLE AREA = 7,481 SF X .25 = 1,870 SF

OPEN SPACE REQUIREMENTS PER IZO 2609 FOR TIER 1 SRO :

10 SF / LIVING AREA = 10 SF X 41 = 410 SF

AT LEAST 400 SF IN INTERIOR COMMON SPACE AT GROUND
FLOOR ENTRY AREA

200 SF OF INTERIOR COMMON AREA PER FLOOR ABOVE GROUND
FLOOR LEVEL

*OPEN SPACE PROVIDED TO SATISFY DCP STANDARDS MAY
ALSO BE USED TO SATISFY ANY AND ALL COMMON AREA
REQUIREMENTS FOR THE TIER 1 SRO INCREMENT AS REQUIRED
UNDER IZO NO. 2609.

OPEN SPACE PROVIDED			
NAME	LEVEL	AREA	
COMMON OPEN SPACE	2ND FLOOR	866 SF	
COMMON OPEN SPACE	7TH FLOOR	529 SF	
COMMON OPEN SPACE	8TH FLOOR	325 SF	
COMMON OPEN SPACE	ROOF	1169 SF	
COMMON OPEN SPACE		2889 SF	
PRIVATE OPEN SPACE	2ND FLOOR	376 SF	
PRIVATE OPEN SPACE	3RD FLOOR	344 SF	
PRIVATE OPEN SPACE	4TH FLOOR	321 SF	
PRIVATE OPEN SPACE	5TH FLOOR	313 SF	
PRIVATE OPEN SPACE	6TH FLOOR	430 SF	
PRIVATE OPEN SPACE	7TH FLOOR	339 SF	
PRIVATE OPEN SPACE	8TH FLOOR	287 SF	
PRIVATE OPEN SPACE		2431 SF	
PRIVATE OPEN SPACE		5320 SF	

NOTE:
10% LOCATED AT GROUND FLOOR OR AT PODIUM 1 OR 2 LEVELS
ABOVE GROUND AND 10% WITHOUT REGULATED LOCATIONS

7,481 SF X .10 = 748 SF RECD OPEN SPACE AT LEVEL 1 OR 2
866 SF + 376 SF = 1,242 SF OPEN SPACE PROVIDED AT LEVELS 1-2

OPEN SPACE PROVIDED - COMMON AREA TIER 1 SRO			
NAME	LEVEL	AREA	
INTERIOR COMMON AREA	2ND FLOOR	326 SF	
INTERIOR COMMON AREA	7TH FLOOR	298 SF	
INTERIOR COMMON AREA		624 SF	
INTERIOR COMMON SPACE AS BLDG ENTRY	1ST FLOOR	400 SF	
INTERIOR COMMON SPACE AS BLDG ENTRY		400 SF	
INTERIOR COMMON SPACE AS BLDG ENTRY		1024 SF	

NOTE:
COMMON AREA OF THE SAME SIZE (200 SF) DEDICATED FOR
SUCH ACTIVITIES PROVIDED ON THE ROOF SHALL SATISFY THE
REQUIREMENT FOR ONE INDIVIDUAL FLOOR IN A STRUCTURE.
COMMON AREA ON THE ROOF SHALL COMPLY WITH ALL OTHER
REQUIREMENTS OF MUNICIPAL CODE.

PROJECT INFORMATION

PROJECT NAME:	701 COLORADO
ADDRESS:	701 COLORADO AVE SANTA MONICA, CA 90401
OWNER:	1557 7TH ST, LLC
PROJECT DESCRIPTION:	8-STORY MIXED-USE BUILDING WITH A TOTAL OF (41) SRO & (18) TIER 3 UNITS, 2,267 SF GROUND FLOOR COMMERCIAL WITH 2 LEVELS OF SUBTERRANEAN STORAGE
CURRENT ZONING:	DCP-1A (TRANSIT ADJACENT), TIER 1 SRO, TIER 3
LOT SIZE:	7,481 SF
UNIT COUNT:	59 UNITS (41 SRO + 18 TIER 3)
MAX HEIGHT ALLOWED PER DCP:	84 FT
PROPOSED HEIGHT:	84 FT (EXCLUDING VERTICAL PROJECTION)
ALLOWABLE GROUND FLOOR HEIGHT PER DCP:	11'-0" MIN - 16'-0" MAX
PROPOSED GROUND FLOOR HEIGHT:	11'-0" @ STREET-FACING FACADE

FAR

SITE AREA:	7,481 SF
ALLOWABLE FAR PER DCP TRANSIT ADJACENT, TIER 3:	4.0 : 1
ALLOWABLE FLOOR AREA:	7,481 SF X 4.0 = 29,924 SF
TIER 1 SRO FAR ALLOWED:	2.25 FAR = 7,481 X 2.25 = 16,832 SF

FLOOR AREA		
LEVEL	TYPE	AREA (SF)
COMMERCIAL		
1ST FLOOR	COMMERCIAL	2,267
COMMERCIAL		2,267
RESIDENTIAL COMMON		
1ST FLOOR	RESIDENTIAL COMMON	2,571
2ND FLOOR	RESIDENTIAL COMMON	332
7TH FLOOR	RESIDENTIAL COMMON	298
RESIDENTIAL COMMON		3,202
TIER 1 SRO		
2ND FLOOR	TIER 1 SRO	745
3RD FLOOR	TIER 1 SRO	2,301
4TH FLOOR	TIER 1 SRO	2,307
5TH FLOOR	TIER 1 SRO	2,703
6TH FLOOR	TIER 1 SRO	1,696
7TH FLOOR	TIER 1 SRO	2,350
8TH FLOOR	TIER 1 SRO	1,670
TIER 1 SRO		13,772
TIER 3 RESIDENTIAL		
2ND FLOOR	TIER 3 RESIDENTIAL	1,772
3RD FLOOR	TIER 3 RESIDENTIAL	1,612
4TH FLOOR	TIER 3 RESIDENTIAL	1,812
5TH FLOOR	TIER 3 RESIDENTIAL	1,387
6TH FLOOR	TIER 3 RESIDENTIAL	2,249
7TH FLOOR	TIER 3 RESIDENTIAL	478
8TH FLOOR	TIER 3 RESIDENTIAL	1,372
TIER 3 RESIDENTIAL		10,683
GRAND TOTAL		29,924

56% TIER 1 SRO FLOOR AREA
(TIER 1 SRO FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
(13,772 SF / 24,455 SF)

44% TIER 3 FLOOR AREA
(TIER 3 FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
(10,683 SF / 24,455 SF)

PROVIDED FLOOR AREA: TOTAL BUILDING AREA / SITE AREA =
29,924 / 7,481 = 4.0

COMMERCIAL AREA / TOTAL BLDG AREA
= 2,267 / 29,924 = 7.6 %

PROVIDED TIER 1 SRO FAR: (TIER 1 FLOOR AREA + TIER 1 FLOOR
AREA % X (COMMON AREA +
COMMERCIAL AREA)) / SITE AREA
= (13,772 SF + 56% (3,202 SF + 2,267)) /
7,481 SF
= 2.25

PROVIDED TIER 3
RESIDENTIAL FAR: (TIER 3 FLOOR AREA + TIER 3 FLOOR
AREA % X (COMMON AREA +
COMMERCIAL AREA)) / SITE AREA
= (10,683 SF + 44% (3,202 SF + 2,267)) /
7,481 SF
= 1.75

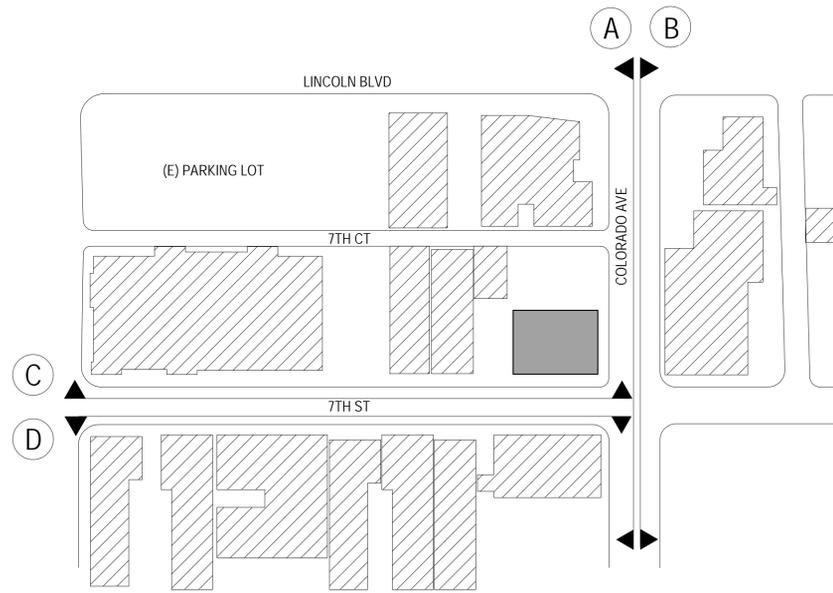
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G.020	FAR CALCULATIONS
G.030	OPEN SPACE CALCULATIONS
G.040	BUILDING MODULATION CALCULATIONS
G.041	BUILDING MODULATION CALCULATIONS
G.042	BUILDING PROJECTION CALCULATION
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PROPOSED PROJECT

COLORADO BLVD NORTH
NTS

A



COLORADO BLVD SOUTH
NTS

B



PROPOSED PROJECT

7TH STREET EAST
NTS

C



7TH STREET WEST
NTS

D

701 COLORADO

701 COLORADO AVE
SANTA MONICA, CA 90401

SHEET TITLE
SITE PHOTOS

SCALE:
1" = 100'-0"

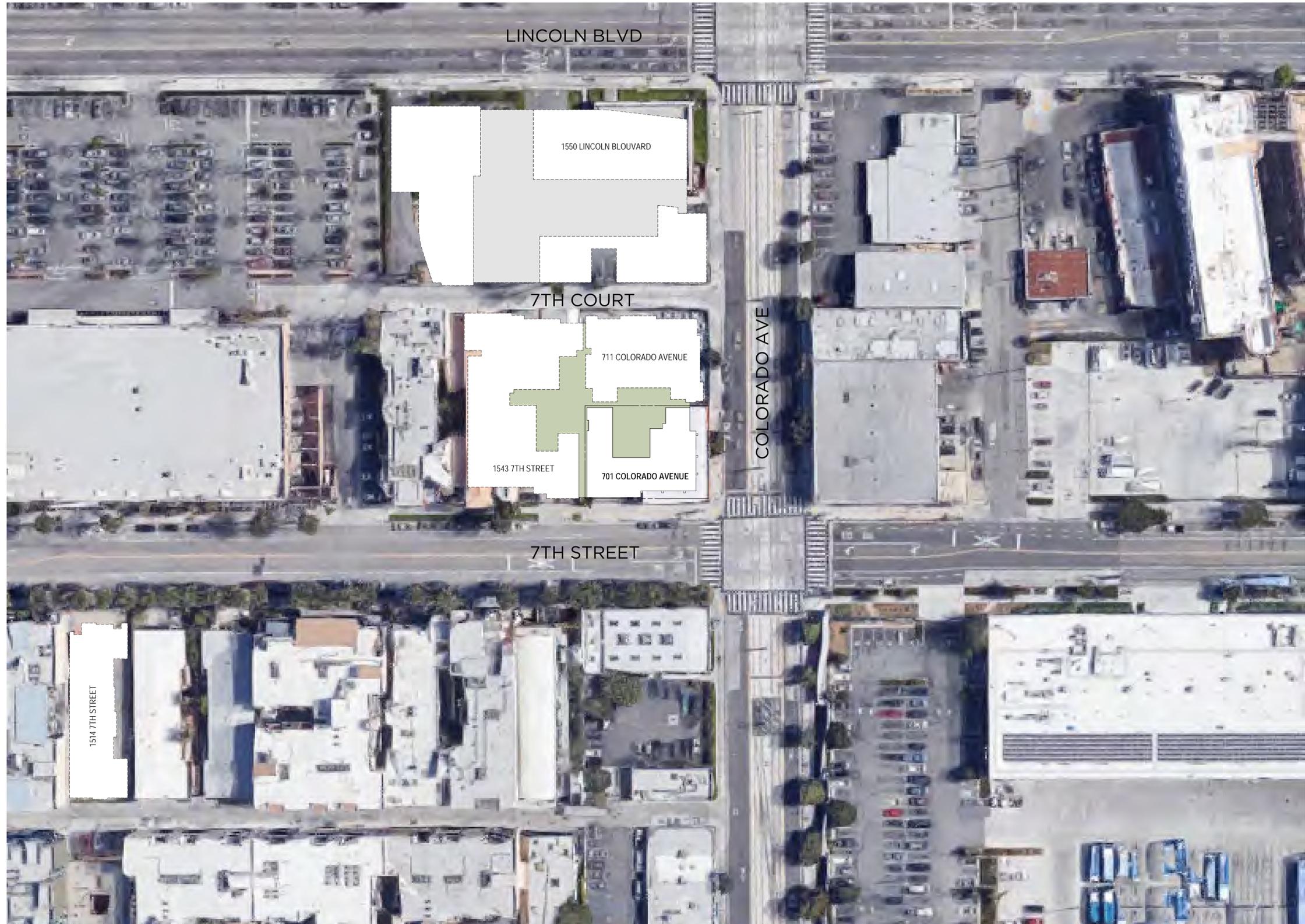
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4

AERIAL VIEW PLAN
1" = 40'-0"

SHEET TITLE
AERIAL VIEW

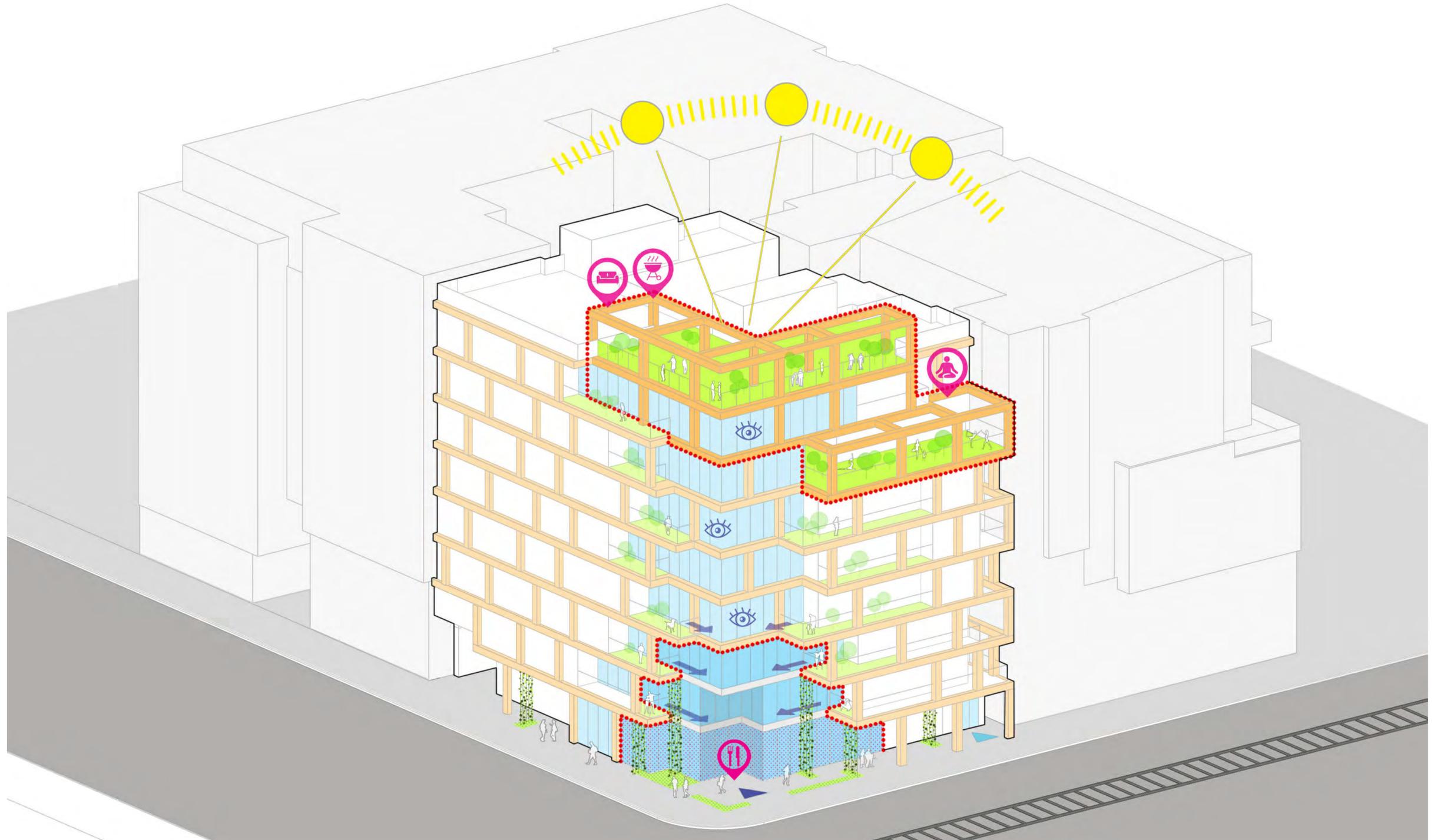
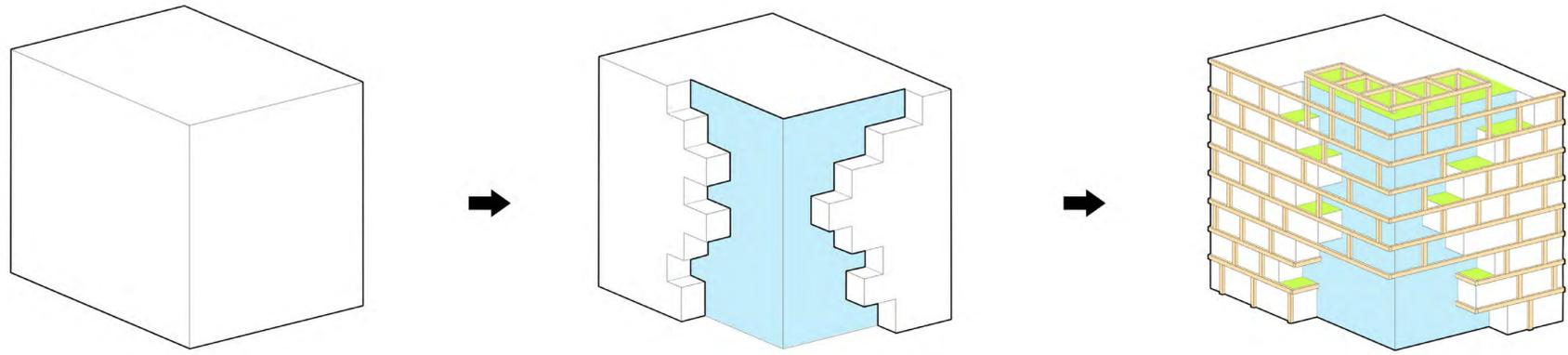
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SHEET TITLE:
DIAGRAM

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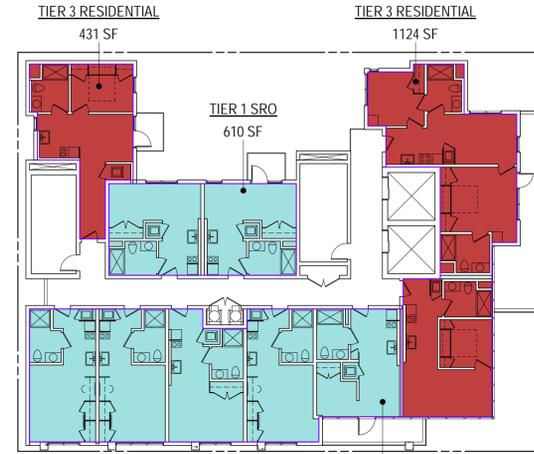
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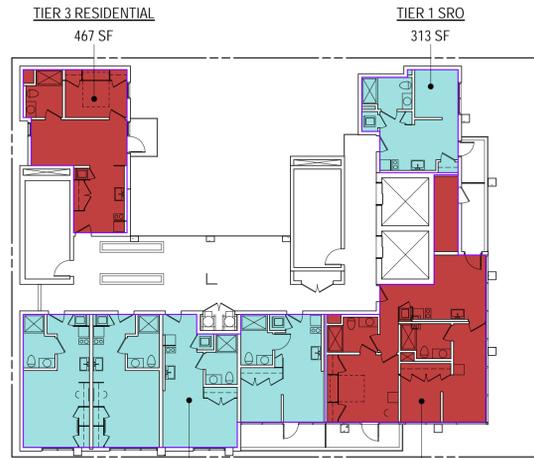
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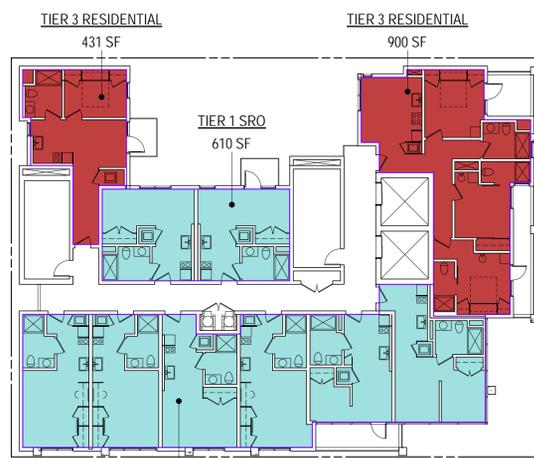
6TH FLOOR FAR PLAN
1/16" = 1'-0" (6)



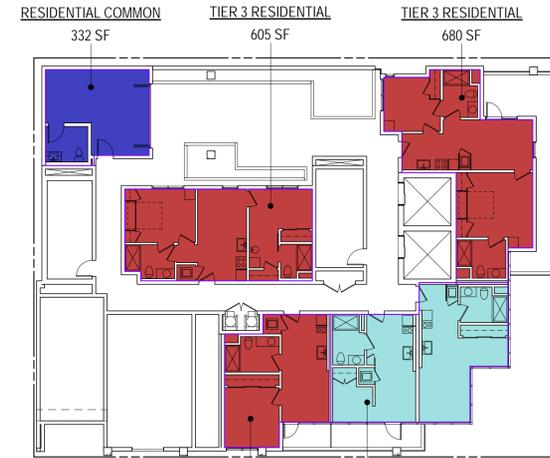
3RD FLOOR FAR PLAN
1/16" = 1'-0" (3)



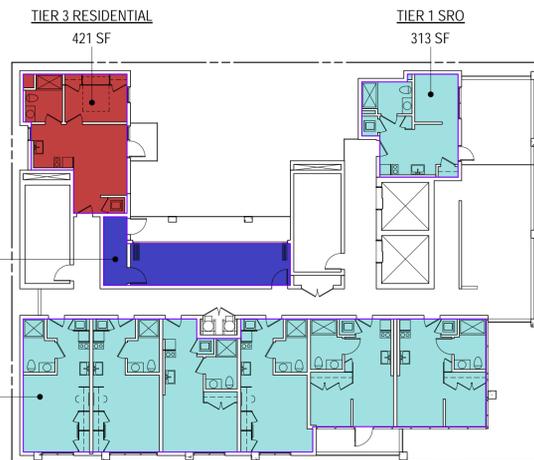
8TH FLOOR FAR PLAN
1/16" = 1'-0" (8)



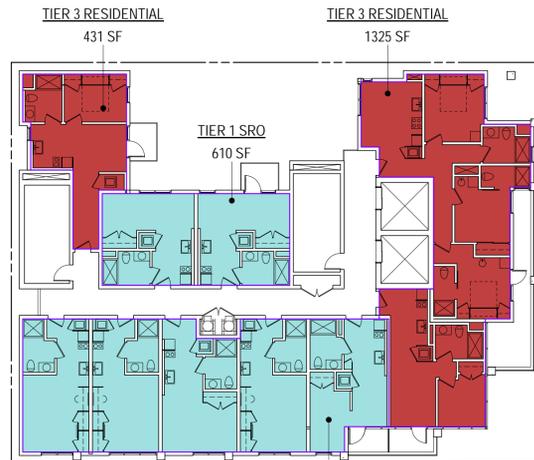
5TH FLOOR FAR PLAN
1/16" = 1'-0" (5)



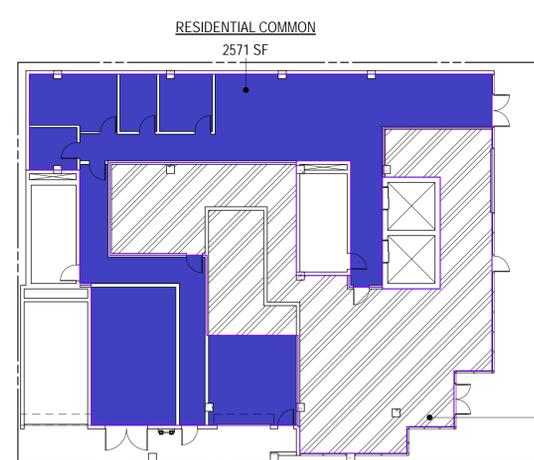
2ND FLOOR FAR PLAN
1/16" = 1'-0" (2)



7TH FLOOR FAR PLAN
1/16" = 1'-0" (7)



4TH FLOOR FAR PLAN
1/16" = 1'-0" (4)



1ST FLOOR FAR PLAN
1/16" = 1'-0" (1)

FAR

SITE AREA: 7,481 SF
ALLOWABLE FAR PER DCP TRANSIT ADJACENT, TIER 3: 4.0 : 1
ALLOWABLE FLOOR AREA: 7,481 SF X 4.0 = 29,924 SF
TIER 1 SRO FAR ALLOWED: 2.25 FAR = 7,481 X 2.25 = 16,832 SF

FLOOR AREA		
LEVEL	TYPE	AREA (SF)
COMMERCIAL		
1ST FLOOR	COMMERCIAL	2,267
COMMERCIAL		
RESIDENTIAL COMMON		
1ST FLOOR	RESIDENTIAL COMMON	2,571
2ND FLOOR	RESIDENTIAL COMMON	332
7TH FLOOR	RESIDENTIAL COMMON	298
RESIDENTIAL COMMON		
TIER 1 SRO		
2ND FLOOR	TIER 1 SRO	745
3RD FLOOR	TIER 1 SRO	2,301
4TH FLOOR	TIER 1 SRO	2,307
5TH FLOOR	TIER 1 SRO	2,703
6TH FLOOR	TIER 1 SRO	1,696
7TH FLOOR	TIER 1 SRO	2,350
8TH FLOOR	TIER 1 SRO	1,670
TIER 1 SRO		
TIER 3 RESIDENTIAL		
2ND FLOOR	TIER 3 RESIDENTIAL	1,772
3RD FLOOR	TIER 3 RESIDENTIAL	1,612
4TH FLOOR	TIER 3 RESIDENTIAL	1,812
5TH FLOOR	TIER 3 RESIDENTIAL	1,387
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7TH FLOOR	TIER 3 RESIDENTIAL	478
8TH FLOOR	TIER 3 RESIDENTIAL	1,372
TIER 3 RESIDENTIAL		
GRAND TOTAL		
		29,924

56% TIER 1 SRO FLOOR AREA
(TIER 1 SRO FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
(13,772 SF / 24,455 SF)

44% TIER 3 FLOOR AREA
(TIER 3 FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
(10,683 SF / 24,455 SF)

PROVIDED FLOOR AREA: TOTAL BUILDING AREA / SITE AREA = 29,924 / 7,481 = 4.0
COMMERCIAL AREA / TOTAL BLDG AREA = 2,267 / 29,924 = 7.6%

PROVIDED TIER 1 SRO FAR: (TIER 1 FLOOR AREA + TIER 1 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (13,772 SF + 56% (3,202 SF + 2,267)) / 7,481 SF = 2.25

PROVIDED TIER 3 RESIDENTIAL FAR: (TIER 3 FLOOR AREA + TIER 3 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (10,683 SF + 44% (3,202 SF + 2,267)) / 7,481 SF = 1.75

- COMMERCIAL
- RESIDENTIAL COMMON
- TIER 1 SRO
- TIER 3 RESIDENTIAL

SHEET TITLE: FAR CALCULATIONS

SCALE: As indicated
DATE: 04.01.2020

SHEET NUMBER: G.020

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SANTA MONICA, CA 90401

OPEN SPACE

OPEN SPACE REQUIREMENTS PER DCP:

25% OF TOTAL BUILDABLE AREA = 7,481 SF X .20 = 1,496 SF

OPEN SPACE REQUIREMENTS PER IZO 2609 FOR TIER 1 SRO:

10 SF / LIVING AREA = 10 SF X 41 = 410 SF

AT LEAST 400 SF IN INTERIOR COMMON SPACE AT GROUND FLOOR ENTRY AREA

200 SF OF INTERIOR COMMON AREA PER FLOOR ABOVE GROUND FLOOR LEVEL.

*OPEN SPACE PROVIDED TO SATISFY DCP STANDARDS MAY ALSO BE USED TO SATISFY ANY AND ALL COMMON AREA REQUIREMENTS FOR THE TIER 1 SRO INCREMENT AS REQUIRED UNDER IZO NO. 2609.

OPEN SPACE PROVIDED

NAME	LEVEL	AREA
COMMON OPEN SPACE	2ND FLOOR	866 SF
COMMON OPEN SPACE	7TH FLOOR	529 SF
COMMON OPEN SPACE	8TH FLOOR	325 SF
COMMON OPEN SPACE	ROOF	1169 SF
COMMON OPEN SPACE		2889 SF
PRIVATE OPEN SPACE	2ND FLOOR	376 SF
PRIVATE OPEN SPACE	3RD FLOOR	364 SF
PRIVATE OPEN SPACE	4TH FLOOR	321 SF
PRIVATE OPEN SPACE	5TH FLOOR	313 SF
PRIVATE OPEN SPACE	6TH FLOOR	430 SF
PRIVATE OPEN SPACE	7TH FLOOR	339 SF
PRIVATE OPEN SPACE	8TH FLOOR	287 SF
PRIVATE OPEN SPACE		2431 SF
GRAND TOTAL		5320 SF

NOTE:
10% LOCATED AT GROUND FLOOR OR AT PODIUM 1 OR 2 LEVELS ABOVE GROUND AND 10% WITHOUT REGULATED LOCATIONS

7,481 SF X .10 = 748 SF REQ'D OPEN SPACE AT LEVEL 1 OR 2
866 SF + 376 SF = 1,242 SF OPEN SPACE PROVIDED AT LEVELS 1-2

OPEN SPACE PROVIDED - COMMON AREA TIER 1 SRO

NAME	LEVEL	AREA
INTERIOR COMMON AREA	2ND FLOOR	326 SF
INTERIOR COMMON AREA	7TH FLOOR	298 SF
INTERIOR COMMON AREA		624 SF
INTERIOR COMMON SPACE AS BLDG ENTRY	1ST FLOOR	400 SF
INTERIOR COMMON SPACE AS BLDG ENTRY		400 SF
GRAND TOTAL		1024 SF

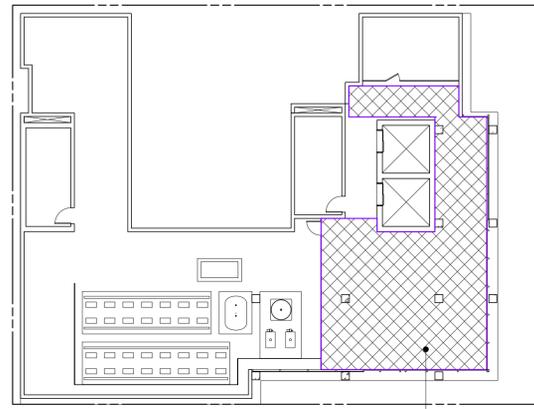
NOTE:
COMMON AREA OF THE SAME SIZE (200 SF) DEDICATED FOR SUCH ACTIVITIES PROVIDED ON THE ROOF SHALL SATISFY THE REQUIREMENT FOR ONE INDIVIDUAL FLOOR IN A STRUCTURE. COMMON AREA ON THE ROOF SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF MUNICIPAL CODE.

COMMON OPEN SPACE

INTERIOR COMMON AREA

INTERIOR COMMON SPACE AS BLDG ENTRY

PRIVATE OPEN SPACE

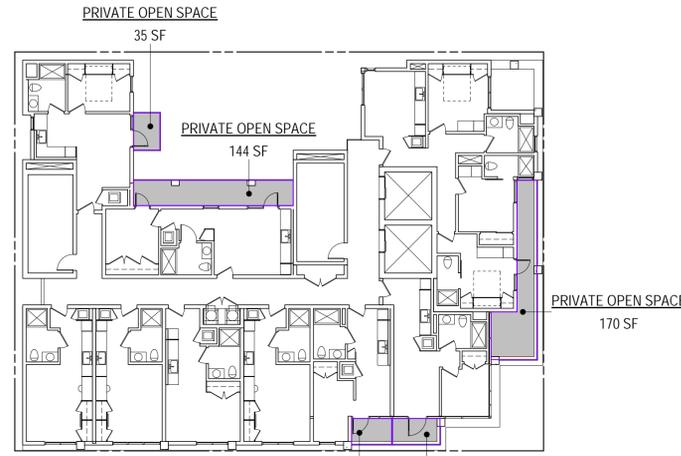


ROOF OPEN SPACE

1/16" = 1'-0"

9

COMMON OPEN SPACE
1169 SF

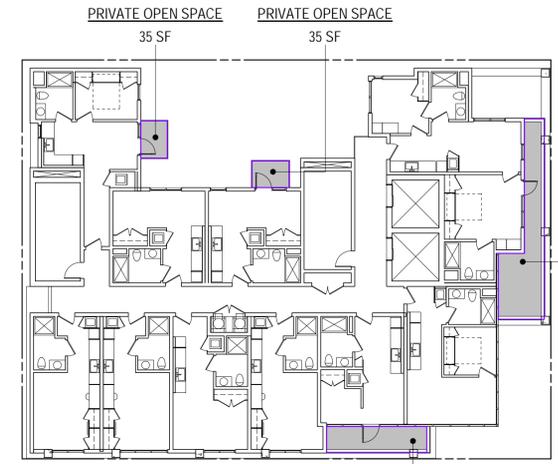


6TH FLOOR OPEN SPACE

1/16" = 1'-0"

6

PRIVATE OPEN SPACE 35 SF
PRIVATE OPEN SPACE 144 SF
PRIVATE OPEN SPACE 170 SF
PRIVATE OPEN SPACE 37 SF
PRIVATE OPEN SPACE 44 SF

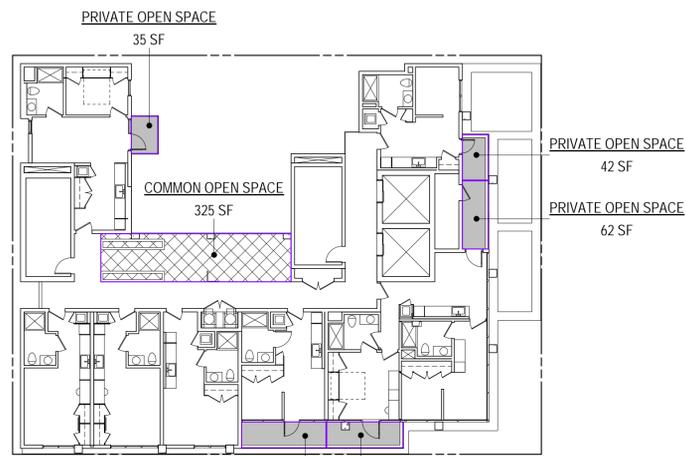


3RD FLOOR OPEN SPACE

1/16" = 1'-0"

3

PRIVATE OPEN SPACE 35 SF
PRIVATE OPEN SPACE 35 SF
PRIVATE OPEN SPACE 202 SF
PRIVATE OPEN SPACE 92 SF

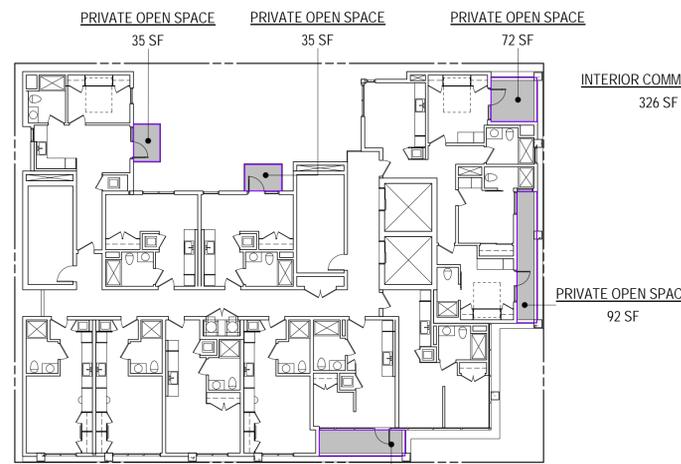


8TH FLOOR OPEN SPACE

1/16" = 1'-0"

8

PRIVATE OPEN SPACE 35 SF
COMMON OPEN SPACE 325 SF
PRIVATE OPEN SPACE 42 SF
PRIVATE OPEN SPACE 62 SF
PRIVATE OPEN SPACE 78 SF
PRIVATE OPEN SPACE 70 SF

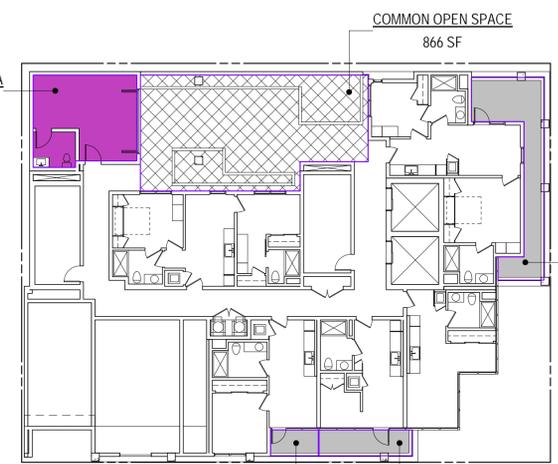


5TH FLOOR OPEN SPACE

1/16" = 1'-0"

5

PRIVATE OPEN SPACE 35 SF
PRIVATE OPEN SPACE 35 SF
PRIVATE OPEN SPACE 72 SF
INTERIOR COMMON AREA 326 SF
PRIVATE OPEN SPACE 92 SF
PRIVATE OPEN SPACE 79 SF

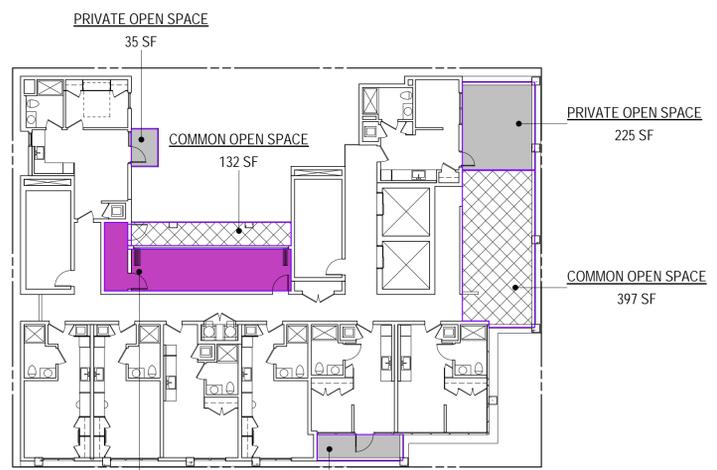


2ND FLOOR OPEN SPACE

1/16" = 1'-0"

2

COMMON OPEN SPACE 866 SF
PRIVATE OPEN SPACE 44 SF
PRIVATE OPEN SPACE 86 SF
PRIVATE OPEN SPACE 247 SF

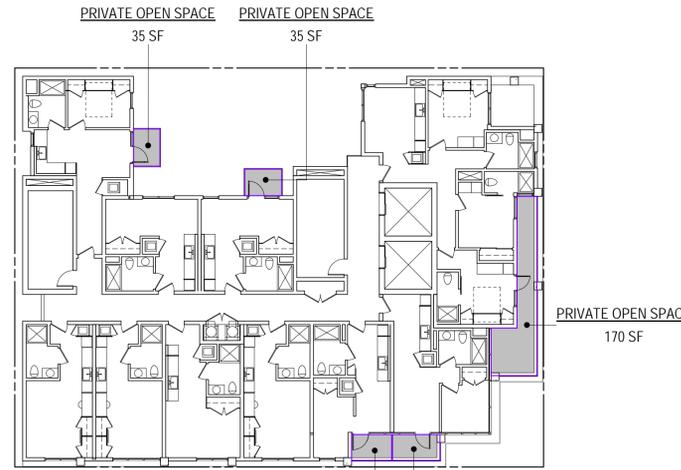


7TH FLOOR OPEN SPACE

1/16" = 1'-0"

7

PRIVATE OPEN SPACE 35 SF
COMMON OPEN SPACE 132 SF
PRIVATE OPEN SPACE 225 SF
COMMON OPEN SPACE 397 SF
INTERIOR COMMON AREA 298 SF
PRIVATE OPEN SPACE 79 SF



4TH FLOOR OPEN SPACE

1/16" = 1'-0"

4

PRIVATE OPEN SPACE 35 SF
PRIVATE OPEN SPACE 35 SF
PRIVATE OPEN SPACE 170 SF
PRIVATE OPEN SPACE 37 SF
PRIVATE OPEN SPACE 44 SF



1ST FLOOR OPEN SPACE

1/16" = 1'-0"

1

INTERIOR COMMON SPACE AS BLDG ENTRY 400 SF
PRIVATE OPEN SPACE 170 SF

OPEN SPACE CALCULATIONS

SCALE: As indicated

DATE: 04.01.2020

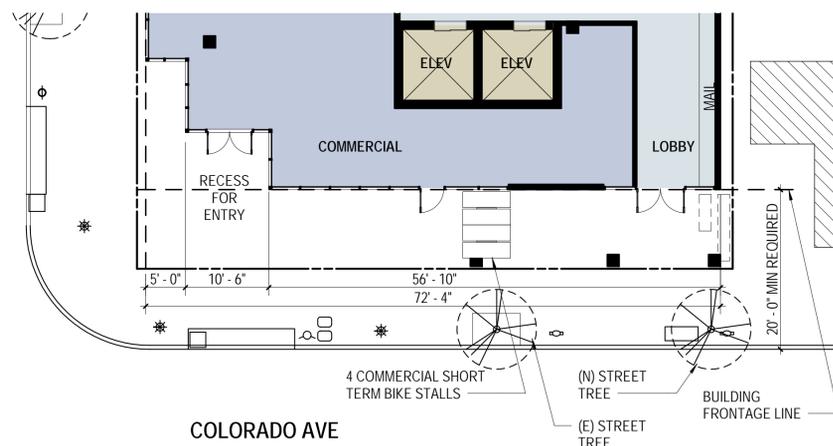
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2020/01/23 3:35 PM

BUILD-TO LINE

BUILDINGS WITH NONRESIDENTIAL USES ON THE GROUND FLOOR AND NOT FACING A RESIDENTIAL DISTRICT SHALL BE CONSTRUCTED AT THE BUILDING FRONTAGE LINE FOR 70 PERCENT OF LINEAR STREET FRONTAGE. BUILDING ENTRIES REQUIRED TO BE RECESSED DUE TO TECHNICAL CODES MAY BE COUNTED TOWARDS THIS REQUIREMENT. THIS REQUIREMENT MAY MODIFIED UPON FINDING THAT:

- A. AN ALTERNATIVE CONFIGURATION CAN BE APPROVED BASED ON THE FINDINGS IN CHAPTER 9.43.020, MINOR MODIFICATIONS.
- B. THE ALTERNATIVE CONFIGURATION MEETS THE OBJECTIVES OF THE DCP DESIGN GUIDELINES.
- C. ENTRY COURTYARDS, PLAZAS, SMALL PARKS, ENTRIES, OUTDOOR EATING AND DISPLAY AREAS, OR OTHER UNCOVERED AREAS DESIGNED AND ACCESSIBLE FOR PUBLIC USE ARE LOCATED BETWEEN THE BUILD-TO LINE AND BUILDING, PROVIDED THAT THE BUILDINGS ARE BUILT TO THE EDGE OF THE COURTYARD, PLAZA, SMALL PARK, OR DINING AREA AND
- D. THE BUILDING INCORPORATES AN ALTERNATIVE ENTRANCE DESIGN THAT CREATES A PEDESTRIAN-ORIENTED ENTRY FEATURE FACING THE STREET.



TOTAL FACADE LENGTH: 72.33'
 LENGTH OF ALLOWABLE FACADE RECESSES: 10.5'
 LENGTH OF REMAINING FACADE: 72.33' - 10.5' = 61.83'
 LENGTH OF FACADE REQUIRED TO BE CONSTRUCTED AT BUILDING FRONTAGE LINE: 61.83' X .70 = 43.28'
 LENGTH OF FACADE PROPOSED TO BE CONSTRUCTED AT BUILD-TO LINE: 56.83'

BUILD-TO-LINE AT COLORADO AVENUE

3/32" = 1'-0"

18

MINIMUM 5 FEET STEPBACK AREA REQUIRED:
 15% OF THE FRONT FACADE BETWEEN ABOVE GROUND FLOOR AND 60'
 35% OF THE FRONT FACADE BETWEEN 60' AND OVERALL BUILDING HEIGHT

FACADE AREA BETWEEN 60' AND OVERALL BUILDING HEIGHT:
 99'-10" X 24'-0" = 2,396 SF

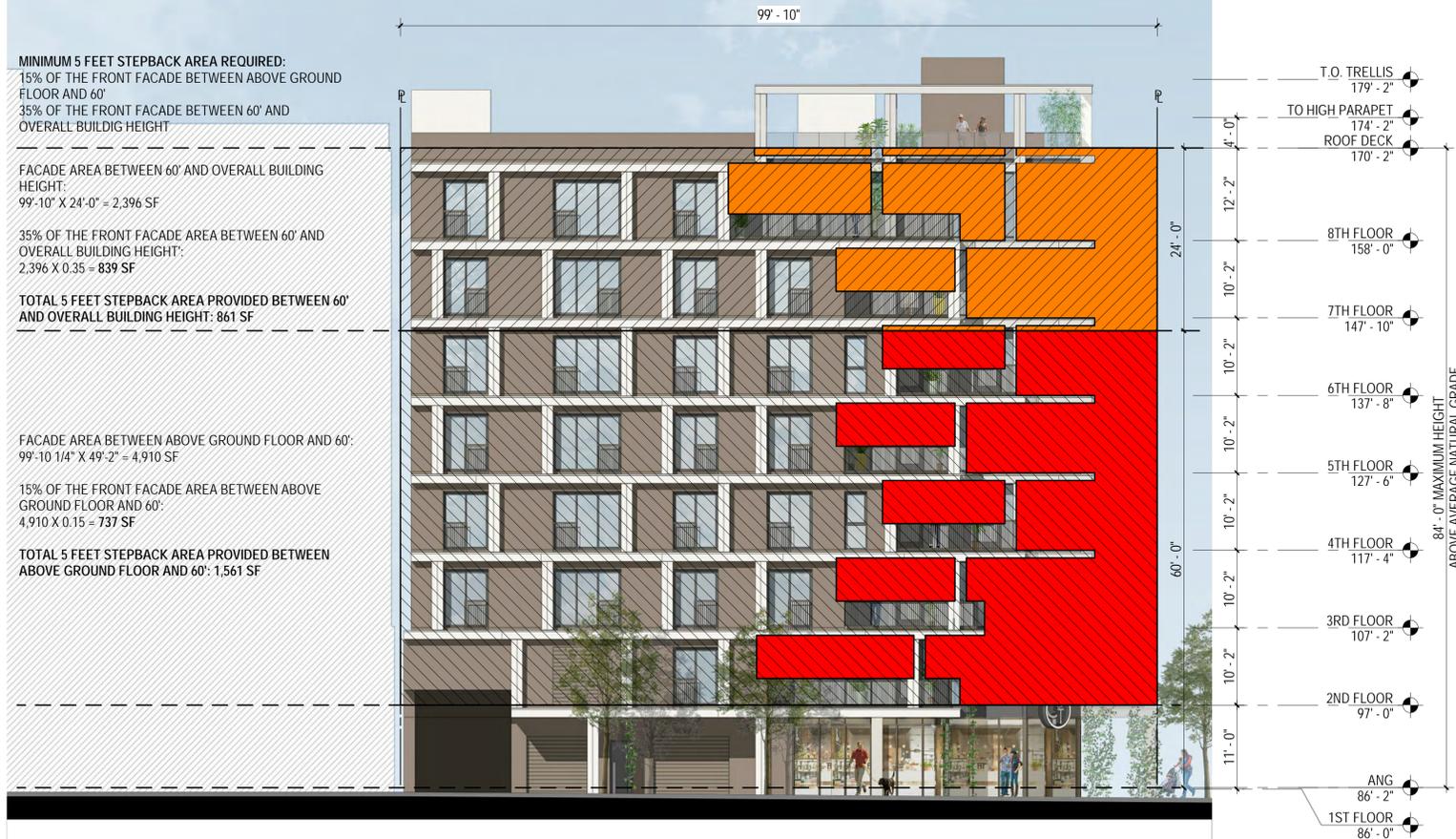
35% OF THE FRONT FACADE AREA BETWEEN 60' AND OVERALL BUILDING HEIGHT:
 2,396 X 0.35 = 839 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED BETWEEN 60' AND OVERALL BUILDING HEIGHT: 861 SF

FACADE AREA BETWEEN ABOVE GROUND FLOOR AND 60':
 99'-10 1/4" X 49'-2" = 4,910 SF

15% OF THE FRONT FACADE AREA BETWEEN ABOVE GROUND FLOOR AND 60':
 4,910 X 0.15 = 737 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED BETWEEN ABOVE GROUND FLOOR AND 60': 1,561 SF



PROVIDED 5 FEET UPPER STEPBACK AREA PROVIDED 5 FEET LOWER STEPBACK AREA FACADE AREA

WEST ELEVATION - STEPBACKS

3/32" = 1'-0"

2

MINIMUM 5 FEET STEPBACK AREA REQUIRED:
 15% OF THE FRONT FACADE BETWEEN ABOVE GROUND FLOOR AND 60'
 35% OF THE FRONT FACADE BETWEEN 60' AND OVERALL BUILDING HEIGHT

FACADE AREA BETWEEN 60' AND OVERALL BUILDING HEIGHT:
 75'-0" X 24'-0" = 1,800 SF

35% OF THE FRONT FACADE AREA BETWEEN 60' AND OVERALL BUILDING HEIGHT:
 1,800 X 0.35 = 630 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED BETWEEN 60' AND OVERALL BUILDING HEIGHT: 690 SF

FACADE AREA BETWEEN ABOVE GROUND FLOOR AND 60':
 75'-0" X 49'-2" = 3,687 SF

15% OF THE FRONT FACADE AREA BETWEEN ABOVE GROUND FLOOR AND 60':
 3,687 X 0.15 = 553 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED BETWEEN ABOVE GROUND FLOOR AND 60': 588 SF

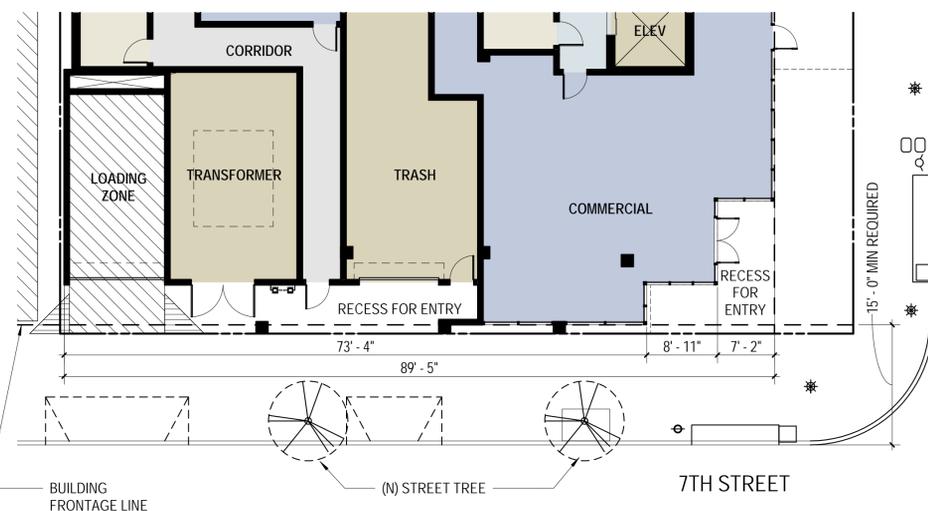


PROVIDED 5 FEET UPPER STEPBACK AREA PROVIDED 5 FEET LOWER STEPBACK AREA FACADE AREA

SOUTH ELEVATION - STEPBACKS

3/32" = 1'-0"

4



TOTAL FACADE LENGTH: 89.42'
 LENGTH OF ALLOWABLE FACADE RECESSES: 52.33' + 7.17' = 59.5'
 LENGTH OF REMAINING FACADE: 89.42' - 59.5' = 29.92'
 LENGTH OF FACADE REQUIRED TO BE CONSTRUCTED AT BUILDING FRONTAGE LINE: 29.92' X .70 = 20.94'
 LENGTH OF FACADE PROPOSED TO BE CONSTRUCTED AT BUILD-TO LINE: 21.0'

BUILD-TO-LINE AT 7TH STREET

3/32" = 1'-0"

20



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BUILDING MODULATION CALCULATIONS

SCALE: 3/32" = 1'-0"

DATE: 04.01.2020

SHEET NUMBER:

G.040

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ALTERNATIVE 12 INCH STEPBACK AREA REQUIRED:
 15% OF THE SIDE FACADE ABOVE 39 FEET HEIGHT FOR
 LOT WIDTH BETWEEN 51 AND 150 FEET

FACADE AREA BETWEEN 39 FEET AND OVERALL
 BUILDING HEIGHT:
 75'-0" X 45'-0" = 3,375 SF

15% OF THE FRONT FACADE AREA BETWEEN 39 FEET
 AND OVERALL BUILDING HEIGHT:
 3,375 X 0.15 = 506 SF

**TOTAL 12 INCH STEPBACK AREA PROVIDED ABOVE 39
 FEET: 3,375 SF**

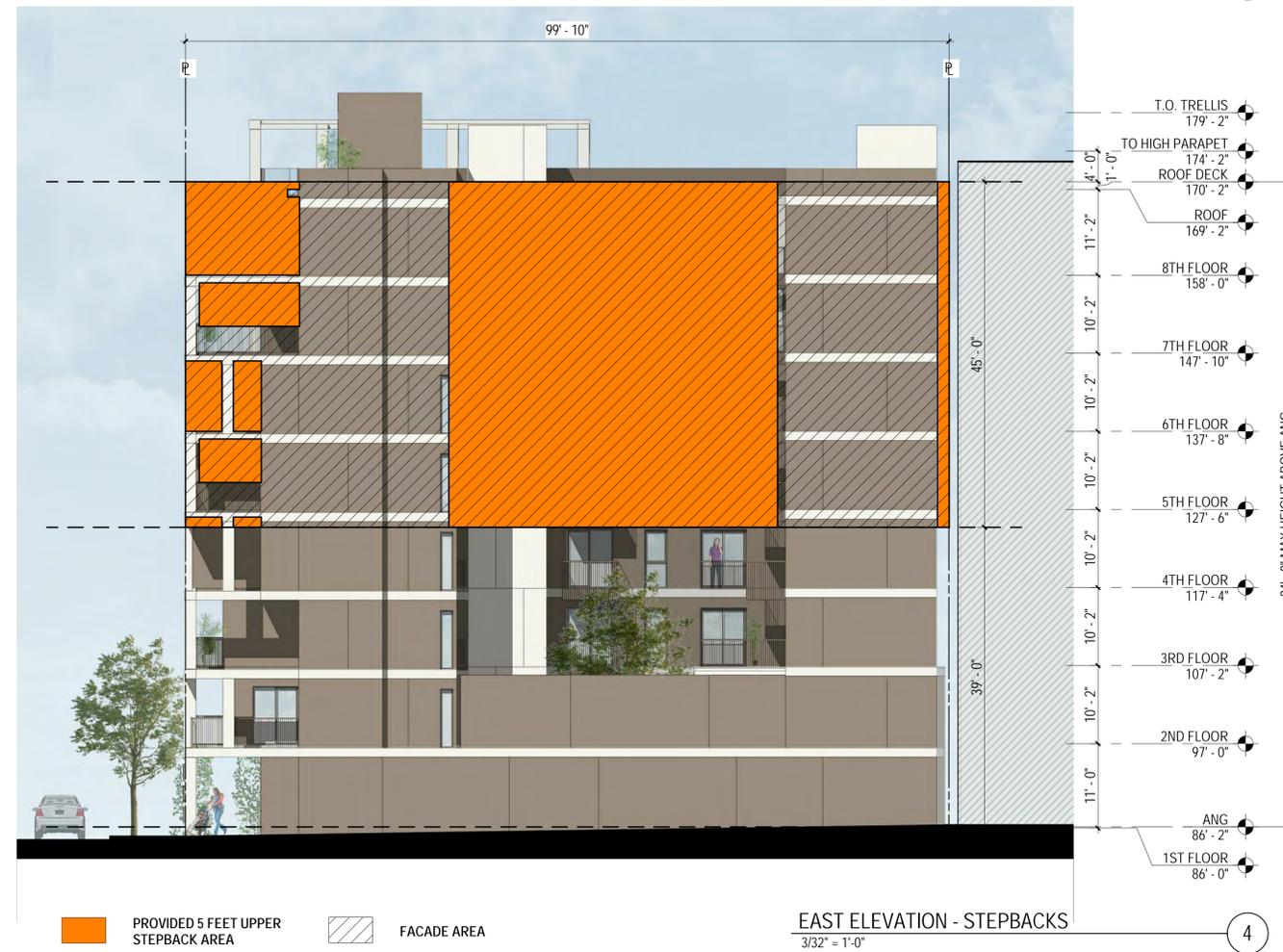


MINIMUM 5 FEET STEPBACK AREA REQUIRED:
 15% OF THE SIDE FACADE ABOVE 39 FEET HEIGHT

FACADE AREA BETWEEN 39 FEET AND OVERALL
 BUILDING HEIGHT:
 99'-10" X 45'-0" = 4,492 SF

15% OF THE FRONT FACADE AREA BETWEEN 39 FEET
 AND OVERALL BUILDING HEIGHT:
 4,492 X 0.15 = 674 SF

**TOTAL 5 FEET STEPBACK AREA PROVIDED ABOVE 39
 FEET: 2,393 SF**



SHEET TITLE:
**BUILDING
 MODULATION
 CALCULATIONS**

SCALE:
 3/32" = 1'-0"

DATE:
 04.01.2020

SHEET NUMBER:
G.041

2020/01/13 11:40 AM



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PRELIMINARY TITLE REPORT
PRELIMINARY TITLE REPORT NO. 00476047-988-DN1, DATED JUNE 22, 2017, AMENDED JULY 7, 2017, AMENDMENT NO. 1, PREPARED BY TICOR TITLE COMPANY, 1500 QUAIL STREET, 3RD FLOOR, NEWPORT BEACH, CA 92660, WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

OWNERSHIP
TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: 1557 7TH STREET, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BASIS OF BEARINGS
THE BEARING N 44°45'00"W OF THE CENTERLINE OF 7TH STREET AS PER PWFB 1113 PAGE 113, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK (#201)
P.K. NAIL IN LEAD NORTH CURB RETURN OF BROADWAY AND 7TH STREET 15.0 FEET NORTHEAST OF NORTHEAST CURB OF 7TH STREET 1.0 FOOT NORTHWEST OF NORTHWEST CURB OF BROADWAY.

ELEVATION = 89.445

LEGAL DESCRIPTION
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
THE SOUTHWESTERLY 75 FEET OF LOT "M" IN BLOCK 192 OF THE SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA, AS PER MAP RECORDED IN BOOK 39, PAGES 45 THROUGH 51, INCLUSIVE OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

PARCEL 2:
THE SOUTHWESTERLY 75 FEET OF LOT "N" IN BLOCK 192 OF THE SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA, AS PER MAP RECORDED IN BOOK 3, PAGES 80 AND 81, AND IN BOOK 39, PAGES 45 THROUGH 51 INCLUSIVE, BOTH OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

ASSESSOR'S PARCEL NUMBER: 4291-022-021

SURVEYOR'S OBSERVATIONS

- THERE IS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- THERE IS NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

PARKING SUMMARY
11 STANDARD SPACES

AREA
7,481 SQ. FT.
0.172 ACRES

ZONING
DSP (DOWNTOWN SPECIFIC PLAN)
NO ZONING REPORT PROVIDED BY CLIENT

SUMMARY OF SCHEDULE "B" - SECTION "B" EXCEPTIONS NOT REPORTED IN THIS SURVEY

ITEM	SUBJECT
1-3	PROPERTY TAXES AND ASSESSMENTS, IF ANY
4	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS
5	ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT
6	DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS (MAY REFER, IN PART, TO THIS SURVEY)
7	MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/ACSM LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. (REFERS TO THIS SURVEY)
8	ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS
9	STATEMENT FROM TITLE COMPANY REGARDING NO OPEN MORTGAGES OR DEEDS OF TRUST
10	ANY RIGHT, INTEREST OR CLAIM THAT MAY EXIST, ARISE OR BE ASSERTED AGAINST TITLE UNDER OR PURSUANT TO THE PERISHABLE AGRICULTURAL COMMODITIES ACT OF 1930

FLOOD HAZARD STATEMENT
THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06037C1590F DATED SEPTEMBER 26, 2008, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SURVEYOR'S CERTIFICATE
TO: 1557 7TH STREET, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AND TICOR TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, AND 20 (\$1,000,000) OF TABLE A THEREOF. THE ORIGINAL FIELDWORK WAS COMPLETED ON AUGUST 1, 2017.

DATE: AUGUST 17, 2017

JEFF S. VOORHEIS, L.S. 7570



VICINITY MAP
NOT TO SCALE

ABBREVIATIONS

ASPH	ASPHALT	GM	GAS METER
BLDG	BUILDING	GP	GUARD POST
BW	BACK OF WALK	GS	GROUND SHOT
CLF	CHAIN LINK FENCE	L&T	LEAD AND TAG
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
CONC	CONCRETE	O/S	OFFSET
COND	CONDUIT	PLTR	PLANTER
E	ELECTRIC	FOR	PORTION
EC	EDGE OF CONCRETE	S&W	SPIKE & WASHER
EG	EDGE OF GUTTER	SCO	SEWER CLEANOUT
EP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE
FOUND	FOUNDATION	SLPB	STREET LIGHT PULL BOX
FF	FINISHED FLOOR	SMH	SANITARY MANHOLE
FG	FINISHED GRADE	TC	TOP OF CURB
FH	FIRE HYDRANT	TRAF	TRAFFIC
FL	FLOW LINE	TSPB	TRAFFIC SIGNAL PULL BOX
FW	FACE OF WALL	TW	TOP OF WALL
FS	FINISHED SURFACE	WM	WATER METER
GB	GRADE BREAK	WV	WATER VALVE

SYMBOL LEGEND

(○)	TREE (SIZE, TYPE AS NOTED)	(○)	STORM/SANITARY MANHOLE (AS NOTED)
(○)	STREET LIGHT/TRAFFIC SIGNAL	(○)	GAS METER
(○)	WATER METER	(○)	TRAFFIC SIGNAL PULL BOX
(○)	WATER VALVE	(○)	STREET LIGHT PULL BOX
(○)	SIGN	(○)	CABLE TV PULL BOX
(○)	PARKING METER	(○)	MONUMENT FOUND (SIZE, TYPE AS NOTED)

LINETYPES

(---)	BUILDING LINE
(---)	CENTER LINE
(---)	PROPERTY LINE
(---)	RIGHT OF WAY LINE
(---)	FENCE LINE (SIZE, TYPE AS NOTED)
(---)	WALL (SIZE, TYPE AS NOTED)
(---)	GAS UTILITY LINE
(---)	ELECTRIC UTILITY LINE

REVISIONS:

DATE	BY	DESCRIPTION

Client: 1557 7TH STREET, LLC
1430 5th STREET, #101
SANTA MONICA, CA 90401
Phone:
Fax:
DATE: 08/17/2017

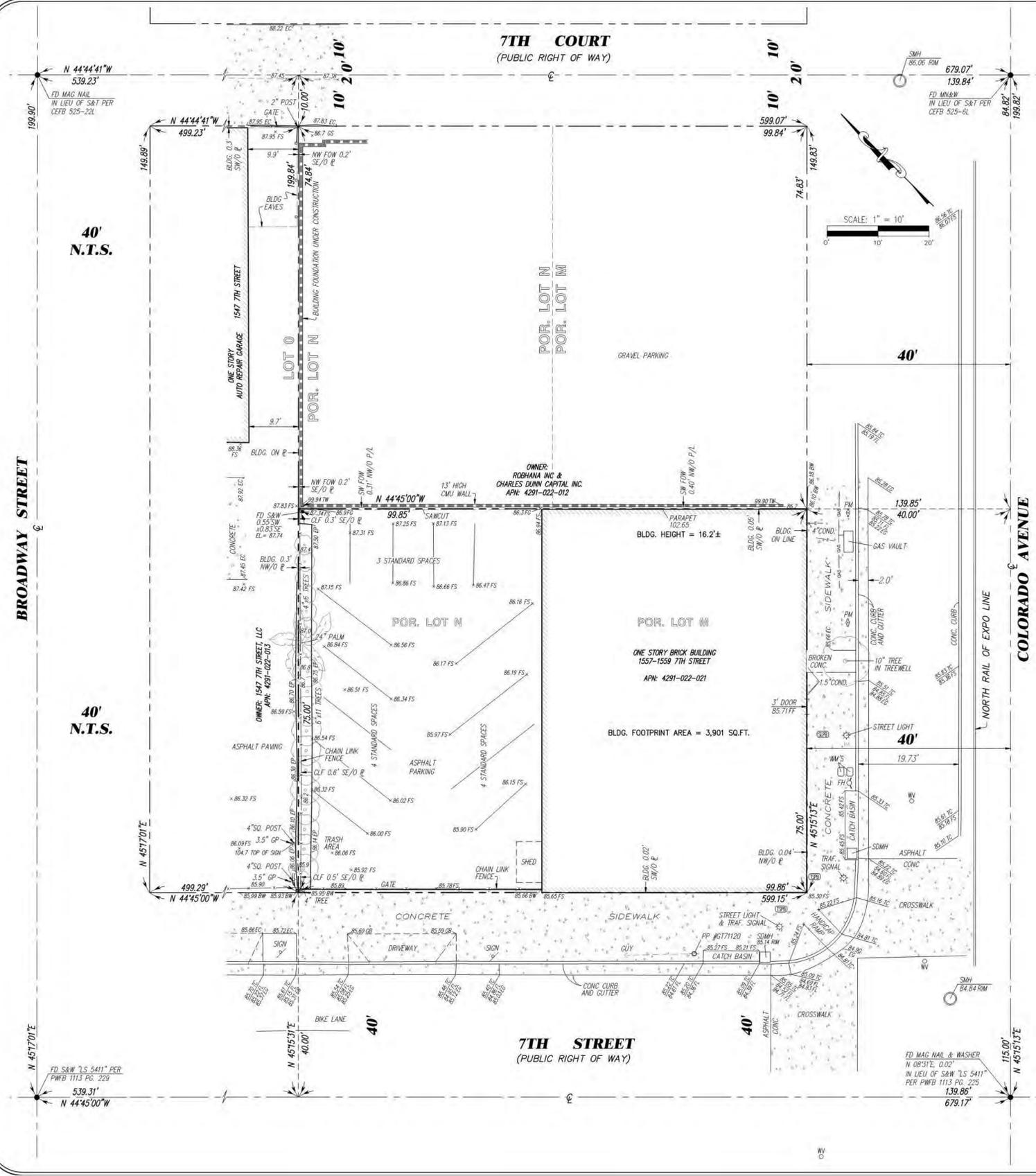
ALTA/ACSM LAND TITLE SURVEY
VOORHEIS & VOORHEIS, INC.
1557-1559 7TH STREET
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mail@SurveyLA.com

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17049 Sunburst Street, Northridge, CA 91325
Phone: (818) 993-5611
mail@SurveyLA.com

SHEET 1 OF 1

SHEET TITLE: SURVEY

SCALE:
DATE: 04.01.2020
SHEET NUMBER: G.050



AVERAGE NATURAL GRADE

$$\frac{(85.30' + 85.93' + 86.10' + 87.34')}{4} = 86.16'$$

(E) PARKING LOT /
PROPOSED 5-STORY
BUILDING



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7TH CT

EXISTING ALLEY

(E) ADJACENT
4 STORY
BUILDING

PROPOSED 8 STORY
BUILDING AT 1543 7TH
STREET

PROPOSED 7 STORY
BUILDING AT 711
COLORADO

PROPOSED 8-STORY MIXED
USE BUILDING WITH 41 SRO
AND 18 TIER 3 UNITS, GROUND
FLOOR COMMERCIAL AND 2
LEVELS OF SUBTERRANEAN
STORAGE

BUILDING FOOTPRINT = 7,065 SF

OUTLINE OF
BUILDING ABOVE

20'-0" REQUIRED

BUILDING FRONTAGE
LINE

(N) STREET TREE

1

2

1

(E) STREET TREE

OUTLINE OF
BUILDING ABOVE

3

4

5

6

7

8

COLORADO AVE

(E) ADJACENT
1 STORY
BUILDING

OUTLINE OF
BUILDING ABOVE

BUILDING FRONTAGE
LINE
(E) CURB AND GUTTER

(N) STREET TREE

10

6

9

7

7TH ST

(E) ADJACENT 5-
STORY
BUILDING

(E) ADJACENT
3-STORY
BUILDING

(E) ADJACENT
5-STORY
BUILDING

(E) ADJACENT
4-STORY
BUILDING

(E) ADJACENT
1-STORY
BUILDING

- 1 (E) PARKING METER
- 2 (E) GAS VAULT
- 3 (E) STREET LIGHT
- 4 (E) WATER METERS
- 5 (E) FIRE HYDRANT
- 6 (E) CATCH BASIN
- 7 (E) STORM DRAIN MANHOLE
- 8 (E) TRAFFIC SIGNAL
- 9 (E) STREET LIGHT AND TRAFFIC SIGNAL
- 10 (E) POWER POLE

SITE PLAN
1/16" = 1'-0"

5



SHEET TITLE:
SITE PLAN

SCALE:
1/16" = 1'-0"
DATE:
04.01.2020

SHEET NUMBER:
A.000

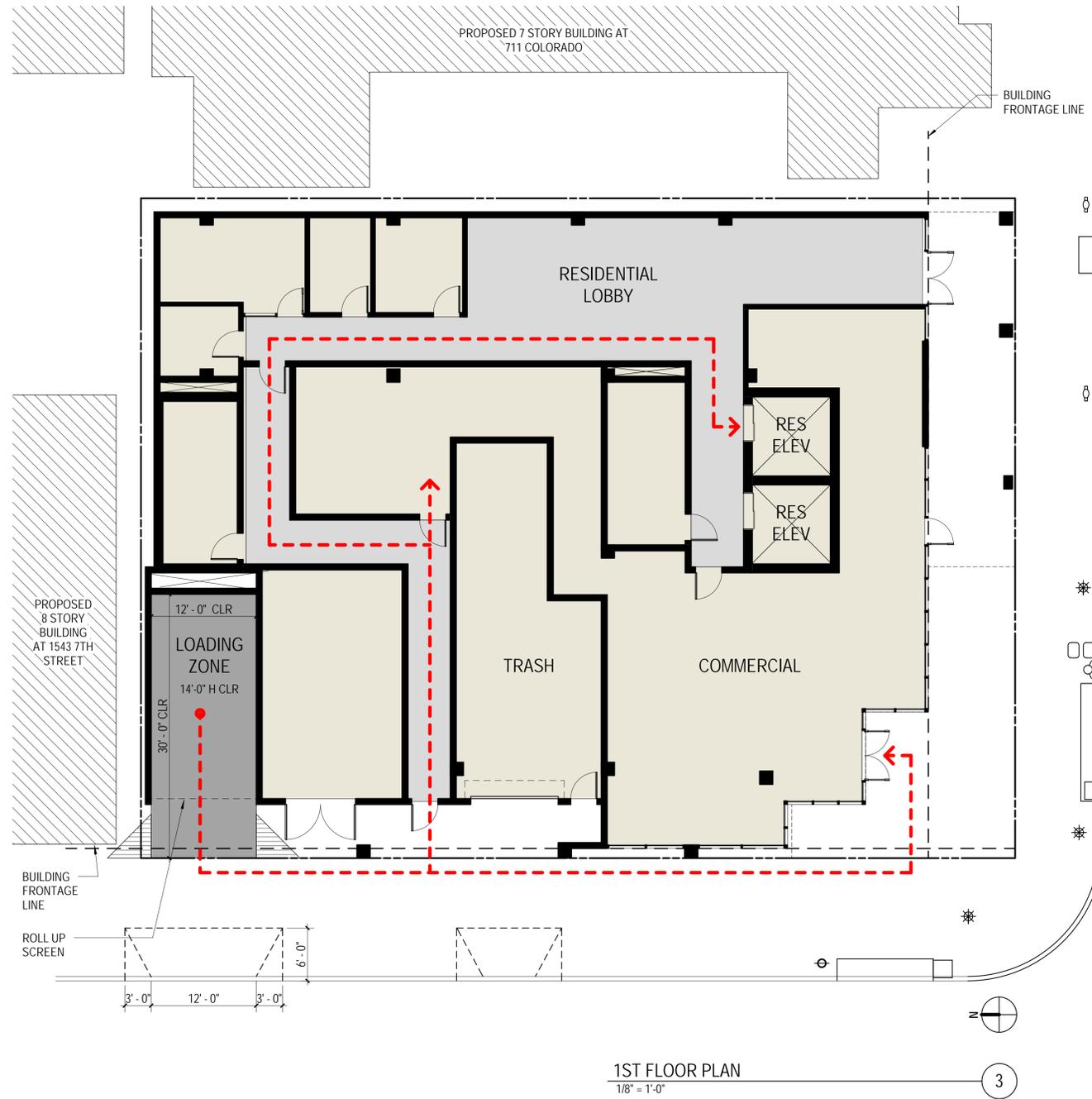
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1ST FLOOR PLAN
1/8" = 1'-0"

SHEET TITLE:
LOADING PLAN

SCALE:
1/8" = 1'-0"
DATE:
04.01.2020

SHEET NUMBER:
A.010

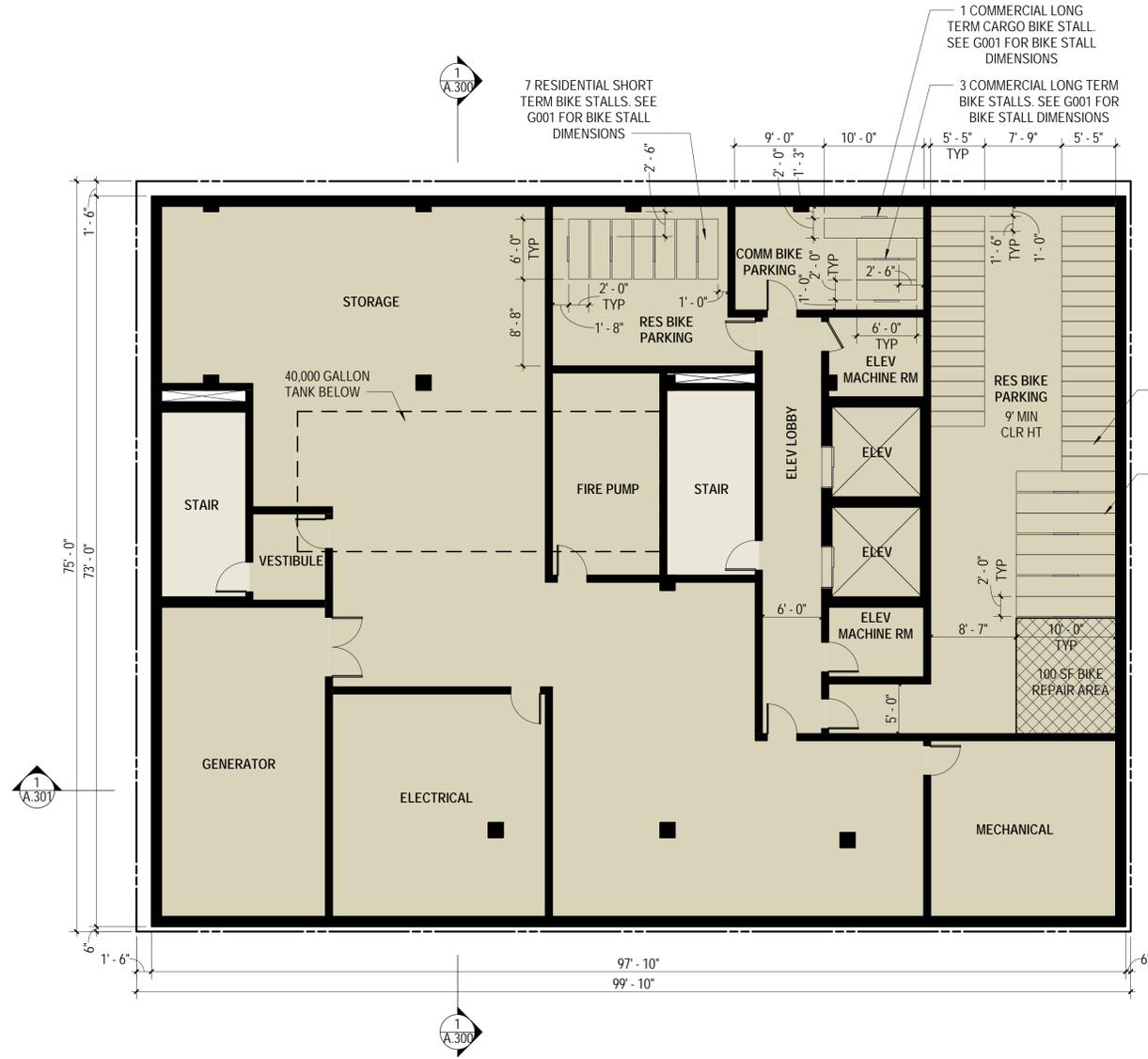
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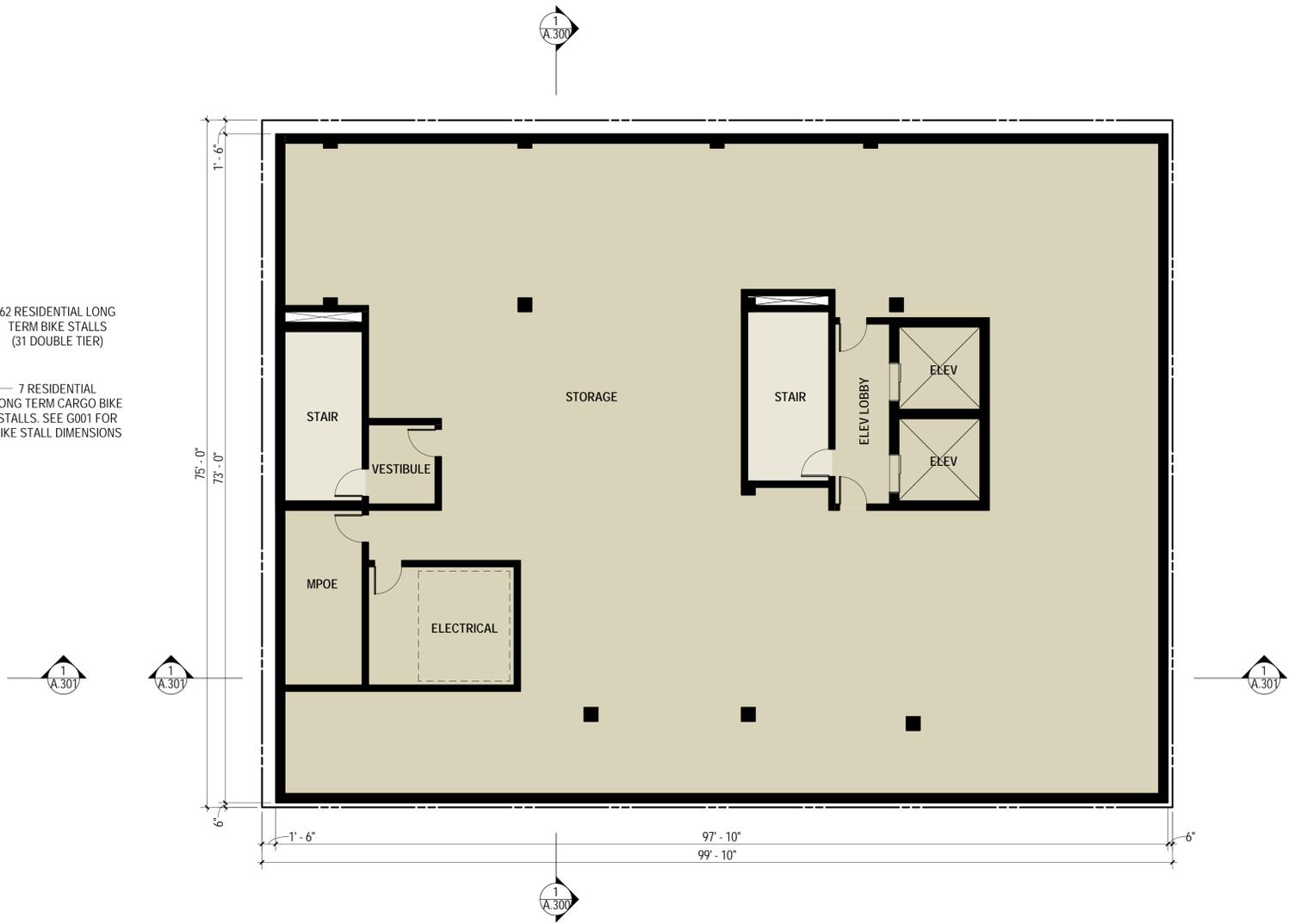
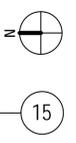
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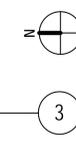
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LEVEL B2 PLAN
 1/8" = 1'-0"



LEVEL B1 PLAN
 1/8" = 1'-0"





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3

SHEET TITLE
1ST FLOOR PLAN

SCALE:
 1/8" = 1'-0"

DATE:
 04.01.2020

SHEET NUMBER:
A.110

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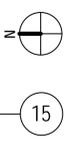
1625 OLYMPIC BOULEVARD
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 310.399.7975
 KFALOSANGELES.COM

701 COLORADO

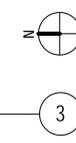
701 COLORADO AVE
 SANTA MONICA, CA 90401



4TH FLOOR PLAN
 1/8" = 1'-0"



5TH FLOOR PLAN
 1/8" = 1'-0"





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SOLAR VOLTAIC CALCULATION PER SMMC 5.201.4:
MINIMUM TOTAL WATTAGE = BUILDING FOOTPRINT (SF) X 2.0
7,065 (SF) X 2.0 = 14,130W
14,130W / 444W (PER PANEL) = 32 PANELS

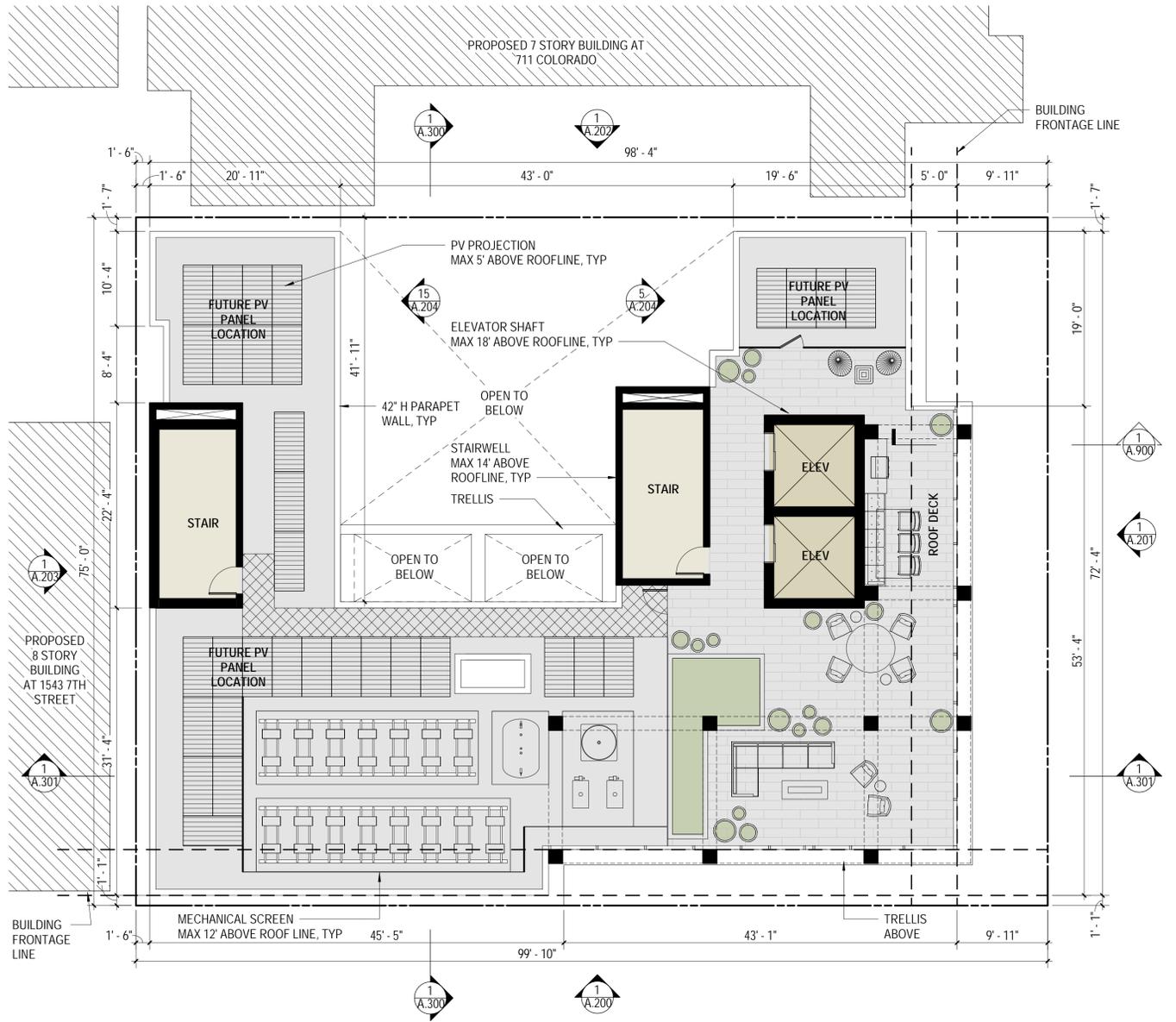
701 COLORADO

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8TH FLOOR PLAN
1/8" = 1'-0"

15



ROOF PLAN
1/8" = 1'-0"

3

8TH FLOOR & ROOF PLANS

SCALE:
1/8" = 1'-0"
DATE:
04.01.2020

SHEET NUMBER:
A.150

2020/01/14 2:22:23 PM



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ELEVATION - WEST
 1/8" = 1'-0"

1

SHEET TITLE:
ELEVATION

SCALE:
 1/8" = 1'-0"

DATE:
 04.01.2020

SHEET NUMBER:
A.200

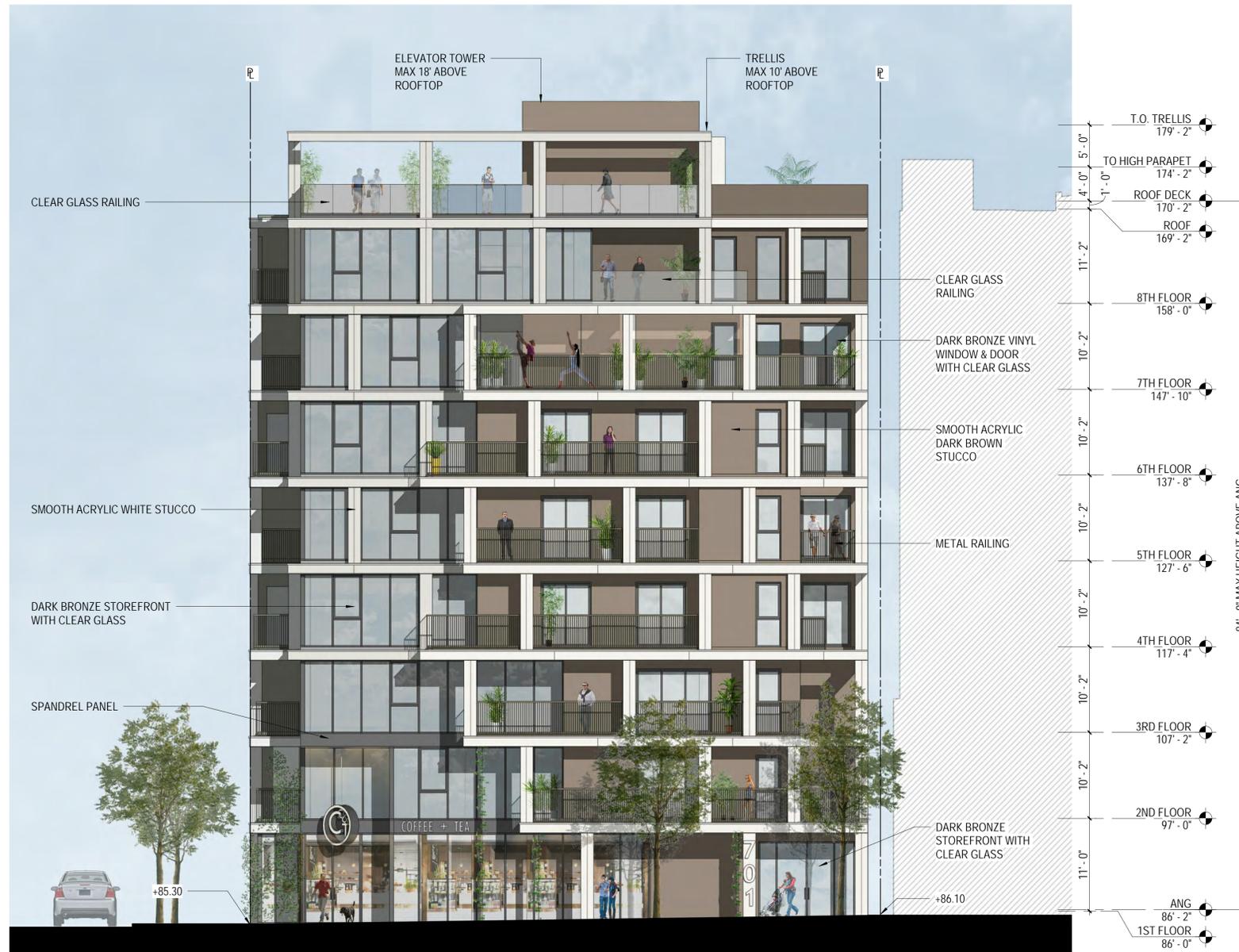
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ELEVATION - SOUTH
 1/8" = 1'-0"

1

SHEET TITLE:
ELEVATION

SCALE:
 1/8" = 1'-0"

DATE:
 04.01.2020

SHEET NUMBER:
A.201

2020/01/23 2:25 PM



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ELEVATION - EAST
 1/8" = 1'-0"

1

SHEET TITLE:
ELEVATION

SCALE:
 1/8" = 1'-0"

DATE:
 04.01.2020

SHEET NUMBER:
A.202

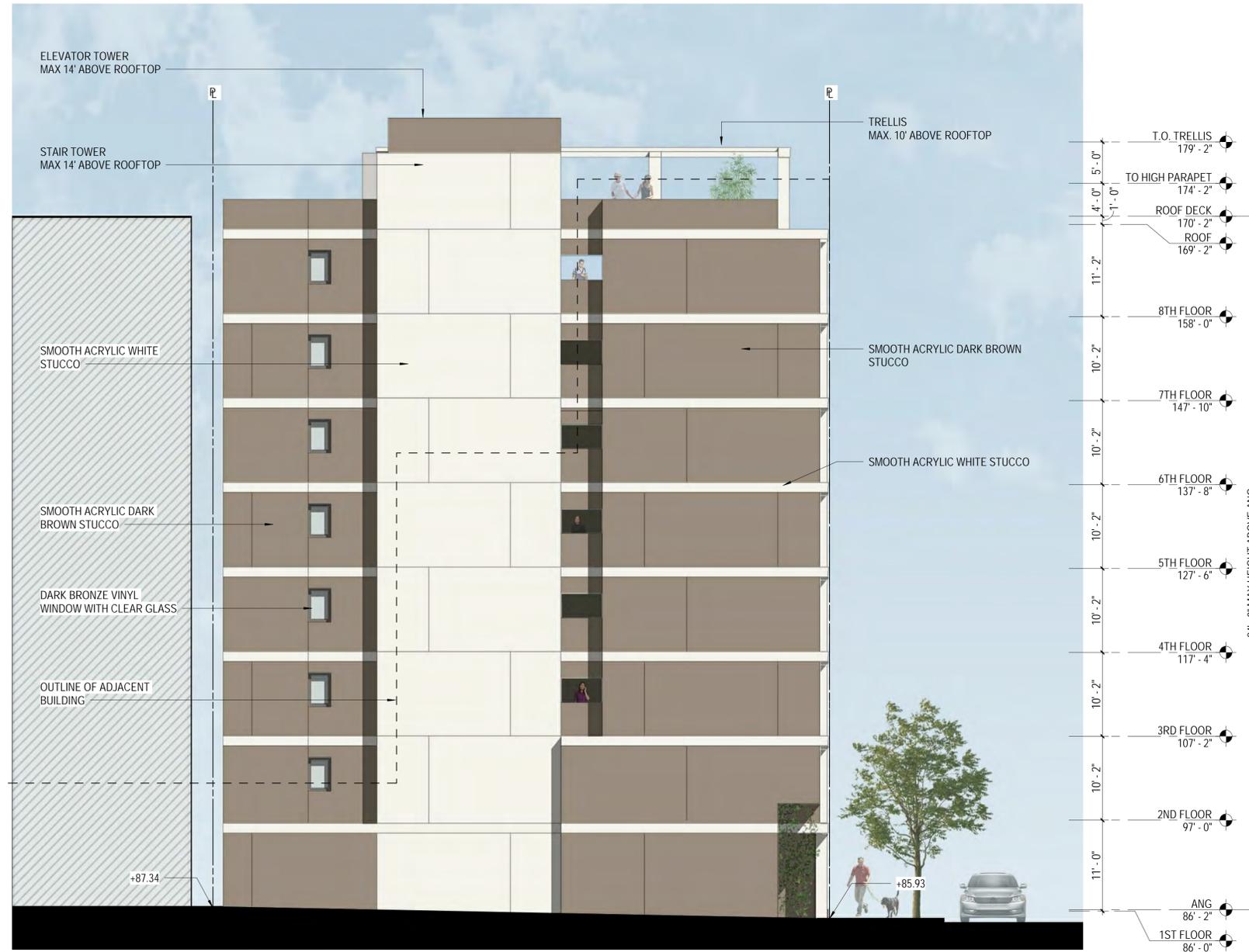
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ELEVATION - NORTH
 1/8" = 1'-0"

1

SHEET TITLE:
ELEVATION

SCALE:
 1/8" = 1'-0"

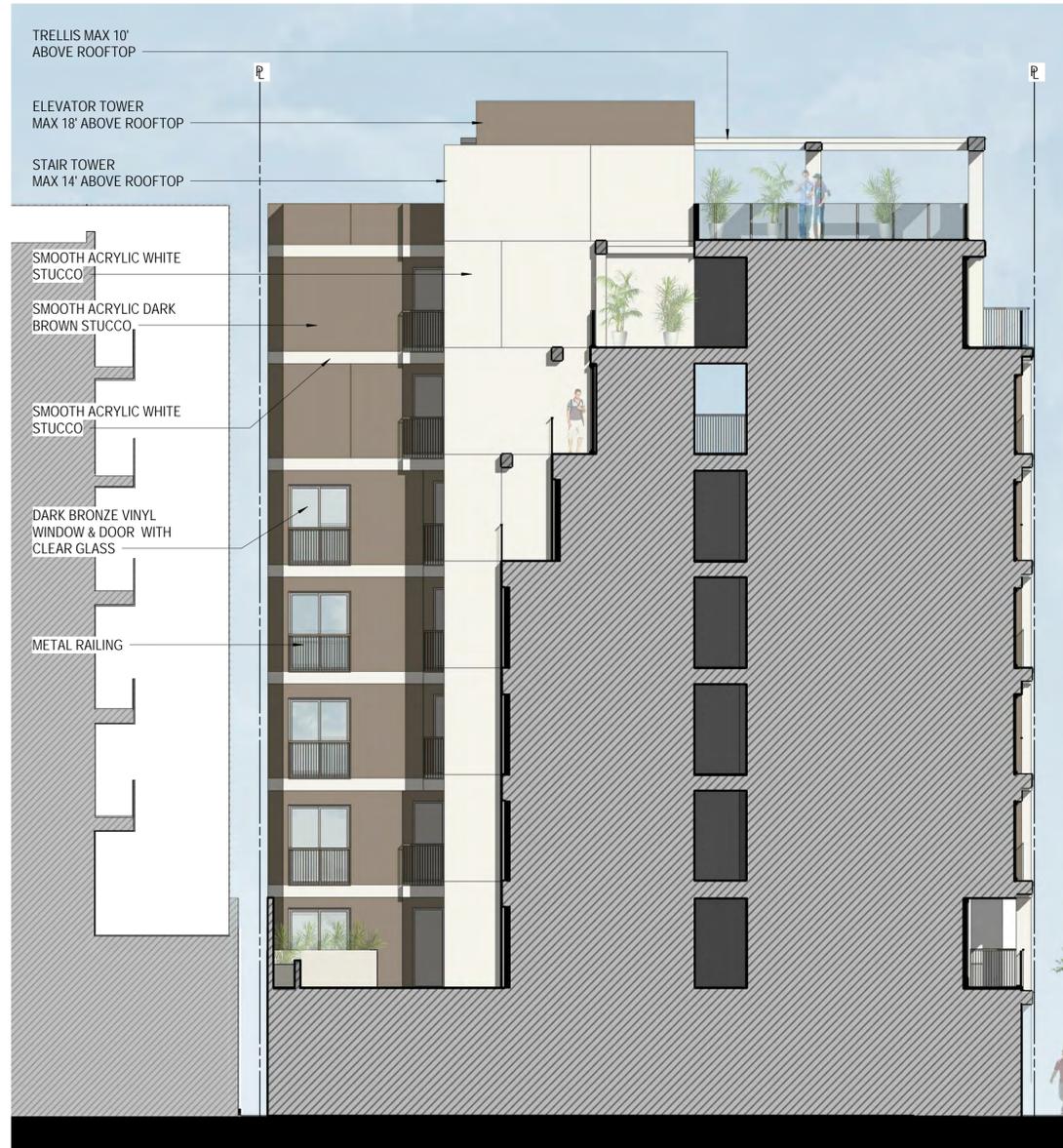
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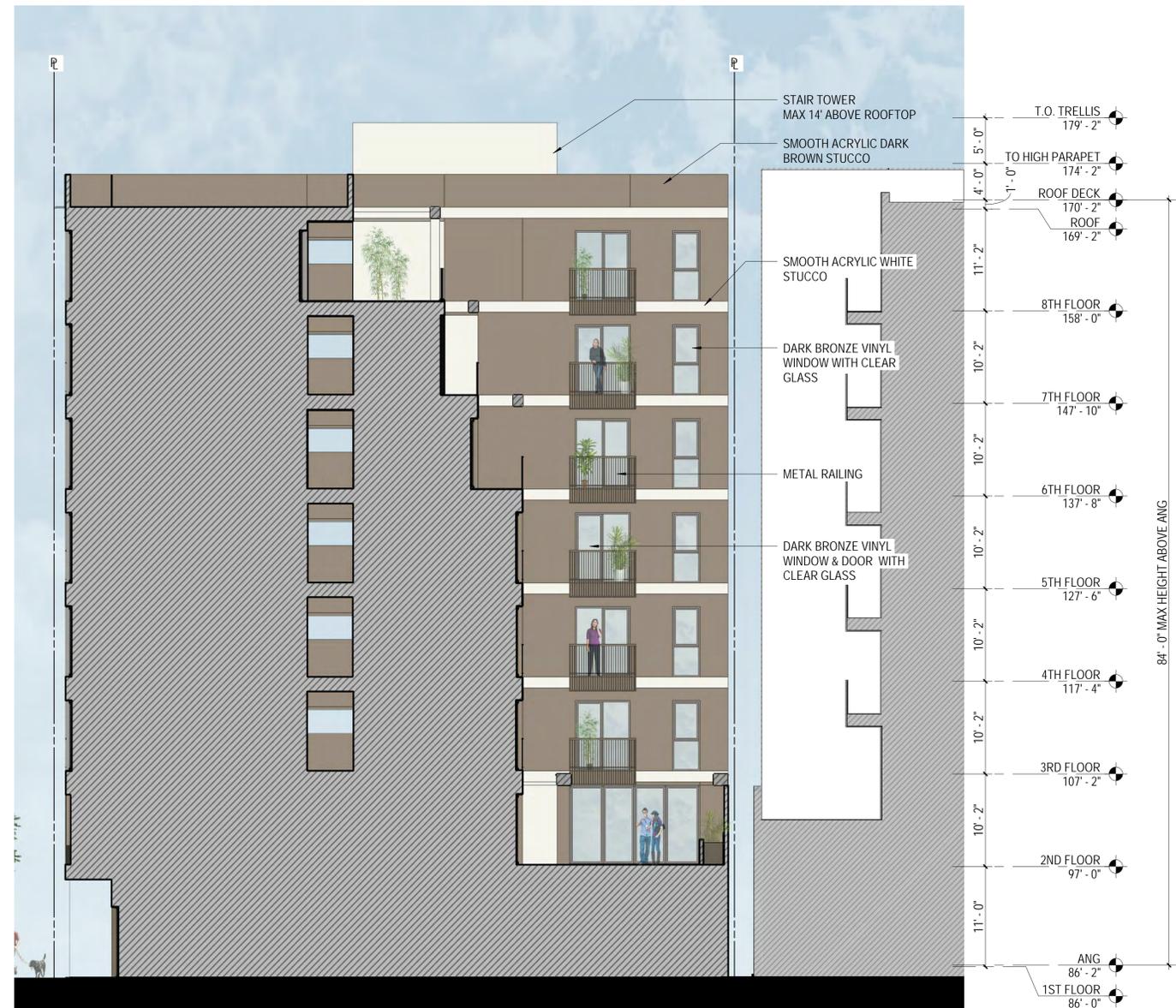


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COURTYARD WEST ELEVATION
 1/8" = 1'-0"

15



COURTYARD EAST ELEVATION
 1/8" = 1'-0"

5

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SHEET TITLE:
ELEVATIONS

SCALE:
 1/8" = 1'-0"

DATE:
 04.01.2020

SHEET NUMBER:
A.204

2020/01/14 4:22:25 PM



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SHEET TITLE:
RENDERING

SCALE:

DATE:
04.01.2020

SHEET NUMBER:
A.210

2020/01/04 4:23:30 PM



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SHEET TITLE:
RENDERING

SCALE:

DATE:
04.01.2020

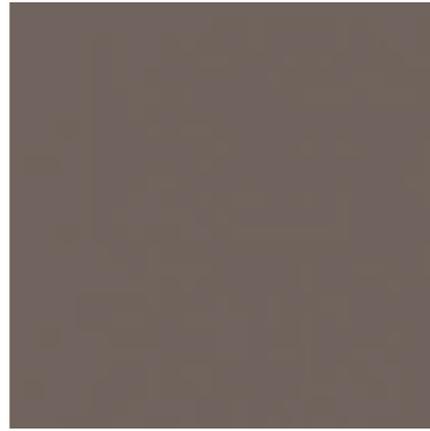
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A.211

20200401 4:23:32 PM



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1a, 1b



'TEA BAG' DARK BROWN
PLASTER WITH SMOOTH
FINISH (1a) AND LIGHT SAND
FINISH (1b)

2a, 2b



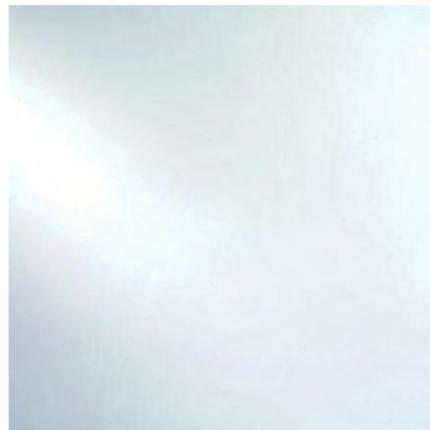
'FRENCH WHITE' WHITE
PLASTER WITH SMOOTH
FINISH (2a) AND LIGHT SAND
FINISH (2b)

3



'JET' DARK GREY METAL
RAILING

4



CLEAR GLASS GUARDRAIL

5



GLASS SPANDREL

6



'JET' DARK GREY SPANDREL

7a, 7b



STOREFRONT (7a) AND DARK
BRONZE VINYL WINDOW (7b)
WITH CLEAR GLASS

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SHEET TITLE:
MATERIAL BOARD

SCALE:

DATE:
04.01.2020

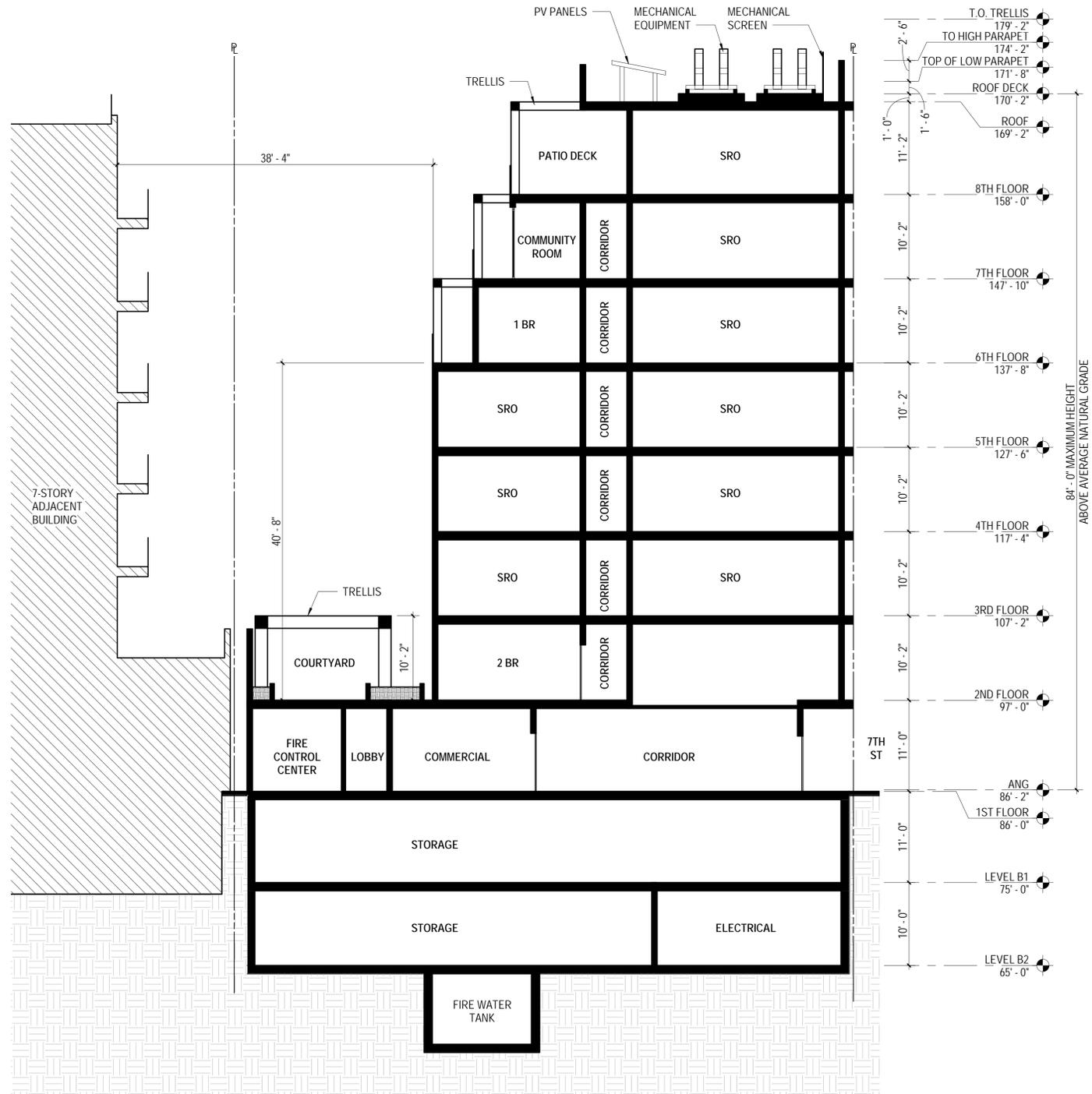
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A.220

2020/01/04 02:32 PM



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COURTYARD HEIGHT TO WIDTH RATIO (N-S)
 REQ'D MIN. HEIGHT TO WIDTH RATIO = 1.7 : 1
 REQ'D COURTYARD WIDTH FOR 84' HIGH
 COURTYARD WALL = 40'-8" / 1.7 = 23.9'
 PROVIDED COURTYARD WIDTH = 24'



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CROSS SECTION AT COURTYARD
 1/8" = 1'-0"

1

SHEET TITLE:
BUILDING SECTION

SCALE:
 1/8" = 1'-0"

DATE:
 04.01.2020

SHEET NUMBER:
A.300

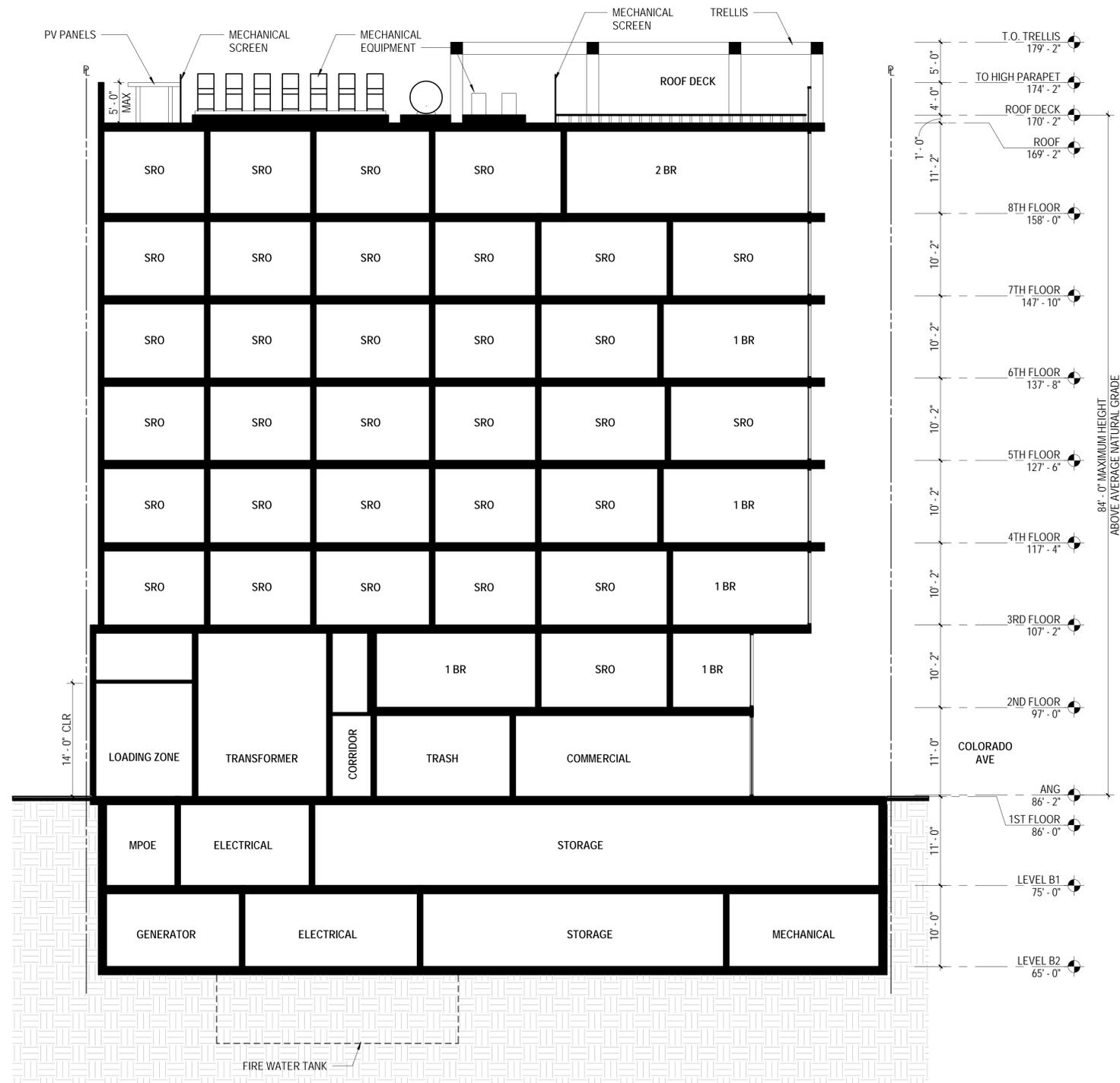
2020/01/23 2:33 PM



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LONGITUDINAL SECTION AT TRANSFORMER

1

SHEET TITLE
BUILDING SECTION

SCALE:
 1/8" = 1'-0"

DATE:
 04.01.2020

SHEET NUMBER:
A.301

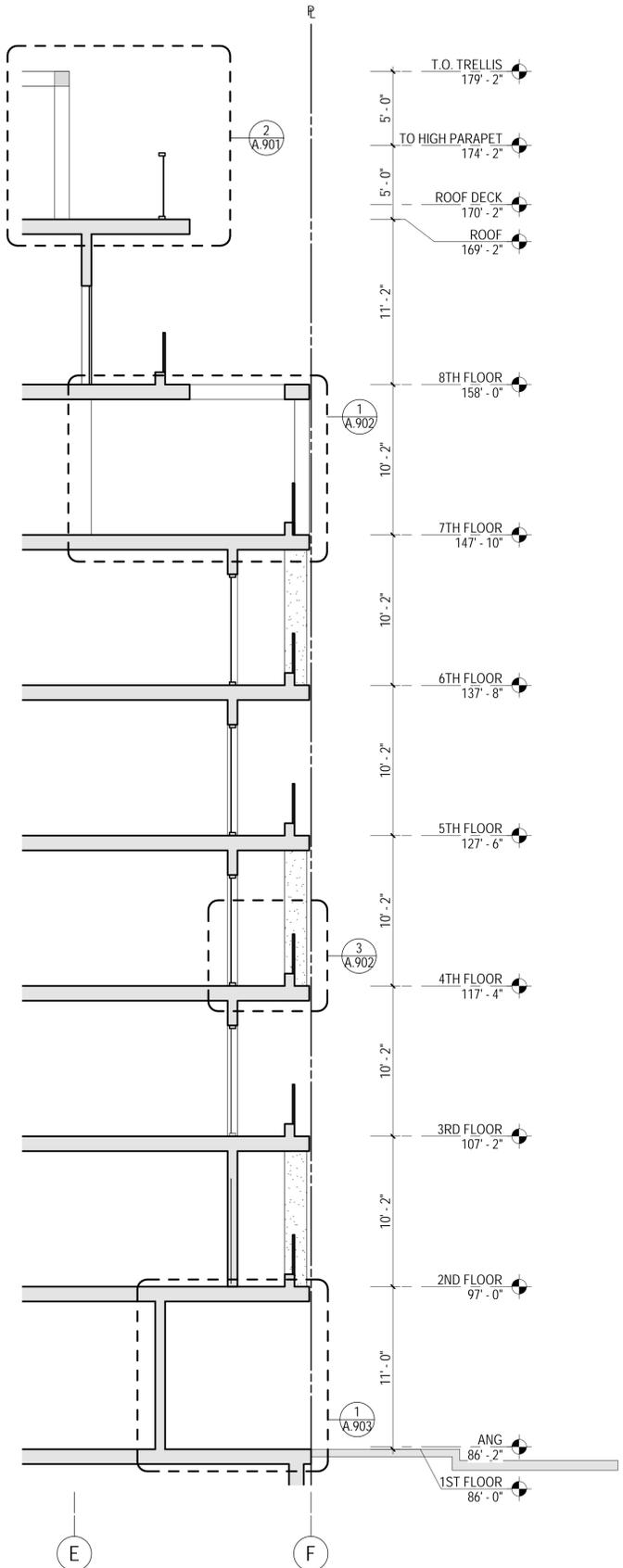
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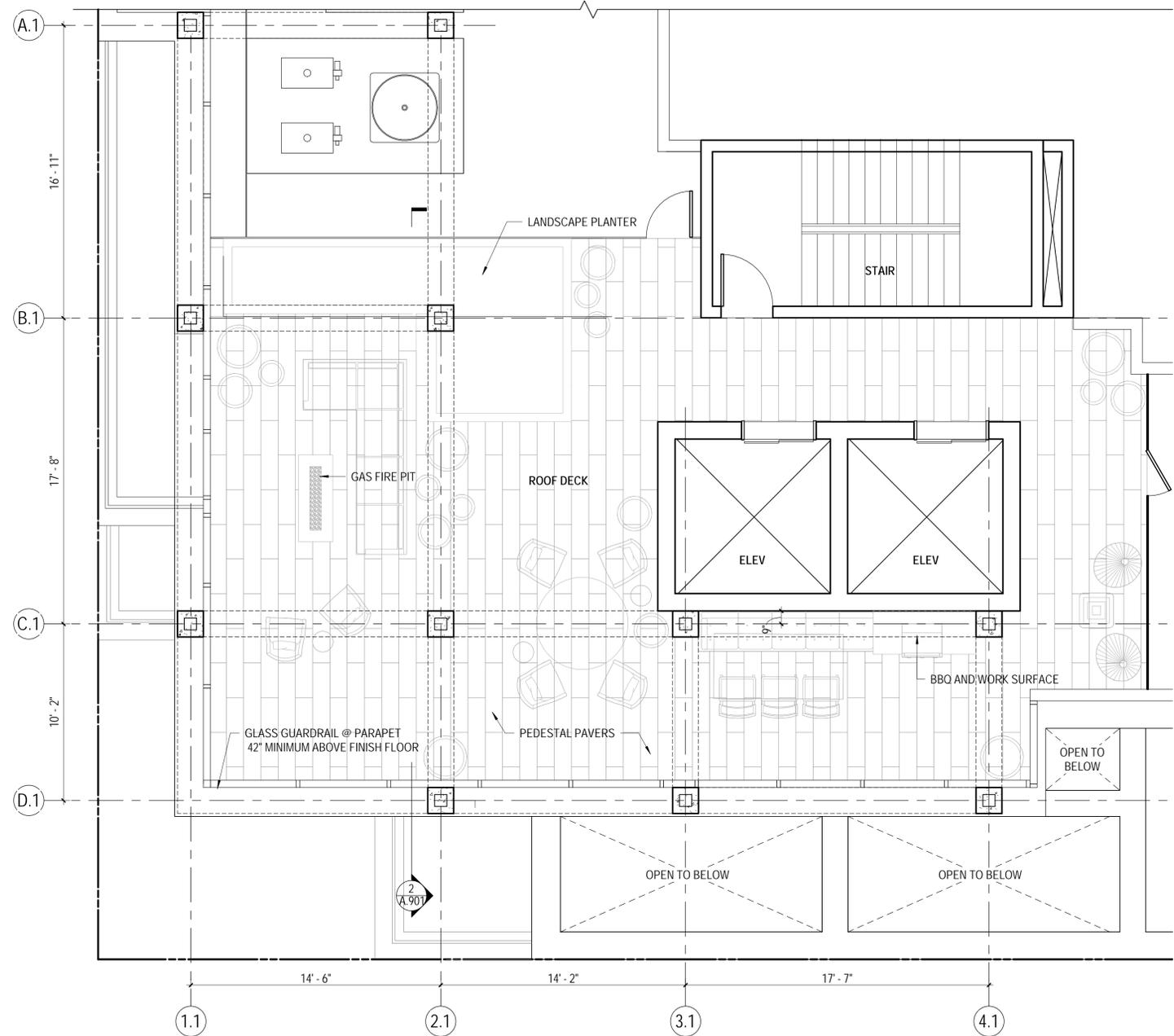
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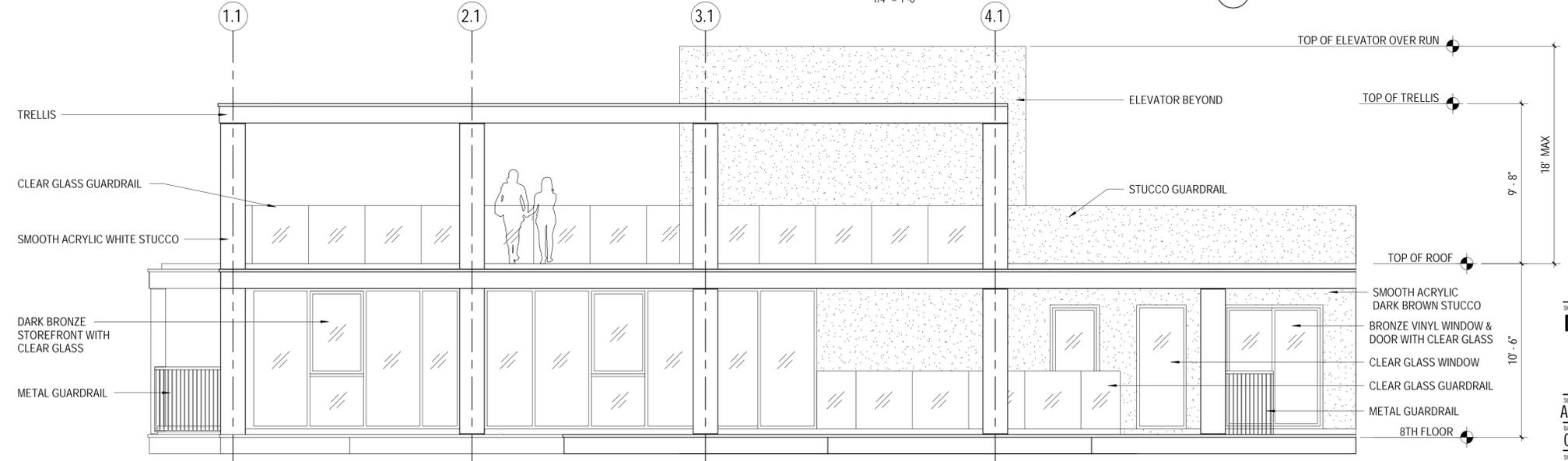
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 SANTA MONICA, CA 90401



WALL SECTION 1
 3/16" = 1'-0"



ENLARGED ROOF DECK PLAN
 1/4" = 1'-0"



ROOF DECK ELEVATION
 1/4" = 1'-0"

SHEET TITLE: **DETAILS**

SCALE: As indicated
 DATE: 04.01.2020
 SHEET NUMBER: **A.900**

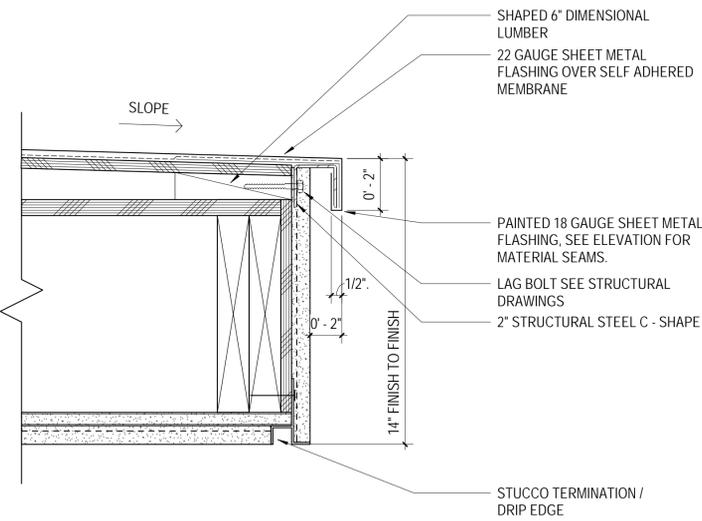
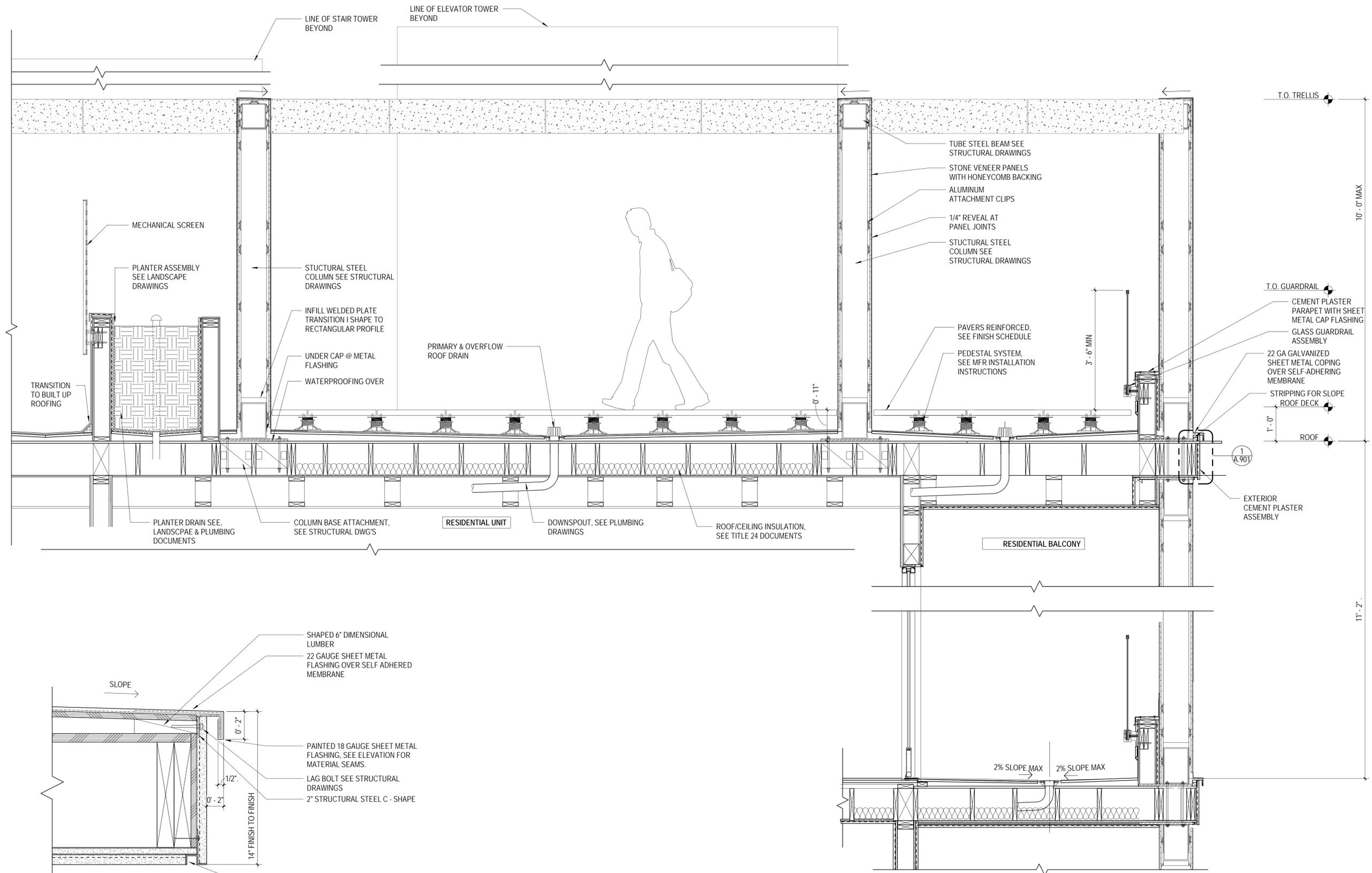
2020/01/23 2:35 PM



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DETAIL LEDGE
 3" = 1'-0" 1

ROOF DECK CANOPY SECTION
 3/4" = 1'-0" 2

DETAILS

SCALE: As indicated
 DATE: 04.01.2020
 SHEET NUMBER:

A.901

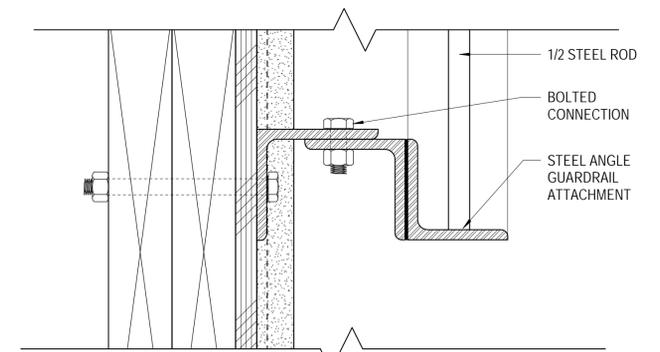
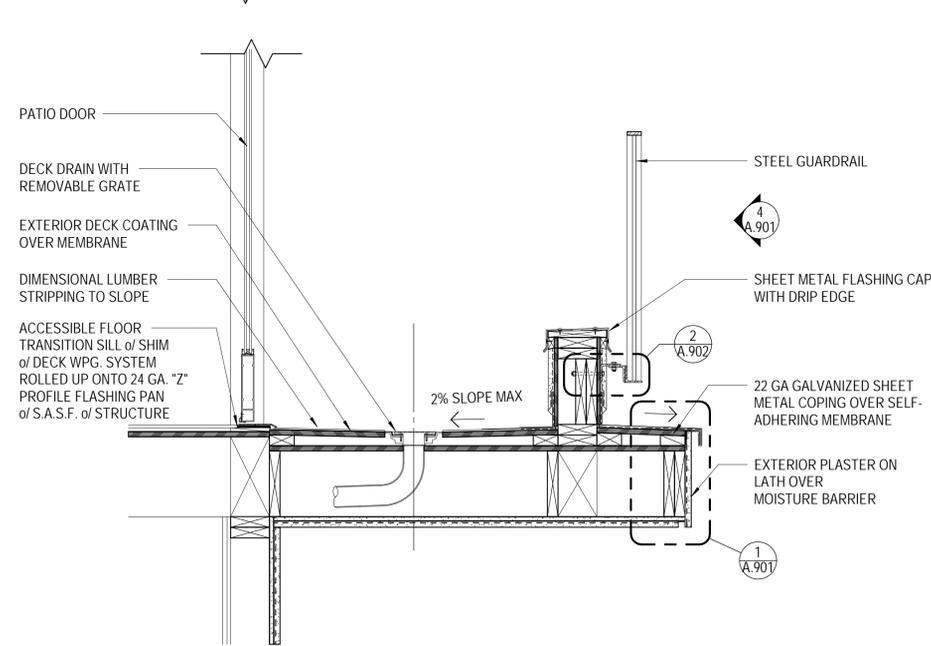
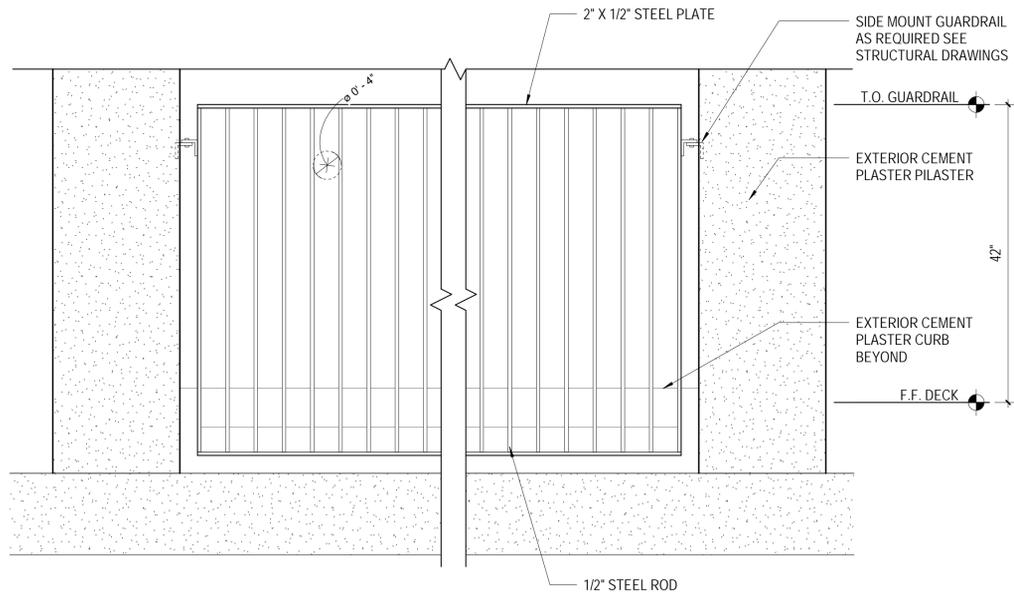
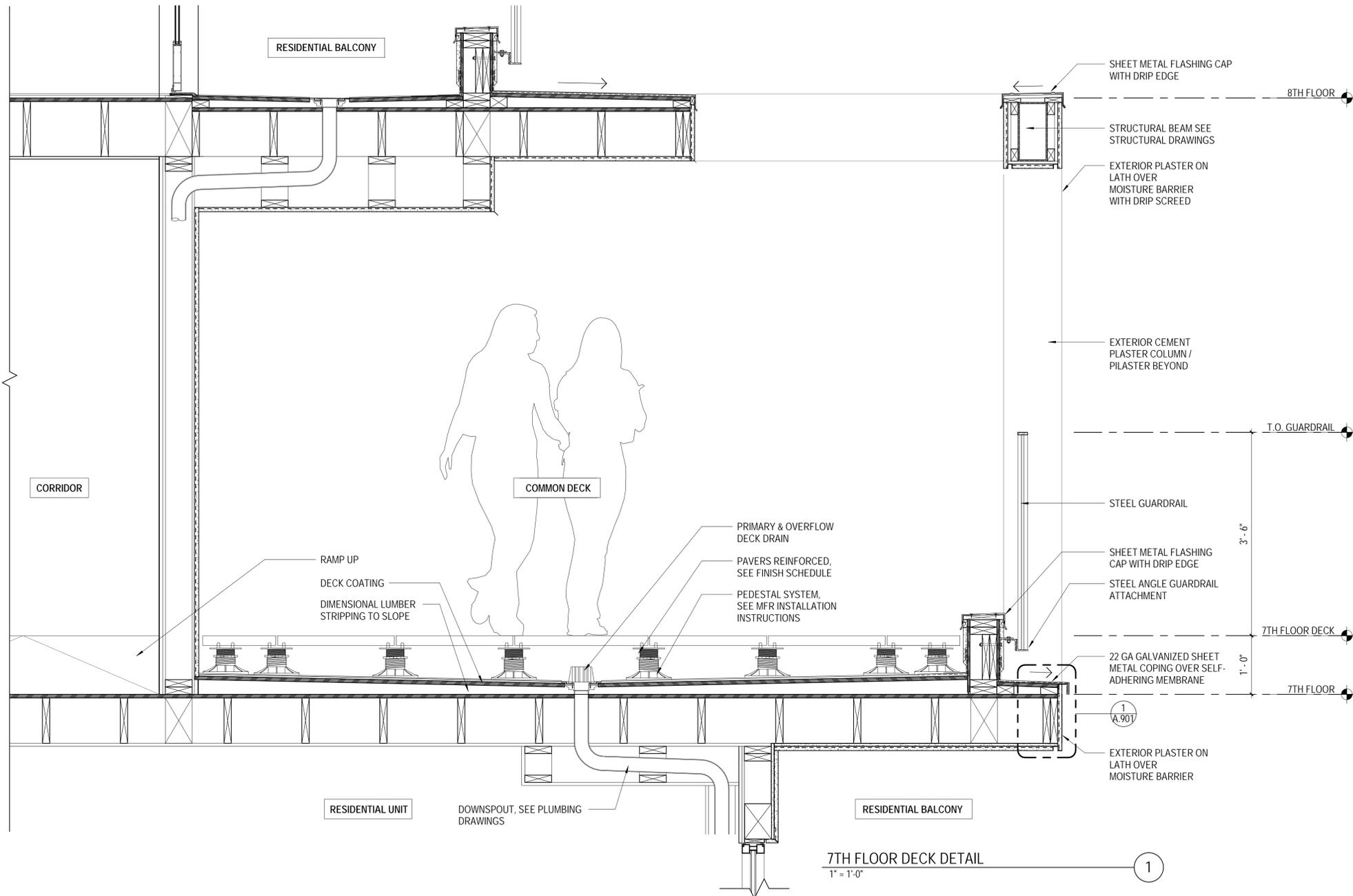
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TYPICAL GUARDRAIL ELEVATION
1" = 1'-0"

4

TYPICAL RESIDENTIAL BALCONY
1" = 1'-0"

3

GUARDRAIL ATTACHMENT DETAIL
6" = 1'-0"

2

SHEET TITLE
DETAILS

SCALE:
As indicated
DATE:
04.01.2020
SHEET NUMBER:

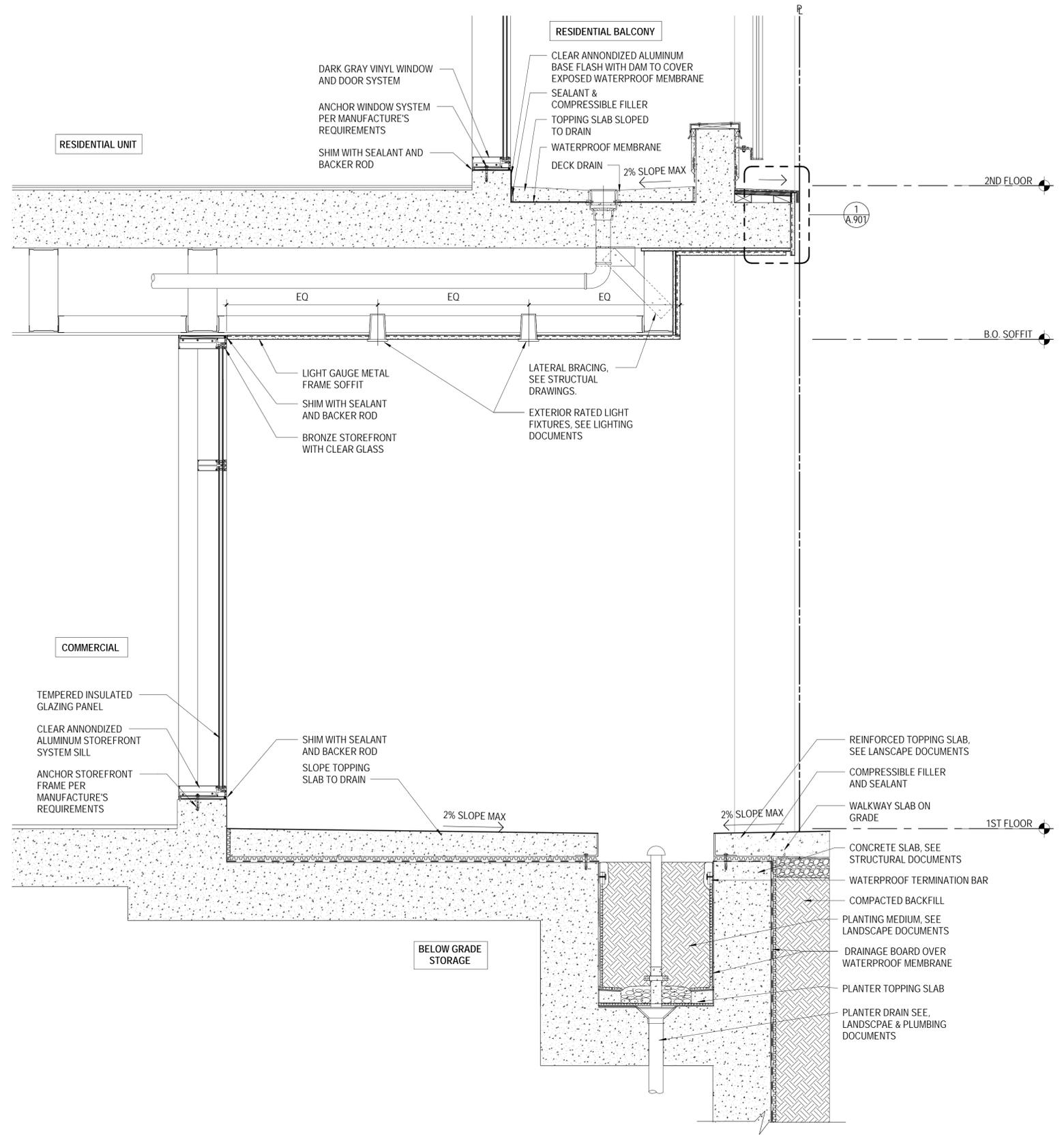
A.902
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GROUND FLOOR STOREFRONT DETAIL
 1" = 1'-0"

1

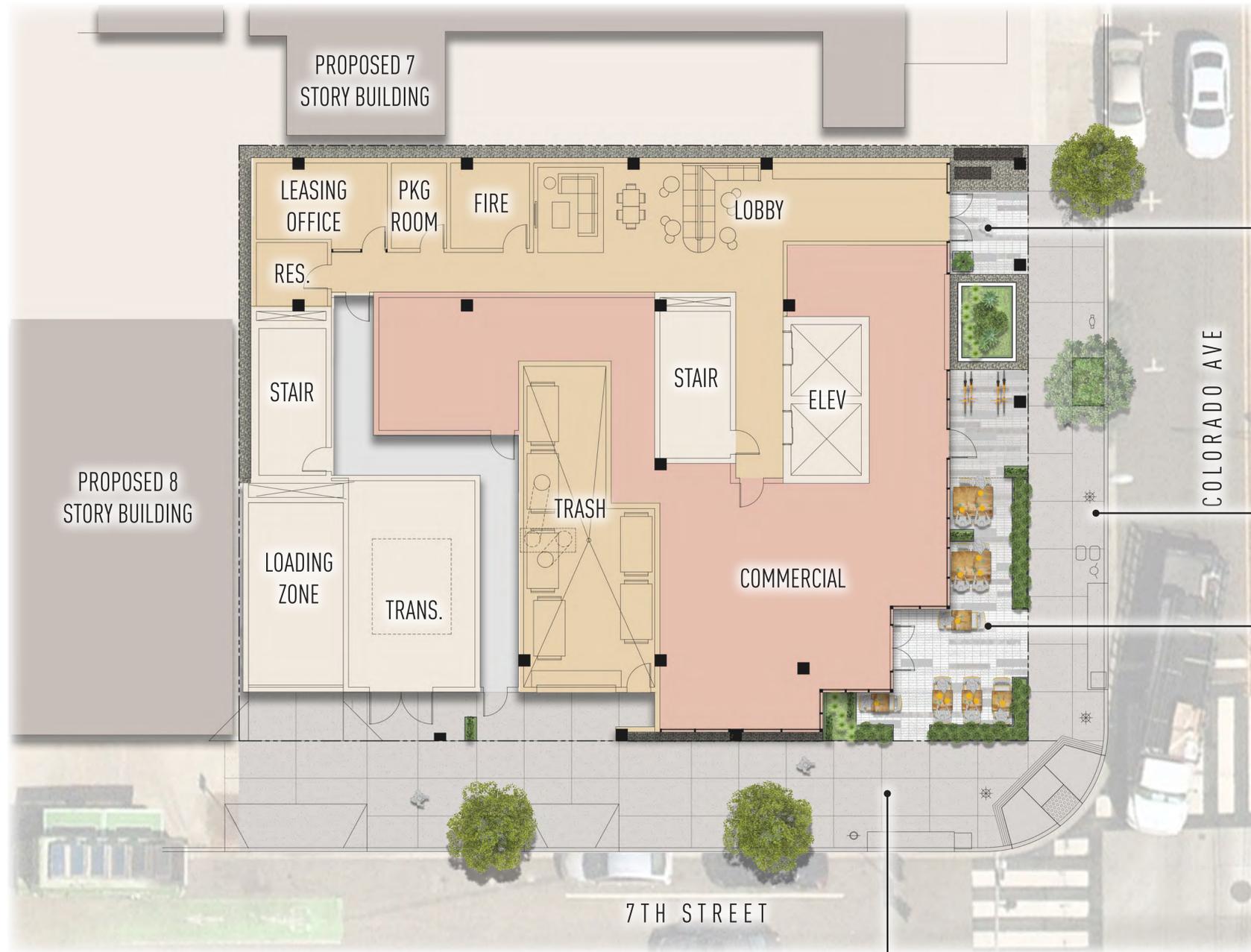
DETAILS

SCALE
 1" = 1'-0"

DATE
 04.01.2020

SHEET NUMBER
A.903

2020/01/14 12:42 PM



- LOBBY ENTRY**
- concrete paver in linear pattern
 - pottery
 - decorative gravel
 - raised poured in place concrete planter - 18" h.

- COLORADO AVE STREETScape**
- (1) proposed street tree
 - (1) existing street tree
 - city standard sidewalk

- OUTDOOR DINING**
- dining tables with umbrellas
 - cables with vines
 - boarder planter to soften pedestrain edge
 - concrete paver in linear pattern
 - 4 short term bike parking spaces

LANDSCAPE CONCEPT NARRATIVE
To compliment the horizontal design of the architecture, a linear paving pattern has been selected to enhance the building entries. The architectural corner has been emphasized by the addition of cables with vines to mimic the vertical columns with greenery. We have softened the pedestrian edge adjacent to the public realm with a mix of raised planters.

- 7TH STREET STREETScape**
- (2) proposed street trees
 - city standard sidewalk

701 COLORADO

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SHEET TITLE:
**1ST FLOOR
LANDSCAPE
PLAN**

SCALE:
1/8" = 1'-0"

DATE:
03.26.2020

SHEET NUMBER:
L.101



701 COLORADO

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- AMENITY DECK
- overhead structure
 - outdoor BBQ
 - lounge seating
 - pottery
 - "wood" porcelain pavers
 - dining tables
 - community room with kitchen



SHEET TITLE:
**2ND FLOOR
LANDSCAPE
PLAN**

SCALE:
1/4" = 1'-0"

DATE:
03.26.2020

SHEET NUMBER:

L.102

701 COLORADO

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SANTA MONICA, CA 90401

SHEET TITLE:
**7TH FLOOR
LANDSCAPE
PLAN**
SCALE:
1/4" = 1'-0"
DATE:
03.26.2020
SHEET NUMBER:
L.103



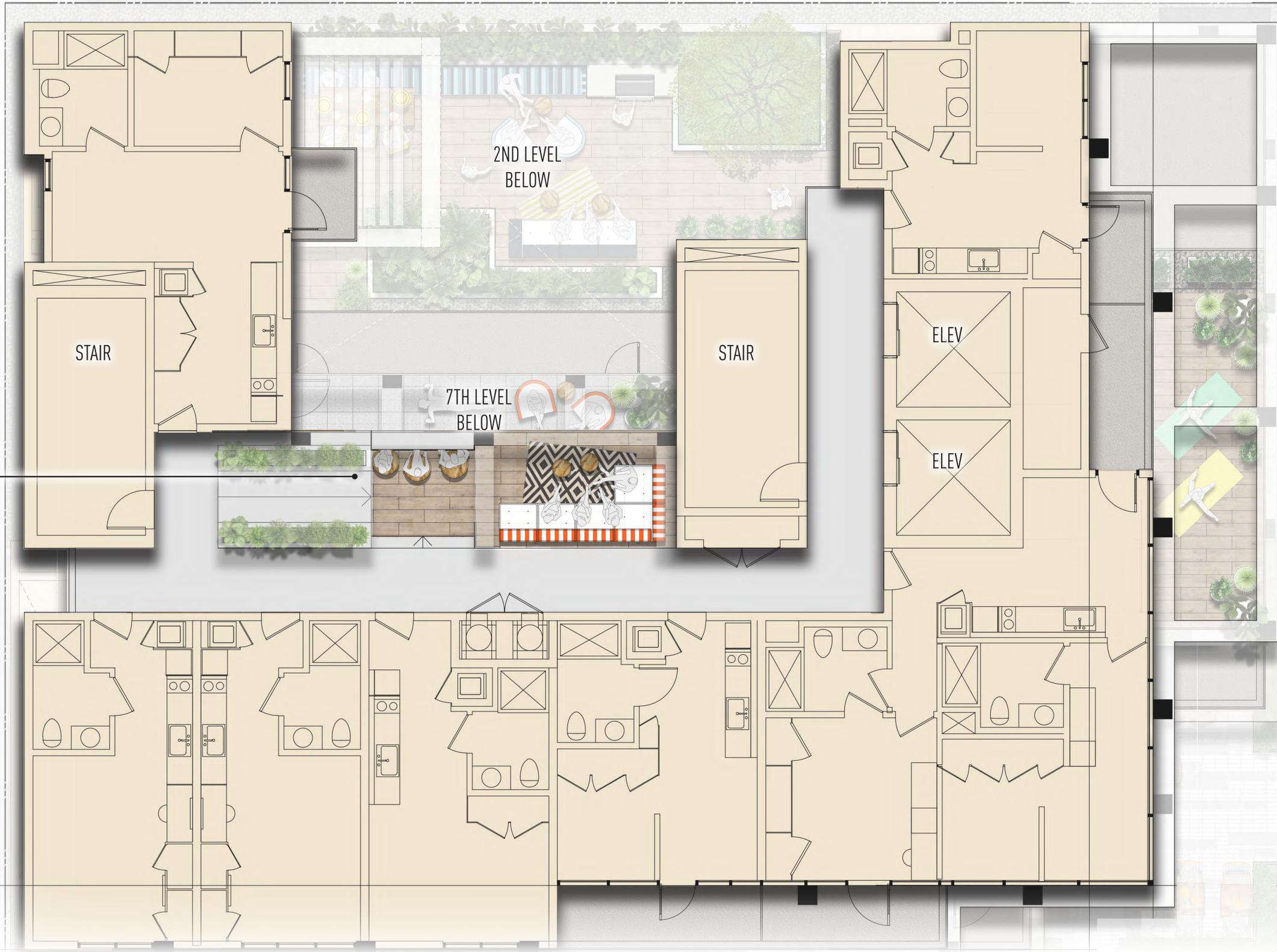
- FITNESS DECK**
- rubberized surfacing
 - pottery
 - fitness wall
 - lounge chairs

- YOGA**
- "wood" porcelain paver
 - lounge seating
 - pottery

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- LOUNGE
- sit-up bar
 - sofa with tv
 - raised planter
 - "wood" porcelain paver



SHEET TITLE:
**8TH FLOOR
LANDSCAPE
PLAN**

SCALE:
1/4" = 1'-0"

DATE:
03.26.2020

SHEET NUMBER:

L.104





- VIEW LOUNGE
- dining table with built-in bench
 - bbq counter

- ENTERTAINMENT TERRACE
- lounge seating
 - firepit
 - pottery
 - pendent lights
 - "wood" porcelain paver
 - lounge seating
 - firepit

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**ROOF DECK
LANDSCAPE
PLAN**

SCALE:
1/4" = 1'-0"
DATE:
03.26.2020

SHEET NUMBER:
L.105





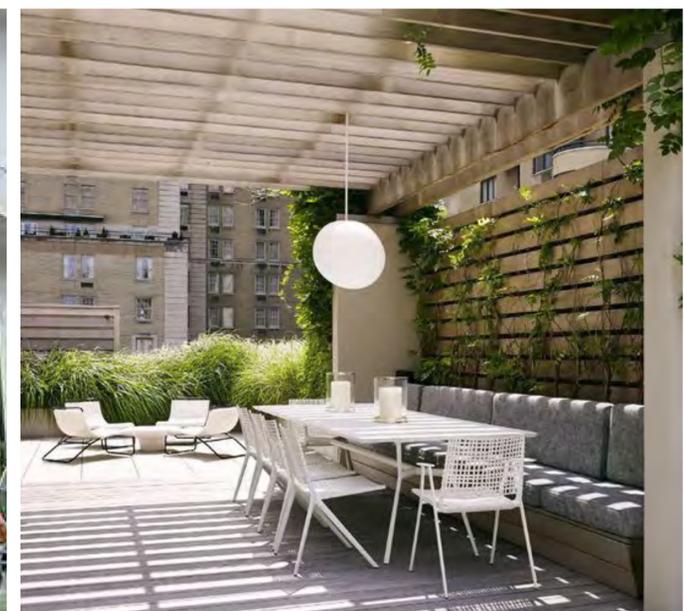
CONCRETE PAVER - LINEAR
PATTERN



"WOOD" PORCELAIN PAVER



POURED-IN-PLACE
CONCRETE WALL



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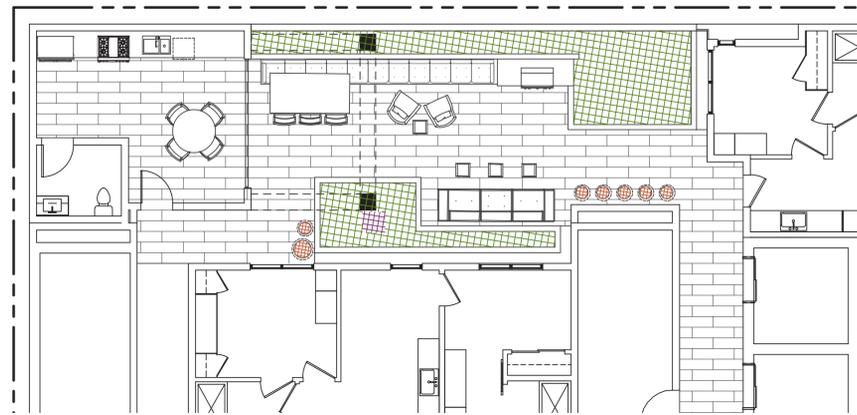
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**INSPIRATIONAL
PHOTOS**

SCALE:

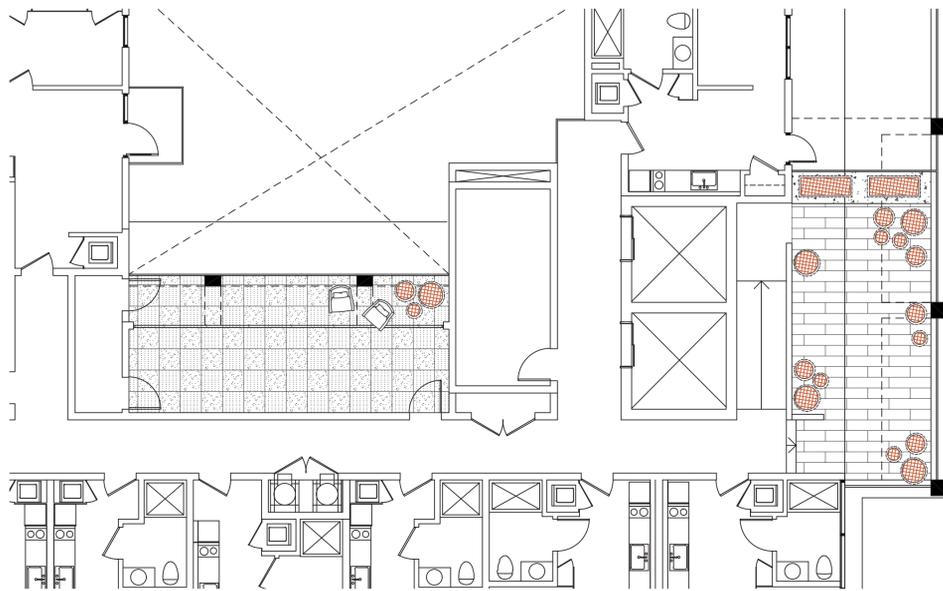
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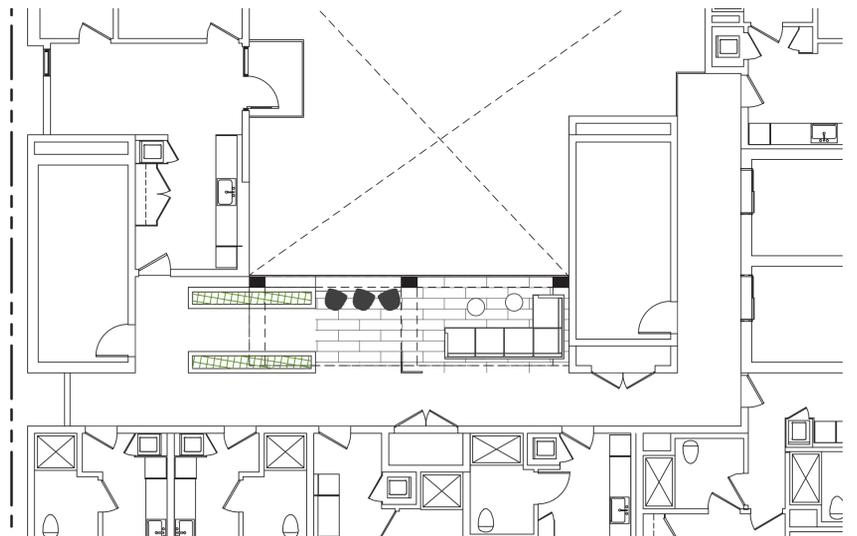
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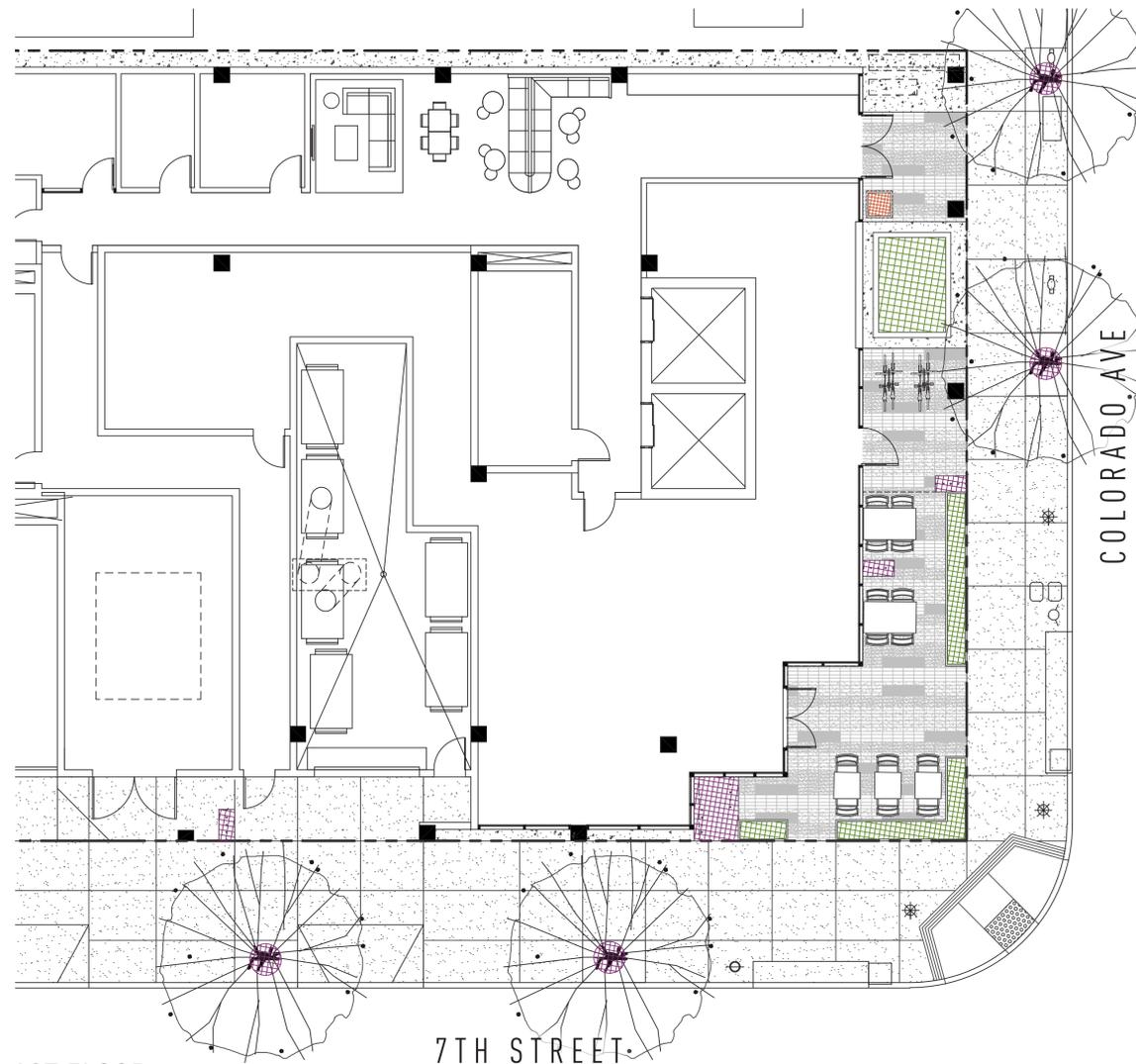
2ND FLOOR



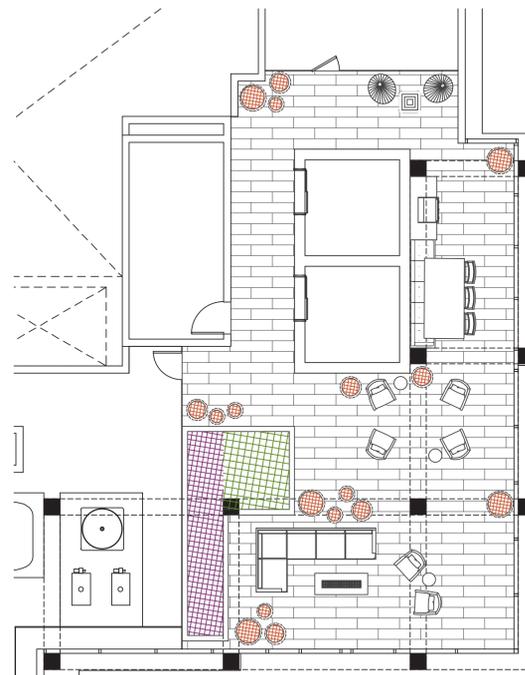
7TH FLOOR



8TH FLOOR



1ST FLOOR



ROOF DECK

IRRIGATION LAYOUT CONCEPT

1. LOW VOLUME IRRIGATION SYSTEMS WITH AUTOMATIC CONTROLLERS SHALL BE PROVIDED. LOW VOLUME IRRIGATION INCLUDES DRIP TUBING (SHRUB AND GROUND COVERS) AND DRIP BUBBLERS (TREES).
2. DRIP TUBING AND DRIP BUBBLERS SHALL BE EQUIPPED WITH ANTI-DRAIN VALVES.
3. LANDSCAPE MATERIALS WHICH HAVE DIFFERENT WATERING NEEDS SHALL BE IRRIGATED BY SEPARATE CONTROL VALVES.
4. WATER COVERAGE SHALL BE LIMITED TO PLANT AREAS ONLY.
5. IRRIGATION SHALL BE CONTROLLED BY A CENTRAL CONTROLLED AUTOMATIC IRRIGATION SYSTEM. AUTOMATIC CONTROLLERS SHALL BE SET TO WATER BETWEEN 5:00PM AND 10:00 AM TO REDUCE EVAPORATION.
6. AN ANNUAL MAINTENANCE PROGRAM WITH SEASONAL WATER SCHEDULE SHALL BE PROVIDED TO ASSIST ANY MANAGER. THE WATER SCHEDULE SHALL INCLUDE RUN TIME AND FREQUENCY OR IRRIGATION FOR PLANTED AREAS WITH SIMILAR CHARACTERISTICS.
7. THE WATERING PERIOD SHALL NOT EXCEED TO THE POINT AT WHICH RUN-OFF BEGINS.
8. A MINIMUM PF PVC SCHEDULE 40 OR EQUIVALENT SHALL BE USED FOR MAINLINES AND UNDER DRIVEWAY AREAS, AND A MINIMUM OF PVC CLASS 200 OR EQUIVALENT SHALL BE USED FOR LATERAL LINES.
9. PROVIDE ALL POTS WITH SELF WATERING TANK SYSTEM DEVICE AND SIPHON DEVICE OR EQUAL.

IRRIGATION HYDROZONES

-  HYDRO-ZONE 1 - POTS - LOW - 142 s.f.
-  HYDRO-ZONE 2 - PLANTERS - LOW - 396 s.f.
-  HYDRO-ZONE 2 - PLANTERS - MED - 126 s.f.

TOTAL LANDSCAPE AREA: 664 s.f.

WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (Eto)		ETAF for MAWA		ETAF for MAWA		
44.20		0.55		0.55		
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area
Regular Landscape Areas						
Hydrozone 1 / Pots	0.30	spray	0.75	0.40	142	57
Hydrozone 2 / Planter - Low	0.30	drip	0.81	0.37	396	147
Hydrozone 3 / Planter - Med	0.40	drip	0.81	0.49	126	62
			spray	0.75		
Totals					664	266
Special Landscape Areas						
Totals						
						ETWU Total
						Maximum Allowed Water Allowance (MAWA)

¹Hydrozone #/Planting Description
E.g. 1) front lawn
2) low water use plantings
3) medium water use planting

²Irrigation Method
overhead spray
or drip

³Irrigation Efficiency
0.75 for spray head
0.81 for drip

⁴ETWU (Annual = Eto x 0.62 x E; where factor = inches gallons year.

***MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]**
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	266
Total Area	664
Average ETAF	0.40

All Landscape Areas	
Total ETAF x Area	266
Total Area	664
Sitewide ETAF	0.40

Average ETAF for Regular Landscape be 0.55 or below for residential area below for non-residential areas.

Eto data for City of Santa Monica from MWEL Appendix A

HYDROZONE PLAN & NOTES

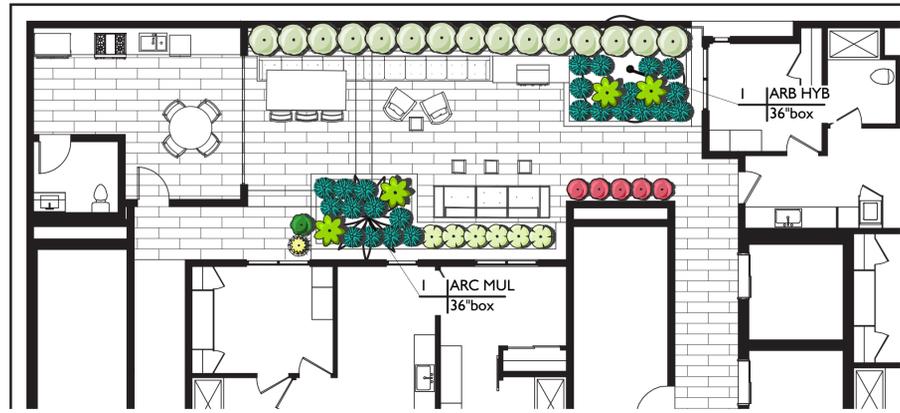
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DATE: 03.26.2020

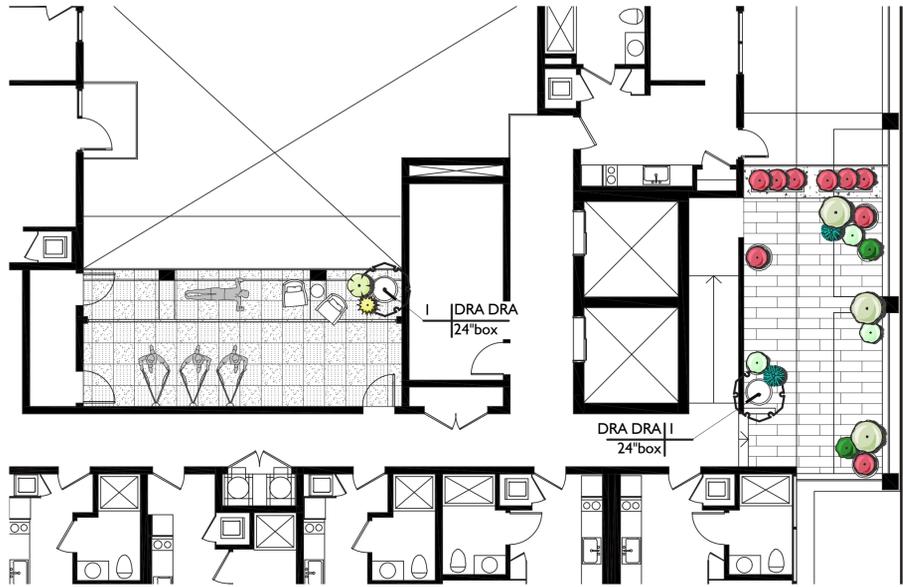
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L.107

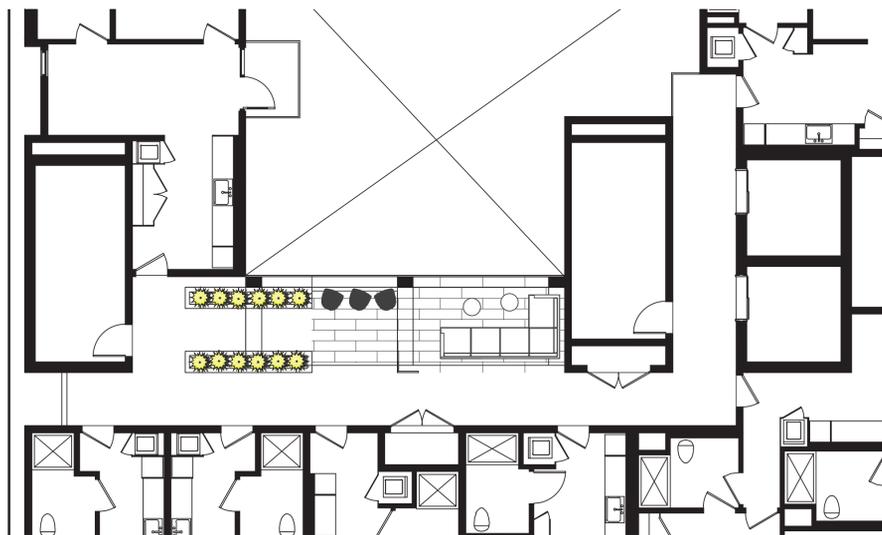




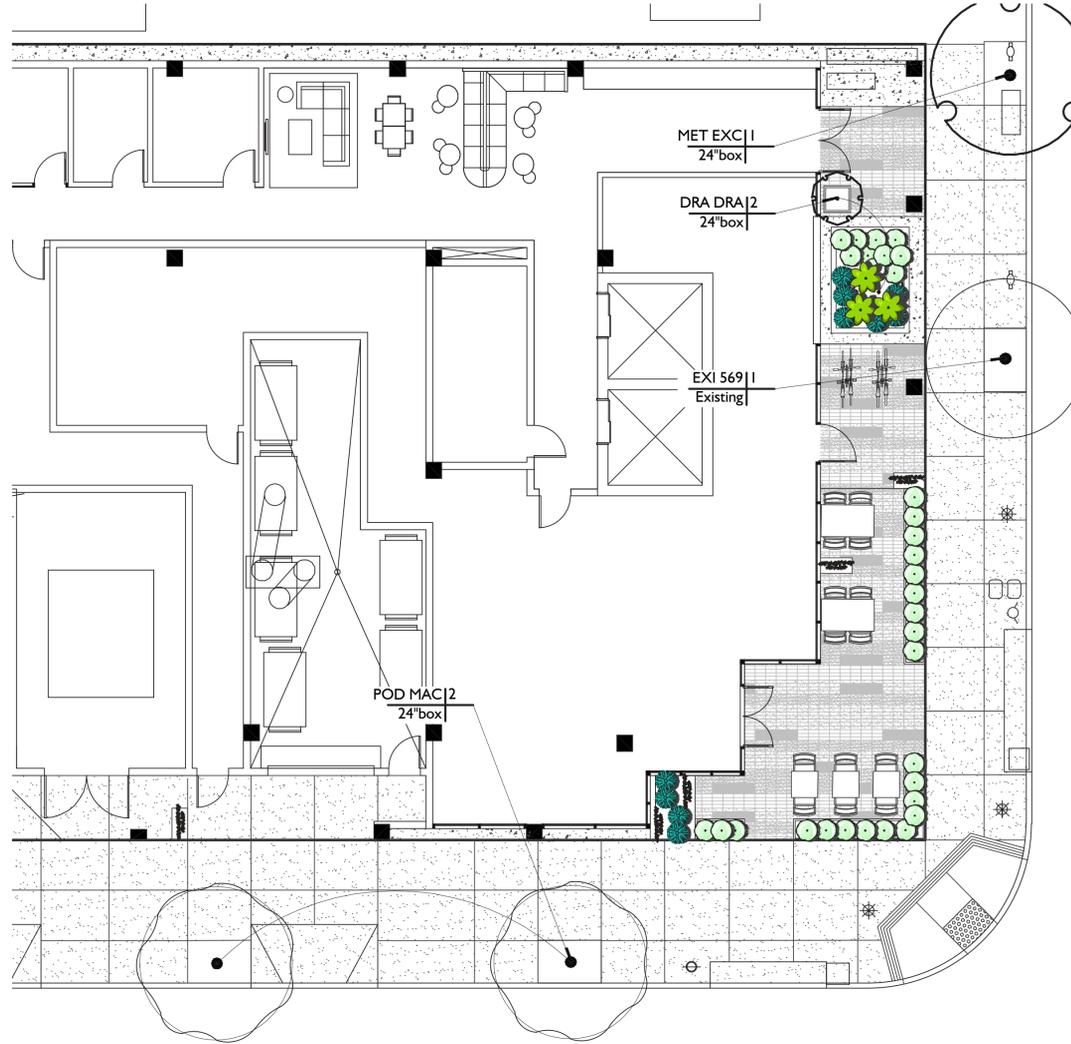
2ND FLOOR



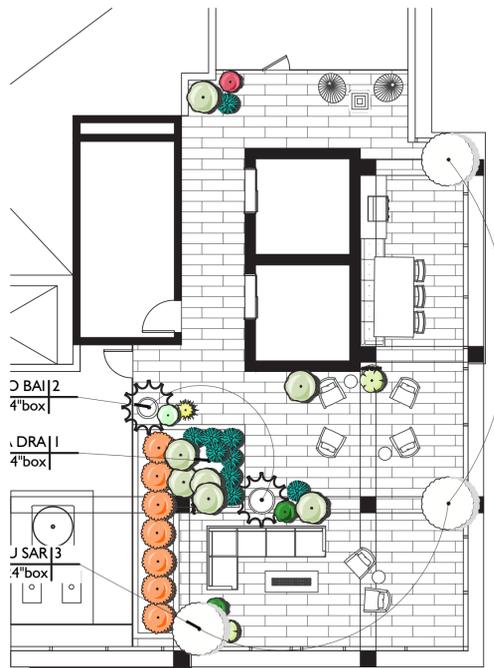
7TH FLOOR



8TH FLOOR



1ST FLOOR



ROOF DECK

COLORADO AVE

PLANT SCHEDULE				
TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS	QTY
	ALOE BAINESII ALOE	24"BOX	LOW	2
	ARBUTUS X 'MARINA' STRAWBERRY TREE - MULTI-TRUNK	36"BOX	LOW	1
	ARCHONTOPHOENIX CUNNINGHAMIANA MULTI-TRUNK KING PALM - MIN. 8' BTH	36"BOX	MODERATE	1
	DRACAENA DRACO DRAGON TREE	24"BOX	VERY LOW	5
	EXISTING STREET TREE PROTECT IN PLACE	EXISTING		1
	LAURUS X 'SARATOGA' SARATOGA LAUREL	24"BOX	LOW	3
	METROSIDEROS EXCELSA NEW ZEALAND CHRISTMAS TREE - PER U.F.	24"BOX	MODERATE	1
	PODOCARPUS MACROPHYLLUS YEW PINE - PER U.F.	24"BOX	MODERATE	2
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS	QTY
	AEONIUM X 'MINT SAUCER' MINT SAUCER AEONIUM	5 GAL	LOW	5
	AGAVE ATTENUATA 'RAY OF LIGHT' VARIEGATED FOX TAIL AGAVE	15 GAL	LOW	7
	CHONDROPETALUM ELEPHANTINUM LARGE CAPE RUSH	5 GAL	LOW	9
	CRASSULA ARBORESCENS 'BLUE WAVES' SILVER DOLLAR JADE	5 GAL	LOW	36
	DIANELLA REVOLUTA FLAX LILY	5 GAL	LOW	45
	LAURUS X 'SARATOGA' SARATOGA LAUREL - COLUMN	15 GAL	LOW	15
	OLEA EUROPAEA 'LITTLE OLLIE' LITTLE OLLIE OLIVE	15 GAL	LOW	25
	PRUNUS C. 'BRIGHT 'N TIGHT' BRIGHT 'N TIGHT LAUREL - COLUMN	15 GAL	MODERATE	7
	SANSEVIERIA BACULARIS SNAKE PLANT	5 GAL	LOW	15
VINES	BOTANICAL / COMMON NAME	SIZE	WUCOLS	QTY
	DISTICTIS BUCCINATORIA BLOOD RED TRUMPET VINE	5 GAL	MODERATE	20

CITY OF SANTA MONICA GENERAL LANDSCAPING STANDARDS AND WATER CONSERVATION COMPLIANCE NOTES

1. ALL NEW TREES SHALL BE PLANTED IN PERMEABLE SOIL.
2. NEW STREET TREE SPECIES SHALL BE IN COMPLIANCE WITH THE URBAN FOREST MASTER PLAN.
3. NEW STREET TREE SHALL BE PERMANENTLY MAINTAINED BY THE DEVELOPER AND KEPT FREE OF WEEDS, DEBRIS AND LITTER. ALL PLANT MATERIALS SHALL IN A HEALTHY GROWING CONDITION AND DISEASED OR DEAD POINT MATERIALS SHALL BE REPLACED, IN KIND, PURSUANT TO THE APPROVED PLANS WITHIN 30 DAYS.
4. 20% OR LESS OF THE TOTAL PLANT MATERIAL TO BE NON-DROUGHT TOLERANT. SEE PLANT LIST FOR AREA OF EACH SPECIES AND WUCOLS LISTING.

TOTAL SQUARE FOOTAGE OF PLANTED AREA, BY WATER USE CATEGORY

MODERATE WATER USE PLANTED AREA	126 S.F.
LOW WATER USE PLANTED AREA	538 S.F.

TOTAL LANDSCAPE AREA	664 S.F.
TOTAL NON-DROUGHT TOLERANT LANDSCAPE AREA	126 S.F. - 18.9%

PLANTING PLAN & NOTES

SCALE: 1/8" = 1'-0"
DATE: 03.26.2020
SHEET NUMBER:

L.108



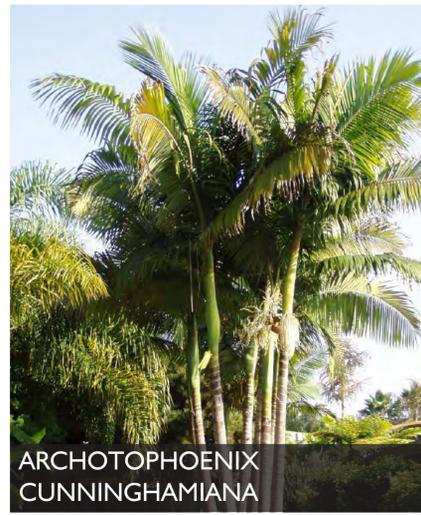
TREES



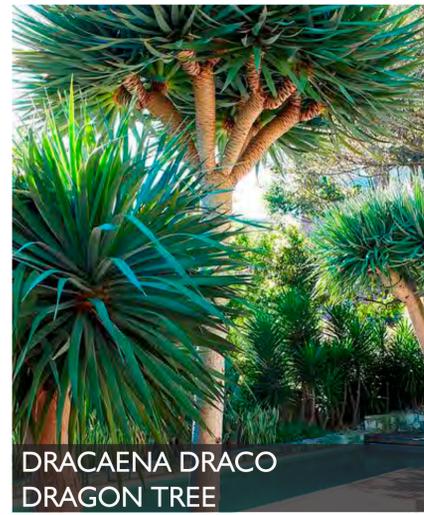
ALOE BAINESII
TREE ALOE



ARBUTUS X MARINA
STRAWBERRY TREE



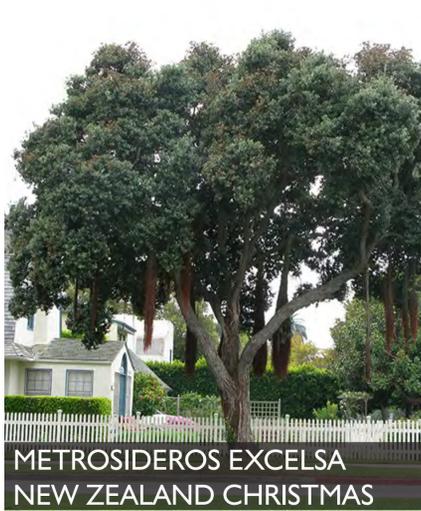
ARCHOTOPHOENIX
CUNNINGHAMIANA



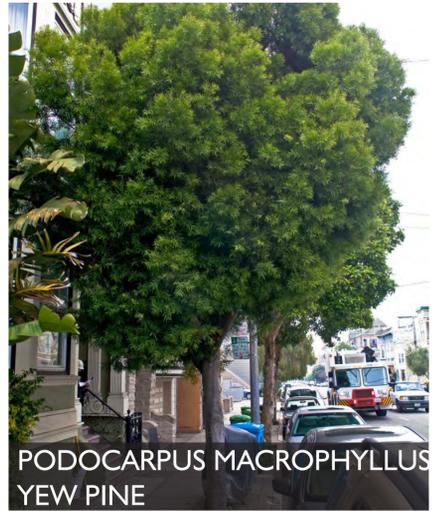
DRACAENA DRACO
DRAGON TREE



LAURUS X 'SARATOGA'
SATATOGA LAUREL

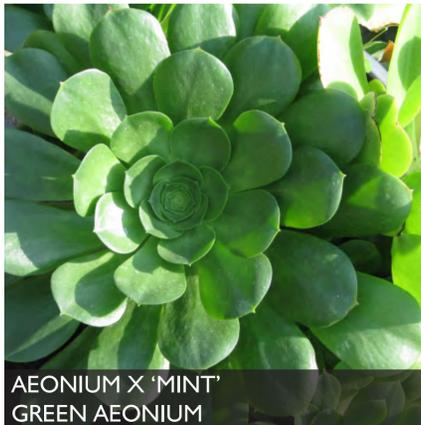


METROSIDEROS EXCELSA
NEW ZEALAND CHRISTMAS

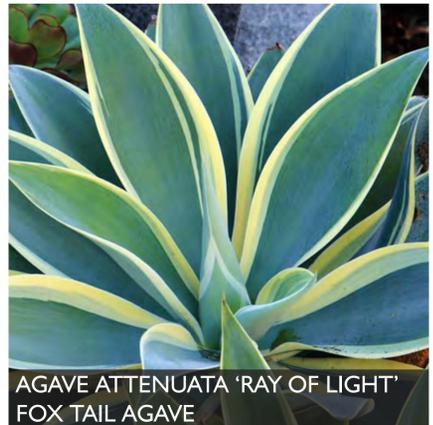


PODOCARPUS MACROPHYLLUS
YEW PINE

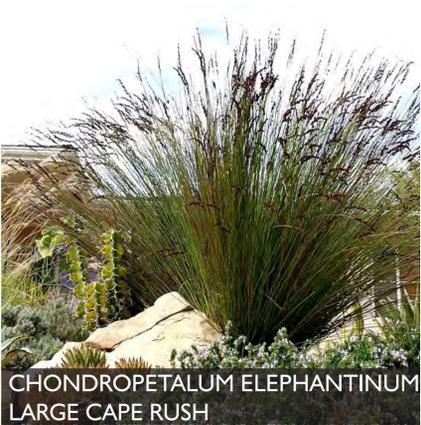
SHRUBS & VINES



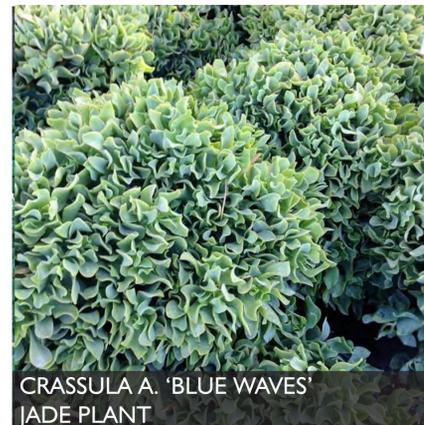
AEONIUM X 'MINT'
GREEN AEONIUM



AGAVE ATTENUATA 'RAY OF LIGHT'
FOX TAIL AGAVE



CHONDROPETALUM ELEPHANTINUM
LARGE CAPE RUSH



CRASSULA A. 'BLUE WAVES'
JADE PLANT



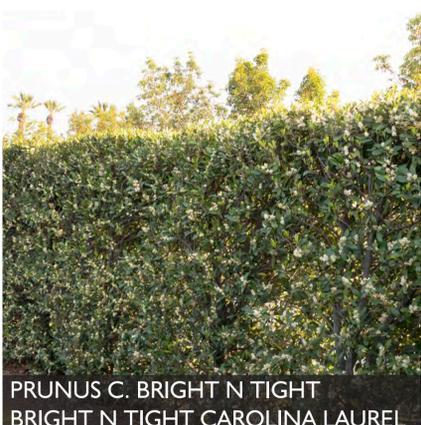
DIANELLA REVOLUTA
FLAX LILY



LAURUS X 'SARATOGA' - COLUMN
SATATOGA LAUREL



OLEA EUROPAEA 'LITTLE OLLIE'
LITTLE OLLIE DWARF OLIVE



PRUNUS C. BRIGHT N TIGHT
BRIGHT N TIGHT CAROLINA LAUREL



SANSSEVERIA BACULARIS
SNAKE PLANT



DISTICTIS BUCCINATORIA
BLOOD RED TRUMPET VINE





1 STAKE-MOUNTED LED ACCENT LIGHTS TO HIGHLIGHT PLANTERS AT ROOFTOP

2 RECESSED "LINES OF LIGHT" INTEGRATED INTO VERTICAL NICHE AT COLUMN

3 RECESSED LED DOWNLIGHT AT UNIT BALCONIES

4 RECESSED LED DOWNLIGHT AT CANOPY

1 STAKE-MOUNTED LED ACCENT LIGHTS TO HIGHLIGHT PLANTERS AT ROOFTOP



Rear Mount MR16 Flood **MODEL FL1**
12V 50W Max., MR16 Halogen
12V 7.5W, 12/24V 6W, or 12V 10W LED

Specifications

Body
Machined 6061-T6 aluminum, C36000 brass, or 304 stainless steel body with 18-8 stainless steel hardware.

Knuckle
Machined 6061-T6 aluminum, C36000 brass, or 304 stainless steel mounting knuckle with a 1/2" NPS threaded male fitting allows a full range of mounting positions. Double taper design (U.S. Patent #6,966,679) allows fixture to hold position during aiming and ensures a solid lock when tightened. Integral high temperature silicone O-ring prevents leaking between housing and knuckle. Integral LED models have a molded silicone wire seal to prevent water entry at knuckle. Available Rotate and Lock option (U.S. Patent #7,108,405 & #7,458,552) allows for full 360° horizontal aiming and locking.

Cap
Machined cap locks in place with one 18-8 stainless steel set screw, and is sealed to the body with a high temperature silicone O-ring. Round C2 & C4 caps have drain holes for water drainage from top of lens. Square cap feature removable and field interchangeable cutoffs with "flow-through" design for 360° drainage with no light leak. "Flush Lens" cap styles incorporate a stepped lens to reduce the collection of water and debris on the lens.

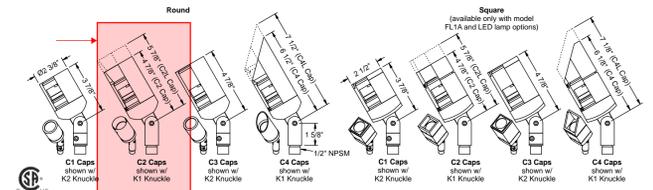
Finish
TGIC thermo set polyester powder coat paint available in:

- Round
 - FL1A - Aluminum
 - FL1B - Brass¹
 - FL1S - Stainless¹
- Square (available only with model FL1A and LED lamp options)
 - FL1A - 50W Max. MR16 Halogen lamp.
 - FL1B - 35W Max. MR16 Halogen lamp.
 - FL1S - 20W Max. MR16 Halogen lamp.
 - FL1A - 50W Max. MR16 Halogen lamp.
 - FL1B - 20W Max. MR16 Halogen lamp.
 - FL1S - 20W Max. MR16 Halogen lamp.

Cap Style
K1 - Standard¹
K2 - Rotate & Lock¹

Finish
BL - Black
BN - Teardrop Black
BW - White
BS - Teardrop Green
BSI - Silver
BT - Teardrop Teard
BE - Beige
C1 - Clear Anodized (FL1A only)
NAI - Natural (FL1B & FL1S only)
POL - Polished (FL1B & FL1S only)
AGE - Aged (FL1S only)
BRU - Brushed (FL1S only)

Example: FL1B - AGE - RND - C3 - K2 - 117 - 0 - F2 - H1



Ordering Information

Model	Shape	Cap Style	Knuckle	Lens Acryl ¹	Filter ¹	Louver ¹
FL1A - Aluminum	Round	Standard	K1 - Flush	0 - None	0 - None	F4 - Green
FL1B - Brass ¹	SQ - Square ¹	C2 - Regress Lens	K2 - Rotate & Lock ¹	L1 - Spread	F1 - Red	F5 - Amber
FL1S - Stainless ¹		C3 - Regress Lens		L2 - Linear	F2 - Blue	F6 - Pink
		C4 - Regress Lens		L3 - Solenoid	F3 - Light	F7 - Mercury

Notes:
1. SQ shape available with model FL1A and LED lamps only.
2. Available wattage depends on model and application. See Certification heading above.
3. K1 knuckle is protected under U.S. Patent #6,966,679. K2 knuckle is further protected under U.S. Patent #7,108,405 & #7,458,552.
4. Only power LED lamp options with approved transformers (output V3 for transformer compatibility info).
5. LED lamp options available in other color temperatures and/or CRI's (contact us for info).
6. Only two lens accessories can be used with Integral LED.
7. Use only approved Retrofit MR16 LED lamps and supplied heat sink mount. Otherwise LED may overheat.
8. Specifications, certifications, and ordering information are subject to change. Please check website for latest specification sheets.

©2002 - 2019 Vision3 Lighting® P.O. Box 607, Fowler, CA 93625 (559) 834-5749 (559) 834-4779 fax www.vision3lighting.com

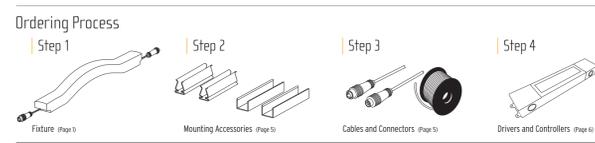
2 RECESSED "LINES OF LIGHT" INTEGRATED INTO VERTICAL NICHE AT COLUMN



IP67 flexible dot free linear LED light line with a vertical bending flexible light line 0.41" x 0.59" (W x H) cross section. Opti polyurethane encapsulation offering a premium water proof sealing, UV resistance, chemical stability against urban gases and protection against abrasion. Vertical bending only, with radius of 5.5" excellent solution for indoor/outdoor organic facade accent lighting or decorative applications requiring IP67 ingress. Freely configurable in length and delivered with 3M self adhesive tape on rear side and 4.33' long cable at both end of the luminaire with IP67 male/female connectors. Light source assembled steel to steel (R2R) production process supporting LED Linear™ T1. A thin flexible circuit board technology. Outstanding lifetime of >60,000 hrs (L80/B10) (>90,000 hrs for RGB). Embeds high quality Japanese LEDs with 3 step MacAdam's (S2000) binning centered on target CCT (One Bin Only) with an extended photometric curve of Max929 ensuring an exceptional color consistency over the rated lifetime. Premium color rendition with a CRI of 80. Consistent light intensity all along the strip length. Fully dimmable. Engineered and produced in Germany.

Ordering Process

- Step 1: Fixture (page 1)
- Step 2: Mounting Accessories (page 2)
- Step 3: Cables and Connectors (page 3)
- Step 4: Drivers and Controllers (page 4)



Fixture Order Code

Family	Model/Lumen package*	Color rendering	Color temperature	Ceiling length***	TV	Ingress
VarioLED Flex	VENUS - Low Output	W8-BDLM	20-2400K	L _{max} : 213.5 mm (8-3/8")	Vertical Bend	IP67
		W5-SIDEM	22-2700K			
	PHOBOS - Mid Output	25-3000K	Venus Phobos L _{max} : 502.5 mm (19 7/8")			
	SKYLLA - High Output	35-4600K (4400K for w/8)	40-5500K (5500K for w/8)	Skylla L _{max} : 402.5 mm (15 7/8")		
IQ WHITE - Tunable White	189 lum/ft			L _{max} : 213.5 mm (8-1/2")		
	2600K-4900K			L _{max} : 502.5 mm (19 7/8")		
				Increment: 62.5 mm (2-7/8")		
RED - 32 lum/ft, 625nm				L _{max} : 213.5 mm (8-1/2")		
	GREEN - 153 lum/ft, 529nm			L _{max} : 502.5 mm (19 7/8")		
	BLUE - 39 lum/ft, 472nm			Increment: 125 mm (4 15/16")		
RGB - 99 lum/ft				L _{max} : 213.5 mm (8-1/2")		
	E22(R) 532(G) 466(B)			L _{max} : 502.5 mm (19 7/8")		

* Lumen values represent 5000K (W840). ** Not available for High Output Skylla. *** Custom Length should be specified in millimeters (mm). See page 2 and 4 for all available lengths.

Color temperature	Low Output		Mid Output		High Output	
	CRI (Min/Max)	Wattage	Wattage	Wattage	Wattage	Wattage
W820	2,400 K	87	1.8	145	3.1	224
W822	2,700 K	100	1.8	167	3.1	267
W825	3,000 K	100	1.8	191	3.1	307
W827/1927	3,500 K / 4,000 K	103	1.8	170	3.1	325
W830/1930	3,900 K / 4,800 K	103	1.8	173	3.1	343
W835/1935	4,600 K / 4,800 K	106	1.8	179	3.1	342
W840/1940	5,500 K / 6,000 K	109	1.8	182	3.1	371

1. CCT tolerances occur in IP67 products due to the encapsulation of the fixture.
2. The given data are typical values. Due to tolerances of the production process and the electrical components, values for light output and electrical power can vary up to 10%.

LED Linear™ USA, Inc. | Edition: 30/08/2019 1/6

3 RECESSED LED DOWNLIGHT AT UNIT BLACONIES



P3SDF TRIM DETAILS

BeveLED Mini Primary provides consistent, high quality white light in an economical architectural solution with our iconic BeveLED trim.

FEATURES

- 2700K, 3000K or 3500K color temperature options in 80+ and 90+ CRI
- Downlight and wallwash configurations
- Dry/damp/wet location rated for bathrooms and showers
- Dimmable with forward and reverse phase dimmers
- High LED performance with budget-conscious features



MORE CHOICES

For **Trimless, Millwork, and more Housing and Dimming** options use B3SD-L2 for same roomside appearance

B3SD-L2
usaalighting.com/B3SD-L2

For **Adjustable** use B3SA-L2 for same roomside appearance

B3SA-L2
usaalighting.com/B3SA-L2

BEVELED MINI PRIMARY DOWNLIGHT PERFORMANCE DATA

DELIVERED PERFORMANCE: Classic White

	9W	15W
Source Lumens:	1075	1575
Lumens Per Watt:	82	76
Delivered Lumens:	825	1175

Color Consistency: 2-Step MacAdam Ellipse

*Based on 3000K, 80+ CRI, Medium beam. Performance varies for each specific beamspread and color temperature. See IES files for exact values at usaalighting.com.

CORRELATED COLOR TEMPERATURE MULTIPLIER

Classic White

	2700K	3000K	3500K			
Color Rendering Index:	80+	90+	80+	90+	80+	90+
Multiplier for Lumen Output:	0.98	0.81	1.00	0.84	1.02	0.98

usaalighting.com T 845-565-8500 1126 River Road
info@usaalighting.com F 845-561-1130 New Windsor, NY 12553

4 RECESSED LED DOWNLIGHT AT CANOPY



P3SDF TRIM DETAILS

BeveLED Mini Primary provides consistent, high quality white light in an economical architectural solution with our iconic BeveLED trim.

FEATURES

- 2700K, 3000K or 3500K color temperature options in 80+ and 90+ CRI
- Downlight and wallwash configurations
- Dry/damp/wet location rated for bathrooms and showers
- Dimmable with forward and reverse phase dimmers
- High LED performance with budget-conscious features



MORE CHOICES

For **Trimless, Millwork, and more Housing and Dimming** options use B3SD-L2 for same roomside appearance

B3SD-L2
usaalighting.com/B3SD-L2

For **Adjustable** use B3SA-L2 for same roomside appearance

B3SA-L2
usaalighting.com/B3SA-L2

BEVELED MINI PRIMARY DOWNLIGHT PERFORMANCE DATA

DELIVERED PERFORMANCE: Classic White

	9W	15W
Source Lumens:	1075	1575
Lumens Per Watt:	82	76
Delivered Lumens:	825	1175

Color Consistency: 2-Step MacAdam Ellipse

*Based on 3000K, 80+ CRI, Medium beam. Performance varies for each specific beamspread and color temperature. See IES files for exact values at usaalighting.com.

CORRELATED COLOR TEMPERATURE MULTIPLIER

Classic White

	2700K	3000K	3500K			
Color Rendering Index:	80+	90+	80+	90+	80+	90+
Multiplier for Lumen Output:	0.98	0.81	1.00	0.84	1.02	0.98

usaalighting.com T 845-565-8500 1126 River Road
info@usaalighting.com F 845-561-1130 New Windsor, NY 12553



Sign Type 1
Address

Colorado Avenue

C-1 Retail Tenant
Sign Location

C-2 Retail Tenant
Sign Location

Sign Type 2
Loading Zone ID

7th Street

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701 Colorado Avenue
Santa Monica
1557 7th St, LLC

Date	March 27, 2019
Job	652
Scale	
Drawn By	
Check	
Revised	

701 Colorado Avenue - Sign Dimensions and Square Footage

Sign Type	Description	Quantity	Dimensions	Square Footage	Total Square Footage
1	Main Project Identification - Address Numbers	1	6'-0"h x 1'-0"w	6 sq ft	6
2	Loading Zone Identification sign	1	2'-0"h x 2'-0"w	4 sq ft	4
Total Square Footage of All Project Signage					10 sq ft

Individual retail tenant signage not included in total.

C-1 Retail Tenant Sign: 25 sq ft maximum, corner location 1 sign allowed 25 sq ft max.

C-2 retail Tenant Sign: Hanging: 25 sq ft maximum, corner location 1 sign 25 sq ft max.

Project is a corner location

Building frontage on Colorado is 75 feet

Building frontage on 5th Street is 100 feet

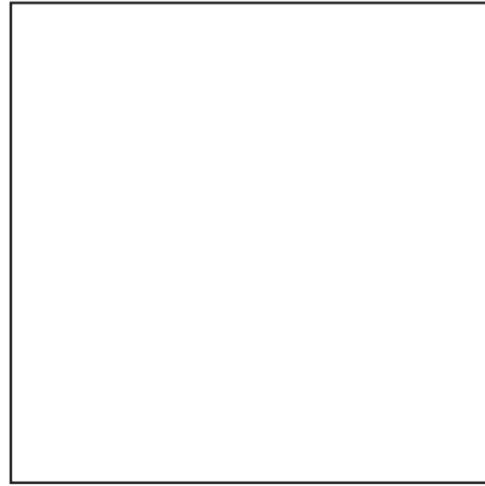
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701 Colorado Avenue
Santa Monica
1557 7th Street, LLC

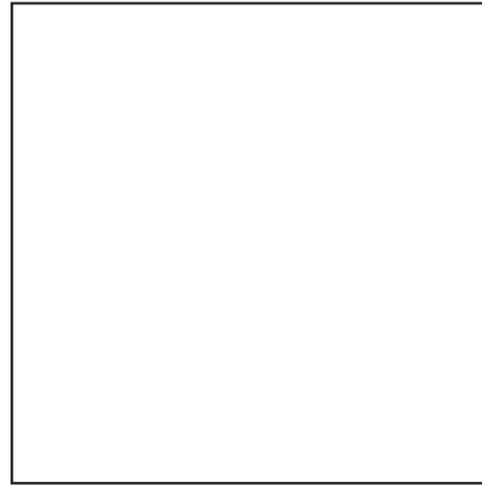
Date March 27, 2020
Project 652
Scale
Drawn By
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SqFt

701 Colorado Avenue



Project White - semi-gloss finish
(to match project color)



Translucent White acrylic
for sign faces
Rhom & Hass or equal



Project Color Gray - TBD

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701 Colorado Avenue
Santa Monica
1557 7th St, LLC

Date March 27, 2020

Project 652

Scale

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Check

Revised

Colors



Colorado Avenue Elevation
Not to Scale

C-2 Tenant
sign location

C-1 Tenant
sign location

Sign Type 1
Project Address

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701 Colorado Avenue
Santa Monica
1557 7th Street, LLC

Date	March 27, 2020
Project	652
Scale	
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7th Street Elevation
Not to Scale

Sign Type 2
Loading Zone ID

C-2 Tenant
Corner sign location

**701 Colorado Avenue
Santa Monica
1557 7th Street, LLC**

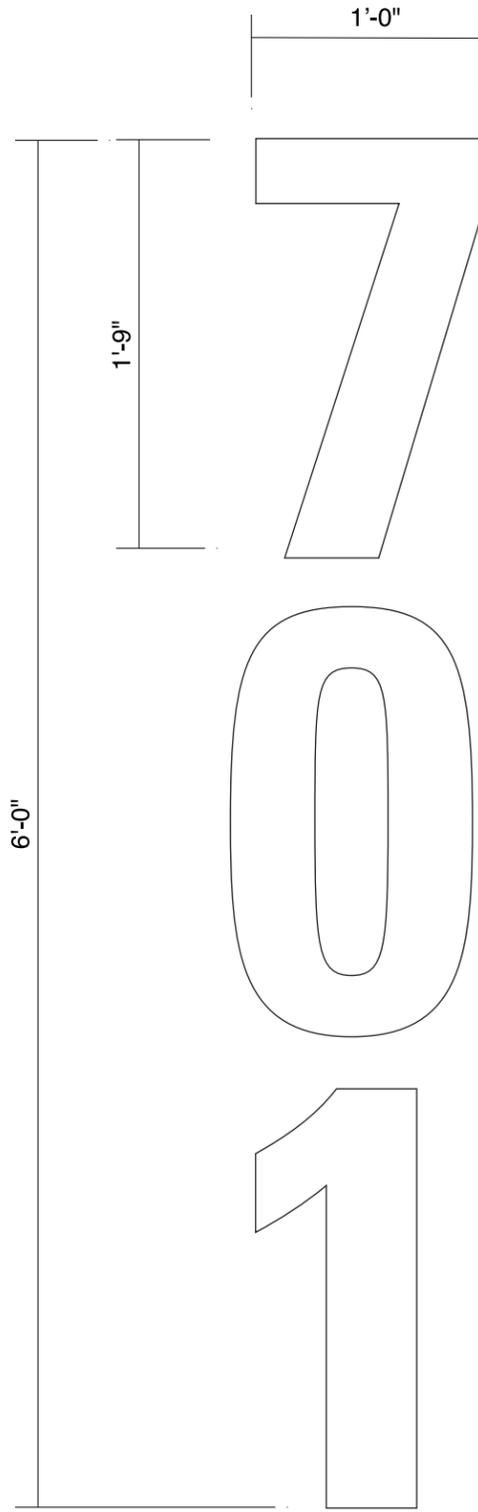
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1.2r5

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BECK & GRABOSKI
D s i g n O f f i c e

Telephone 310 383 9325
247 Sixteenth Street Santa Monica California 90402



Sign Type 1 Project Address
Scale: 1 1/2"=1'-0"

1" thick flat cut out aluminum numbers pin mounted 1/2" off wall with finished returns and White gloss powdercoat finish using Super Durable Polyester powder

Type style:
Univers 67 Bold
Condensed

Permanently install on wall as required

See drawing 1.1 for full elevation

Face of building



Side View

Date	March 27, 2020
Project	652
Scale	
Drawn By	
Check	
Revised	

701 Colorado Avenue
Santa Monica
1557 7th Street, LLC

BECK & GRABOSKI
D s i g n O f f i c e

Telephone 310 383 9325
247 Sixteenth Street Santa Monica California 90402

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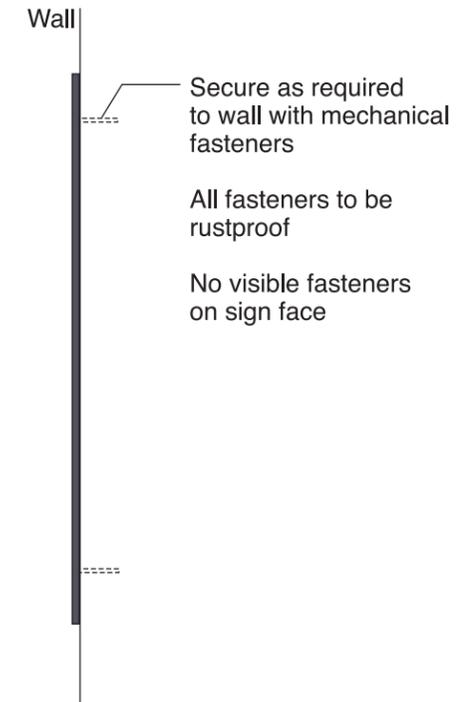
Sign Type 2 Passenger Loading Identification
Scale: 1 1/2"=1'-0"

No visible fasteners
All hardware to be rustproof
All paint to be Matthews Acrylic Polyurethane semi-gloss with clear graffiti guard

1/4" painted aluminum panel with graphics digital graphics
Clear graffiti guard finish
Exterior sign location

White text and arrows
Background painted to match project Dark Gray
Quantity: 1 sign
Arrows point into loading area

See rear drawing for elevation



Side View

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**701 Colorado Avenue
Santa Monica
1557 7th St, LLC**

Date March 27, 2020
Project 652
Scale
Drawn By
Check
Revised

BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 393 9325
247 Sixteenth Street Santa Monica California 90402

Tenant shall submit design drawings to owner for review and approval prior to submitting to City for a sign permit

Each tenant sign shall be reviewed on an individual basis. Creativity and good design and high quality materials are encouraged

Signage shall consist of the tenants' name and logo only. No telephone numbers or .com's are allowed on the signage

Tenant can use their logo and type style on their signage. See color notes for allowed colors.

Letters to have front illumination (no trim caps allowed) or halo illuminated

Each tenant shall be allowed one square foot of signage for every foot of street frontage front and meet all City ordinances.

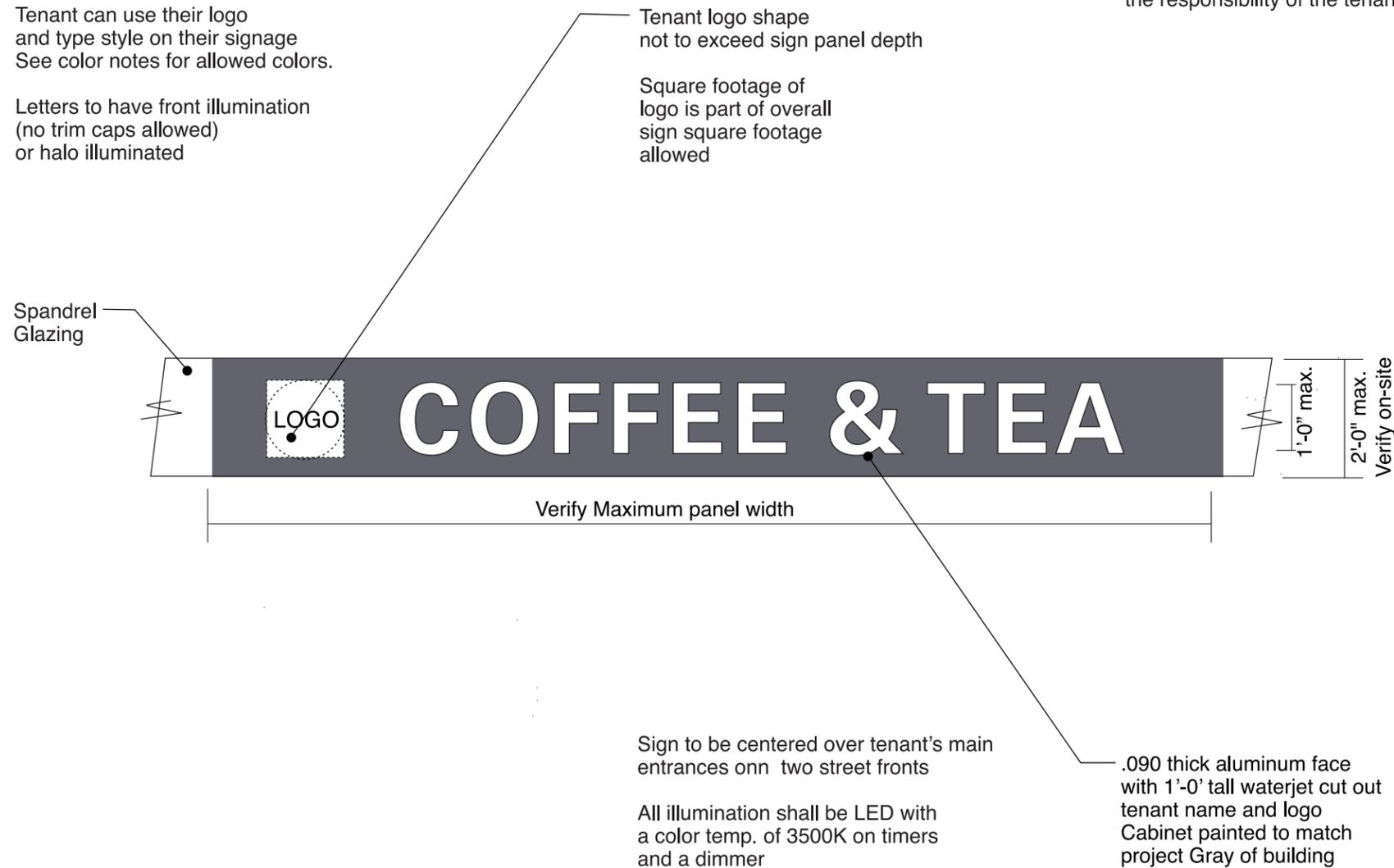
A maximum of 25 square foot of signage will be allowed per tenant.

Signs to be on time clock and have a dimmer control at tenant's meter

COLORS:
Recommended colors for letter faces is White
If a color is used it should be a soft muted colors that accents the building. Colors must be approved by owner prior to sign fabrication.

Tenant to submit materials samples to owner for approval.

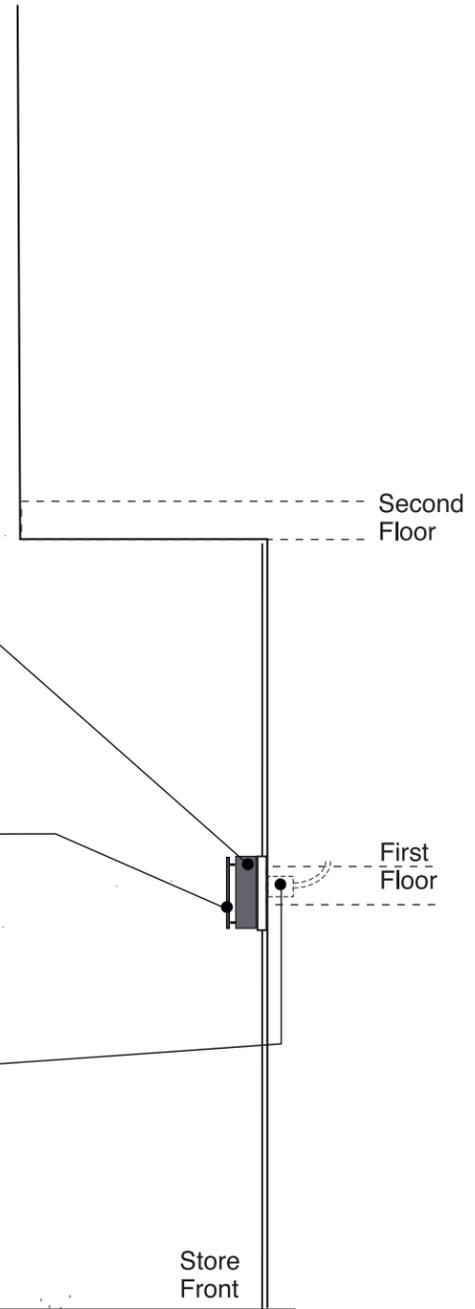
All structural engineering is the responsibility of the tenant



Aluminum light box to illuminate tenant name cut outs. Fabricator to provide attachment details to owner prior to fabrication

1/4" thick water jet cut out aluminum tenant name and logo as required. Pin mounted in front of light sources in cabinet behind

Owner will provide conduit & "J" box to site of signage. Electrical connection by tenant. All electrical to be run back to tenant's meter



Side Section
Scale: 1/4"=1'-0"

C-1 Retail Tenant Sign Criteria
Scale: 1/2"=1'-0"

Tenant shall submit design drawings to owner for review and approval prior to submitting to City for a sign permit

Each tenant sign shall be reviewed on an individual basis. Creativity and good design and high quality materials are encouraged

Signage shall consist of the tenants' name and logo only. No telephone numbers or .com's are allowed on the signage

Tenant can use their logo and type style on their signage. See color notes for allowed colors.

Letters to have front illumination (no trim caps allowed) or halo illuminated

Each tenant shall be allowed one square foot of signage for every foot of street frontage front and meet all City ordinances.

A maximum of 25 square foot of signage will be allowed per tenant.

Signs to be on time clock and have a dimmer control at tenant's meter

Sign to hang centered over tenant's mainentrance

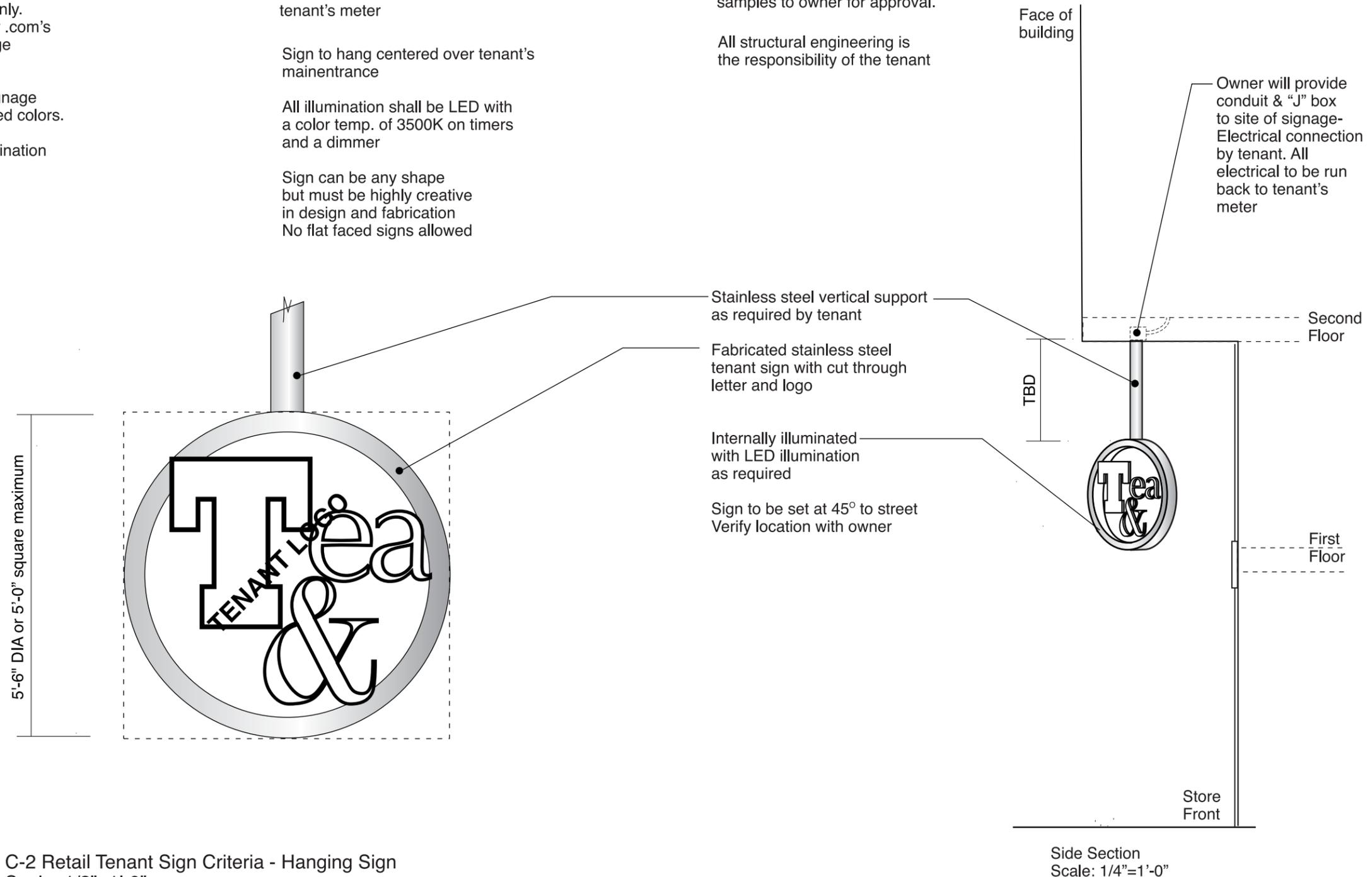
All illumination shall be LED with a color temp. of 3500K on timers and a dimmer

Sign can be any shape but must be highly creative in design and fabrication. No flat faced signs allowed

COLORS:
Recommended colors for letter faces is White. If a color is used it should be a soft muted colors that accents the building. Colors must be approved by owner prior to sign fabrication.

Tenant to submit materials samples to owner for approval.

All structural engineering is the responsibility of the tenant



C-2 Retail Tenant Sign Criteria - Hanging Sign
Scale: 1/2"=1'-0"

All ideas, arrangements, and plans indicated or represented by this drawing are owned by and the property of Beck & Graboski Design Office, and were created, evolved, and developed for use on and in connection with the specific project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of Beck & Graboski Design Office. Written dimensions on these drawings shall have precedence over scaled dimensions; contractors shall verify and be responsible for all dimensions and conditions on the job, and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding to fabricate.

701 Colorado Avenue
Santa Monica
1557 7th St, LLC

Date March 27, 2020
Project 652
Scale
Drawn By
Check
Revised

C-2

BECK & GRABOSKI
D e s i g n O f f i c e

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