



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

1338 5TH ST

1338 5TH STREET, SANTA MONICA, CA 90401

ARB CONCEPT REVIEW HEARING 01.22.2020

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SCALE

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01.22.2020

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1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

SRO UNIT SCHEDULE

SRO UNIT SCHEDULE

UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
101	TYPE A.1	312	235
102	TYPE A.1	310	235
103	TYPE A.1	312	235
104	TYPE A.1	310	235
105	TYPE A.1	310	235
106	TYPE B.1	317	235
1ST FLOOR SRO			6 UNITS

UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
202	TYPE A.1	304	228
203	TYPE A.1	304	228
204	TYPE A.1	304	228
205	TYPE A.1	304	228
207	TYPE A.1	312	235
208	TYPE A.1	312	235
209	TYPE A.1	312	235
210	TYPE A.1	312	235
211	TYPE A.1	312	235
212	TYPE A.1	312	235
213	TYPE A.2	295	220
215	TYPE A.1	304	228
216	TYPE A.1	304	228
218	TYPE A.1	304	228
219	TYPE A.1	304	228
220	TYPE A.1	305	228
221	TYPE A.1	305	228
2ND FLOOR SRO			17 UNITS

UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
302	TYPE A.1	304	228
303	TYPE A.1	304	228
304	TYPE A.1	304	228
306	TYPE A.1	312	234
307	TYPE A.1	312	235
308	TYPE A.1	312	235
309	TYPE A.1	312	235
310	TYPE A.1	312	235
311	TYPE A.1	312	235
314	TYPE A.1	305	235
315	TYPE A.2	297	220
316	TYPE C.1	299	220
317	TYPE C.1	299	220
318	TYPE A.1	304	228
319	TYPE A.1	304	228
320	TYPE A.1	305	228
321	TYPE A.1	305	228
3RD FLOOR SRO			17 UNITS

UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
402	TYPE A.1	304	228
403	TYPE A.1	304	228
404	TYPE A.1	304	224
406	TYPE A.1	312	235
407	TYPE A.1	312	235
408	TYPE A.1	312	235
409	TYPE A.1	312	235
410	TYPE A.1	312	235
411	TYPE A.1	312	235
414	TYPE A.1	305	235
415	TYPE A.2	297	220
416	TYPE C.1	299	220
417	TYPE C.1	299	220
418	TYPE A.1	304	228
419	TYPE A.1	304	228
420	TYPE A.1	305	228
421	TYPE A.1	305	228
422	TYPE A.1	305	228
4TH FLOOR SRO			18 UNITS

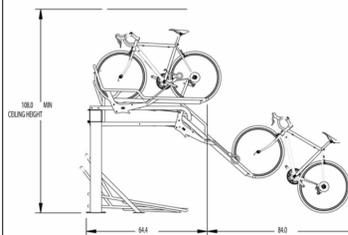
UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
502	TYPE A.1	304	228
503	TYPE A.1	304	228
504	TYPE A.1	304	228
506	TYPE B.2	311	234
507	TYPE A.1	312	235
508	TYPE A.1	312	235
509	TYPE A.1	312	235
510	TYPE A.1	312	235
511	TYPE A.1	312	235
514	TYPE A.1	312	235
515	TYPE A.2	297	220
516	TYPE C.1	299	220
517	TYPE C.1	299	220
518	TYPE A.1	304	228
519	TYPE A.1	304	228
520	TYPE A.1	305	228
521	TYPE A.1	305	228
522	TYPE A.1	305	228
5TH FLOOR SRO			18 UNITS

UNIT NUMBER	UNIT TYPE	UNIT SIZE	LIVING AREA
602	TYPE A.1	304	228
603	TYPE A.1	304	228
604	TYPE A.1	304	228
606	TYPE B.2	311	234
607	TYPE A.1	312	235
608	TYPE A.1	312	235
609	TYPE A.1	312	235
610	TYPE A.1	312	235
611	TYPE A.1	312	235
614	TYPE A.1	305	235
615	TYPE A.2	297	220
616	TYPE C.1	299	220
617	TYPE C.1	299	220
618	TYPE A.1	304	228
619	TYPE A.1	305	228
620	TYPE A.1	305	228
621	TYPE A.1	304	228
622	TYPE A.1	304	228
6TH FLOOR SRO			18 UNITS

TOTAL UNIT:	94 UNITS
AVERAGE OF UNIT SIZE:	307 SF
AVERAGE OF LIVING AREA:	230 SF

BIKE RACK DETAILS

LONG TERM DOUBLE TIER
SARIS STACK RACK
65" LONG, 18" O.C., 84" AISLE



SHORT TERM
SARIS CIRCLE DOCK
36" LONG, 32" HIGH, 24" O.C.



AUTOMOBILE PARKING

MAXIMUM ALLOWABLE PARKING PER SMMC TABLE 9.28.060 FOR DCP

RESIDENTIAL - MARKET RATE:
STUDIO: 5 stalls / unit
80 units x .5 = 40 stalls

RESIDENTIAL - AFFORDABLE:
STUDIO: 25 stalls / unit
14 units x .25 = 4 stalls

RESIDENTIAL - MARKET RATE:
1 BR: 5 stalls / unit
11 units x .5 = 6 stalls

RESIDENTIAL - AFFORDABLE:
1 BR: 25 stalls / unit
5 units x .25 = 1 stalls

RESIDENTIAL - MARKET RATE:
2 OR MORE BR: 1 stalls / unit
10 units x 1 = 10 stalls

GUEST PARKING - MARKET RATE:
1 stall / 15 units
101 units / 15 = 7 stalls

GUEST PARKING - AFFORDABLE:
1 stall / 30 units
19 units / 30 = 1 stall

MAXIMUM ALLOWABLE RESIDENTIAL: 69 STALLS

COMMERCIAL - RESTAURANT < 5,000 SF:
1 stalls / 500 sf
2,752 sf / 500 = 5 stalls

MAXIMUM ALLOWABLE COMMERCIAL: 5 STALLS

TOTAL MAXIMUM ALLOWABLE PARKING: 74 STALLS

PROVIDED AUTOMOBILE PARKING

PROVIDED PARKING		
STALL TYPE	STALL SIZE	QTY
COMMERCIAL	(3) ACCESSIBLE	1
COMMERCIAL	COMPACT	1
COMMERCIAL	STANDARD	3
COMMERCIAL		5
RESIDENTIAL	ACCESSIBLE	3
RESIDENTIAL	COMPACT	39
RESIDENTIAL	STANDARD	62
RESIDENTIAL		104
RESIDENTIAL GUEST	COMPACT	2
RESIDENTIAL GUEST	STANDARD	5
RESIDENTIAL GUEST		7
GRAND TOTAL		116

116 (PROVIDED PARKING) - 74 (MAXIMUM ALLOWABLE PARKING)
= 42 STALLS (ADDITIONAL PARKING PER SETTLEMENT AGREEMENT AND RELEASE, SECTION D. ii)

BICYCLE PARKING

BICYCLE PARKING REQUIREMENTS PER SMMC SECTION 9.28.140

COMMERCIAL (RESTAURANT):
LONG TERM: 1 STALL / 3,000 SF. MIN OF 4 STALLS REQUIRED
SHORT TERM: 1 STALL / 4,000 SF. MIN OF 4 STALLS REQUIRED

LONG TERM: 2,457 SF / 3,000 = 4 STALLS
SHORT TERM: 2,457 SF / 4,000 = 1 STALLS
(OF WHICH REQ'D CARGO = 1 CARGO STALL)

RESIDENTIAL:
LONG TERM: 1 / BEDROOM = 120 BR X 1 = 120 STALLS
SHORT TERM: .1 / BEDROOM = 120 BR X .1 = 12 STALLS
(OF WHICH REQ'D CARGO = 124 STALLS X .10 = 12 REQ'D CARGO STALL)

TOTAL LONG TERM: 124 STALLS
TOTAL SHORT TERM: 16 STALLS
TOTAL BICYCLE REQUIRED: 140 STALLS

PROVIDED BICYCLE PARKING

COMMERCIAL (RESTAURANT):
LONG TERM: 3 STANDARD + 1 CARGO = 4 STALLS
SHORT TERM: 4 STALLS

RESIDENTIAL:
LONG TERM: 140 STANDARD + 15 CARGO = 155 STALLS
SHORT TERM: 15 STALLS

TOTAL PROVIDED: 178 STALLS

FAR

SITE AREA: 14,981 SF

ALLOWABLE FAR PER DCP
NEIGHBORHOOD VILLAGE,
TIER 3: 3.5 : 1

ALLOWABLE FLOOR AREA: 14,985 SF X 3.5 = 52,447 SF

TIER 1 SRO FAR ALLOWED: 2.25 FAR = 14,985 X 2.25 = 33,716 SF

FLOOR AREA		
LEVEL	TYPE	AREA (SF)
COMMERCIAL		
1ST FLOOR	COMMERCIAL	2662
COMMERCIAL		
RESIDENTIAL COMMON		
1ST FLOOR	RESIDENTIAL COMMON	2317
2ND FLOOR	RESIDENTIAL COMMON	316
3RD FLOOR	RESIDENTIAL COMMON	316
RESIDENTIAL COMMON		
TIER 1 SRO		
1ST FLOOR	TIER 1 SRO	1958
2ND FLOOR	TIER 1 SRO	5466
3RD FLOOR	TIER 1 SRO	5429
4TH FLOOR	TIER 1 SRO	5747
5TH FLOOR	TIER 1 SRO	5734
6TH FLOOR	TIER 1 SRO	5736
TIER 1 SRO		
TIER 2 RESIDENTIAL		
Not Placed	TIER 2 RESIDENTIAL	0
1ST FLOOR	TIER 2 RESIDENTIAL	1130
2ND FLOOR	TIER 2 RESIDENTIAL	2817
3RD FLOOR	TIER 2 RESIDENTIAL	3146
4TH FLOOR	TIER 2 RESIDENTIAL	3173
5TH FLOOR	TIER 2 RESIDENTIAL	3173
6TH FLOOR	TIER 2 RESIDENTIAL	3173
TIER 2 RESIDENTIAL		
GRAND TOTAL		
52273		

TIER 2 RESIDENTIAL

64.4% TIER 1 SRO FLOOR AREA
(TIER 1 SRO FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
(30,048 SF / 46,659 SF)

35.6% TIER 2 FLOOR AREA
(TIER 2 FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
(16,611 SF / 46,659 SF)

PROVIDED FLOOR AREA: TOTAL BUILDING AREA / SITE AREA =
52,270 / 14,985 = 3.49

COMMERCIAL AREA / TOTAL BLDG AREA
= 2,662 / 52,270 = 5.1%

PROVIDED TIER 1 SRO FAR: (TIER 1 FLOOR AREA + TIER 1 FLOOR
AREA % X (COMMON AREA +
COMMERCIAL AREA)) / SITE AREA
= (30,048 SF + 64.4% (2,662 SF + 2,949 SF))
/ 14,985 SF = 33.661SF
= 2.25

PROVIDED TIER 2 RESIDENTIAL FAR: (TIER 2 FLOOR AREA + TIER 3 FLOOR
AREA % X (COMMON AREA +
COMMERCIAL AREA)) / SITE AREA
= (16,611 SF + 35.6% (2,662 SF + 2,949 SF))
/ 14,985 SF = 18.609 SF
= 1.24

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/ 14,985 SF = 18.609 SF
= 1.24

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AREA % X (COMMON AREA +
COMMERCIAL AREA)) / SITE AREA
= (16,611 SF + 35.6% (2,6



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1338 5TH STREET

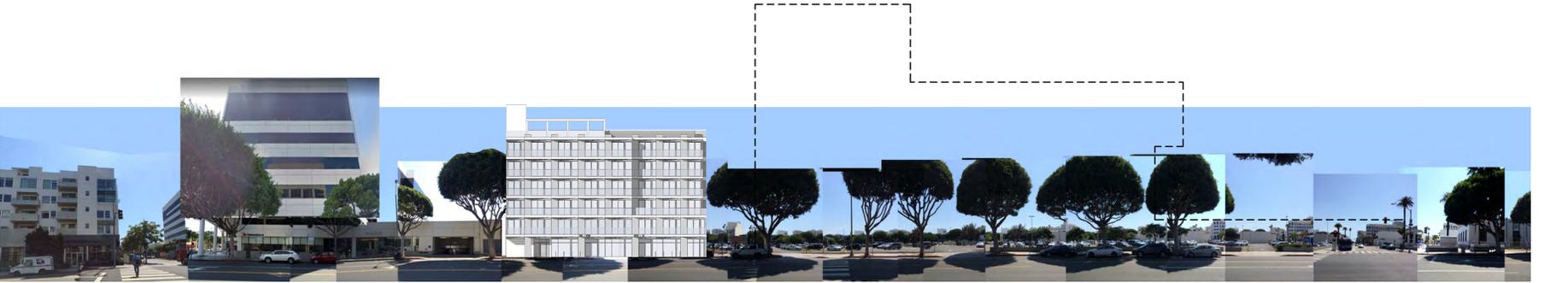
1338 5TH STREET
SANTA MONICA, CA 90401



4TH CT EAST
NTS (A)



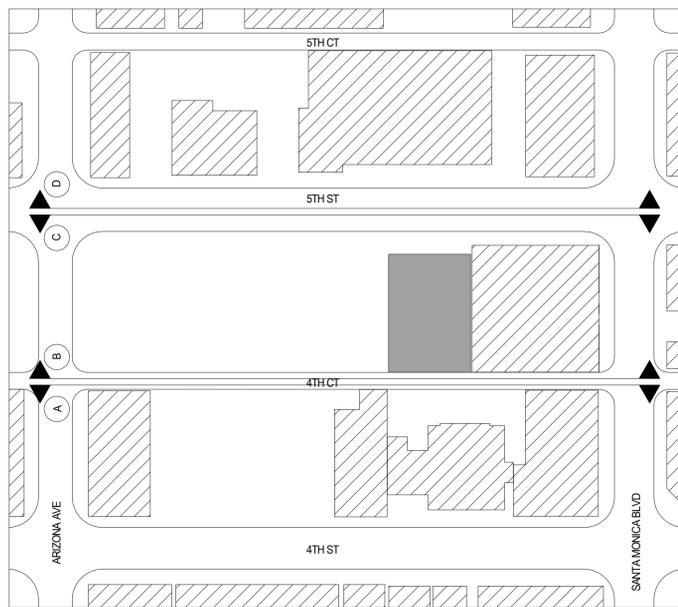
4TH CT WEST
NTS (B)



5TH STREET EAST
NTS (C)

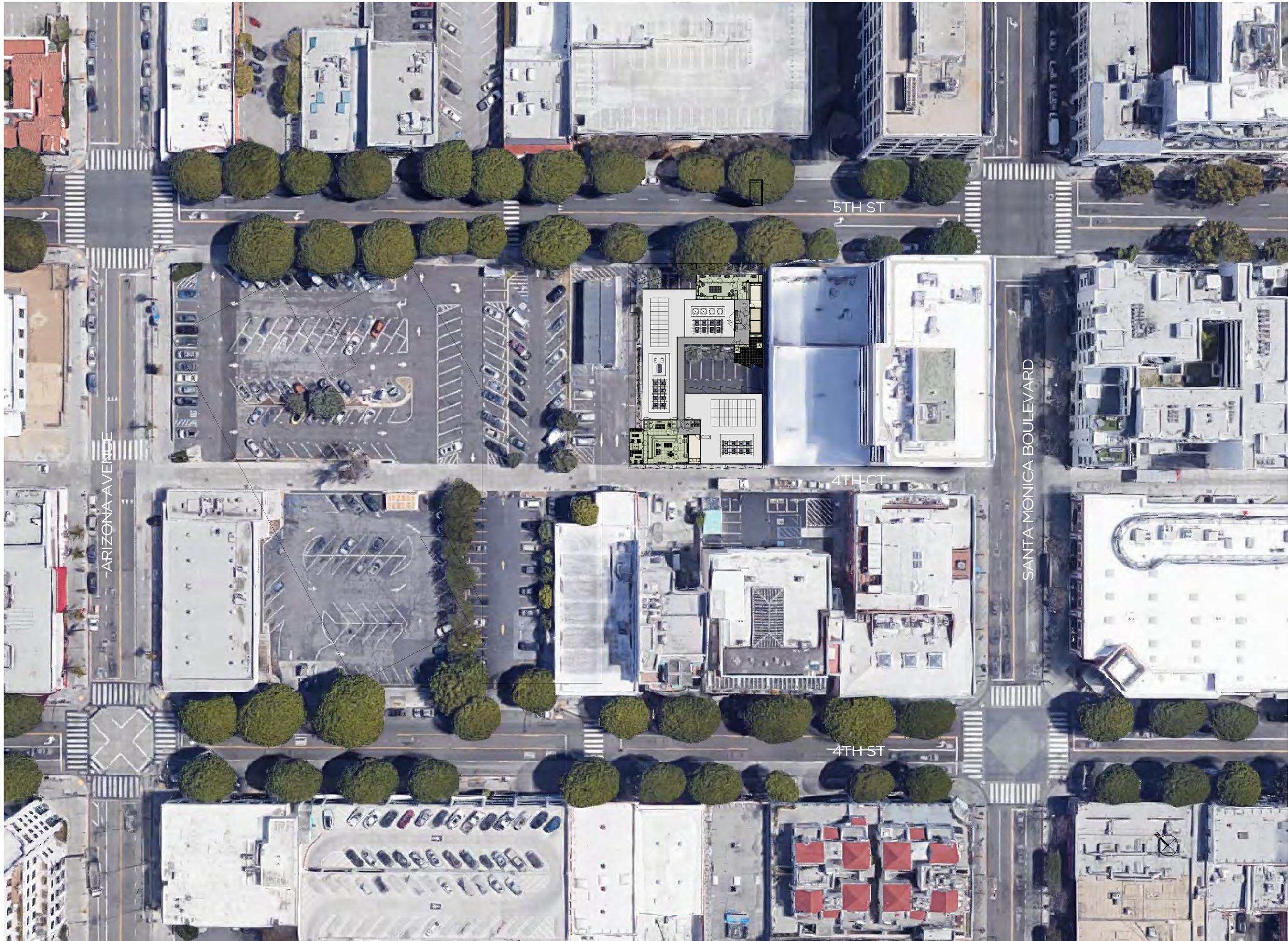


5TH STREET WEST
NTS (D)



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-ARIZONA AVENUE

5TH ST

4TH CT

4TH ST

SANTA MONICA BOULEVARD



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1338 5TH STREET

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BOULEVARD
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1323 5TH STREET

- ANGLED, PROJECTING BALCONIES
- VERTICALS WITH RIDGED ARTICULATION
- CABLE RAILINGS



NEIGHBORHOOD CONTEXT

- HEAVY HORIZONTAL BANDING
- HIGH CONTRAST FACADES
- LARGE, BOLD, COMMERCIAL FORMS



SANTA MONICA POST OFFICE

- HEAVY VERTICAL PILASTERS
- RIDGED ARTICULATION
- REGULAR RHYTHM



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



THE PLAZA AT SANTA MONICA

- HEAVY HORIZONTAL BANDING
- ANGLED MASSING

SHEET
CONTEXT

SCALE

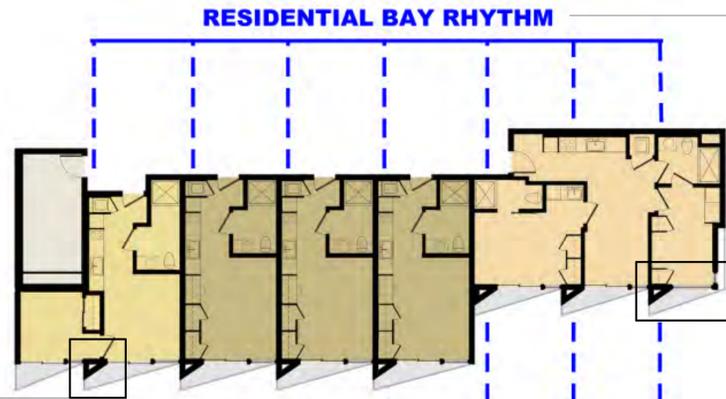
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MATERIALITY OF PILASTERS SUGGESTIVE OF TEXTURE OF SANTA MONICA POST OFFICE AND 1323 5TH STREET

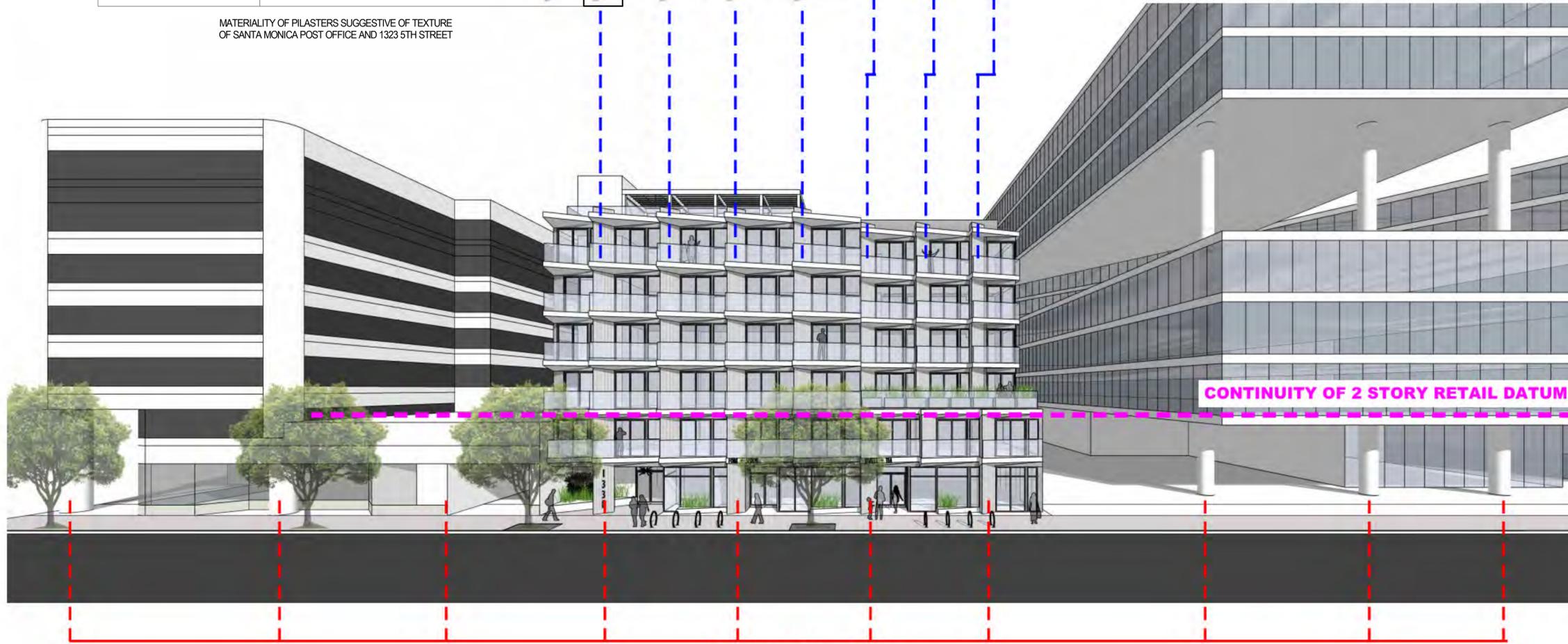


RESIDENTIAL BAY RHYTHM

VERTICAL PILASTERS SERVE TO CAPTURE BUILT-IN MILLWORK IN RESIDENTIAL UNITS AND EXPRESS THE INTERIOR SCALE



ANGLES OF BALCONIES AND PILASTERS SUGGESTIVE OF ANGLES OF PROPOSED ADJACENT PROJECT AND 1323 5TH STREET



CONTINUITY OF 2 STORY RETAIL DATUM

RETAIL BAY RHYTHM

CONCEPTS

- RELATION TO CONTEXT
- SIMPLICITY
- BOLD VERTICAL PILASTERS
- REGULAR RHYTHM CORRESPONDING TO INTERIOR, EXPRESSED AT DIFFERENT SCALES



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FAR

SITE AREA: 14,981 SF
 ALLOWABLE FAR PER DCP NEIGHBORHOOD VILLAGE, TIER 3: 3.5 : 1
 ALLOWABLE FLOOR AREA: 14,985 SF X 3.5 = 52,447 SF
 TIER 1 SRO FAR ALLOWED: 2.25 FAR = 14,985 X 2.25 = 33,716 SF

FLOOR AREA		
LEVEL	TYPE	AREA (SF)
COMMERCIAL		
1ST FLOOR	COMMERCIAL	2662
COMMERCIAL		2662
RESIDENTIAL COMMON		
1ST FLOOR	RESIDENTIAL COMMON	2317
2ND FLOOR	RESIDENTIAL COMMON	316
3RD FLOOR	RESIDENTIAL COMMON	316
RESIDENTIAL COMMON		2949
TIER 1 SRO		
1ST FLOOR	TIER 1 SRO	1958
2ND FLOOR	TIER 1 SRO	5446
3RD FLOOR	TIER 1 SRO	5429
4TH FLOOR	TIER 1 SRO	5747
5TH FLOOR	TIER 1 SRO	5734
6TH FLOOR	TIER 1 SRO	5736
TIER 1 SRO		30050
TIER 2 RESIDENTIAL		
Not Placed	TIER 2 RESIDENTIAL	0
1ST FLOOR	TIER 2 RESIDENTIAL	1130
2ND FLOOR	TIER 2 RESIDENTIAL	2817
3RD FLOOR	TIER 2 RESIDENTIAL	3146
4TH FLOOR	TIER 2 RESIDENTIAL	3173
5TH FLOOR	TIER 2 RESIDENTIAL	3173
6TH FLOOR	TIER 2 RESIDENTIAL	3173
TIER 2 RESIDENTIAL		16612
GRAND TOTAL		52273

64.4% TIER 1 SRO FLOOR AREA
(TIER 1 SRO FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
(30,048 SF / 46,659 SF)

35.6% TIER 2 FLOOR AREA
(TIER 2 FLOOR AREA / TOTAL RESIDENTIAL FLOOR AREA)
(16,611 SF / 46,659 SF)

PROVIDED FLOOR AREA: TOTAL BUILDING AREA / SITE AREA = 52,270 / 14,985 = 3.49

COMMERCIAL AREA / TOTAL BLDG AREA = 2,662 / 52,270 = 5.1%

PROVIDED TIER 1 SRO FAR: (TIER 1 FLOOR AREA + TIER 1 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (30,048 SF + 64.4% (2,662 SF + 2,949 SF)) / 14,985 SF = 33,851 SF = 2.25

PROVIDED TIER 2 RESIDENTIAL FAR: (TIER 2 FLOOR AREA + TIER 3 FLOOR AREA % X (COMMON AREA + COMMERCIAL AREA)) / SITE AREA = (16,611 SF + 35.6% (2,662 SF + 2,949 SF)) / 14,985 SF = 18,609 SF = 1.24

- COMMERCIAL
- RESIDENTIAL COMMON
- TIER 1 SRO
- TIER 2 RESIDENTIAL

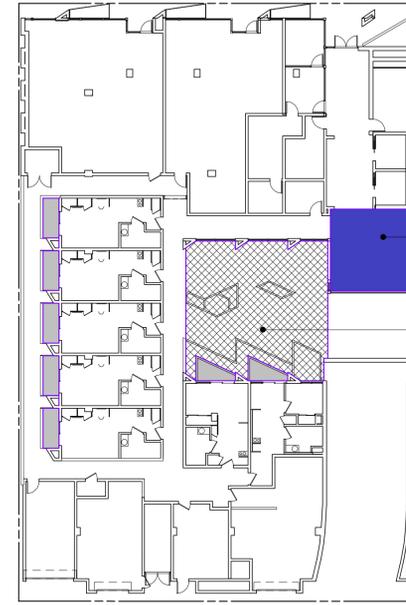
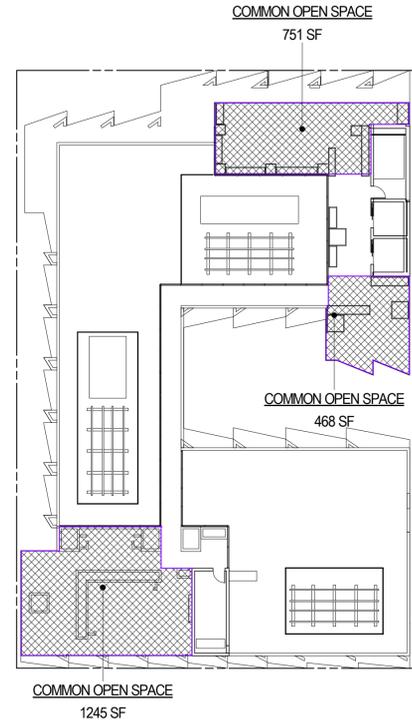


FAR CALCULATIONS



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OPEN SPACE

OPEN SPACE REQUIREMENTS PER DCP:
20% OF TOTAL BUILDABLE AREA = 14,985 SF X .20 = 2,997 SF

OPEN SPACE REQUIREMENTS PER IZO 2609 FOR TIER 1 SRO:
10 SF / LIVING AREA = 10 SF X 93 = 930 SF

AT LEAST 400 SF IN INTERIOR COMMON SPACE AT GROUND FLOOR ENTRY AREA

200 SF OF INTERIOR COMMON AREA PER FLOOR ABOVE GROUND FLOOR LEVEL.

*OPEN SPACE PROVIDED TO SATISFY DCP STANDARDS MAY ALSO BE USED TO SATISFY ANY AND ALL COMMON AREA REQUIREMENTS FOR THE TIER 1 SRO INCREMENT AS REQUIRED UNDER IZO NO. 2609.

OPEN SPACE PROVIDED			
NAME	LEVEL	QTY	AREA
COMMON OPEN SPACE	1ST FLOOR	1	1147 SF
COMMON OPEN SPACE	ROOF	3	2464 SF
COMMON OPEN SPACE 3611 SF			
PRIVATE OPEN SPACE	1ST FLOOR	7	280 SF
PRIVATE OPEN SPACE	2ND FLOOR	4	162 SF
PRIVATE OPEN SPACE	3RD FLOOR	7	603 SF
PRIVATE OPEN SPACE	4TH FLOOR	6	262 SF
PRIVATE OPEN SPACE	5TH FLOOR	6	262 SF
PRIVATE OPEN SPACE	6TH FLOOR	6	262 SF
PRIVATE OPEN SPACE			1833 SF
GRAND TOTAL			5444 SF

NOTE:
10% LOCATED AT GROUND FLOOR OR AT POOLUM 1 OR 2 LEVELS ABOVE GROUND AND 10% WITHOUT REGULATED LOCATIONS

14,985 SF X .10 = 1,499 SF REQ'D OPEN SPACE AT LEVEL 1 OR 2

1,147 SF + 280 SF + 162 SF = 1,589 SF OPEN SPACE PROVIDED AT LEVELS 1-2

COMMON SPACE PROVIDED - TIER 1 SRO			
NAME	LEVEL	QTY	AREA
INTERIOR COMMON AREA	2ND FLOOR	1	305 SF
INTERIOR COMMON AREA	3RD FLOOR	1	305 SF
INTERIOR COMMON AREA			610 SF
INTERIOR COMMON SPACE AS BLDG ENTRY	1ST FLOOR	1	406 SF
INTERIOR COMMON SPACE AS BLDG ENTRY			406 SF
GRAND TOTAL			1016 SF

NOTE:
COMMON AREA OF THE SAME SIZE (200 SF) DEDICATED FOR SUCH ACTIVITIES PROVIDED ON THE ROOF SHALL SATISFY THE REQUIREMENT FOR ONE INDIVIDUAL FLOOR IN A STRUCTURE. COMMON AREA ON THE ROOF SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF MUNICIPAL CODE.

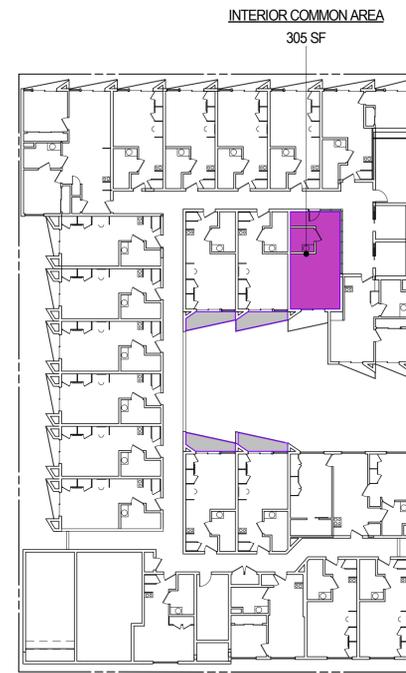
- PRIVATE OPEN SPACE
- COMMON OPEN SPACE
- INTERIOR COMMON AREA
- INTERIOR COMMON SPACE AS BLDG ENTRY

ROOF PLAN
3/64" = 1'-0" 18

5TH FLOOR
3/64" = 1'-0" 14

3RD FLOOR OPEN SPACE PLAN
3/64" = 1'-0" 10

1ST FLOOR OPEN SPACE PLAN
3/64" = 1'-0" 6



6TH FLOOR
3/64" = 1'-0" 16

4TH FLOOR OPEN SPACE PLAN
3/64" = 1'-0" 12

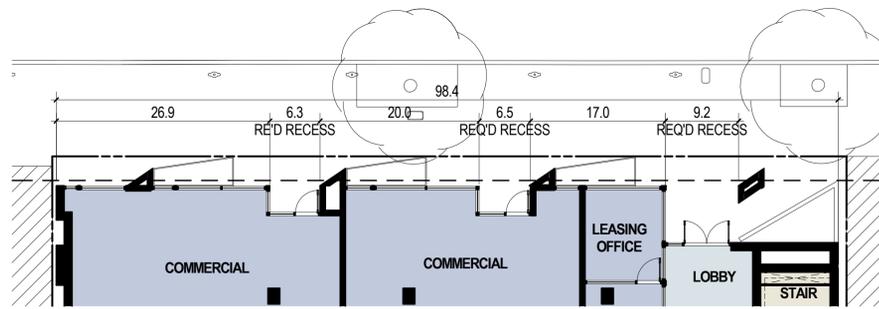
2ND FLOOR OPEN SPACE PLAN
3/64" = 1'-0" 8

OPEN SPACE CALCULATIONS

SCALE
As indicated
DATE
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BUILD-TO LINE

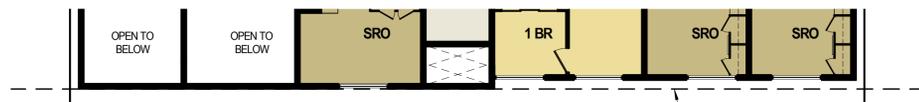
BUILDINGS WITH NONRESIDENTIAL USES ON THE GROUND FLOOR AND NOT FACING A RESIDENTIAL DISTRICT SHALL BE CONSTRUCTED AT THE BUILDING FRONTAGE LINE FOR 70 PERCENT OF LINEAR STREET FRONTAGE. BUILDING ENTRIES REQUIRED TO BE RECESSED DUE TO TECHNICAL CODES MAY BE COUNTED TOWARDS THIS REQUIREMENT. THIS REQUIREMENT MAY MODIFIED UPON FINDING THAT:

- A. AN ALTERNATIVE CONFIGURATION CAN BE APPROVED BASED ON THE FINDINGS IN CHAPTER 9.43.020, MINOR MODIFICATIONS.
- B. THE ALTERNATIVE CONFIGURATION MEETS THE OBJECTIVES OF THE DCP DESIGN GUIDELINES.
- C. ENTRY COURTYARDS, PLAZAS, SMALL PARKS, ENTRIES, OUTDOOR EATING AND DISPLAY AREAS, OR OTHER UNCOVERED AREAS DESIGNED AND ACCESSIBLE FOR PUBLIC USE ARE LOCATED BETWEEN THE BUILD-TO LINE AND BUILDING, PROVIDED THAT THE BUILDINGS ARE BUILT TO THE EDGE OF THE COURTYARD, PLAZA, SMALL PARK, OR DINING AREA; AND
- D. THE BUILDING INCORPORATES AN ALTERNATIVE ENTRANCE DESIGN THAT CREATES A PEDESTRIAN-ORIENTED ENTRY FEATURE FACING THE STREET.

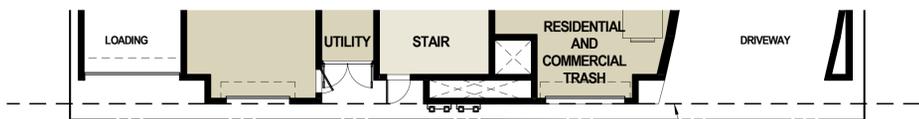
TOTAL FACADE LENGTH: 98.4'
 LENGTH OF ALLOWABLE FACADE RECESSES: 6.3' + 6.5' + 9.2' = 22.0'
 LENGTH OF REMAINING FACADE: 98.4' - 22.0' = 76.4'
 LENGTH OF FACADE REQUIRED TO BE CONSTRUCTED AT BUILDING FRONTAGE LINE: 76.4' X .70 = 53.5'
 LENGTH OF FACADE PROPOSED TO BE CONSTRUCTED AT BUILD-TO LINE: 26.9' + 20.0' + 17.0' = 63.9'

BUILD-TO-LINE
3/32" = 1'-0"

18



2ND FLOOR



1ST FLOOR



- 3RD FLOOR
+110' - 6 1/8"
- 2ND FLOOR
+101' - 0"
- ANG
+88' - 6 3/8"
- ALLEY
+87' - 0"

REAR SETBACKS

PER DCP 9.10.110.1.d, A MODIFICATION OF UP TO 10% OF THE REQUIRED FACADE AREA TO BE MODULATED MAY BE ALLOWED AS A MINOR MODIFICATION FOLLOWING THE DEVELOPMENT STANDARDS ESTABLISHED IN 9.10.060 OR SMMC CHAPTER 9.28

REQUIRED SETBACK = 2'-0" FOR FIRST 16'-0" OF BUILDING HEIGHT
 NO PROJECTION BEYOND THE REQUIRED 2'-0" REAR SETBACK LINE.

STEPBACKS - WEST ELEVATION
3/32" = 1'-0"

3

ALLOWABLE PROJECTIONS

COMBINED LENGTH OF HABITABLE AND NON-HABITABLE SPACES. THE TOTAL COMBINED LENGTH OF PROJECTIONS INTO THE BUILDING FRONTAGE LINE SHOULD NOT EXCEED 65% OF THE BUILDING FACE TO WHICH THEY ARE ATTACHED. HOWEVER, NO MORE THAN 50% OF THIS COMBINED LENGTH MAY BE HABITABLE PROJECTING SPACE.

TOTAL LENGTH OF FACADE = 97.9'
 65% ALLOWABLE PROJECTION PER FLOOR = 97.9' X .65 = 63.6'

ALLOWABLE LENGTH OF HABITABLE PROJECTION PER FLOOR = 63.6' X .5 = 31.8'



NON-HABITABLE PROJECTION

PROJECTIONS - EAST ELEVATION
3/32" = 1'-0"

1



FACADE AREA
 PROVIDED 5 FOOT UPPER STEPBACK AREA
 PROVIDED 5 FOOT LOWER STEPBACK AREA

STEPBACKS - EAST ELEVATION
3/32" = 1'-0"

2



1625 OLYMPIC BOULEVARD
 SANTA MONICA, CA 90404
 310.399.7975

1338 5TH STREET
 1338 5TH STREET
 SANTA MONICA, CA 90401

BUILDING MODULATION CALCULATIONS

SCALE: As indicated
 DATE: 01.22.2020

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BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

BUILDING MODULATION CALCULATIONS

SCALE:
As indicated

DATE:
01.22.2020

SHEET:
G041

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MINIMUM 5 FEET STEPBACK AREA REQUIRED:
15% OF THE SIDE FACADE ABOVE 39 FEET HEIGHT

FACADE AREA BETWEEN 39 FEET AND OVERALL BUILDING HEIGHT:
150.0' X 24.5' = 3,675 SF

15% OF THE FRONT FACADE AREA BETWEEN 39 FEET AND OVERALL BUILDING HEIGHT:
3,675 X 0.15 = 551 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED ABOVE 39 FEET: 3,733 SF



STEPBACKS - NORTH ELEVATION
3/32" = 1'-0"

1

MINIMUM 5 FEET STEPBACK AREA REQUIRED:
15% OF THE SIDE FACADE ABOVE 39 FEET HEIGHT

FACADE AREA BETWEEN 39 FEET AND OVERALL BUILDING HEIGHT:
150.0' X 24.53' = 3,675 SF

15% OF THE FRONT FACADE AREA BETWEEN 39 FEET AND OVERALL BUILDING HEIGHT:
4,245 X 0.15 = 551 SF

TOTAL 5 FEET STEPBACK AREA PROVIDED ABOVE 39 FEET: 417 SF

TOTAL 12 INCH STEPBACK AREA PROVIDED ABOVE 39 FEET = 100% = 4,245 SF

NOTE:

IN ORDER TO PROVIDE FLEXIBILITY FOR COMPLIANCE WITH THE SIDE INTERIOR STEPBACK REQUIREMENTS IS SUBSECTION C(5), IN ALL DISTRICTS THE SIDE INTERIOR STEPBACK MAY BE REDUCED TO 12" PROVIDED THAT THE OPEN SPACE REQUIREMENTS ESTABLISHED IN 9.10.060 B(1) ARE INCREASED TO THE FOLLOWING:

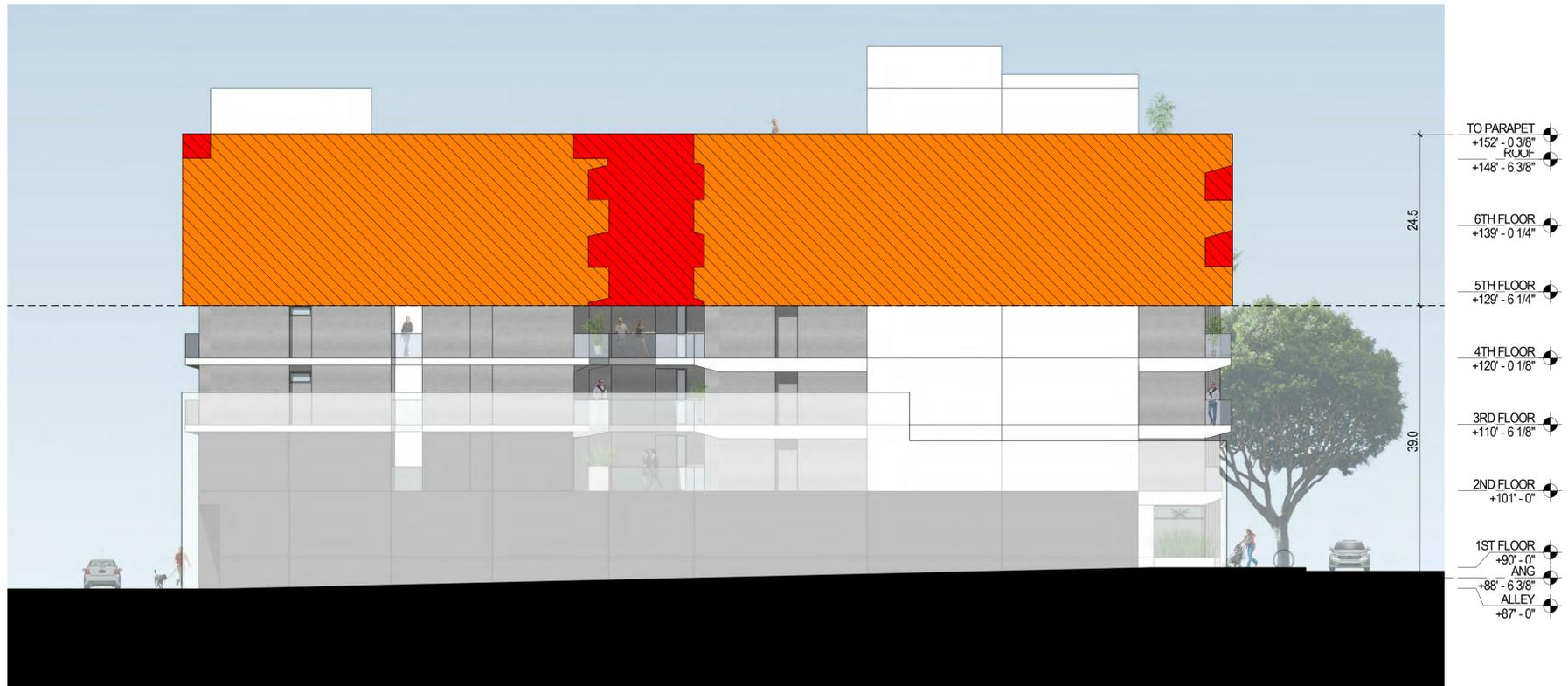
LOT WIDTH BETWEEN 51 AND 150 FEET: 25% TOTAL

OPEN SPACE PER SHEET G030:
REQUIRED OPEN SPACE = 2,997 SF
REQUIRED OPEN SPACE FOR USE OF ALTERNATIVE SIDE STEPBACK = 2,997 X 1.25 = 3,746 SF
PROVIDED OPEN SPACE = 5,077 SF

 FACADE AREA BETWEEN 39' AND OVERALL BUILDING HEIGHT

 PROVIDED 5 FEET STEPBACK AREA

 PROVIDED 12 INCH STEPBACK AREA



STEPBACKS - SOUTH ELEVATION
3/32" = 1'-0"

2



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1338 5TH STREET

1338 5TH STREET SANTA MONICA, CA 90401

PRELIMINARY TITLE REPORT

PRELIMINARY TITLE REPORT NO. 09171248-917-BLB-KRE, OCTOBER 19, 2017, PREPARED BY COMMONWEALTH LAND TITLE COMPANY, 888 S. FIGUEROA AVE., SUITE 2100, LOS ANGELES, CA 90017, WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

OWNER

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN: THE CITY OF SANTA MONICA, A MUNICIPAL CORPORATION

BASIS OF BEARINGS

THE BEARING N 44°09'19"W OF THE CENTERLINE OF 5TH STREET AS SHOWN ON PWF8 1113 PAGE 367, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS SURVEY.

BENCHMARK #201

P.K. NAIL IN LEAD NORTH CURB RETURN OF BROADWAY AND 7TH STREET 15.0 FEET NORTHEAST OF NORTHEAST CURB OF 7TH STREET 1.0 FOOT NORTHWEST OF NORTHWEST CURB OF BROADWAY.

ELEVATION = 89.445 FEET

FLOOD HAZARD STATEMENT

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 0603701500P DATED SEPTEMBER 26, 2008, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT "H" IN BLOCK 145 OF THE TOWN OF SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 80 AND 81 AND IN BOOK 39, PAGE 45, ET SEQ. MISCELLANEOUS RECORDS OF SAID COUNTY.

PARCEL 2:

LOT "I" IN BLOCK 145 OF THE TOWN OF SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 80 AND 81 AND IN BOOK 39, PAGE 45, ET SEQ. MISCELLANEOUS RECORDS OF SAID COUNTY.

APN(s): 4291-011-906 & 4291-011-907

ITEM NO. SUMMARY OF EXCEPTIONS (NOT SHOWN ON THIS SURVEY)

ITEM NO.	SUMMARY OF EXCEPTIONS (NOT SHOWN ON THIS SURVEY)	NOT PLOTTABLE
1	TAX MATTERS, ASSESSMENTS (IF ANY) AND LENS (IF ANY)	NOT PLOTTABLE
2	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS	NOT PLOTTABLE
3	MATTERS CONTAINED IN DOCUMENT ENTITLED "COVENANT AND AGREEMENT" REC. OCTOBER 7, 1980 AS INSTRUMENT NO. 89-289832-012 (SEE SURVEYOR'S NOTE ON SETLY LINE OF PARCEL 2)	AFFECTS PARCEL 2
4	ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS	NOT PLOTTABLE
5	DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS	NOT PLOTTABLE
6	ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT	NOT PLOTTABLE
7	MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTOR AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF	NOT PLOTTABLE
8	PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.	NOT PLOTTABLE

SURVEYOR'S NOTES:

- THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THAT THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON THE LAND ADJUTING SAID PROPERTY EXCEPT AS SHOWN HEREON.
- THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH LAWS REGULATING SURVEYING IN THE STATE OF CALIFORNIA
- EXCEPT AS SHOWN, ALL VISIBLE UTILITIES SERVING THE SUBJECT PROPERTY ENTER THROUGH ADJOINING PUBLIC STREET(S) AND/OR RECORDED PUBLIC UTILITY EASEMENT(S).

WETLANDS STATEMENT

THERE DOES NOT APPEAR TO BE ANY WETLANDS ON THE SUBJECT PROPERTY. HOWEVER, THE UNDERSIGNED IS NOT AN AUTHORITY ON SUCH MATTERS AND WILL DEFER TO AN EXPERT IF AN OFFICIAL STATEMENT IS REQUIRED.

ZONING DESIGNATION

C3C (CITY OF SANTA MONICA)

NOTE: NO ZONING REPORT PROVIDED BY CLIENT

AREA

14,985 SQ. FT.
0.344 ACRES

EASEMENTS

NO EASEMENTS CITED IN PRELIMINARY TITLE REPORT REFERENCED HEREON

ADDITIONAL SURVEYOR'S OBSERVATIONS

- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

SURVEYOR'S CERTIFICATE

TO: 1338 5TH STREET, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
COMMONWEALTH LAND TITLE COMPANY, A CALIFORNIA CORPORATION
HANKEY CAPITAL, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

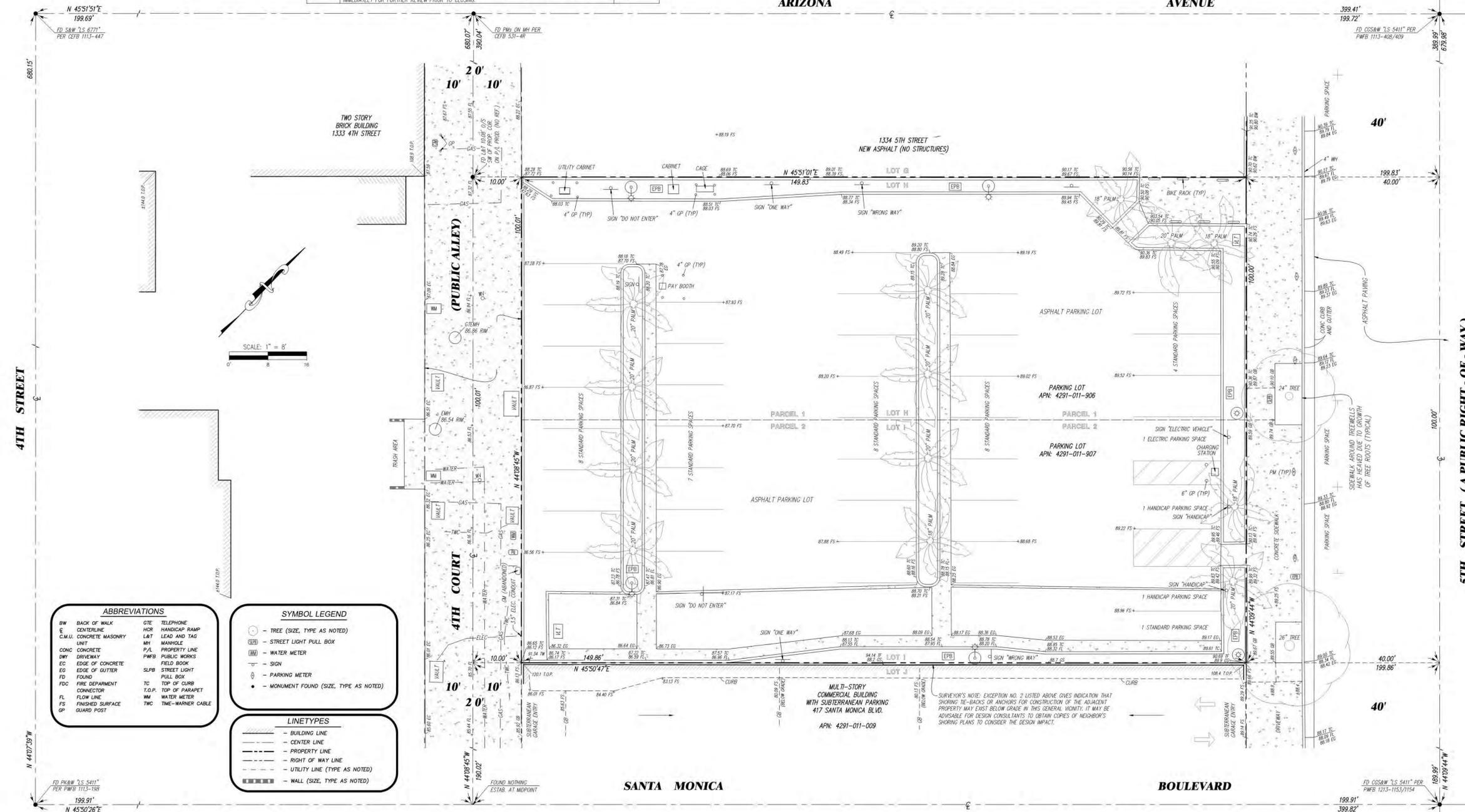
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 8, 9, 13, 14, 16, 17, AND 20 (\$1,000,000) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 11/06/17

DATE: NOVEMBER 22, 2017

Jeff S. Voorheis
JEFF S. VOORHEIS, L.S. 7570



VICINITY MAP
NOT TO SCALE



ABBREVIATIONS

BW	BACK OF WALK	GTE	TELEPHONE
C	CENTRILINE	HSR	HANDICAP RAMP
C.M.U.	CONCRETE MASONRY UNIT	L&T	LEAD AND TAG
CONC	CONCRETE	MP	MANHOLE
DWY	DRIVEWAY	P/L	PROPERTY LINE
EC	EDGE OF CONCRETE	PWB	PUBLIC WORKS
EG	EDGE OF GUTTER	SLPB	FIELD BOOK
FD	FOUND	STL	STREET LIGHT
FDC	FIRE DEPARTMENT CONNECTOR	T.C.P.	TOP OF CURB
FL	FLOW LINE	T.O.P.	TOP OF PARAPET
FS	FINISHED SURFACE	WM	WATER METER
GP	GUARD POST	TWC	TIME-WARNER CABLE

SYMBOL LEGEND

(Tree symbol)	TREE (SIZE, TYPE AS NOTED)
(Light pull box symbol)	STREET LIGHT PULL BOX
(Water meter symbol)	WATER METER
(Sign symbol)	SIGN
(Parking meter symbol)	PARKING METER
(Monument found symbol)	MONUMENT FOUND (SIZE, TYPE AS NOTED)

LINETYPES

(Solid line)	BUILDING LINE
(Dashed line)	CENTER LINE
(Dotted line)	PROPERTY LINE
(Dash-dot line)	RIGHT OF WAY LINE
(Long-dash line)	UTILITY LINE (TYPE AS NOTED)
(Thick solid line)	WALL (SIZE, TYPE AS NOTED)

REVISIONS

DATE	BY	DESCRIPTION
11/17/17	JV	UPDATED NEW PRELIMINARY TITLE REPORT & SITE INSPECTION

Client:
WNMS COMMUNITIES
1430 5TH STREET, SUITE 102
SANTA MONICA, CA 90401
Phone:

ALTA/NSPS LAND TITLE SURVEY
1342 5TH STREET
SANTA MONICA, CA 90401
DATE: 11/22/17 JOB NO. 1309M

VOORHEIS & VOORHEIS, INC.
PROFESSIONAL LAND SURVEYORS SINCE 1974
17049 Sunburst Street, Northridge, CA 91325
Phone: (818) 993-5611
mvl@SurveyLA.com

SHEET
OF
1
1

SURVEY

SCALE

DATE
01.22.2020

G050

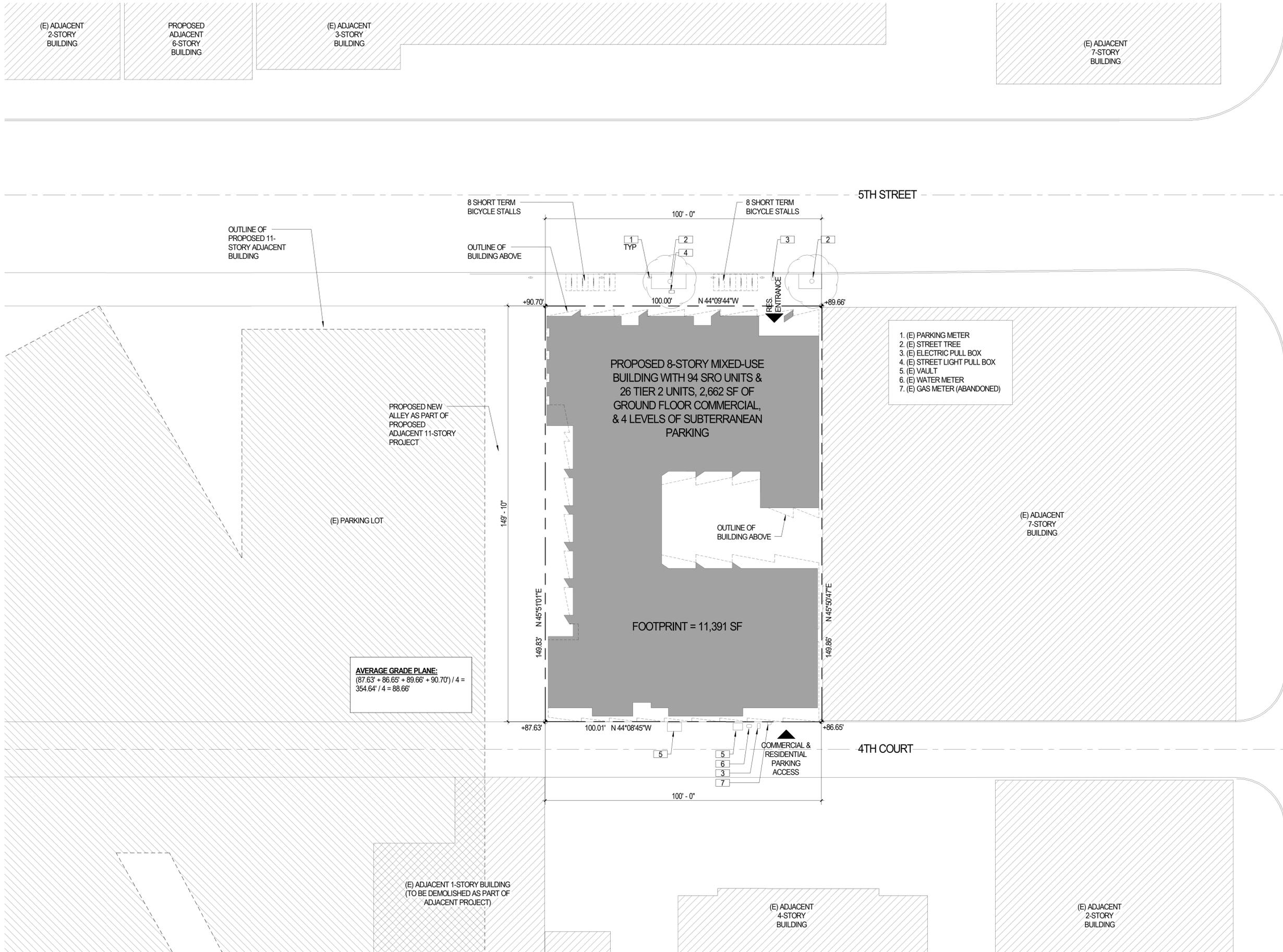
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BOULEVARD
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310.399.7975

1338 5TH STREET

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SANTA MONICA BLVD

SHEET
SITE PLAN

SCALE
1/16" = 1'-0"
DATE
01.22.2020

SHEET
A000

02/20/2020 12:34:25 PM





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LEVEL P4 PLAN
1/8" = 1'-0"

SHEET
P4 PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020
SHEET

A100

1/22/2020 12:58:37 PM



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LEVEL P3 PLAN
1/8" = 1'-0"

1

SHEET
P3 PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020
SHEET

A101

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1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



LEVEL P2 PLAN
1/8" = 1'-0"

1

SHEET
P2 PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020
SHEET

A102

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1338 5TH STREET

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SANTA MONICA, CA 90401



LEVEL P1 PLAN
1/8" = 1'-0"

1

SHEET
P1 PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020
SHEET

A103

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1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS



COURTYARD HEIGHT TO WIDTH RATIO

REQ'D MIN. HEIGHT TO WIDTH RATIO = 1.7 : 1

REQ'D COURTYARD WIDTH FOR 59.5' HIGH COURTYARD WALL = 59.5' / 1.7 = 35.00'

PROVIDED COURTYARD WIDTH = 35.00'

NOTE: PORTION OF COURTYARD THAT IS LESS THAN 35' MIN REQUIRED WIDTH IS EXCLUDED FROM OPEN SPACE CALCULATIONS

OWNER UNDERSTANDS THERE WILL BE ONE COMBINED REFUSE BILL FOR RESIDENTIAL AND COMMERCIAL

312 SF COMMERCIAL TRASH
312 SF RESIDENTIAL TRASH
MIN 10'-0" CLR HEIGHT CHECKER PLATE BETWEEN 3FT AND 6FT ABOVE FINISHED FLOOR

2'-0" SETBACK FOR 1ST 16' OF BUILDING HEIGHT

5' X 5' HVO TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS OVER 24 INCHES PURSUANT TO SMMC 9.21.180

1ST FLOOR PLAN
1/8" = 1'-0"

1ST FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020

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1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS



PROPOSED
11-STORY
ADJACENT
BUILDING

2 STORY
PORTION OF
(E) ADJACENT
7-STORY
BUILDING

2' SETBACK FOR
1ST 16' OF HEIGHT

2ND FLOOR PLAN
1/8" = 1'-0"

2ND FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020

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1338 5TH STREET

1338 5TH STREET
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SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS



PROPOSED
11-STORY
ADJACENT
BUILDING

2 STORY
PORTION OF
(E) ADJACENT
7-STORY
BUILDING

3RD FLOOR PLAN
1/8" = 1'-0"

1

SHEET
3RD FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020

SHEET
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1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS



PROPOSED
11-STORY
ADJACENT
BUILDING

2 STORY
PORTION OF
(E) ADJACENT
7-STORY
BUILDING
BELOW

4TH FLOOR PLAN
1/8" = 1'-0"

1

SHEET
4TH FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020

SHEET
A140

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1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

SHEET NOTES

- A. PRIVATE BALCONIES NOT LABELED AS "PRIVATE OPEN SPACE" ARE LESS THAN 35 SF AND ARE NOT COUNTED TOWARD OPEN SPACE CALCULATIONS



6TH FLOOR PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020

A160

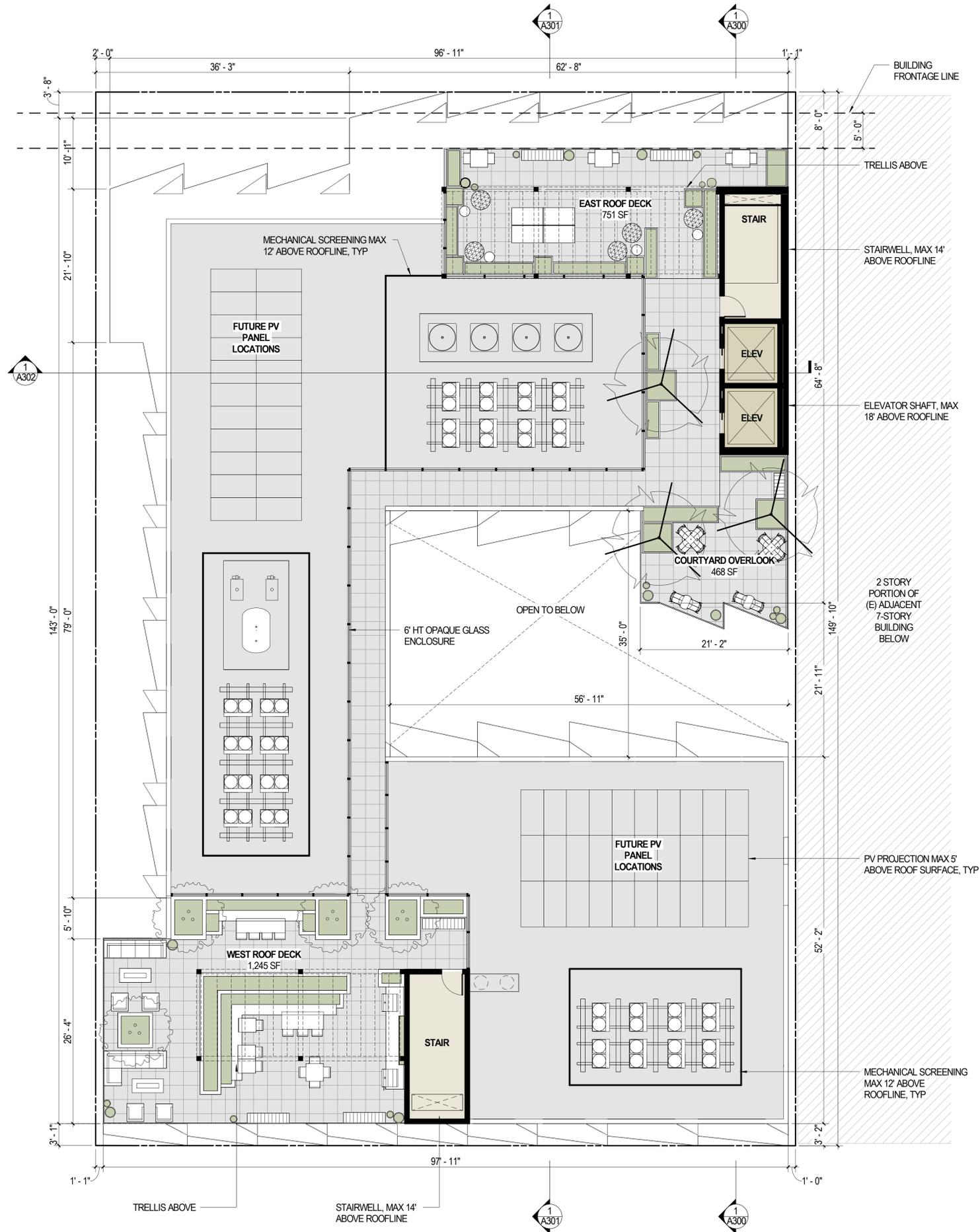
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1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



ALLOWABLE PROJECTIONS ABOVE HEIGHT LIMITS PER TABLE 9.21.060

TOTAL ROOF AREA = 11,411 SF

15% MAX ALLOWABLE ELEVATOR SHAFTS AREA = 11,411 SF X .15 = 1,712 SF
PROVIDED ELEVATOR SHAFTS AREA = 189 SF (2%)

25% MAX ALLOWABLE STAIRWELLS AREA = 11,411 SF X .25 = 2,853 SF
PROVIDED STAIRWELLS AREA = 386 SF (3%)

30% MAX ALLOWABLE MECHANICAL SCREENED AREA = 11,411 SF X .30 = 3,423 SF
PROVIDED MECHANICAL SCREENED AREA = 2,377 SF (21%)

PHOTOVOLTAIC PANEL CALCULATIONS:

BUILDING FOOTPRINT = 11,391 SF
MIN WATT = 2 X BUILDING FOOTPRINT = 22,782 W
444 WATTS PER PANEL = 22,850 W / 444 WATTS PER PANEL = 51 REQUIRED PANELS

PROVIDED PANELS = 52

MINIMUM PANEL AREA

ROOF PLAN
1/8" = 1'-0"

1

SHEET
ROOF PLAN

SCALE
1/8" = 1'-0"
DATE
01.22.2020

SHEET
A170

01/22/2020 12:25:10 PM



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1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



EAST ELEVATION
1/8" = 1'-0"

1

SHEET
ELEVATION

SCALE
1/8" = 1'-0"

DATE
01.22.2020

SHEET

A200

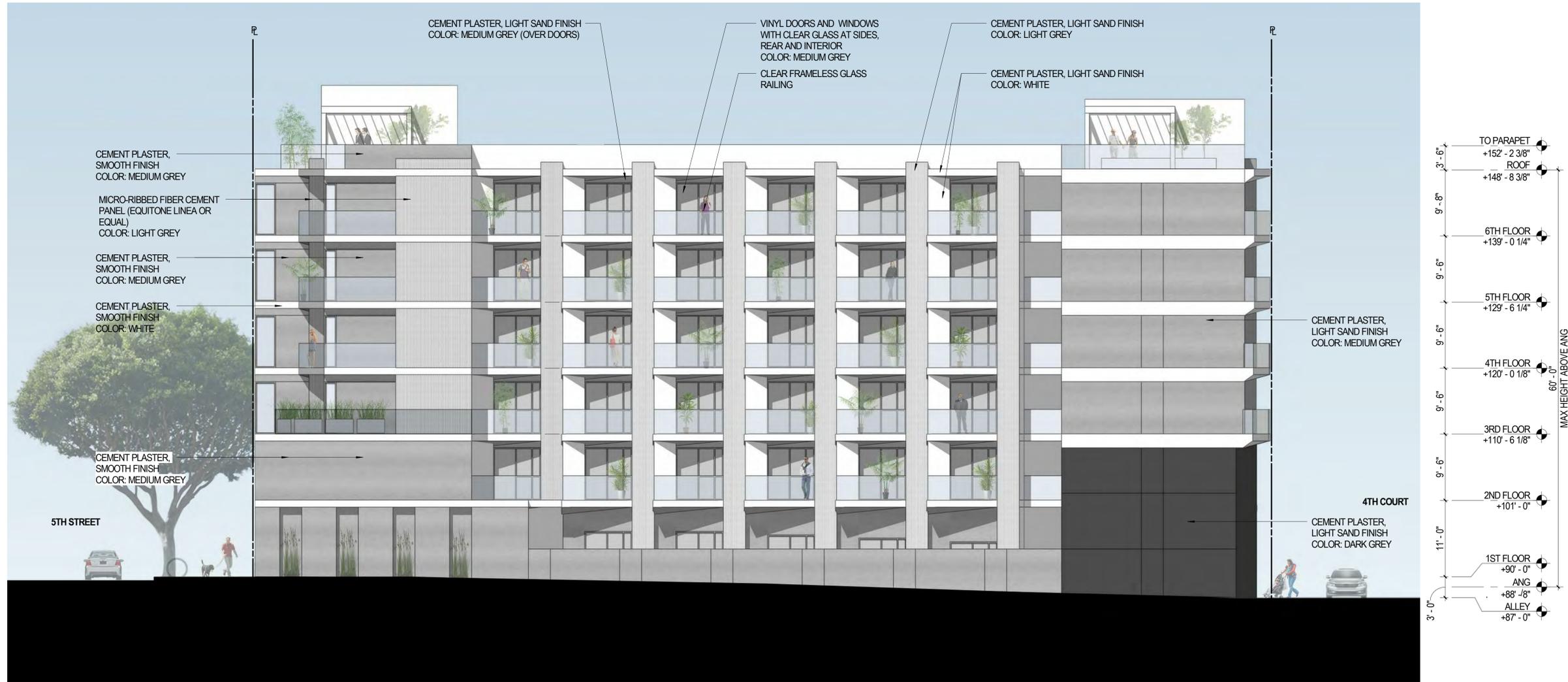
01/22/2020 12:25:11 PM



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



NORTH ELEVATION
1/8" = 1'-0"

1

SHEET
ELEVATION

SCALE
1/8" = 1'-0"

DATE
01.22.2020

SHEET

A201

02/20/2020 12:25:13 PM



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



WEST ELEVATION
1/8" = 1'-0"

1

SHEET
ELEVATION

SCALE
1/8" = 1'-0"

DATE
01.22.2020

SHEET

A202

1/22/2020 12:25:14 PM



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BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



SOUTH ELEVATION
1/8" = 1'-0"

1

SHEET
ELEVATION

SCALE
1/8" = 1'-0"

DATE
01.22.2020

SHEET

A203

1/22/2020 12:25:16 PM



1625 OLYMPIC
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SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



COURTYARD LOOKING WEST
1/8" = 1'-0"

3



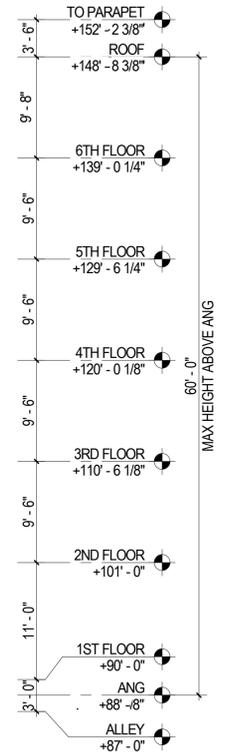
COURTYARD LOOKING NORTH
1/8" = 1'-0"

2



COURTYARD LOOKING EAST
1/8" = 1'-0"

1



ELEVATIONS

SCALE
1/8" = 1'-0"

DATE
01.22.2020

SHEET
A204

1/22/2020 12:25:00 PM



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



SHEET
RENDERING

SCALE

DATE
01.22.2020

SHEET
A210

01/22/2020 12:55:45 PM



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

VIEW FROM 5TH STREET LOOKING NORTH

SHEET
RENDERING

SCALE

DATE
01.22.2020

SHEET
A211

1/22/2020 12:25:27 PM



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

NORTH ELEVATION

SHEET
RENDERING

SCALE
DATE
01.22.2020
SHEET
A212
1/22/2020 12:25:30 PM



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

VIEW FROM NORTHWEST (ALLEY)

SHEET
RENDERING

SCALE

DATE
01.22.2020

SHEET
A213

1/22/2020 12:25:30 PM



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

5TH STREET - STREET VIEW

SHEET
RENDERING

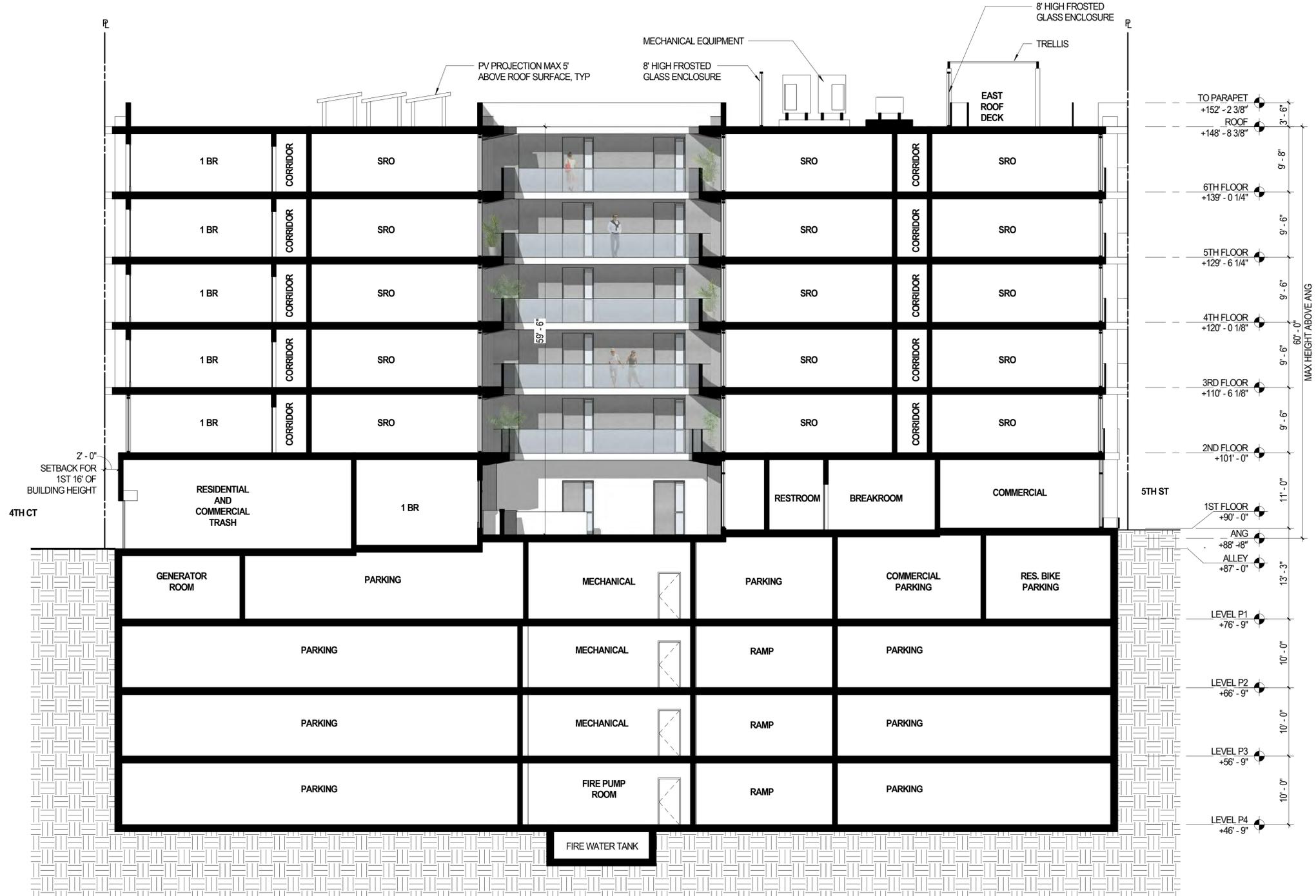
SCALE
DATE
01.22.2020
SHEET
A214
1/22/2020 12:25:30 PM



1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



LONGITUDIANL SECTION AT COURTYARD
1/8" = 1'-0"

1

SHEET
BUILDING SECTION

SCALE
1/8" = 1'-0"
DATE
01.22.2020

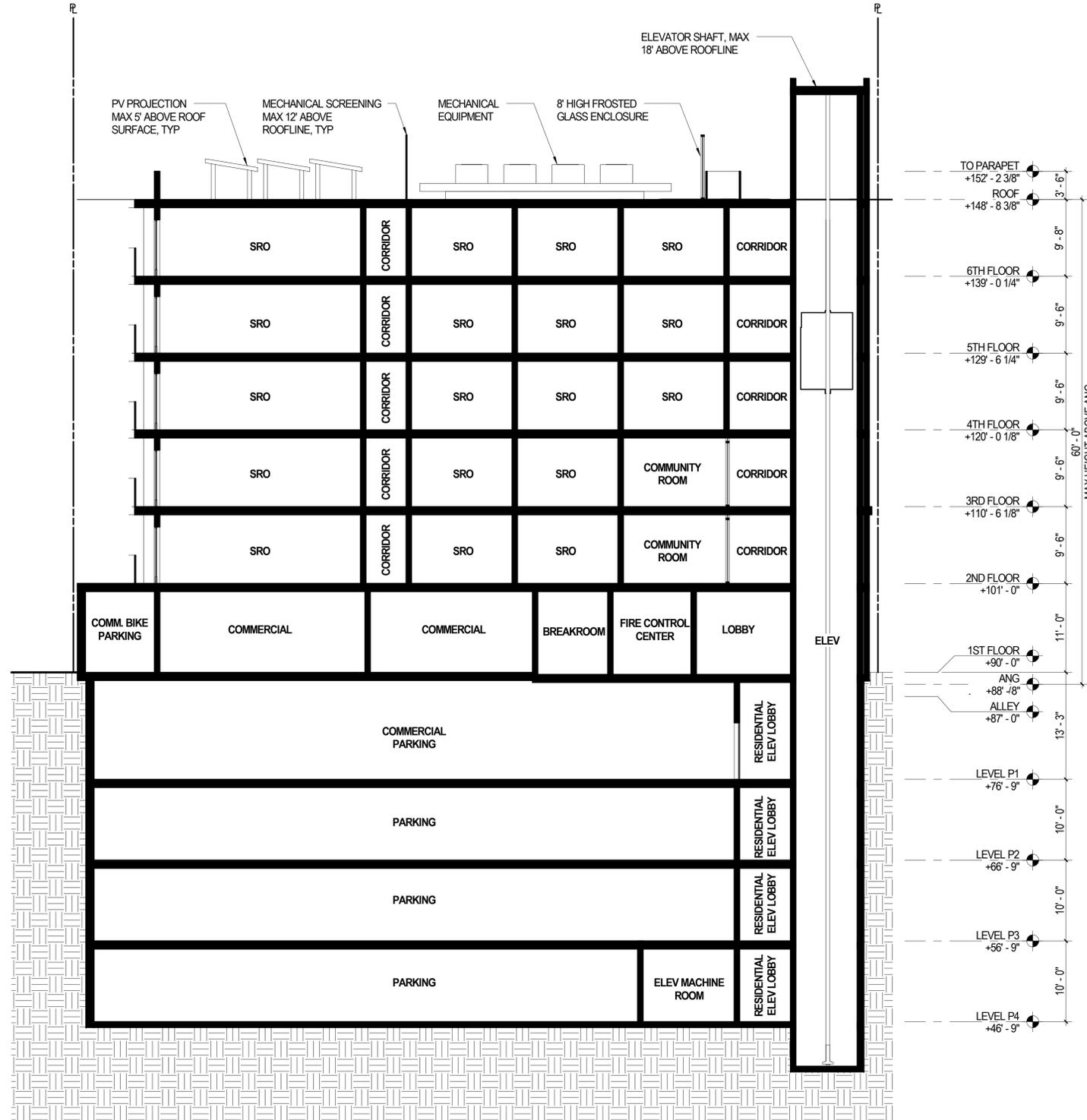
SHEET
A301
1/22/2020 12:25:39 PM



1625 OLYMPIC
BOULEVARD
SANTA MONICA, CA 90404
310.399.7975

1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401



CROSS SECTION AT COMMERCIAL
1/8" = 1'-0"

1

SHEET
BUILDING SECTION

SCALE
1/8" = 1'-0"

DATE
01.22.2020

SHEET

A302

1/22/2020 12:25:46 PM

LANDSCAPE PLAN DECLARATIONS

PARKWAY DECLARATIONS:

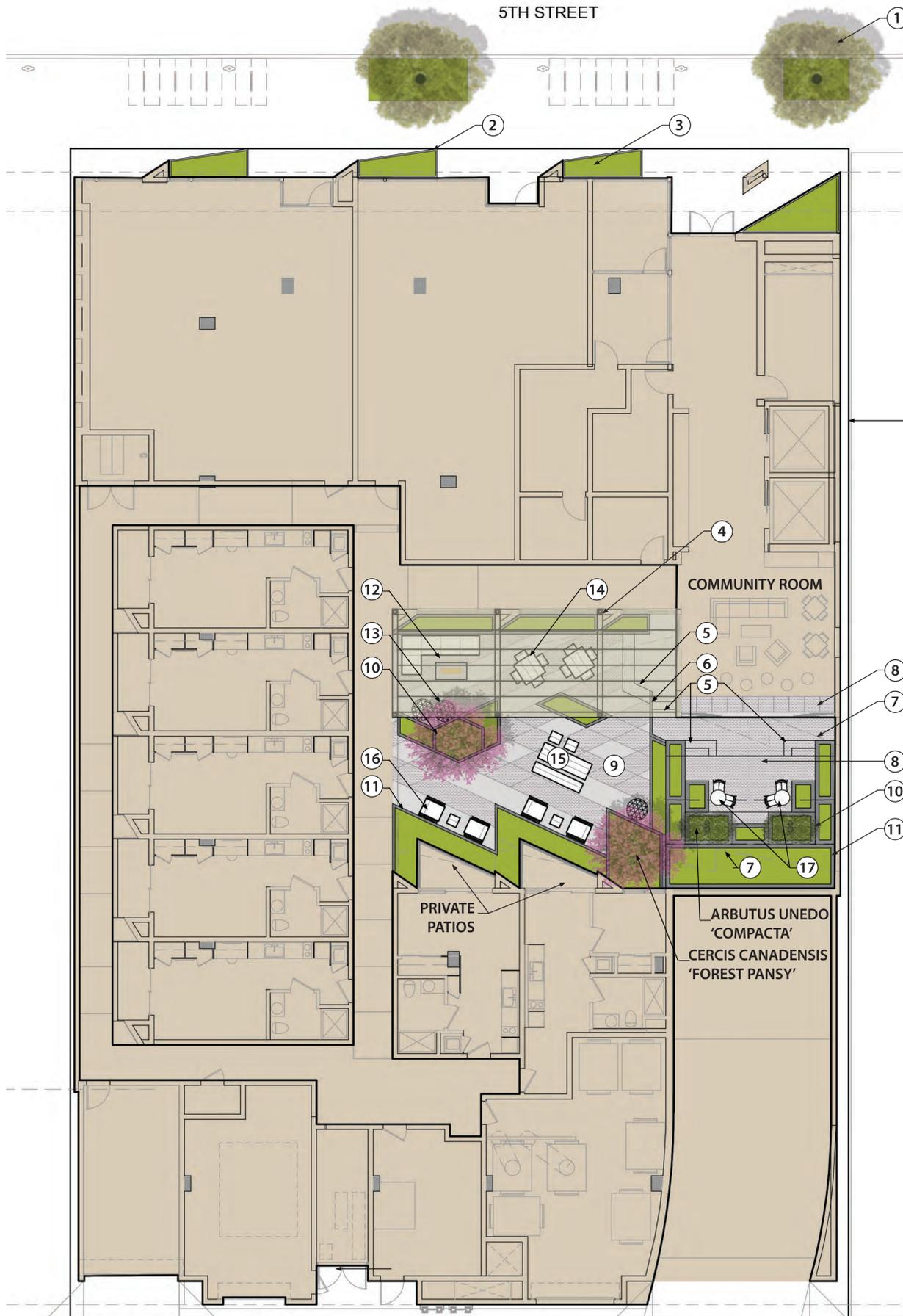
1. "NO MULCH SHALL BE APPLIED WITHIN SIX INCHES (6") OF THE BASE OF A STREET TREE."
2. "NO PLANT MATERIAL SHALL BE INSTALLED WITHIN TWENTY-FOUR (24") INCHES OF THE BASE OF A STREET TREE."
3. "THE PROPERTY OWNER ADJACENT TO THE PARKWAY ASSUMES LIABILITY FOR ANY IMPROVEMENTS TO THE PARKWAY AREA."
4. "ALL EXISTING SPRINKLERS AND SPRAY HEADS SHALL BE REMOVED IN THE PARKWAY."
5. "THE INSTALLATION OF NEW SPRINKLER IRRIGATION SYSTEMS ARE PROHIBITED IN THE PARKWAY."
6. "THE INSTALLATION OF ANY IRRIGATION SYSTEM IN THE PARKWAY SHALL NOT DAMAGE THE ROOTS OF THE STREET TREE."

GENERAL DECLARATIONS:

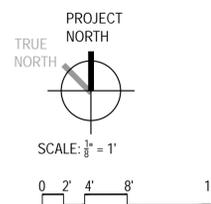
1. "PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION CALL THE PRIVATE LANDSCAPE INSPECTOR AT (310) 458-8405. AN INSPECTION OF THE LANDSCAPE BY CITY STAFF IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY TO ENSURE THAT THE LANDSCAPE WAS BUILT TO APPROVED PLANS AND SPECIFICATIONS."
2. "ELECTRONIC SUBMISSION OF AN AS-BUILT SET OF PLANS TO THE CITY IS REQUIRED IF REQUESTED BY CITY INSPECTOR."
3. "PRIOR TO CONSTRUCTION OF THE LANDSCAPE OR IRRIGATION SYSTEM, THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS."
4. "ALL LANDSCAPING AND IRRIGATION SYSTEMS MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS."
5. "THE LANDSCAPE MUST BE BUILT TO THE CITY APPROVED LANDSCAPE PLAN SET. ANY REVISIONS TO APPROVED PLANS WILL REQUIRE RE-SUBMITTAL AND APPROVAL AND MUST COMPLY WITH THE CURRENT WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS. ANY AREAS OF LANDSCAPE NOT COMPLETED AT TIME OF THE CLOSE OF THE BUILDING CONSTRUCTION PERMIT MUST BE COVERED WITH A MINIMUM 3 INCH (3") LAYER OF MULCH. THIS INCLUDES ALL EXPOSED SOIL SURFACES OF EXISTING PLANTING AREAS EXCEPT IN TURF AREAS, OVER CREEPING OR ROOTING GROUNDCOVERS, OR IN DIRECT SEEDING APPLICATIONS, WHERE MULCH IS NOT APPROPRIATE. FUTURE LANDSCAPE INSTALLATIONS FOR INCOMPLETE LANDSCAPE INSTALLATIONS MUST BE TO THE APPROVED LANDSCAPE PLANS."
6. "ALL EXISTING SPRINKLERS AND SPRAY HEADS SHALL BE REMOVED."

KEYNOTE LEGEND

- 1 EXISTING STREET TREES, TYP.
- 2 RAISED METAL ENTRY PLANTERS
- 3 PLANTING AREA, TYP.
- 4 PERGOLA PER ARCHITECT
- 5 STEPS
- 6 RAILING
- 7 OUTLINE OF BALCONIES ABOVE
- 8 SEAT WALL AT GRADE CHANGE
- 9 TOPING SLAB PAVING PATTERN:
2 COLORS/FINISHES
- 10 RAISED 36" HIGH TREE PLANTER, TYP.
- 11 NON-TREE PLANTERS 24"-36" HIGH, TYP.
- 12 LOUNGE AREA WITH FIRE PIT
- 13 LOW OUTDOOR POUFS -CASUAL SEATING
- 14 DINING TABLES
- 15 PICNIC TABLE WITH ADA SEATING
- 16 CASUAL FURNITURE
- 17 CAFE TABLE AND CHAIRS.



PROPERTY LINE



SHEET LEGEND

- L110 1ST FLOOR LANDSCAPE CONCEPT
- L170 7TH FLOOR LANDSCAPE CONCEPT
- L200 PLANT PALETTE
- L300 MATERIALS

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DATE: 1/22/2020
REVISIONS:

JOB NUMBER:

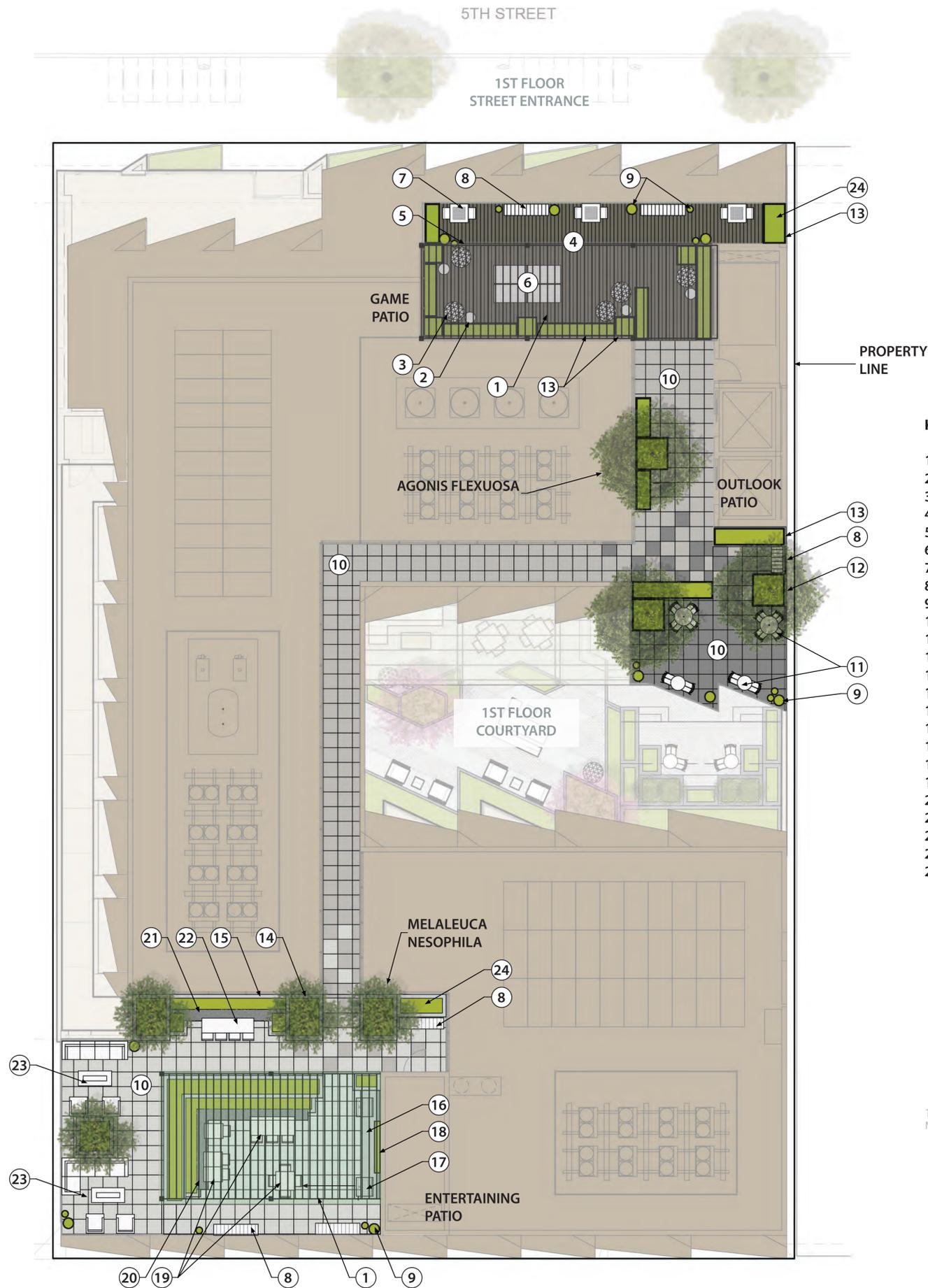
DATE: 1/22/2020
REVISIONS:

SHEET TITLE:

**1ST FLOOR
LANDSCAPE
CONCEPT**

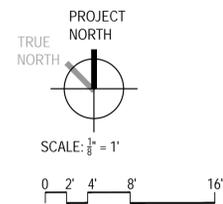
SHEET NUMBER:

L110



KEYNOTE LEGEND

- 1 PERGOLA PER ARCHITECT
- 2 SMALL SIDE TABLE, TYP.
- 3 LOW OUTDOOR POUF, TYP. CASUAL SEATING
- 4 WOOD PEDESTAL PAVING
- 5 CURTAINS TO CLOSE WHILE PLAYING PING PONG
- 6 PING PONG TABLE
- 7 GAME TABLES, TYP.
- 8 MOVABLE BENCH, TYP.
- 9 LARGE AND SMALL POTS, TYP.
- 10 PEDESTAL PAVERS
- 11 MOVABLE CAFE TABLE AND CHAIRS, TYP.
- 12 BUILT-IN METAL TREE PLANTERS 42" HIGH, TYP.
- 13 BUILT-IN METAL NON-TREE PLANTERS 24"-36" HIGH, TYP.
- 14 BUILT-IN CMU/STUCCO TREE PLANTER 42" HIGH, TYP.
- 15 BUILT-IN CMU/STUCCO NON-TREE PLANTER 18"-42"H, TYP.
- 16 OUTDOOR KITCHEN
- 17 ADA ACCESSIBLE GRILL
- 18 CONSTRUCTED METAL PLANTER 12"H
- 19 MOVABLE TABLES AND CHAIRS- 2,4, AND 6 TOP.
- 20 18" H SEAT WALL
- 21 30" H SEAT WALL
- 22 BAR TABLE WITH STOOLS
- 23 SUNSET LOUNGE WITH FIRE PIT
- 24 PLANTING AREA, TYP.



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DATE: 1/22/2020
REVISIONS:

AA SUBMITTAL

DATE: 1/22/2020
REVISIONS:

7TH FLOOR
LANDSCAPE
CONCEPT

L170

COURTYARD



FIRE PIT LOUNGE AREA



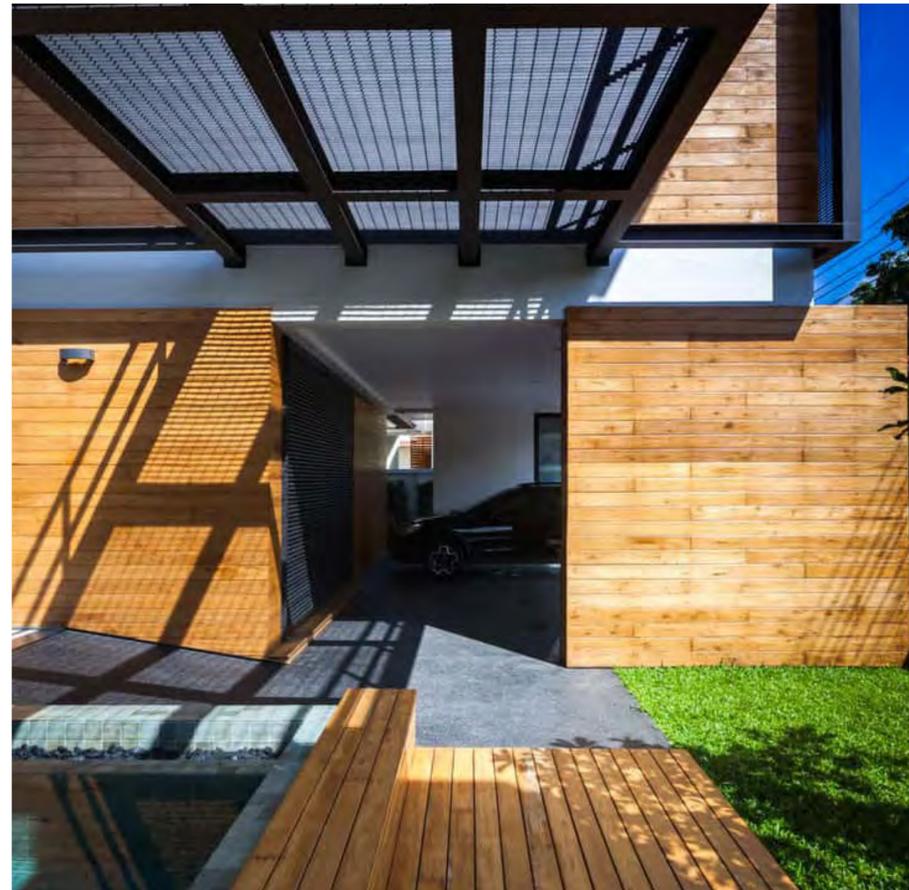
COMMUNITY TABLE



FIRE PIT

Z

ROOF DECK



PERGOLA WITH WOOD PEDESTAL PAVING



BUILT-IN BARBEQUE



CASUAL SEATING OUTDOOR POUF



BENCH



PEDESTAL PAVING SYSTEM



CAFE SEATING



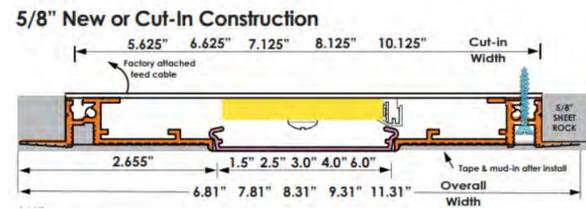
ACCENT PLANTERS



PING PONG TABLE



LOUNGE SEATING AND FIRE PIT



1 Recessed linear white light along the angled ceiling above the vertical wing wall creates a rhythm on the facade which also serves as balcony lighting. At the end units without the wing walls, the lighting fixtures are running down the vertical side wall.

2 White ingrade uplight at the podium level.

3 Decorative pendant at the ground level entry.

4 Recessed downlight at retail entries.

5 Small planter uplight on shrubs.



1338 5TH STREET

1338 5TH STREET
SANTA MONICA, CA 90401

1338 5TH STREET

Exterior Signage Master Plan and Retail Tenant Signing Criteria

January 20, 2020

BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 393 9325

247 Sixteenth Street Santa Monica California 90402

ST3
Loading Area
Identification

ST2
Parking
Entrance
Identification

5th COURT (ALLEY)



C-1
Tenant Sign

C-1
Tenant Sign

98'-6"
5th STREET

ST1
Building
Address

1338 5th Street
Santa Monica
1338 5th Street, LLC

Date January 21, 2020

Job No: 656

Scale

Drawn By

Check

Revised

SPR

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BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 383 9325

247 Sixteenth Street Santa Monica California 90402

1338 5th Street - Sign Dimensions and Square Footage

Sign Type	Description	Quantity	Dimensions	Square Footage	Total Square Footage
<i>Building Signage:</i>					
1	Project Identification - Address	1	0'-6"h x 5'-0"w	2.5 sq ft	2.5
2	Parking Entrance / Exit Identification / Address	1	1'-6" h x 24'-0"w	36 sq ft	36
3	Loading Area Identification	1	2'-0"h x 2'-0"h	4 sq ft	4
Total Square Footage of All Building Signage					42.5 sq ft

Individual retail tenant signage not included in total:

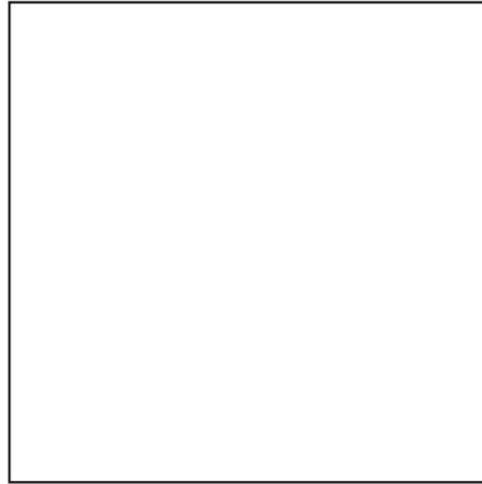
C-1 Tenant Signs on Canopy: 25 sq ft maximum 2 tenant signs 50 sq ft

Street Frontage along 5th Street = 98'-6" feet

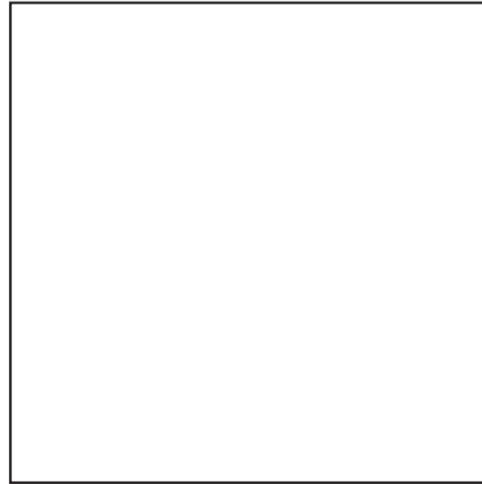
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1338 5th Street
Santa Monica
1338 5th Street, LLC

Date January 20, 2020
 Job No: 656
 Scale
 Drawn By
 Check
 Revised



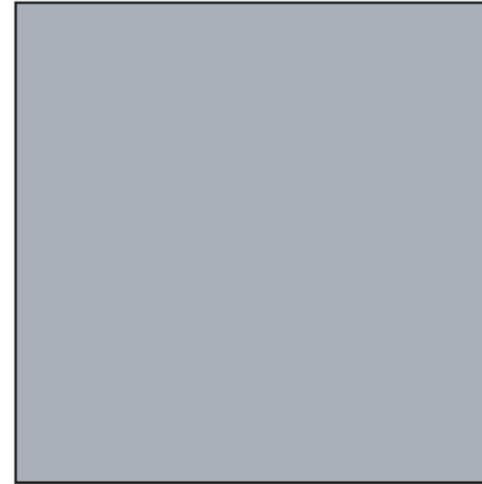
Project White - semi-gloss finish
(to match wall color)



Translucent White acrylic
for sign faces
Rhom & Hass or equal



#316 Alloy Stainless Steel
with #4 horizontal brushed finish



Project Light Gray - Semi-Gloss

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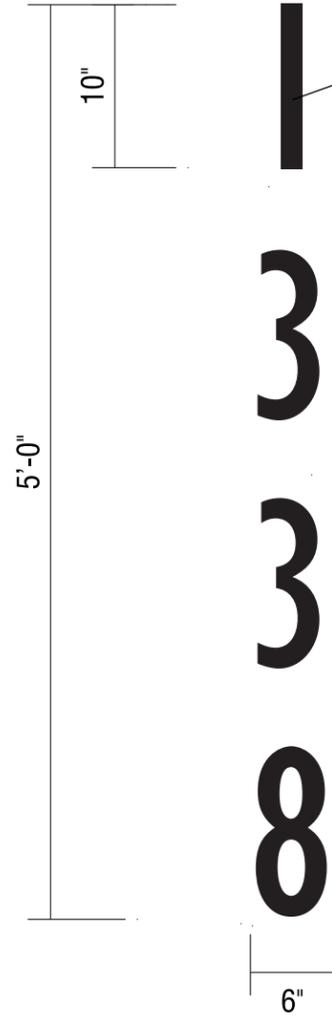
1338 5th Street
Santa Monica
1338 5th Street, LLC

Date January 20, 2020
Job No: 656
Scale
Drawn By
Check
Revised

Colors

BECK & GRABOSKI
D e s i g n O f f i c e

Telephone 310 383 9325
247 Sixteenth Street Santa Monica California 90402



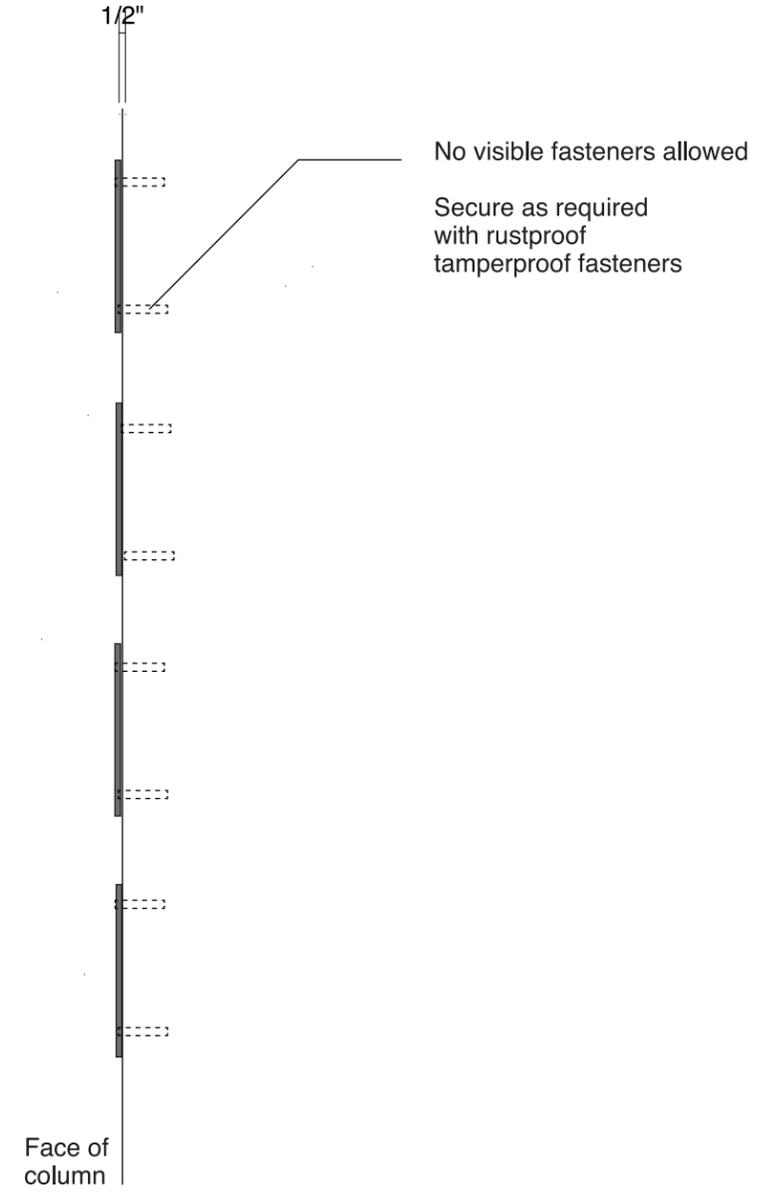
1/2" flat cut out aluminum numbers painted Gray TBD

Numbers to mount flush to wall as required with mechanical fasteners to meet all codes

Verify all on-site conditions before fabrication

Type Style:
Gil Sans Condensed

See drawing 1.1 for elevation



Side View

Sign Type 1 Project Address
Scale: 1"=1'-0"

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**1338 5th Street
Santa Monica
1338 5th Street, LLC**

Date January 20, 2020
Job No: 656
Scale
Drawn By
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5th Street Elevation
Not to Scale

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1338 5th Street
Santa Monica
1338 5th Street, LLC

Date January 20, 2020
Job No: 656
Scale
Drawn By
Check
Revised

See drawing 2.2 for full elevation

Verify all text on sign and bang bar with owner prior to fabrication

Type Styles:
Gil Sans Bold
Univers 49 Light Ultra Condensed

Circle cabinets raised up 1" above cabinet surface
No trim caps

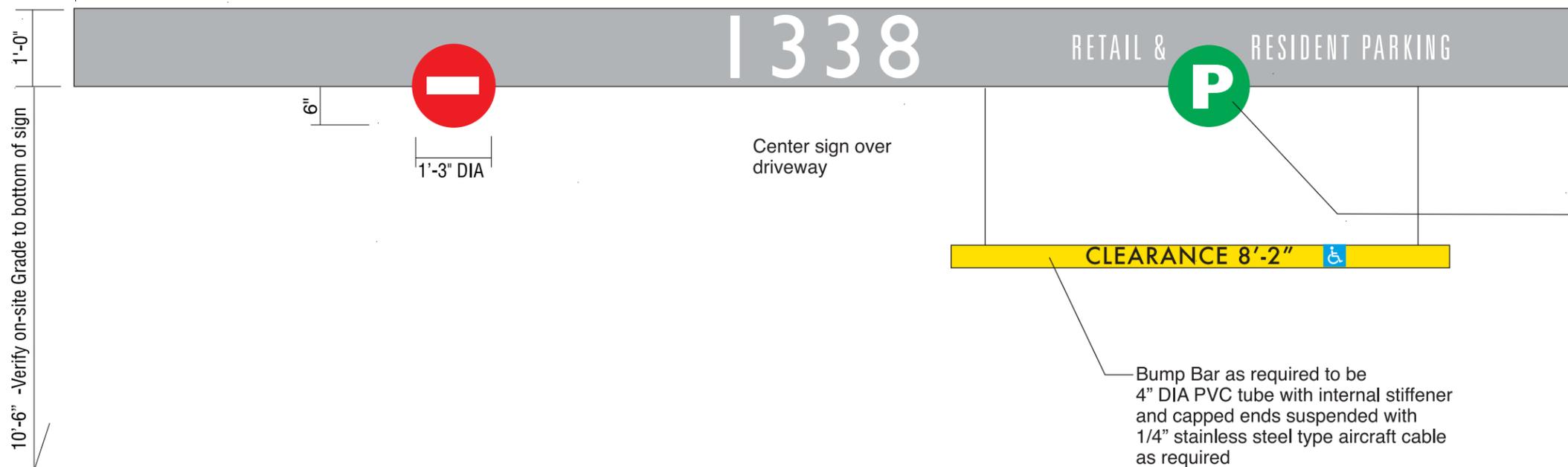
Owner will provide conduit & "J" box to site of signage with as required

Sign cabinet

Bang bar - Verify required height

Side Section

24'-0" verify before fabrication



Sign Type 2 Parking Entrance / Exit Identification
Scale: 1/2"=1'-0"

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Telephone 310 383 9325
247 Sixteenth Street Santa Monica California 90402

1338 5th Street
Santa Monica
1338 5th Street, LLC

Date January 20, 2020
Job No: 656
Scale
Drawn By
Check
Revised



5th Court - Alley Elevation
Not to Scale

ST 2
Loading Area
Identification

ST 2
Parking Entrance/ Exit
Identification

1338 5th Street
Santa Monica
1338 5th Street, LLC

Date January 20, 2020
Job No: 656
Scale
Drawn By
Check
Revised

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Sign Type 3 Loading Area Identification
Scale: 1 1/2"=1'-0"

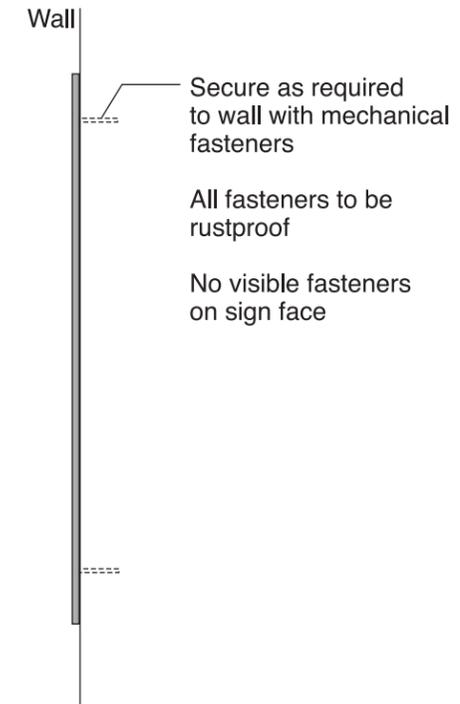
No visible fasteners
All hardware to be rustproof
All paint to be Matthews Acrylic Polyurethane semi-gloss with clear graffiti guard

1/8" painted aluminum panel with graphics digital graphics
Clear graffiti guard finish
Exterior sign location

White text and arrows
Background painted project Gray
Quantity: 1 sign
Arrows point into loading area

Loading sign on wall

See drawing 2.2 for elevation



Side View

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Each tenant shall be allowed one square foot of signage for every foot of street frontage front and meet all City ordinances.

A maximum of 25 square foot of signage will be allowed per sign. Corner tenants may have a second sign on adjacent street front at owners discretion and if it meets code requirements

Tenant logo shape not to exceed 1'-0" in height and width or a total of 6 sq ft

Square footage of logo is part of overall sign square footage allowed

Tenant shall submit design drawings to owner for review and approval prior to submitting to City for a sign permit

All engineering and permits are the responsibility of the tenant

Each tenant sign shall be reviewed on an individual basis. Creativity, good design and high quality materials are encouraged

Signage shall consist of the tenants' name and logo only. No telephone numbers or .com's are allowed on the signage

Sign colors are limited to White acrylic faces or reverse channel brushed stainless steel letters on satin white cabinet to match building color. No other colors permitted.

.080 thick individual fabricated aluminum sign cabinet with routed and push through letters and logo 1/2" raised push through letters

Sign cabinet to have breakformed edges and continuous welded seams

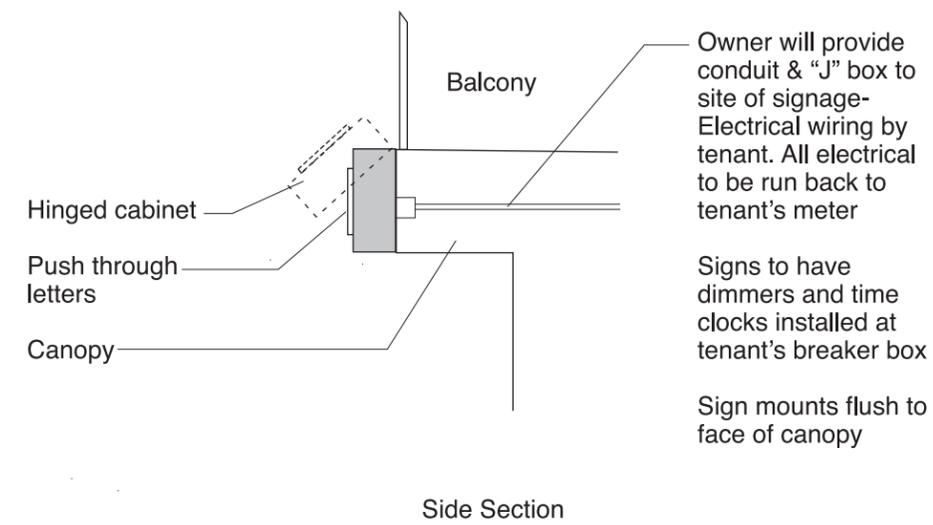
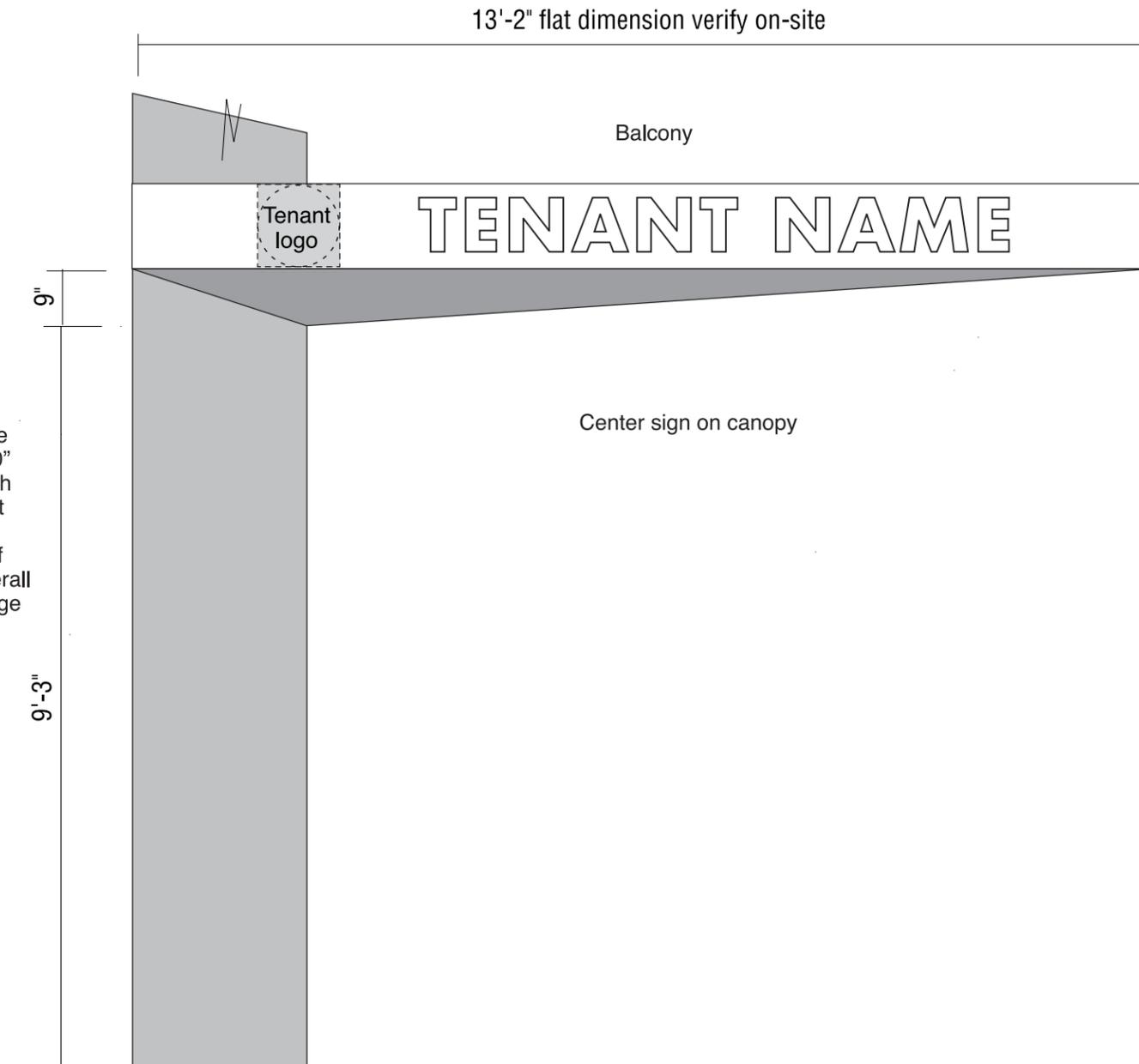
Service access to be by removing complete sign cabinet face, bottom, top and sides or it cab hinge from top

No exposed fasteners on logos, letters and cabinet face, sides, or bottom

Letters shall be maximum 3" deep and 1'-0" maximum height for logo and 10" maximum height for letters

All illumination shall be LED with a color temp. of 6500K

See drawing 1. for full elevation



C-1 Retail Tenant Sign Criteria
Scale: 1/4"=1'-0"

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**1338 5th Street
Santa Monica
1338 5th Street, LLC**

Date January 20, 2020
Job No: 656
Scale
Drawn By
Check
Revised