





ABBREVIATIONS	
A/C	AIR CONDITIONING
A.C.	ASPHALTIC CONCRETE
	PAVING
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
C.L.	CENTER LINE
CLG.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONC. BLK.	CONCRETE BLOCK
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.S.	DOWN SPOUT
DTL.	DETAIL
DWG.	DRAWING
(E)	EXISTING
ELEC.	ELECTRIC
E.V.	ELECTRIC VEHICLE
ELEV.	ELEVATION
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXT.	EXTERIOR
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FP.	FIREPLACE
FT.	FEET
FTG.	FOOTING
G.	GAS
GA.	GAUGE
GALV.	GALVANIZE
GL.	GLASS
GYP.	GYPSUM
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HD.	HEAD
HT.	HEIGHT
H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING
H.W.	HOT WATER
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M/C	MEDICINE CABINET
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
P.A.	PLANTING AREA
P.C.	PRE-CAST CONCRETE
P.P.	POWER POLE
PL.	PLATE
P.L.	PROPERTY LINE
PLYWD.	PLYWOOD
PLUMB.	PLUMBING
PR.	PAIR
PT.	PAINT
R.	RISER
R.A.	RETURN AIR
RAD.	RADIUS
R.D.	ROOF DRAIN
RECP.	RECEPTACLE
REF.	REFRIGERATOR
REINF.	REINFORCED
REQ'D.	REQUIRED
REV.	REVISION
RF.	ROOF
RM.	ROOM
R.O.	ROUGH OPENING
S.A.	SUPPLY AIR
S.C.	SOLID CORE
S.D.	STORM DRAIN
S.F.	SQUARE FEET
SHTG.	SHEATHING
SHT. MTL.	SHEET METAL
SIM.	SIMILAR
S/S	STAINLESS STEEL
STL.	STEEL
STR.	STRUCTURAL
SUBFLR.	SUB-FLOOR
SUSP.	SUSPENDED
T.	TREAD
T & G	TONGUE AND GROOVE
THK.	THICK
T.O.	TOP OF
TYP.	TYPICAL
U.G.	UNDERGROUND
U.O.N.	UNLESS OTHERWISE NOTED
UNF.	UNFINISHED
W.	WATER
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
W.I.	WROUGHT IRON
W/O	WITHOUT
W.O.	WHERE OCCURS
W.P.	WATER PROOF
W.W.M.	WELDED WIRE MESH

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
( )	EXISTING CONDITION
+461.0' T.O.P.	NEW OR REQUIRED POINT ELEVATION LOCATION
(+461.0') T.O.P.	EXISTING POINT ELEVATION LOCATION
288	EXISTING CONTOUR LINE
320	NEW CONTOUR LINE
	MATCH LINE, SHADED PORTION SIDE SHOWN
	LEVEL LINE, CONTROL POINT OR DATUM
	PROPERTY LINE, BOUNDARY LINES
	CENTER LINE, EXTERIOR ELEVATION LINES
	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
	OUTLINE OF HIDDEN OBJECTS BELOW
	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION REFERENCE DRAWING NUMBER
	DETAIL NUMBER REFERENCE DRAWING NUMBER
	WALL SECTION OR ELEVATION NUMBER REFERENCE DRAWING NUMBER
	DOOR NUMBER
	WALL REFERENCE
	WINDOW NUMBER
	MATERIAL REFERENCE COLOR REFERENCE
	EQUIPMENT NUMBER
	REVISION
	PROJECT NORTH (MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
	REFERENCE GRIDS

**PROJECT SUMMARY**

**LOCATION:**  
1707 CLOVERFIELD, SANTA MONICA, CALIFORNIA 90404

**PROPOSED PROJECT:**  
4 STORY MULTI-FAMILY RESIDENTIAL APARTMENTS OVER GROUND LEVEL PARKING AND RETAIL SPACE OVER 2 LEVELS OF SUBTERRANEAN PARKING. EXISTING "EXTRA SPACE STORAGE" BUILDING TO REMAIN.

**LOT AREA:**  
74,065 SF, 1.70 ACRES

**LEGAL DESCRIPTION:**  
THAT PORTION OF LOT 1 IN BLOCK 30 OF ERKENBRECHER SYNDICATE SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGES 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING WESTERLY OF A LINE BEARING NORTH 45 DEGREES 15 MINUTES EAST FROM A POINT IN THE SOUTHERLY LINE OF SAID LOT, DISTANT NORTH 44 DEGREES 45 MINUTES WEST 434.33 FEET FROM THE MOST SOUTHERLY CORNER OF LOT 2 IN SAID BLOCK 30.

**APN:**  
4268-014-013

**ZONE:** BERGAMOT TRANSIT VILLAGE (BTV)

**OCCUPANCY TYPE:** R-2 RESIDENTIAL, M RETAIL, S-2 PARKING GARAGE

**CONSTRUCTION TYPE:** 4 STORY TYPE V-A OVER 1 STORY TYPE I-A OVER 2 LEVELS TYPE 1-A SUBTERRANEAN PARKING

**FIRE PROTECTION:** FULLY SPRINKLERED, NFPA 13

MAXIMUM BUILDING HEIGHT ALLOWED: 60.00 FT

MAXIMUM BUILDING HEIGHT PROVIDED: 60.00 FT

**PARKING CALCULATIONS**

<b>Parking Required:</b>	
Storage Building Requirements	21 spaces
Retail (2 spaces per 1,000 SF)	2
Residential (1.5 spaces per unit)	
-58 units	87
-5 affordable units	5
<b>Total:</b>	<b>115</b>

<b>Parking Spaces Provided:</b>	<b>115</b>
ADA Spaces:	(3 + 1 van)
Compact Spaces:	34 / 115 = (30%)
Electric Vehicle Spaces:	(4)
Car Share Spaces:	(3) (x2)

<b>Bicycle Parking Required:</b>	<b>short-term</b>	<b>long-term</b>
Retail	4	4
Residential	10	144
<b>Total:</b>	<b>14</b>	<b>148</b>

**Bicycle Parking Provided:** 162

**PROJECT DIRECTORY**

**OWNER:**  
Extra Space of Santa Monica, LLC  
1707 Cloverfield Blvd  
Santa Monica, CA 90404  
TEL: 818.635.8713  
CONTACT: Bruce Kaufman

**ARCHITECT OF RECORD:**  
DFH Architects, LLP  
1544 20th Street  
Santa Monica, CA 90404  
TEL: 310.394.4045  
FAX: 310.998.8658  
CONTACT: David Hibbert

**LANDSCAPE ARCHITECT:**  
SQLA, INC  
380 N Palm Street, Suite B  
Brea, CA 92821  
TEL: 562.905.0800  
FAX: 562.905.0880  
CONTACT: Muhammad Ali

**DENSITY/F.A.R.**

**BUILDABLE AREA DEFINITION:** SMMC SECTION 9.04.080.

**FLOOR AREA DEFINITION:** SMMC SECTION 9.04.080. SEE SECTION 9.04.090 FOR FLOOR AREA RATIO DETERMINATION.

The total gross horizontal areas of all floors of a building, including usable basements and all other areas measured from the interior face of the exterior walls or, in the case of a shared wall, from the centerline of a wall separating the two buildings. Floor area also includes unenclosed decks, balconies, porches, and platforms used for commercial or restaurant activity. In addition to calculating floor area ratio, floor area shall be used to determine parking requirements and all relevant impact fees including but not limited to affordable housing fees, transportation impact fees, childcare linkage fees, cultural arts fees, and parks and recreation fees.

**FLOOR AREA RATIO (FAR):**

LOT AREA	74,065 SF
FLOOR AREA ALLOWED (2.0 FAR - TIER 2)	162,943 SF
EXISTING FLOOR AREA ("EXTRA SPACE STORAGE")	73,665 SF
NEW FLOOR AREA	62,993 SF
TOTAL AREA ON PARCEL	136,658 SF
FAR PROPOSED (FLOOR AREA PROVIDED/LOT AREA)	1.91 FAR

**OPEN SPACE**

**OPEN SPACE/OUTDOOR LIVING AREA DEFINITION:** SEE SMMC 9.21.090

**OPEN SPACE REQUIRED:** PER SMMC 9.21.090

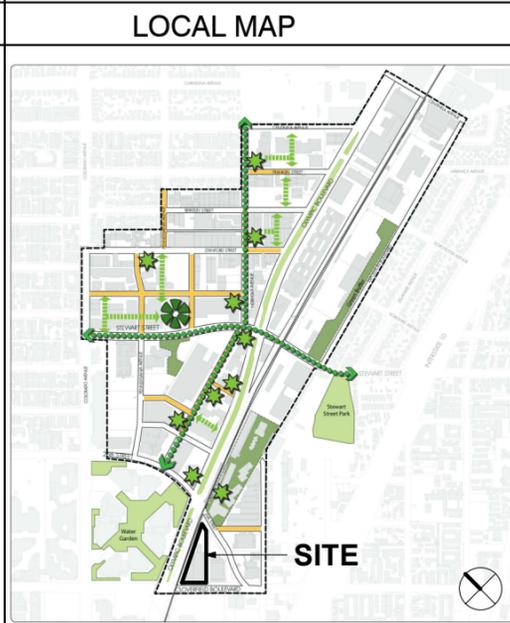
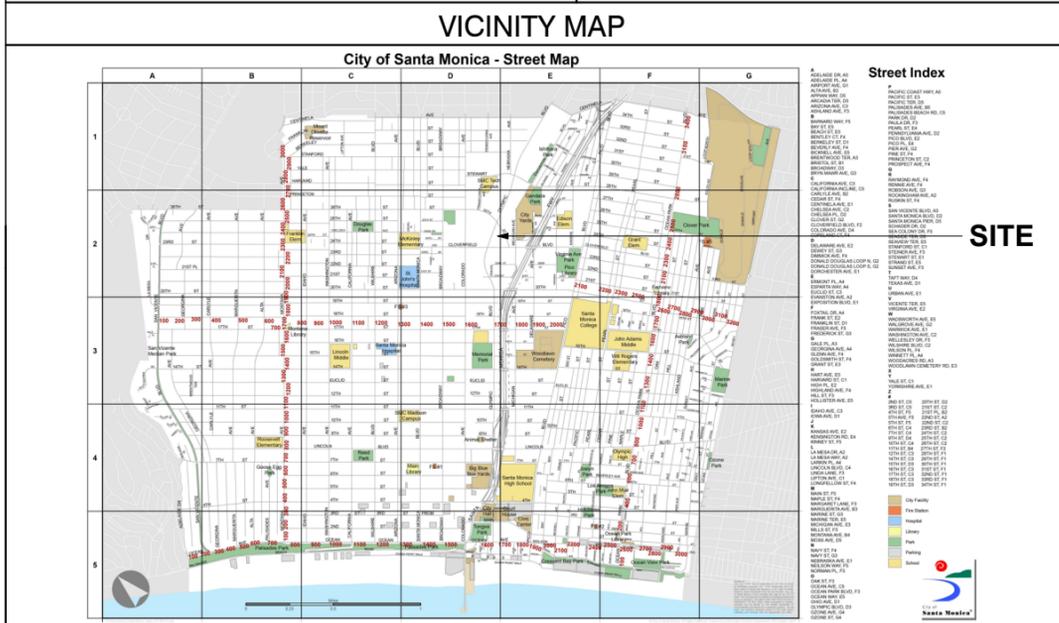
MIN OPEN SPACE REQ'D (15% OF LOT AREA *FLEXIBLE):	14,813 SF
MIN SIZE OF PRIMARY OPEN SPACE (*FLEXIBLE):	4,000 SF

**OPEN SPACE PROVIDED:**

**TOTAL OPEN SPACE:** 12,039 SF

**SHEET INDEX**

<b>ARCHITECTURAL:</b>	
R-0.01	RENDERING
R-0.02	RENDERING
T-1.01	PROJECT DATA
T-1.02	PERSPECTIVES
T-1.03	OPEN SPACE
T-1.04	FAR CALCULATIONS
T-1.05	SITE PHOTOS
A-1.01	PLOT PLAN
A-1.02	SITE SURVEY
A-2.01	PARKING LEVEL B
A-2.02	PARKING LEVEL A
A-2.03	1ST FLOOR / GROUND LEVEL
A-2.04	2ND FLOOR
A-2.05	3RD FLOOR
A-2.06	4TH FLOOR
A-2.07	5TH FLOOR
A-2.08	ROOF LEVEL
A-3.01	SECTIONS
A-3.02	SECTIONS
A-4.01	ELEVATIONS
A-4.02	ELEVATIONS
A-4.03	ELEVATION FEATURES
A-4.04	ELEVATION FEATURES
<b>LANDSCAPE:</b>	
LT-1	COVER SHEET
LP-1	PLANTING PLAN - GROUND FLOOR
LP-2	PLANTING PLAN - SECOND FLOOR
LP-3	PLANTING PLAN - FIFTH FLOOR
LP-4	PLANTING PLAN - ROOF DECK
LP-5	PLANTING DETAILS
LE-1	LANDSCAPE ELEVATIONS - @2 YEARS MATURITY
LE-2	LANDSCAPE ELEVATIONS - @2 YEARS MATURITY
LE-3	LANDSCAPE ELEVATIONS - @PLANTING
LE-4	LANDSCAPE ELEVATIONS - @PLANTING
LI-1	IRRIGATION PLAN - GROUND FLOOR
LI-2	IRRIGATION PLAN - SECOND FLOOR
LI-3	IRRIGATION PLAN - FIFTH FLOOR
LI-4	IRRIGATION PLAN - ROOF DECK
LI-5	IRRIGATION DETAILS



**RESIDENTIAL SUMMARY**

FLOOR	STUDIO	1 BR	2 BR	3 BR	SUBTOTAL
2	2	7	4	3	16
3	2	7	4	3	16
4	2	7	4	3	16
5	2	7	4	2	15
<b>TOTAL</b>	<b>8 (13%)</b>	<b>28 (45%)</b>	<b>16 (25%)</b>	<b>11 (17%)</b>	<b>63 UNITS</b>

AVERAGE NUMBER OF BEDROOMS: 1.5  
EXTREMELY LOW INCOME UNITS @ 7.5% = 5  
(1) 3 BEDROOM UNIT, (1) 2 BEDROOM UNIT, (3) 1 BEDROOM UNITS = 1.6

**EXTREMELY LOW INCOME UNITS**

FLOOR	1 BR	2 BR	3 BR	SUBTOTAL	SQ.FT. (MIN.)
2	1	1	1	3	600
3	1			1	850
4	1			1	1080
<b>TOTAL</b>				<b>5 UNITS</b>	<b>3,730</b>



VIEW LOOKING NORTHWEST



CORNER AT EAST SIDE



VIEW LOOKING SOUTHWEST



VIEW FROM TRAIN BRIDGE

OPEN SPACE/OUTDOOR LIVING AREA DEFINITION: SEE SMMC 9.21.090

OPEN SPACE REQUIRED: PER SMMC 9.21.090

MIN OPEN SPACE REQ'D (15% OF LOT AREA \*FLEXIBLE): 14,813 SF  
 MIN SIZE OF PRIMARY OPEN SPACE (\*FLEXIBLE): 4,000 SF

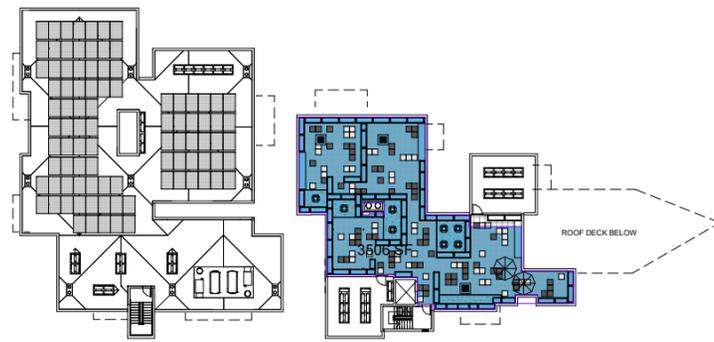
OPEN SPACE PROVIDED:

TOTAL OPEN SPACE: 12,039 SF

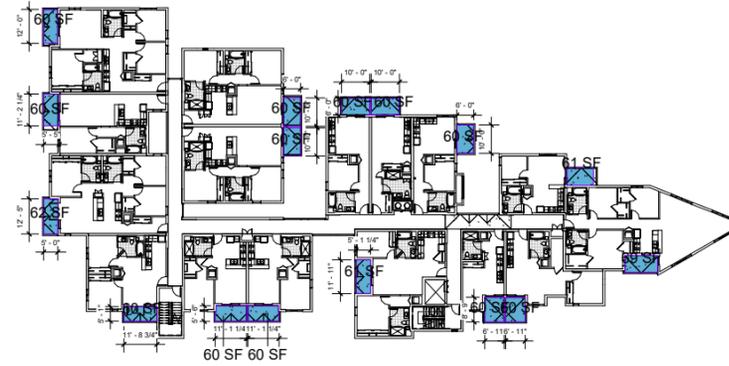
OPEN SPACE COMBINED		
Level	Count	Area
Not Placed	2	0 SF
2nd Floor	21	4334 SF
3rd Floor	16	975 SF
4th Floor	16	975 SF
5th Floor	16	2244 SF
Roof Level	1	3506 SF
Grand total: 72		12033 SF

**OPEN SPACE**

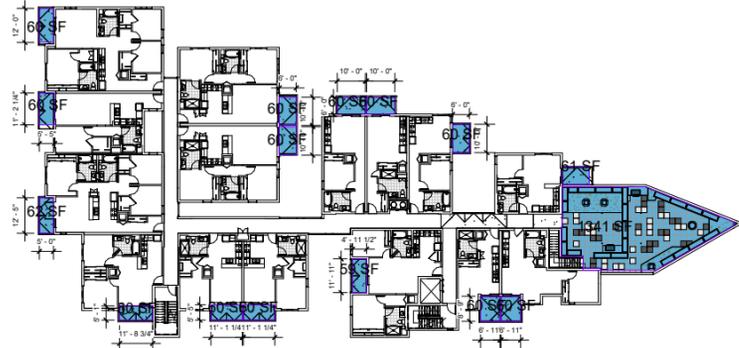
- Open Space
- Calculating...



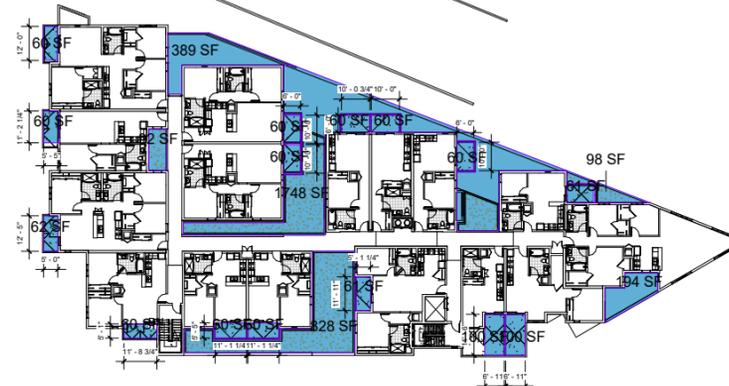
Roof Level SCALE: 1" = 30'-0" 6



3rd Floor SCALE: 1" = 30'-0" 3



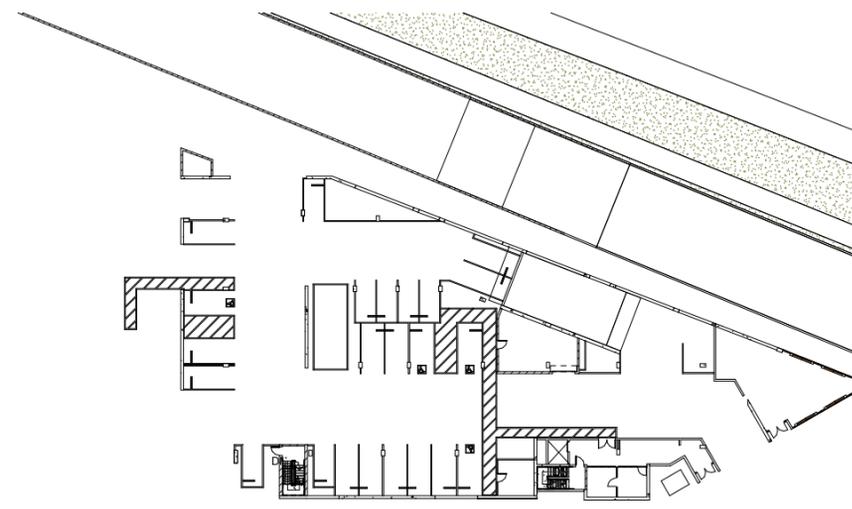
5th Floor SCALE: 1" = 30'-0" 5



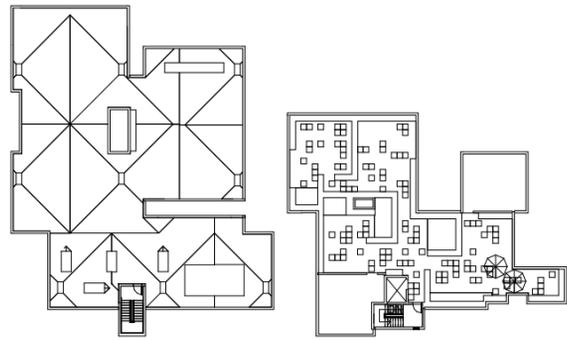
2nd Floor SCALE: 1" = 30'-0" 2



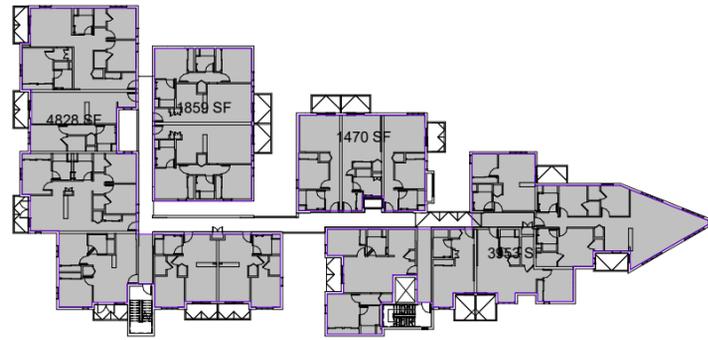
4th Floor SCALE: 1" = 30'-0" 4



1st Floor/Ground Level SCALE: 1" = 30'-0" 1



Roof Level | SCALE: 1" = 30'-0" 6



3rd Floor | SCALE: 1" = 30'-0" 3

**BUILDABLE AREA DEFINITION:** SMMC SECTION 9.04.080.

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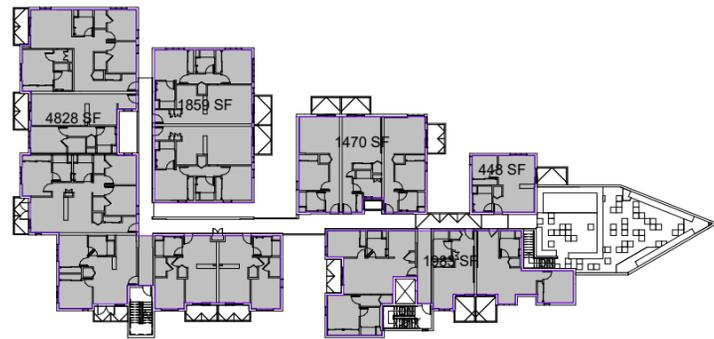
PROPOSED FLOOR AREA		
Level	Area	Area Type
1st Floor/Ground Level	16293 SF	Floor Area
2nd Floor	12113 SF	Floor Area
3rd Floor	12110 SF	Floor Area
4th Floor	11888 SF	Floor Area
5th Floor	10589 SF	Floor Area
	62993 SF	

**FLOOR AREA RATIO (FAR):**

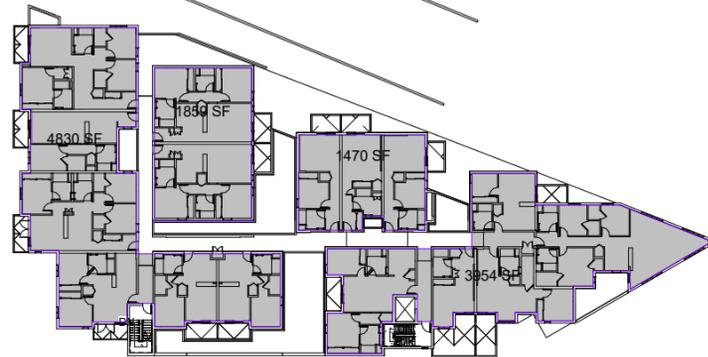
LOT AREA	74,065 SF
FLOOR AREA ALLOWED (2.0 FAR - TIER 2)	148,130 SF
EXISTING FLOOR AREA ("EXTRA SPACE STORAGE")	73,665 SF
<b>NEW FLOOR AREA</b>	<b>62,993 SF</b>
TOTAL AREA ON PARCEL	136,658 SF
FAR PROPOSED (FLOOR AREA PROVIDED/LOT AREA)	1.845 FAR

**Area Legend**

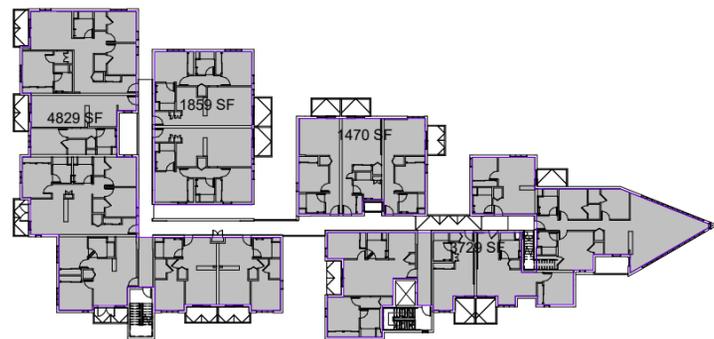
■ Floor Area



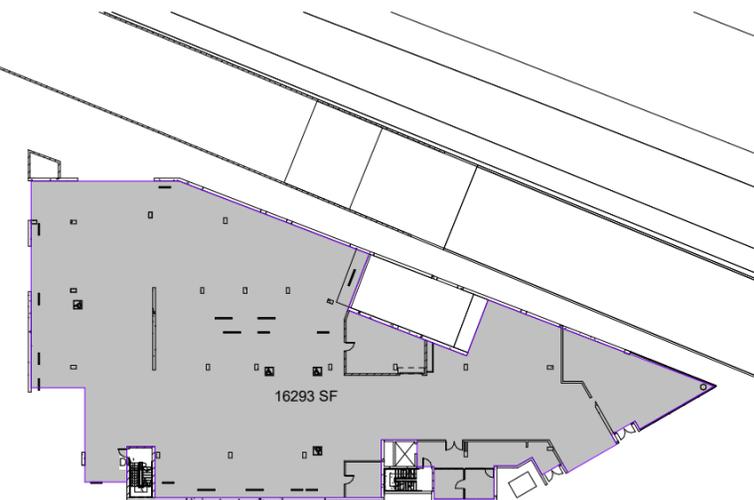
5th Floor | SCALE: 1" = 30'-0" 5



2nd Floor | SCALE: 1" = 30'-0" 2



4th Floor | SCALE: 1" = 30'-0" 4



1st Floor/Ground Level | SCALE: 1" = 30'-0" 1

FACING SITE

START



END

ACROSS STREET

START

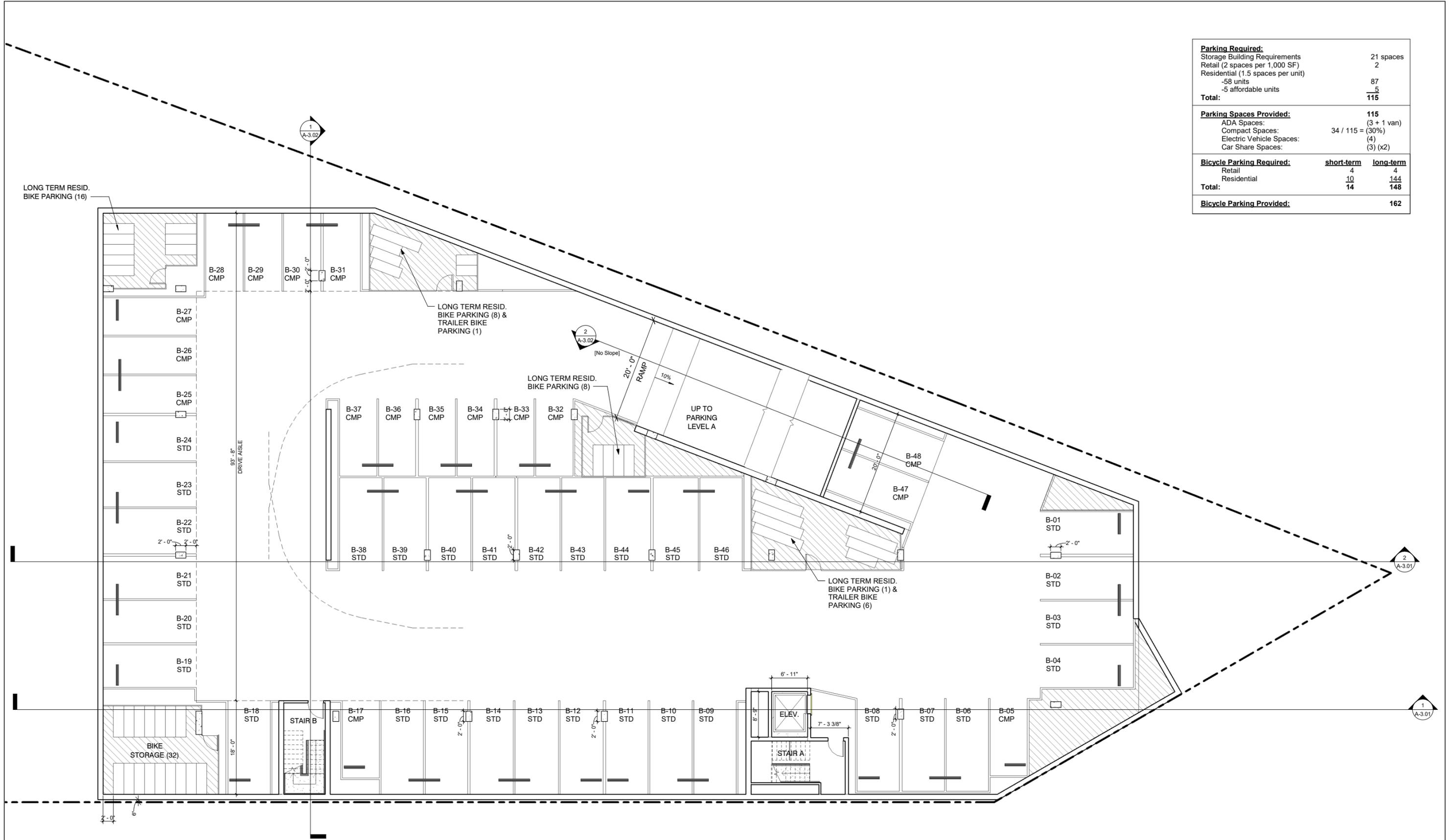


END

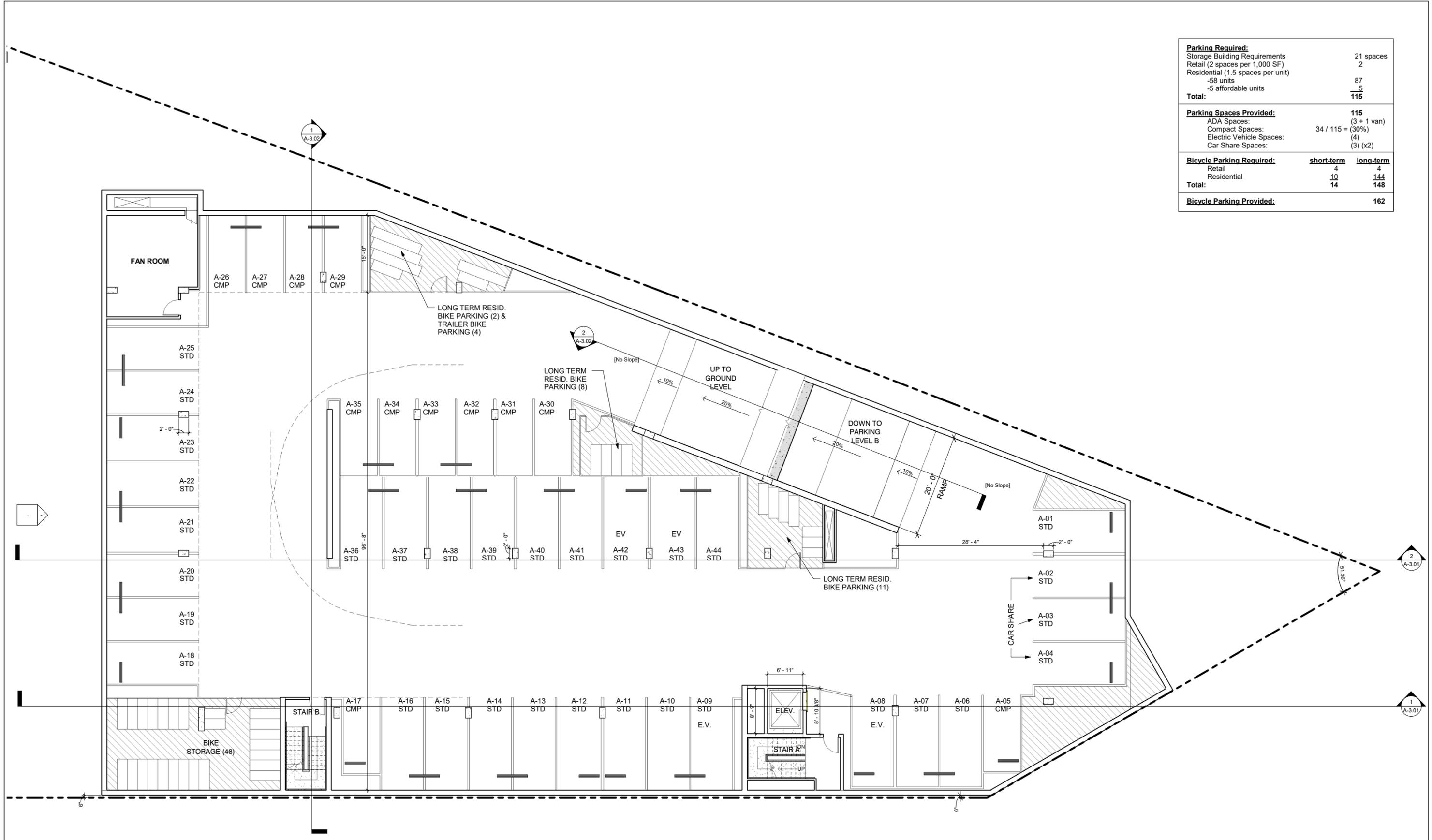




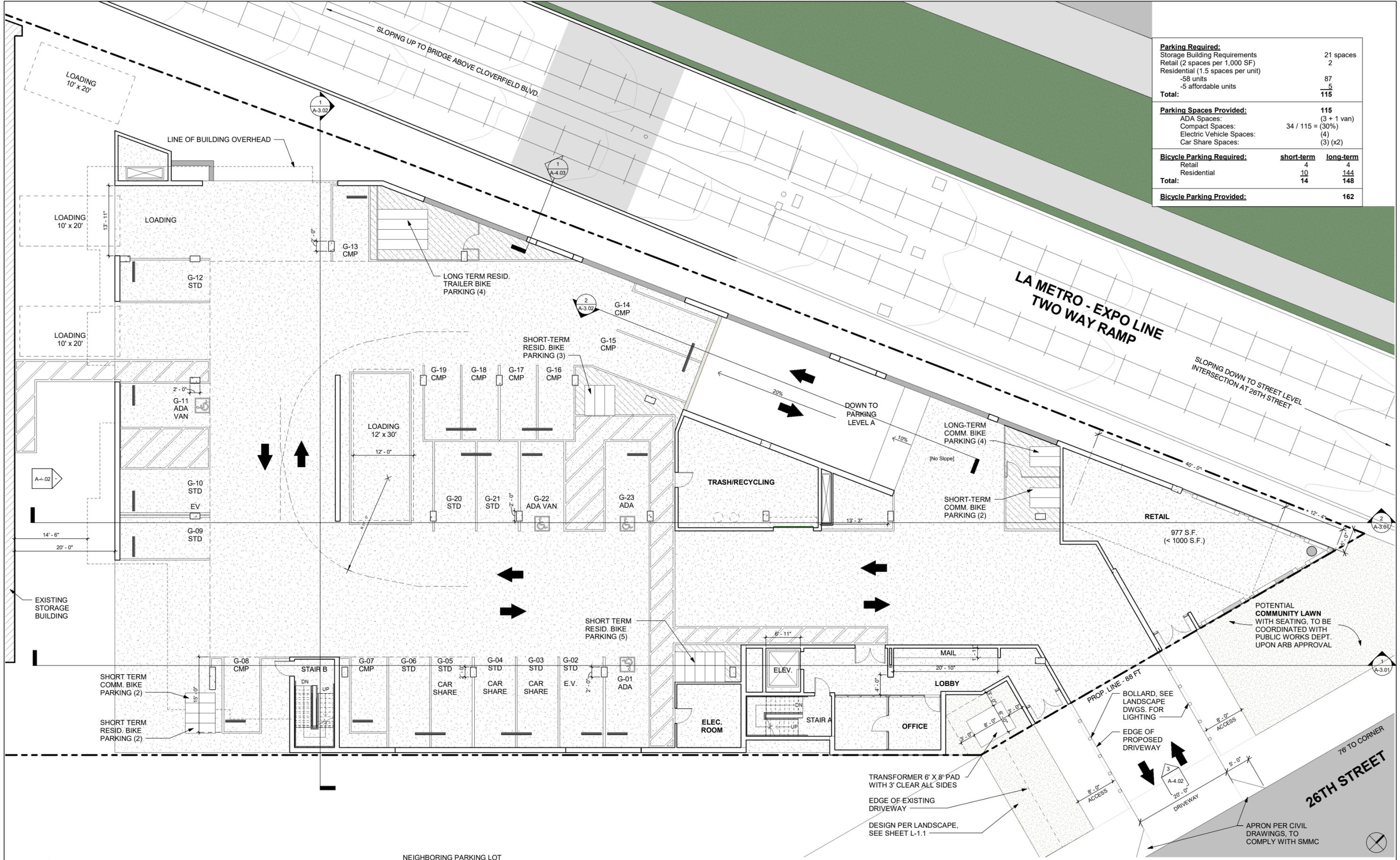
<b>Parking Required:</b>		
Storage Building Requirements		21 spaces
Retail (2 spaces per 1,000 SF)		2
Residential (1.5 spaces per unit)		
-58 units		87
-5 affordable units		5
<b>Total:</b>		<b>115</b>
<b>Parking Spaces Provided:</b>		
ADA Spaces:		115 (3 + 1 van)
Compact Spaces:	34 / 115 =	(30%)
Electric Vehicle Spaces:		(4)
Car Share Spaces:		(3) (x2)
<b>Bicycle Parking Required:</b>		
	<b>short-term</b>	<b>long-term</b>
Retail	4	4
Residential	10	144
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<b>Bicycle Parking Provided:</b>		
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ADA Spaces:		4	(3 + 1 van)
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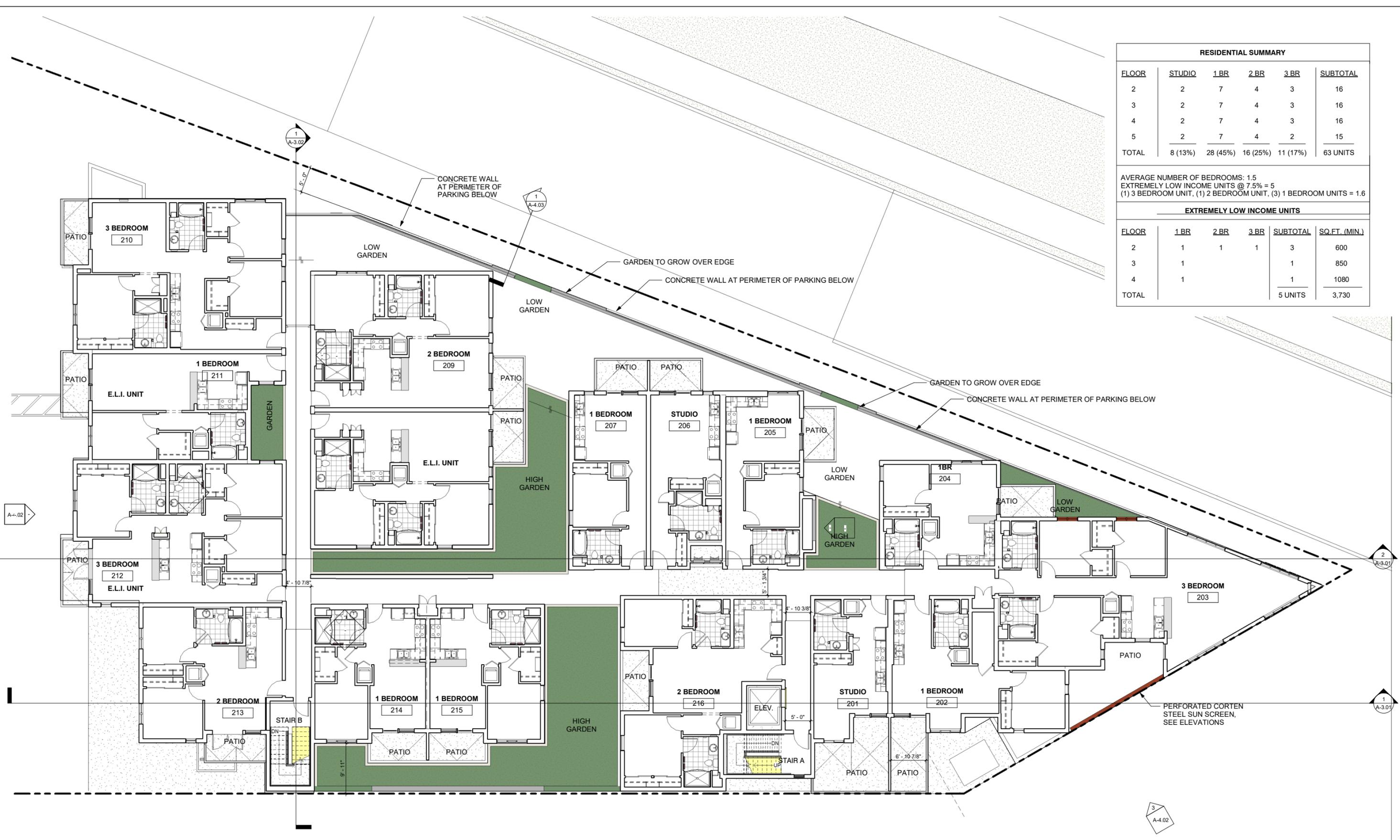
NEIGHBORING PARKING LOT

1707 Cloverfield | Architectural Review Board  
 1707 Cloverfield Blvd, Santa Monica, CA 90404 | November 18, 2019

1ST FLOOR / GROUND LEVEL

SCALE: 1/8" = 1'-0"  
 A-2.03





RESIDENTIAL SUMMARY					
FLOOR	STUDIO	1 BR	2 BR	3 BR	SUBTOTAL
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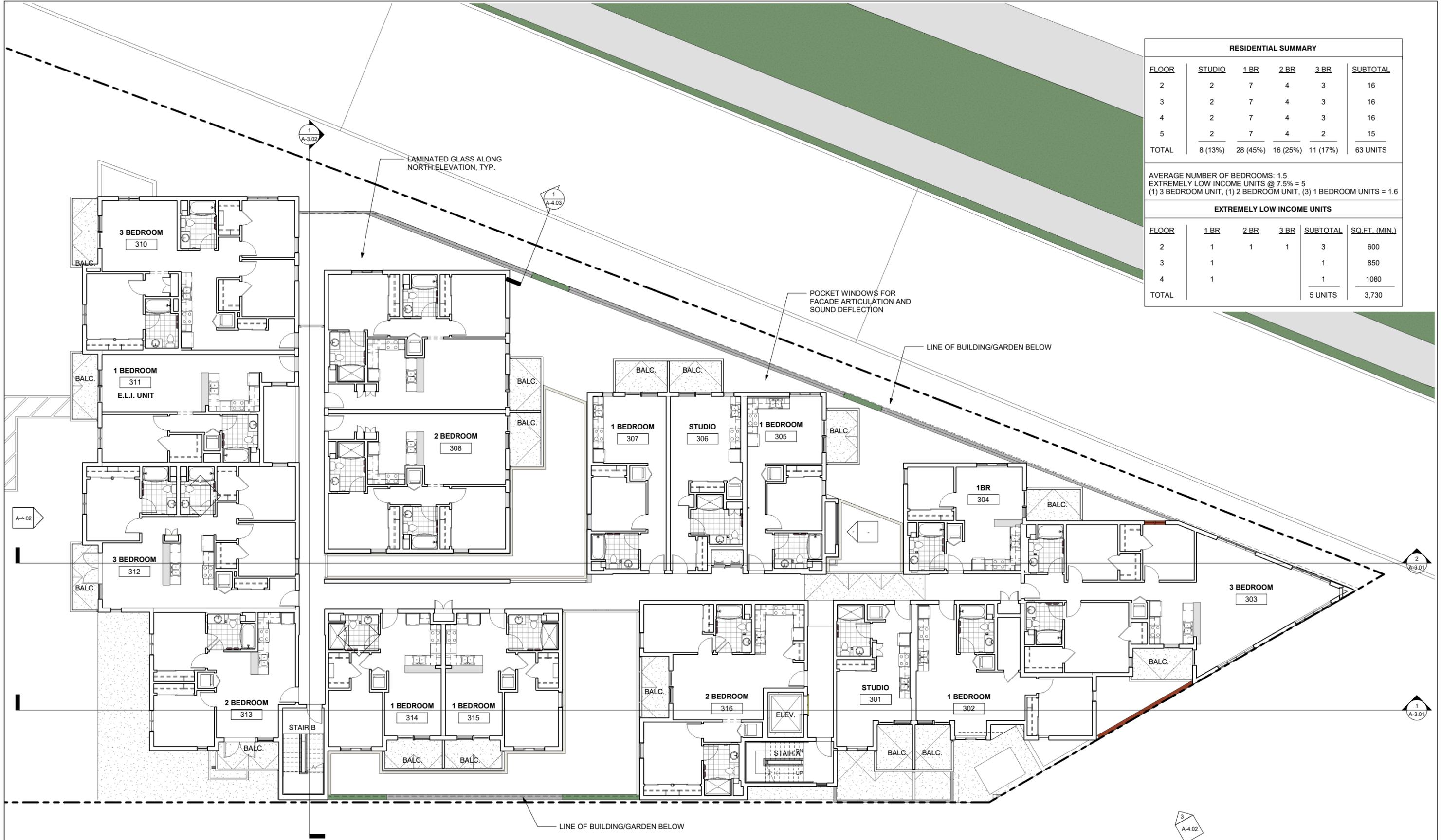
AVERAGE NUMBER OF BEDROOMS: 1.5  
 EXTREMELY LOW INCOME UNITS @ 7.5% = 5  
 (1) 3 BEDROOM UNIT, (1) 2 BEDROOM UNIT, (3) 1 BEDROOM UNITS = 1.6

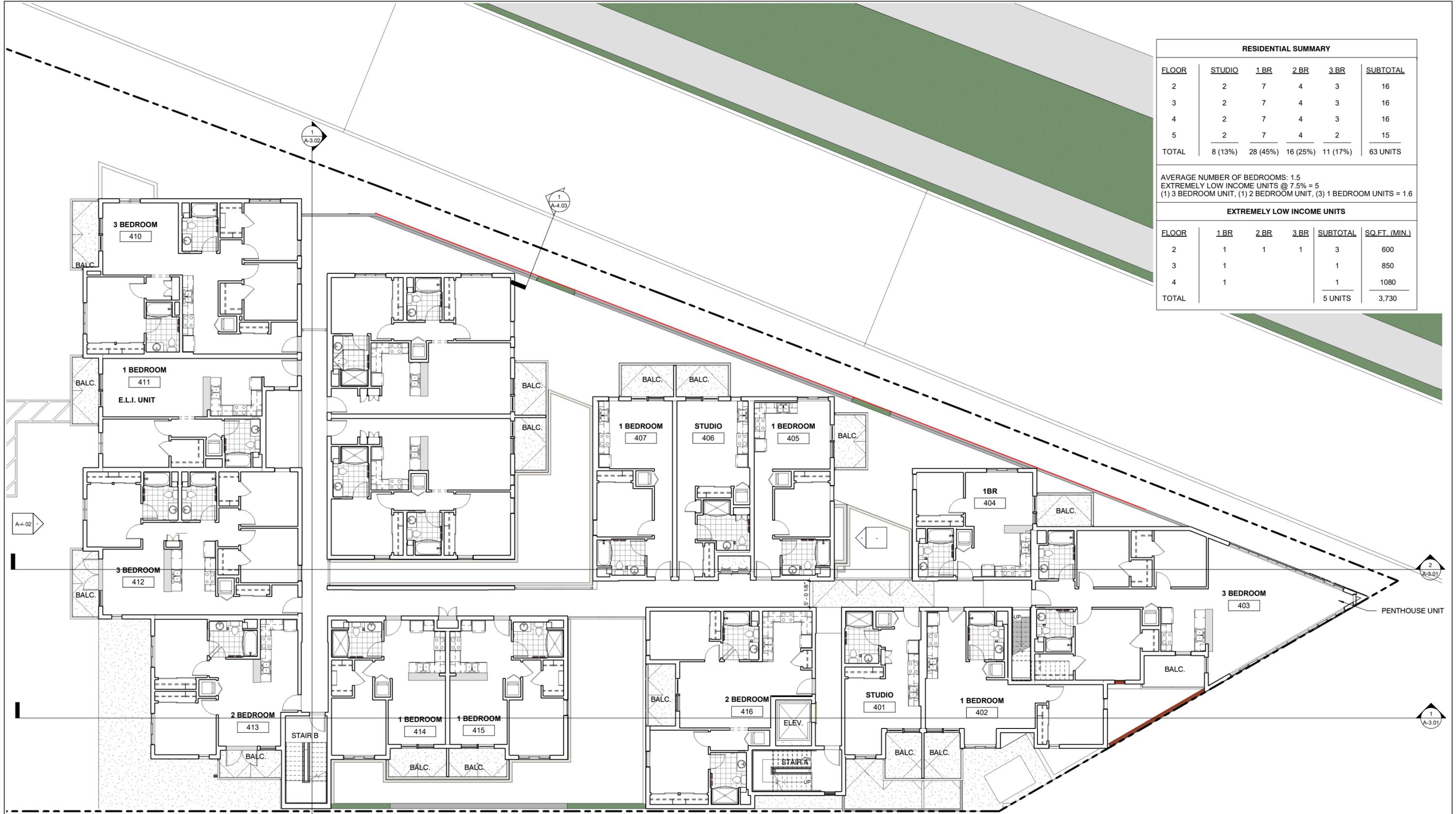
EXTREMELY LOW INCOME UNITS					
FLOOR	1 BR	2 BR	3 BR	SUBTOTAL	SQ.FT. (MIN.)
2	1	1	1	3	600
3	1			1	850
4	1			1	1080
TOTAL				5 UNITS	3,730

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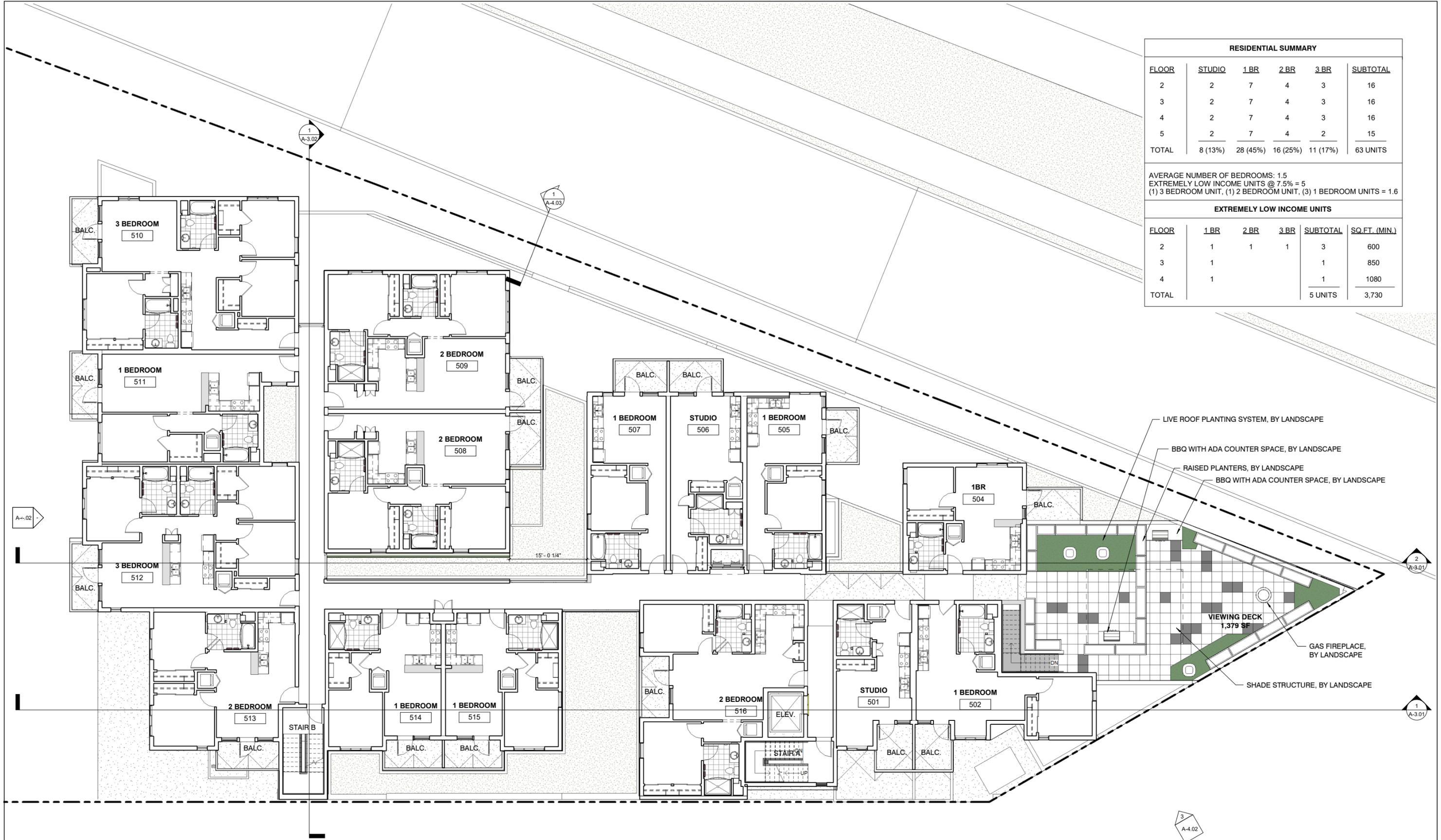
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4	1			1	1080
TOTAL				5 UNITS	3,730

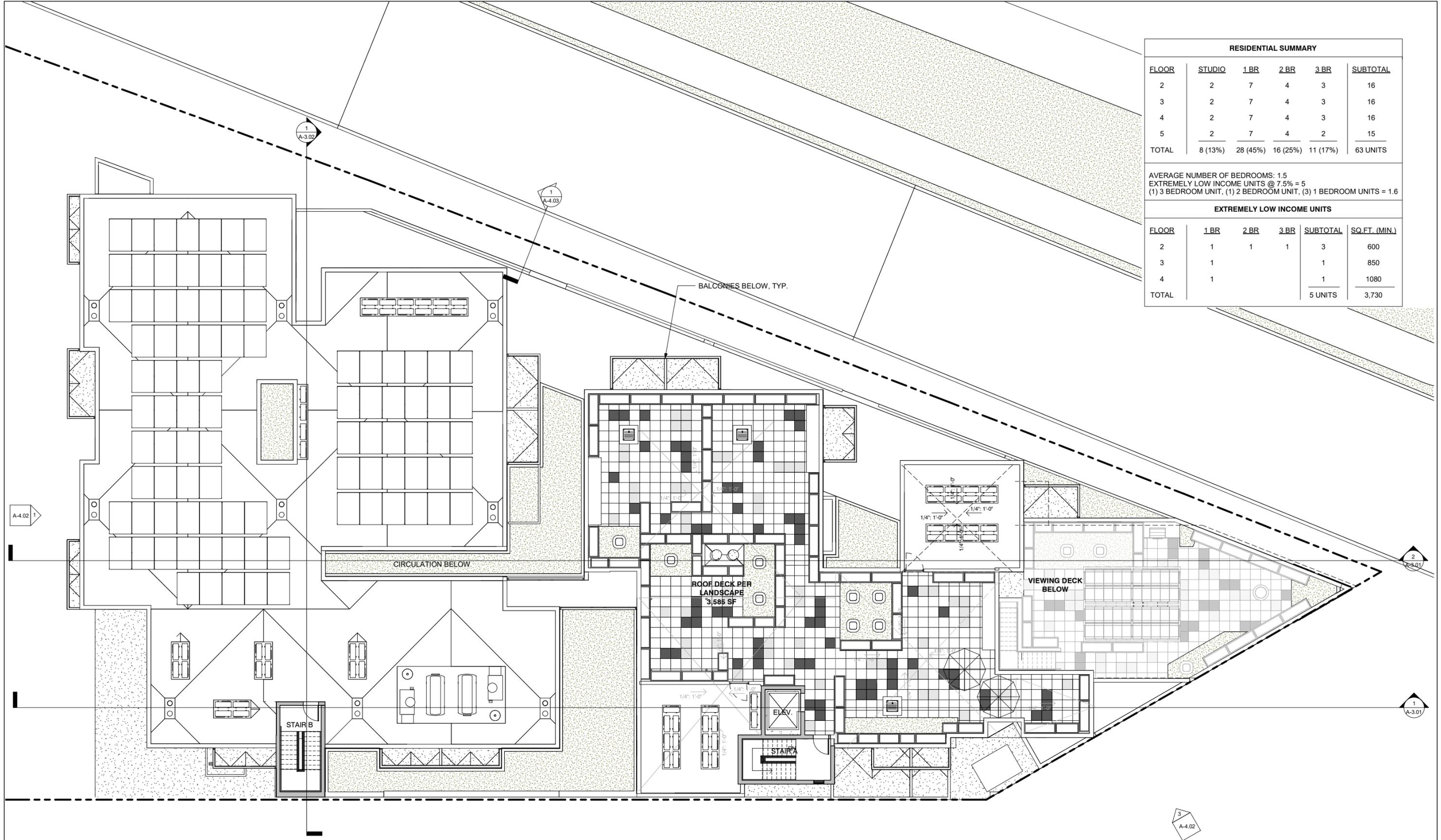
RESIDENTIAL SUMMARY					
FLOOR	STUDIO	1 BR	2 BR	3 BR	SUBTOTAL
2	2	7	4	3	16
3	2	7	4	3	16
4	2	7	4	3	16
5	2	7	4	2	15
TOTAL	8 (13%)	28 (45%)	16 (25%)	11 (17%)	63 UNITS

AVERAGE NUMBER OF BEDROOMS: 1.5  
 EXTREMELY LOW INCOME UNITS @ 7.5% = 5  
 (1) 3 BEDROOM UNIT, (1) 2 BEDROOM UNIT, (3) 1 BEDROOM UNITS = 1.6

EXTREMELY LOW INCOME UNITS					
FLOOR	1 BR	2 BR	3 BR	SUBTOTAL	SQ.FT. (MIN.)
2	1	1	1	3	600
3	1			1	850
4	1			1	1080
TOTAL				5 UNITS	3,730



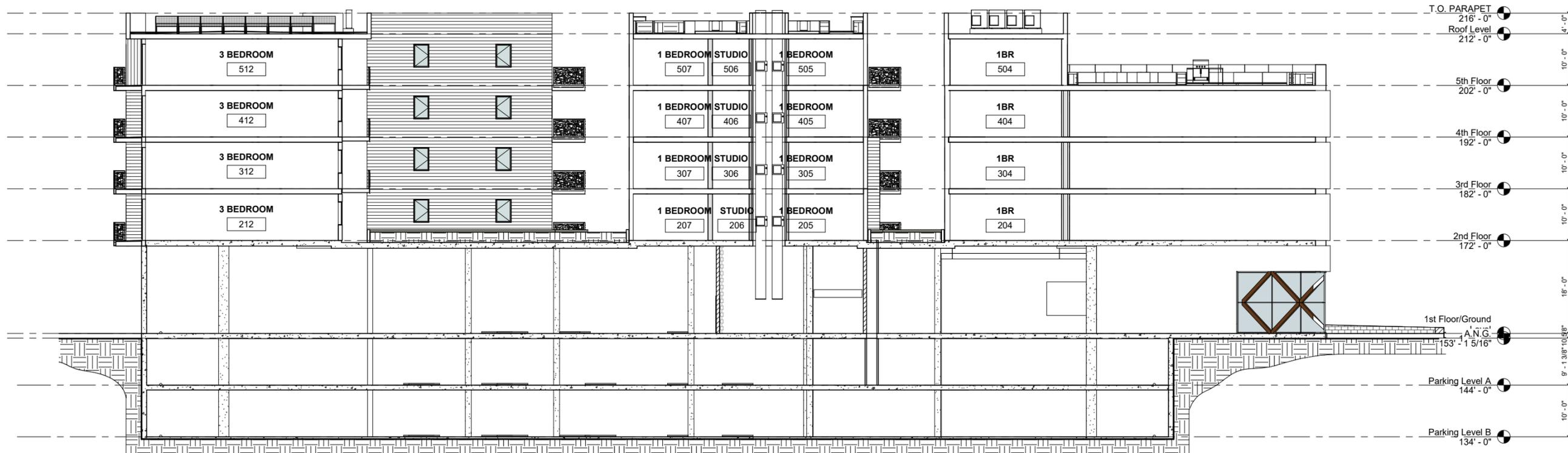
- LIVE ROOF PLANTING SYSTEM, BY LANDSCAPE
- BBQ WITH ADA COUNTER SPACE, BY LANDSCAPE
- RAISED PLANTERS, BY LANDSCAPE
- BBQ WITH ADA COUNTER SPACE, BY LANDSCAPE
- VIEWING DECK 1,379 SF
- GAS FIREPLACE, BY LANDSCAPE
- SHADE STRUCTURE, BY LANDSCAPE



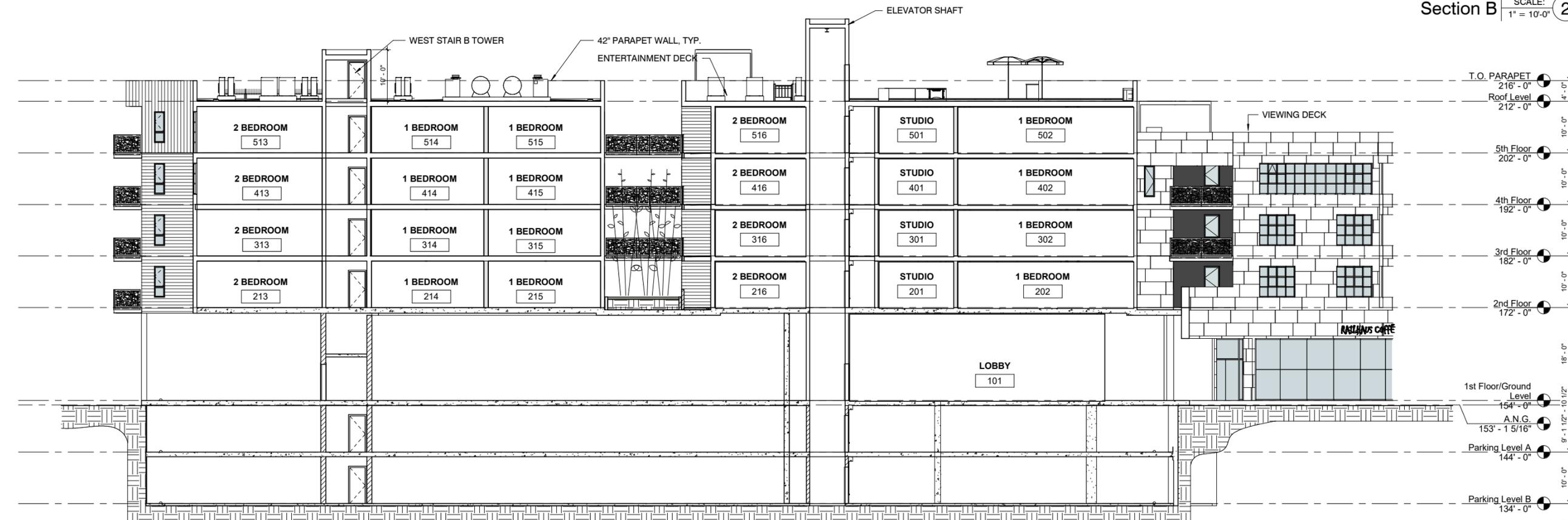
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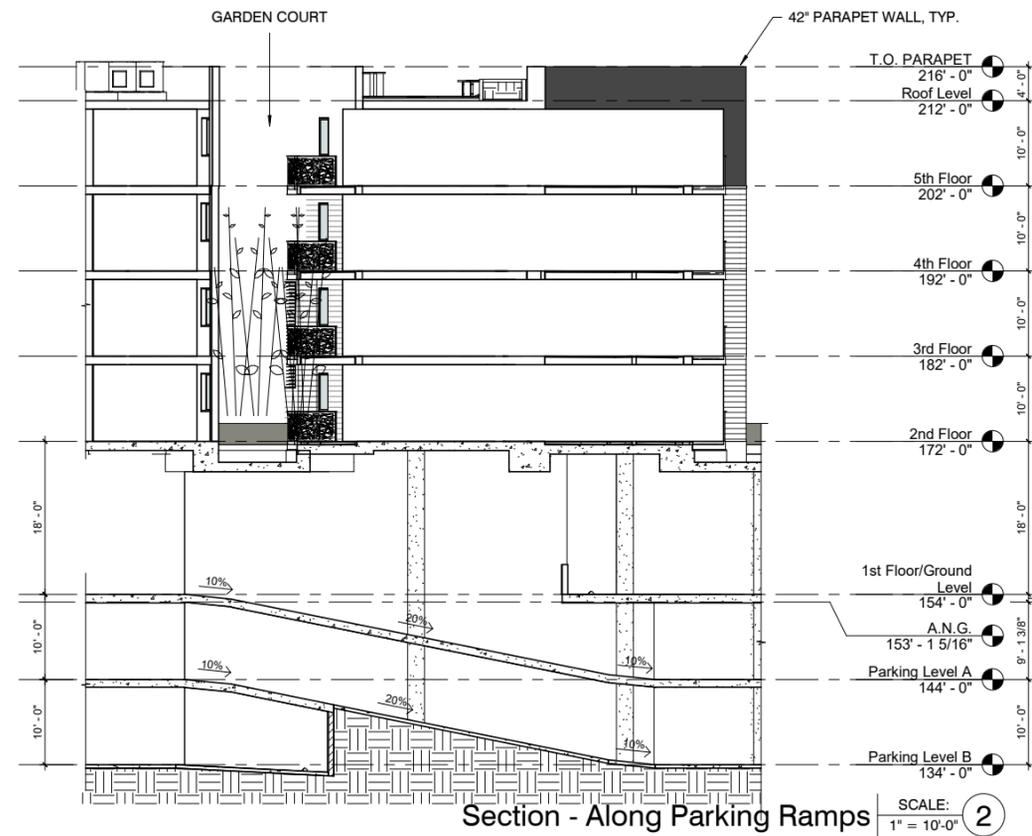
EXTREMELY LOW INCOME UNITS					
FLOOR	1 BR	2 BR	3 BR	SUBTOTAL	SQ.FT. (MIN.)
2	1	1	1	3	600
3	1			1	850
4	1			1	1080
TOTAL				5 UNITS	3,730



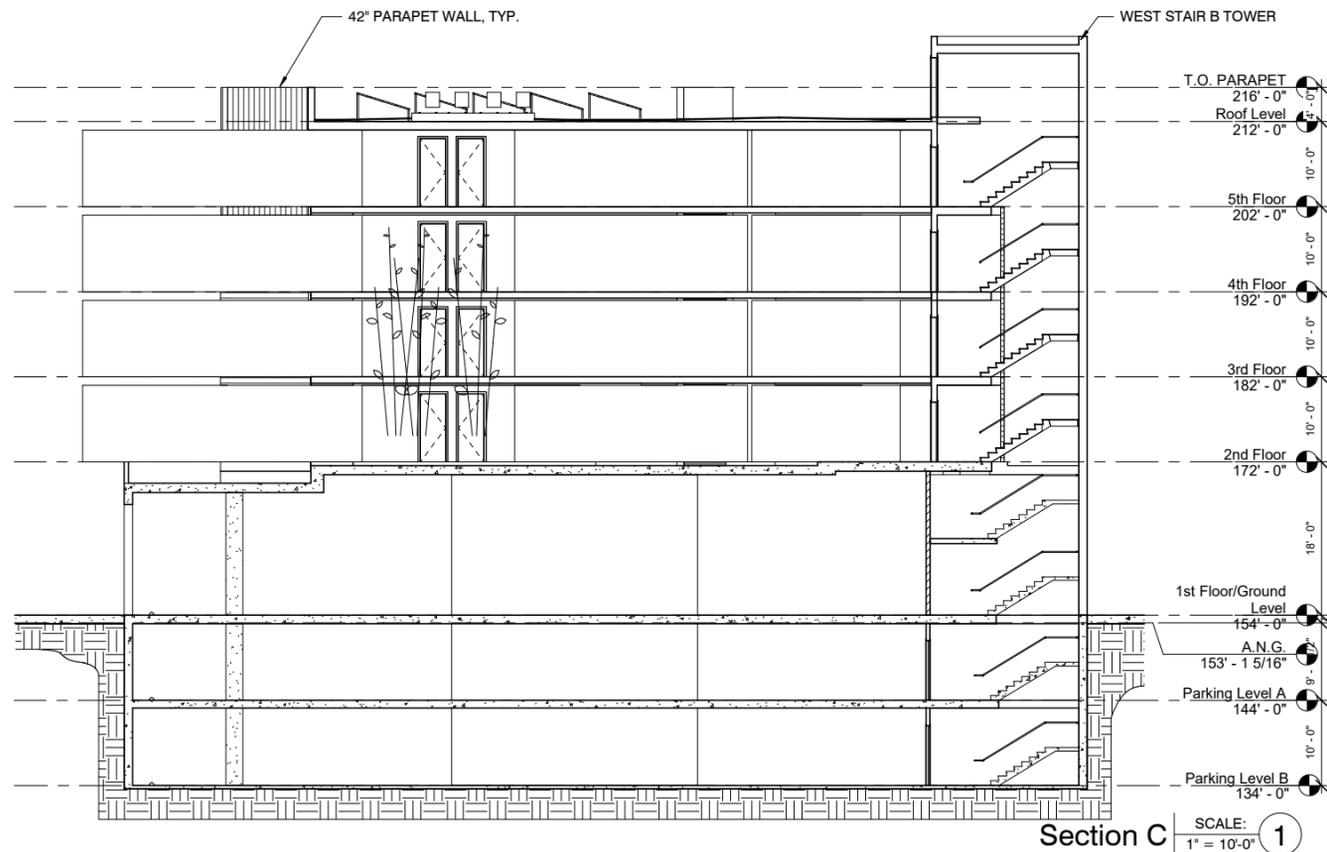
Section B SCALE: 1" = 10'-0" 2



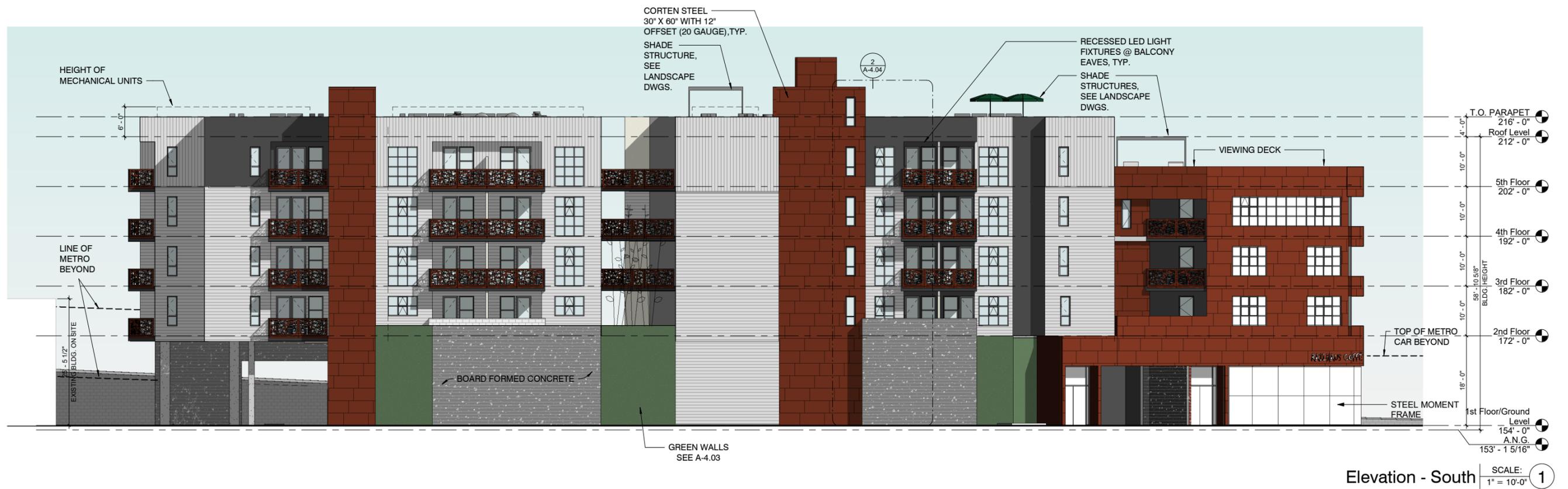
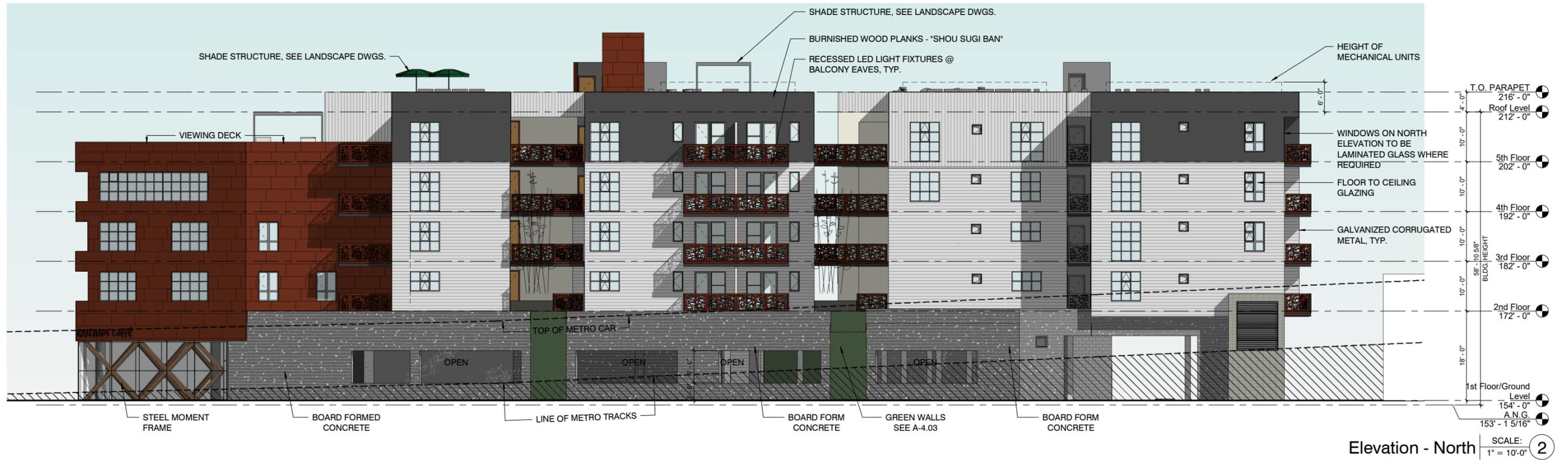
Section A SCALE: 1" = 10'-0" 1

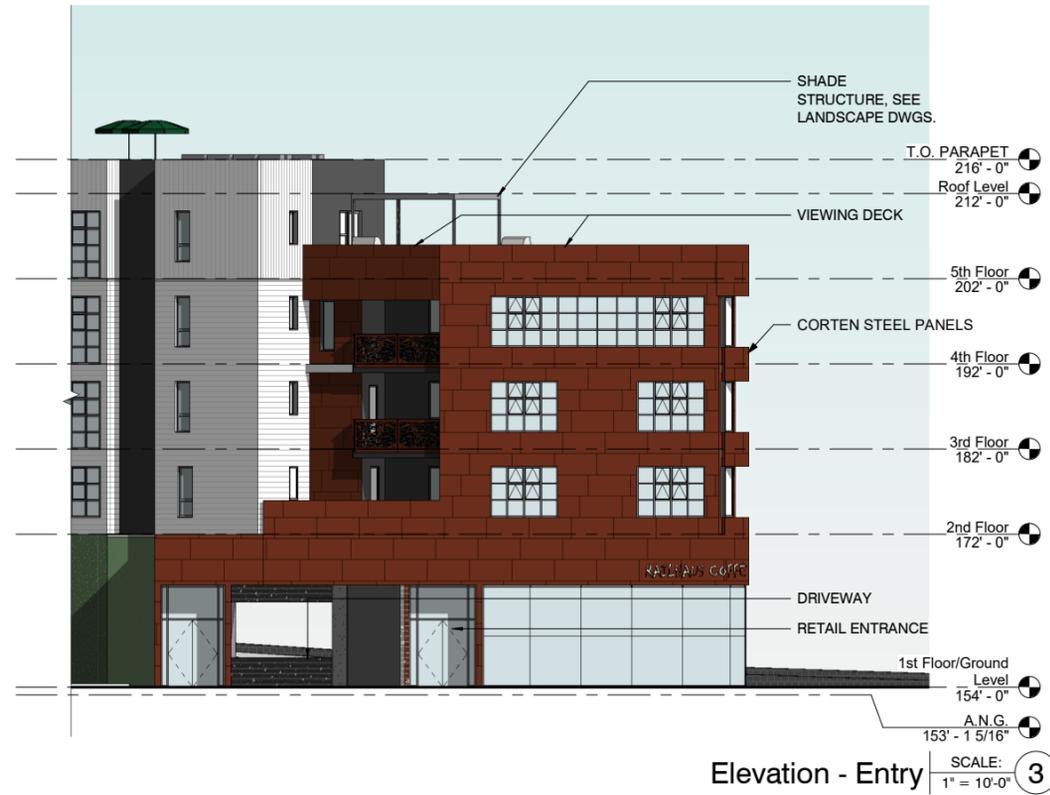


Section - Along Parking Ramps | SCALE: 1" = 10'-0" 2



Section C | SCALE: 1" = 10'-0" 1



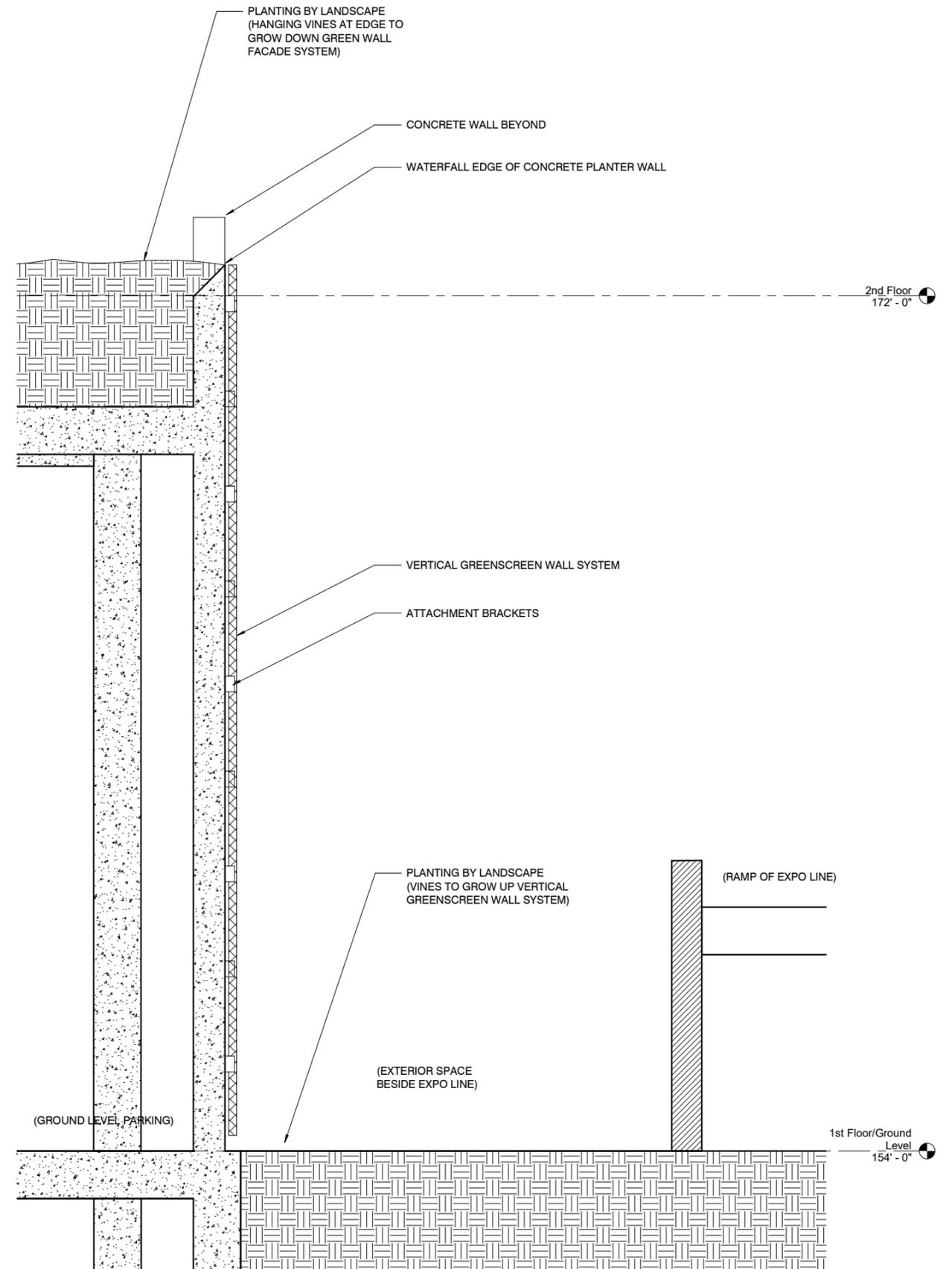




GREENSCREEN1707 CLOVERFIELD



GREENSCREEN WATERFALL EDGE



SECTION - VERTICAL PLANTER FACADE SYSTEM SCALE: 3/4" = 1'-0" 1

ELEVATION FEATURES

SCALE: 3/4" = 1'-0"

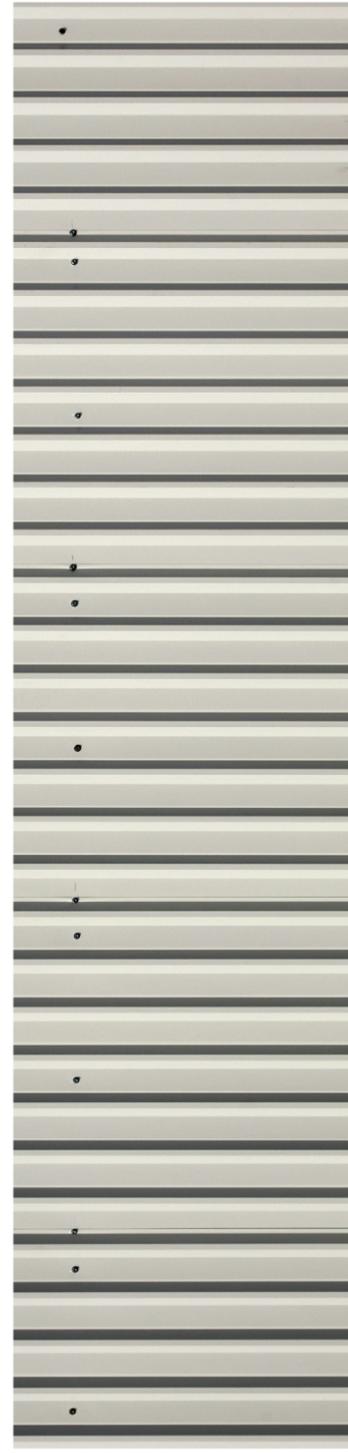
A-4.03



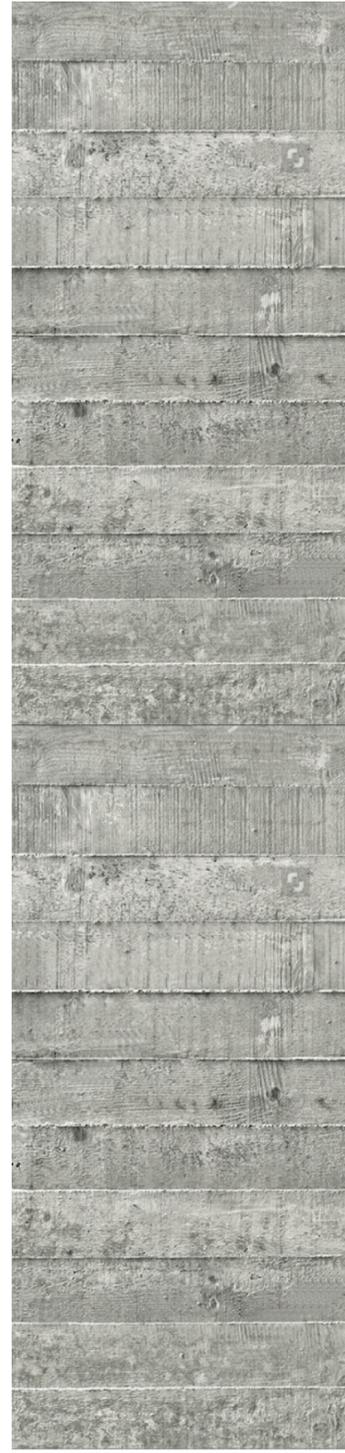
BURNISHED WOOD SIDING



CORTEN STEEL/  
PERFORATED STEEL  
PANEL RAILINGS



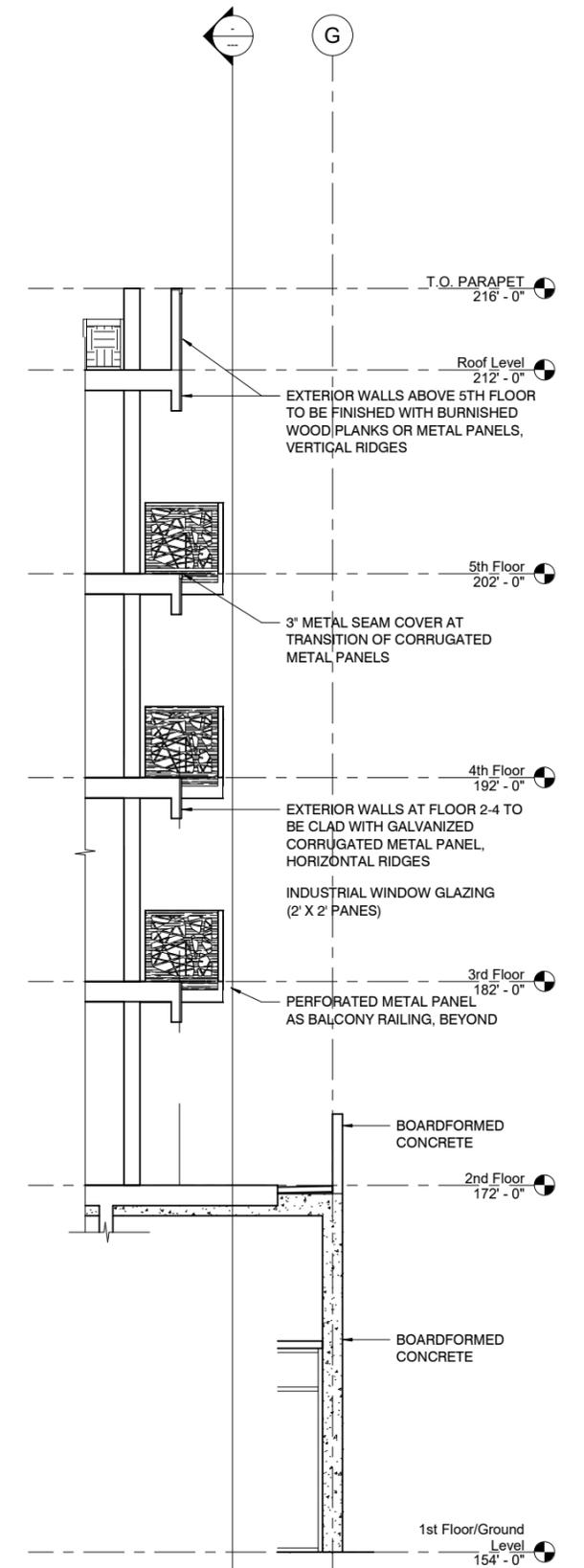
CORRUGATED METAL



BOARDFORMED CONCRETE



Elevation - South - Material Callout | SCALE: 1/4" = 1'-0" (2)



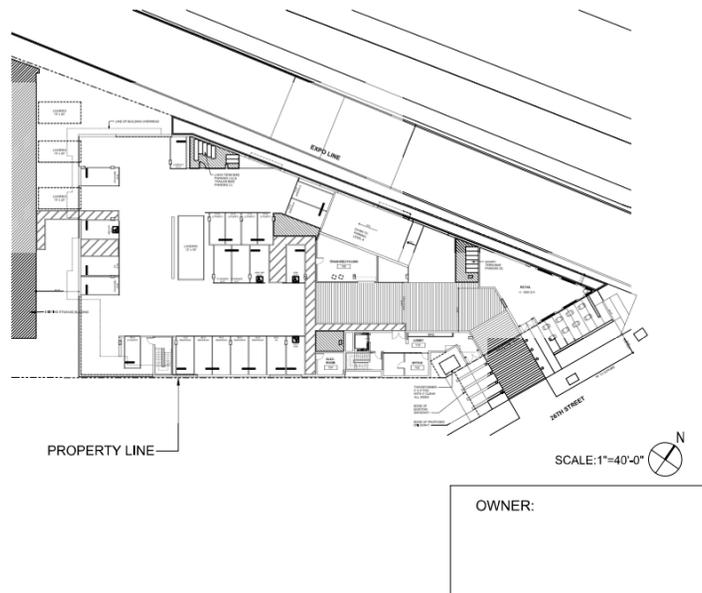
Material Wall Section | SCALE: 1/4" = 1'-0" (1)

ELEVATION FEATURES

SCALE: 1/4" = 1'-0"

A-4.04

KEY MAP



DIG ALERT

DIAL TOLL FREE  
1-800-422-4133

AT LEAST TWO DAYS  
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

CALL BEFORE YOU DIG - 811 DIG ALERT UNDERGROUND SERVICE ALERT.

1. DELINEATE SITE. IT IS MANDATORY THAT YOU OUTLINE THE PROPOSED EXCAVATION SITE WITH WHITE PAINT OR STAKES.
2. CALL AT LEAST TWO WORKING DAYS BEFORE YOU DIG. YOU MAY CALL 14 DAYS PRIOR TO THE EXCAVATION.
3. YOU ARE RESPONSIBLE FOR DAMAGE IF DAMAGE TO UNDERGROUND UTILITIES RESULTS FROM YOUR DIGGING.

PROJECT DIRECTORY

CLIENT:

ARCHITECTS:  
DFH ARCHITECTS, LLP  
1544 20TH STREET  
SANTA MONICA, CA 90404  
TEL: 310.394.4045  
FAX: 310.998.8658  
CONTACT: JAMES FISCHER

LANDSCAPE ARCHITECTS:  
SQLA INC.  
2669 SATURN STREET  
BREA, CA 92821  
CONTACT: SAMUEL KIM  
TEL: ((562) 905-0800

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA  
PHONE: (800) 422-4133

WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS PLAN SUBMITTAL NOTES

- 1. PARKWAY DECLARATIONS:**
  - A. ALL EXISTING SPRINKLERS AND SPRAY HEADS SHALL BE REMOVED IN THE PARKWAY.
  - B. THE INSTALLATION OF NEW SPRINKLER IRRIGATION SYSTEMS ARE PROHIBITED IN THE PARKWAY.
  - C. THE INSTALLATION OF ANY IRRIGATION SYSTEM IN THE PARKWAY SHALL NOT DAMAGE THE ROOTS OF THE STREET TREE.
  - D. NO MULCH SHALL BE APPLIED WITHIN SIX INCHES(6") OF THE BASE OF A STREET TREE.
  - E. NO PLANT MATERIAL SHALL BE INSTALLED WITHIN TWENTY-FOUR (24) INCHES OF THE BASE OF A STREET TREE.
  - F. THE PROPERTY OWNER ADJACENT TO THE PARKWAY ASSUMES LIABILITY FOR ANY IMPROVEMENTS TO THE PARKWAY AREA.
- 2. GENERAL NOTATIONS:**
  - A. AN OPEN-TRENCH INSPECTION BY CITY STAFF IS REQUIRED PRIOR TO COVERING BELOW GRADE PIPES, LATERALS, AND MAINS. THE DESIGNER OF THE LANDSCAPE OR THE DESIGNER, AND GENERAL CONTRACTOR, OR THEIR DESIGNEE, PERFORMING THE INSTALLATION SHALL BE RESPONSIBLE FOR THE OPEN-TRENCH INSPECTION FOR OPEN-TRENCH INSPECTIONS. CALL (310) 458-8405 FOR SUSTAINABILITY AND THE ENVIRONMENT AT (310) 458-8405
  - B. PRIOR TO FINAL INSPECTION INSTALLER SHALL TEST THE IRRIGATION SYSTEMS TO VERIFY THAT IT MEETS THE APPROVED DESIGN AND SPECIFICATIONS.
  - C. PRIOR TO FINAL INSPECTION THE INSTALLER MUST PROGRAM THE IRRIGATION CONTROLLER.
  - D. FINAL INSPECTION BY CITY STAFF IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY TO ENSURE THAT THE SYSTEM WAS BUILT TO APPROVED PLANS AND SPECIFICATIONS. FOR FINAL INSPECTIONS, CALL THE OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT AT (310) 458-8405. THE FOLLOWING ITEMS WILL BE REQUIRED: A PRIVATE ASSOCIATION PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.
    - I. POST INSTALLATION SOIL TEST RESULTS WHICH MUST CONTAIN THE PERCENTAGE (%) OF ORGANIC MATTER. MAY ALSO INCLUDE BUT IS NOT LIMITED TO SOIL TEXTURE, THE IRRIGATION OR SLATS, SODIUM, AND AND RECOMMENDATIONS DETERMINED BY LABORATORY TEST.
    - II. A DETAILED IRRIGATION SCHEDULE MUST BE INSTALLED AS BUILT UNDER THE IRRIGATION CONTROLLER WITH AT MINIMUM A DESCRIPTION FOR EACH ZONE INCLUDING PLANT MATERIAL, WATERING DEVICE, VALVE OR STATION NUMBER, RUN TIME FOR PEAK DEMAND, MONTH AND PRECIPITATION RATE.
    - III. IRRIGATION SCHEDULES INCLUDING ESTABLISHMENT PERIOD START AND END DATES, MUST BE POSTED INSIDE THE IRRIGATION CONTROLLER HOUSING UNIT BY THE INSTALLER.
  - E. ELECTRONIC SUBMISSION OF AN AS-BUILT SET OF PLANS TO THE CITY IS REQUIRED IF REQUESTED BY THE INSTALLER.
  - F. PRIOR TO CONSTRUCTION OF LANDSCAPE IRRIGATION, THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS.
  - G. ALL LANDSCAPING AND IRRIGATION SYSTEMS MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
  - H. THE IRRIGATION SYSTEM MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
  - I. THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION TO CHECK FOR ADHERENCE TO THE DESIGN, INCLUDING THAT THE PROPER INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY, MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS AND SENSORS MEETS THE INTENT OF THE IRRIGATION DESIGN PLAN AS DESIGNED AND APPROVED.
- 3. CONSTRUCTION NOTATIONS:**
  - A. AREAS DESIGNATED AS MULCH ON APPROVED LANDSCAPE PLANS, INCLUDING AREAS COVERED BY WOOD CHIPS, GRAVEL, STONE, DECOMPOSED GRANITE, AND AREAS DESIGNATED AS ARTIFICIAL TURF ON APPROVED LANDSCAPE PLANS CANNOT BE REPLACED WITH TURFGRASS OR HIGH WATER USE PLANTS AS DEFINED IN THE CURRENT EDITION OF THE WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS). ONCE MULCH OR ARTIFICIAL TURF HAS BEEN INSTALLED.
  - B. FOR SINGLE-FAMILY HOMES ONLY INSTALLING NEW LANDSCAPING, SUBMITTED CONSTRUCTION PLANS MUST INCLUDE THE FOLLOWING DECLARATION SIGNED BY THE PROJECT APPLICANT: THE LANDSCAPE FOR THIS PROPERTY MUST BE BUILT TO THE APPROVED LANDSCAPE PLANS WITHIN THIS APPROVED BUILDING PLAN SET. ANY REVISIONS TO APPROVED PLANS WILL REQUIRE RE-SUBMITTAL AND APPROVAL AND MUST STILL COMPLY WITH THE CURRENT WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS. ANY AREAS OF LANDSCAPE NOT COMPLETED AT TIME OF THE CLOSE OF THE BUILDING CONSTRUCTION PERMIT MUST BE COVERED WITH A MINIMUM 3" INCH (3") LAYER OF MULCH. THIS INCLUDES ALL EXPOSED SOIL SURFACES OF EXISTING PLANTING AREAS EXCEPT IN TURF AREAS, OVER CREEPING OR ROOTING GROUNDCOVERS, OR IN DIRECT SEEDING APPLICATIONS, WHERE MULCH IS NOT APPROPRIATE. FUTURE LANDSCAPE INSTALLATIONS FOR INCOMPLETE LANDSCAPE INSTALLATIONS MUST BE TO THE APPROVED LANDSCAPE PLANS.
  - C. INDIVIDUAL SINGLE-FAMILY DWELLINGS INSTALLING NO NEW LANDSCAPING, OTHER THAN MULCH AND ARTIFICIAL TURF, AND NO NEW IRRIGATION SYSTEM, SHALL BE REQUIRED ONLY TO SUBMIT A CONSTRUCTION PLAN WITH THIS NOTE: NO NEW PERMANENT, AUTOMATED IRRIGATION SYSTEM TO BE INSTALLED. A MINIMUM 3 INCH (3) LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF EXISTING PLANTING AREAS EXCEPT IN TURF AREAS, OVER CREEPING OR ROOTING GROUNDCOVERS, OR IN DIRECT SEEDING APPLICATIONS, WHERE MULCH IS NOT APPROPRIATE. ANY REVISIONS TO APPROVED PLANS WILL REQUIRE RE-SUBMITTAL AND APPROVAL AND MUST COMPLY WITH THE CURRENT WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS. CALL (310) 458-8405 TO SCHEDULE A FINAL INSPECTION.
- 4. LANDSCAPE NOTATIONS:**
  - A. TURFGRASS, INCLUDING EXISTING PLANT MATERIAL IS NOT ALLOWED ON SLOPES GREATER THAN TWENTY-FIVE PERCENT (25%) WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE AND WHERE TWENTY-FIVE PERCENT (25%) MEANS ONE FOOT (1') OF VERTICAL ELEVATION CHANGE FOR EVERY FOUR FEET (4') OF HORIZONTAL LENGTH (RISE DIVIDED BY RUN X 100 = SLOPE %).
  - B. PLANT MATERIAL LISTED IN THE CURRENT INVASIVE PLANT INVENTORY FOR THE SOUTHWEST REGION BY THE CALIFORNIA INVASIVE PLANT COUNCIL OR LISTED FOR THE SOUTH COAST REGION BY THE PLANTRIGHT ORGANIZATION ARE PROHIBITED, INCLUDING EXISTING PLANT MATERIAL, EXCEPT FOR KNOWN NON-FRUITING, NON-INVASIVE, STERILE VARIETIES, CULTIVARS OR SELECTIONS.
  - C. LANDSCAPES INSTALLING NEW PLANT MATERIAL BUT WITHOUT A PERMANENT, AUTOMATED IRRIGATION SYSTEM, WHERE WATER IS ACCESSED ONLY THROUGH A HOSE BIB OR QUICK COUPLER CONNECTION, ARE NOT REQUIRED TO SUBMIT A HYDROZONE MATRIX, AN IRRIGATION PLAN, OR AN IRRIGATION DETAIL AND SPECIFICATIONS PLAN. ADD THIS NOTE: NO PERMANENT, AUTOMATED IRRIGATION SYSTEM TO BE INSTALLED. ANY FUTURE IRRIGATION SYSTEM INSTALLATION WILL REQUIRE A FULL LANDSCAPE PLAN SUBMITTAL FOR CITY OF SANTA MONICA REVIEW AND APPROVAL PRIOR TO INSTALLATION.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY THE DEPARTMENT OF PUBLIC WORKS OF SANTA MONICA, CALIFORNIA.
    - 1. SUBMITTALS:** THE CONTRACTOR SHALL FOLLOW THE PLANS AND WILL NOT SUBSTITUTE SPECIFIED PRODUCTS, BUILDING MATERIALS OR PLANTS UNLESS APPROVED BY LANDSCAPE ARCHITECT/OWNER. ALL PROPOSED SUBSTITUTIONS SHALL BE DESCRIBED AND DOCUMENTED IN SUBMITTALS BY THE CONTRACTOR, AND SUBMITTED TO THE LANDSCAPE ARCHITECT/OWNER 2 WEEKS PRIOR TO INSTALLATION.
    - 2. PERMITS AND INSPECTIONS:** THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS. DELIVER ALL PERMITS AND CERTIFICATES OF INSPECTION TO BUILDING & SAFETY CITY OF SANTA MONICA.
    - 3. PROTECTION OF EXISTING FEATURES:** STRUCTURES, STREETS, SIDEWALK, TREES, ALL HARDSCAPE, UTILITIES TO REMAIN AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
    - 4. ACCEPTANCE OF COMPLETED PROJECT:** THE PROJECT SHALL BE ACCEPTED AS COMPLETE WHEN THE FOLLOWING CONDITIONS HAVE BEEN MET:
      - 4.1. ALL WORK REQUIRED BY CONTRACT ADMINISTRATION THROUGH ITS FINAL INSPECTION HAS SATISFACTORILY BEEN ACCOMPLISHED.
      - 4.2. THE DEPARTMENT OF BUILDING AND SAFETY HAS SIGNED OFF THE FINAL INSPECTION APPROVAL AT THE BOTTOM OF THE JOB INSPECTION CARD, (IF REQUIRED)
      - 4.3. THE CONTRACTOR HAS MADE ALL PAYMENTS TO SUBCONTRACTORS AND MATERIAL SUPPLIERS AND NO LIENS EXIST.
  - ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. FAILURE TO DO SO WILL PLACE RESPONSIBILITY ON THE CONTRACTOR FOR CORRECTION.
  - THE CONTRACTOR SHALL VERIFY ON SITE, ALL DIMENSIONS AND LOCATION OF ANY UNDERGROUND UTILITY.
  - A SEPARATE APPLICATION AND PERMIT(S) IS/ARE REQUIRED FOR:
    1. DEMOLITION WORK
    2. RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL OR SUPPORTING A SURCHARGE.
    3. EACH SEPARATE STRUCTURE
    4. FENCES GREATER THAN SIX (6) FEET HIGH
- \*\*PURSUANT TO SMMC SECTION 8.108.080, THE CITY'S STANDARD LANDSCAPE AND WATER CONVERSATION REQUIREMENTS DO NOT APPLY TO THIS PARCEL BECAUSE IT IS AN OFFICIALLY-DESIGNATED LANDMARK PARCEL.

BUILDING SUMMARY

LOCATION:  
1707 CLOVERFIELD, SANTA MONICA, CALIFORNIA 90404

PROPOSED PROJECT:  
4 STORY MULTI-FAMILY RESIDENTIAL APARTMENTS OVER GROUND LEVEL PARKING AND RETAIL SPACE OVER 2 STORIES OF SUBTERRANEAN PARKING; 5 STORIES TOTAL.

LOT AREA:  
74,065 SF, 1.70 ACRES

LEGAL DESCRIPTION:  
THAT PORTION OF LOT 1 IN BLOCK 30 OF ERKENBRECHER SYNDICATE SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGES 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING WESTERLY OF A LINE BEARING NORTH 45 DEGREES 15 MINUTES EAST FROM A POINT IN THE SOUTHERLY LINE OF SAID LOT, DISTANT NORTH 44 DEGREES 45 MINUTES WEST 434.33 FEET FROM THE MOST SOUTHERLY CORNER OF LOT 2 IN SAID BLOCK

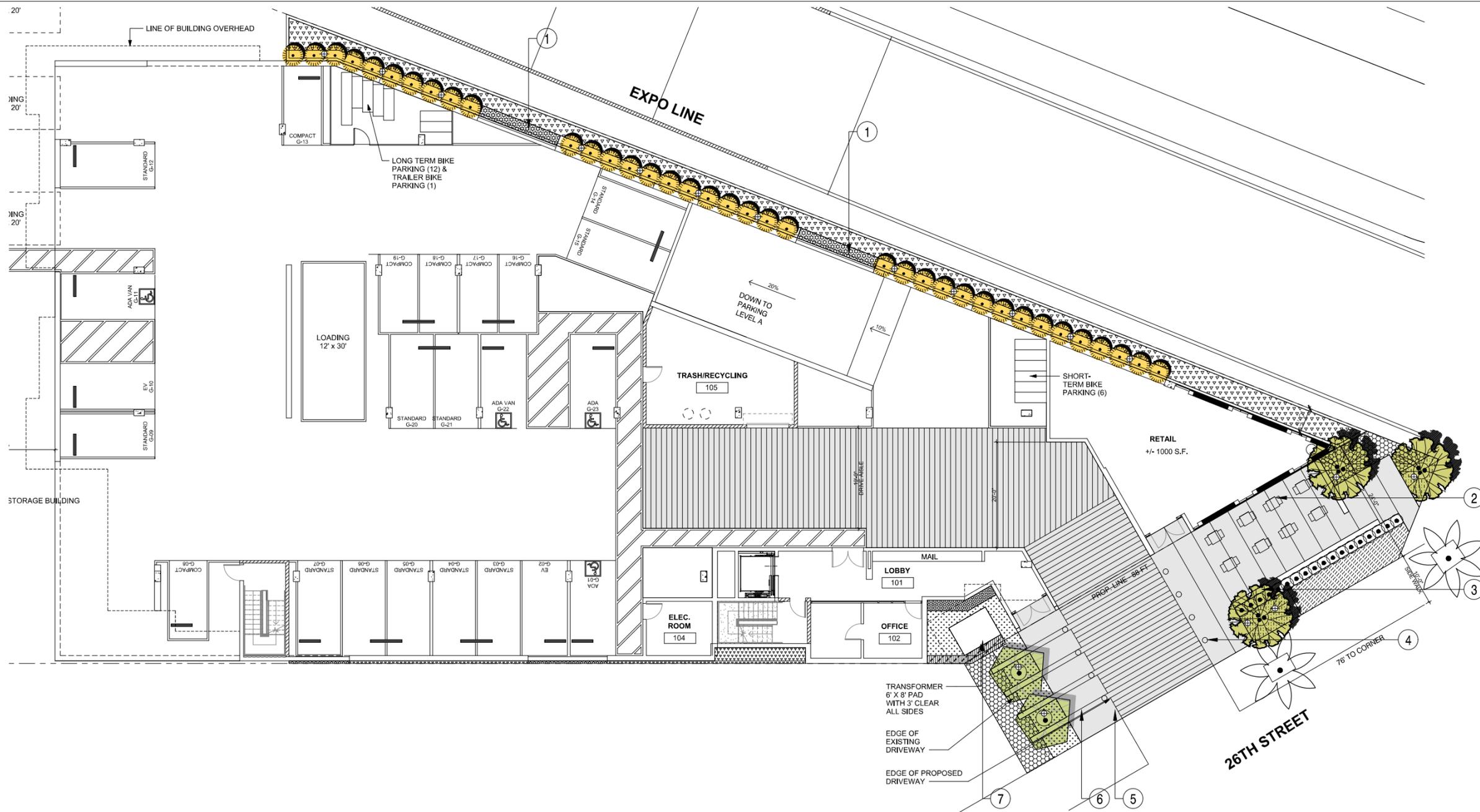
APN:  
4268-014-013

ZONE: BERGAMOT TRANSIT VILLAGE (BTV)

OCCUPANCY TYPE: R-2 RESIDENTIAL, M RETAIL, S-2 PARKING

SHEET INDEX

- LT-0 COVER SHEET
- LP-1 PLANTING PLAN - GROUND FLOOR
- LP-2 PLANTING PLAN - SECOND FLOOR
- LP-3 PLANTING PLAN - FIFTH FLOOR
- LP-4 PLANTING PLAN - ROOF DECK
- LP-5 PLANTING DETAILS
- LD-1 CABANA DETAILS
- LE-1 LANDSCAPE ELEVATIONS - @2 YEARS MATURITY
- LE-2 LANDSCAPE ELEVATIONS - @2 YEARS MATURITY
- LE-3 LANDSCAPE ELEVATIONS - @PLANTING
- LE-4 LANDSCAPE ELEVATIONS - @PLANTING
- LI-1 IRRIGATION PLAN - GROUND FLOOR
- L-2 IRRIGATION PLAN - SECOND FLOOR
- LI-3 IRRIGATION PLAN - FIFTH FLOOR
- LI-4 IRRIGATION PLAN - ROOF DECK
- LI-5 IRRIGATION DETAILS



**KEYNOTES**

1. LIVEWALL/ PLANT SELECTIONS TBD. 
2. OUTDOOR DINING TABLE & CHAIRS
3. CONC. SEATING WALL
4. BOLLARD LIGHT - FGP PATH LIGHT [www.landscapeforms.com](http://www.landscapeforms.com) 
5. CONCRETE PAVING
6. CONCRETE BANDING
7. TRANSFORMER

**LIGHTING LEGENDS**

-  TREE UPLIGHT
-  VOLT ALL STAR CAST BRASS SPOTLIGHT VAL-2000-4-BBZ <https://www.voltlighting.com/>

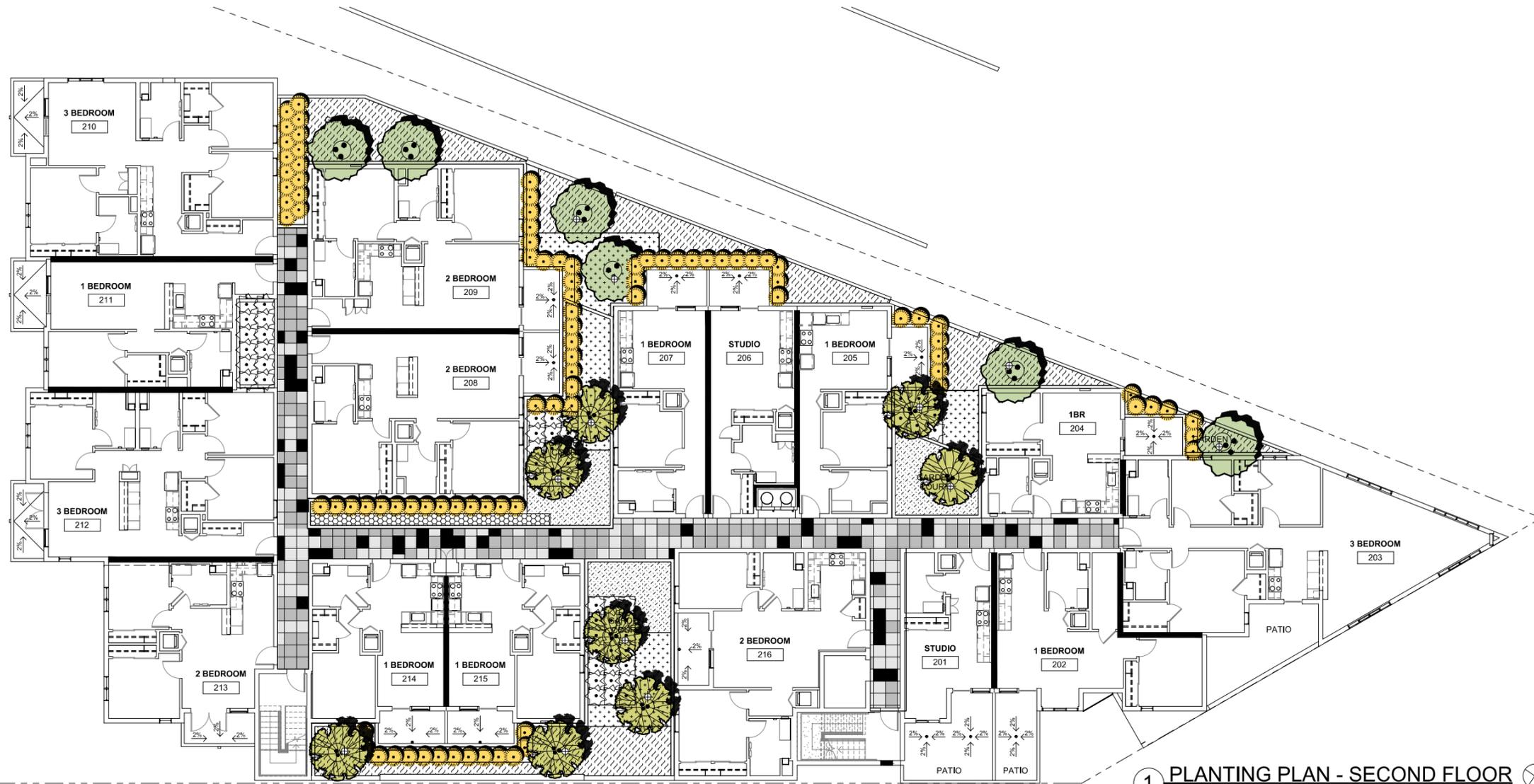


**1 PLANTING PLAN - GROUND FLOOR**

SCALE: 1"= 10'-0"

TREES		SIZE & QUAN.	IG	PLANT FACTOR/IG	PLANT CATEGORY	SIZE @ PLANTING	SIZE@ MATURITY	SHRUB & GROUND COVER		SIZE & QUAN.	PLANT FACTOR/IG	PLANT CATEGORY	SIZE @ PLANTING	SIZE@ MATURITY
	TIPUANA TIPU TIPU TREE	24" BOX/ 2 EA.	1	M/ 0.5	TREE	8'-9" HT. & 3'-4" W.	20'-35" HT. & 25'-40" W.		ANIGOZANTHOS 'BIG RED' RED KANGAROO PAW	5 GAL.@/ 18 EA.	L/ 0.3	DESERT ADAPTED SHRUB	14"-30" HT. & 10"-14" W.	5'-6" HT. & 2' W.
	GINKGO BILBOA MAIDENHAIR TREE	24" BOX/ 3 EA.	1	M/ 0.5	TREE	6'-8" HT. & 2'-3" W.	30'-50" HT. & 20'-30" W.		DODONAEA VISCOSA HOPBUSH (MAINTAIN 42" HT. MAXIMUM IN THE FRONTYARD SETBACK PER CITY OF SANTA MONICA REQUIREMENT)	5 GAL.@24" O.C./ 7 EA.	L/ 0.3	DESERT ADAPTED SHRUB	3'-4" HT. & 1'-2" W.	8'-12" HT. & 8'-12" W.
	BAMBUSA OLDHAMII GIANT TIMBER BAMBOO	15 GAL./ 37 EA.	1	M/ 0.5	TREE	6'-8" HT. & 2'-3" W.	15'-35" HT. & 10'-15" W.		MUHLENBERGIA CAPILLARIS 'REGAL MIST' PINK MUHLY	5 GAL.@ 24" O.C./ 54 EA.	L/ 0.3	DESERT ADAPTED SHRUB	12"-16" HT. & 10"-12" W.	3' HT. & 3' W.
	EXISTING STREET TREE (DATE PALM) TO REMAIN								SALVIA GREGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	5 GAL.@ 24" O.C./ 34 EA.	L/ 0.3	DESERT ADAPTED SHRUB	12"-14" HT. & 12"-14" W.	2'-4" HT. & 2'-3" W.
	ARMERIA MARITIMA COMMON SEATHRIFT	1 GAL.@ 12" O.C./ 77 EA.	L/ 0.3						BACCHARIS PILLULARIS 'PIGEON POINT' DWARF COYOTE BUSH	FLAT@ 12" O.C./ 13 EA.	L/ 0.3	DESERT ADAPTED GROUNDCOVER	6"-8" HT. & 6"-8" W.	1'-2" HT. & 6'-10" W.
	DYMONDIA MARGARETAE DYMONDIA	SOD/ 183 SF.	L/ 0.3						LIVEWALL PLANTING PLANT SELECTION TBD.	APPRX. 1,296 SF.	M/ 0.5	SHRUB	1'-2" HT. & 4" W.	2'-3" HT. & 20" W.





**1 PLANTING PLAN - SECOND FLOOR**  
SCALE: 1"= 10'-0"

**PLANTING LEGEND**

**TREES**

	SIZE & QUAN.	IG	PLANT FACTOR/IG	PLANT CATEGORY	SIZE @ PLANTING	SIZE@ MATURITY
 GINKGO BILBOA MAIDENHAIR TREE	24" BOX/ 8 EA.	1	M/ 0.5	TREE	6'-8" HT. & 2'-3" W.	30'-50" HT. & 20'-30" W.
 MELALEUCA QUINQUENERVIA CAJEPUT TREE	24" BOX/ 6 EA.	1	M/ 0.5	TREE	7'-8" HT. & 2'-3" W.	20'-30" HT. & 15'-25" W.
 BAMBUSA MULTIPLEX 'ALPHONSE KARR' ALPHONSE KARR BAMBOO	15 GAL./ 93 EA.	1	M/ 0.5	TREE	4'-6" HT. & 1.5'-2" W.	15'-25" HT. & 10'-15" W.

**SHRUB & GROUND COVER**

	SIZE & QUAN.	PLANT FACTOR/IG	PLANT CATEGORY	SIZE @ PLANTING	SIZE@ MATURITY
 AGAVE ANGUSTIFOLIA 'MARGINATA' CARIBBEAN AGAVE	5 GAL./ 52 EA.	L/ 0.3	DESERT ADAPTED SHRUB	14"-30" HT. & 10"-14" W.	5'-6" HT. & 2' W.
 MUHLENBERGIA CAPILLARIS 'REGAL MIST' PINK MUHLY	5 GAL.@ 24" O.C./ 244 EA.	L/ 0.3	DESERT ADAPTED SHRUB	12"-16" HT. & 10"-12" W.	3' HT. & 3' W.
 SALVIA GREGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	5 GAL.@ 24" O.C./ 96 EA.	L/ 0.3	DESERT ADAPTED SHRUB	12"-14" HT. & 12"-14" W.	2'-4" HT. & 2'-3" W.
 DIANELLA REVOLUTA 'ALLYN-CITATION' COOLVISTA DIANELLA	5 GAL.@ 18" O.C./ 192 EA.	L/ 0.3	DESERT ADAPTED SHRUB	10"-12" HT. & 6"-8" W.	18"-24" HT. & 18"-24" W.
 ARMERIA MARITIMA COMMON SEATHRIFT	1 GAL.@ 12" O.C./ 77 EA.	L/ 0.3	DESERT ADAPTED GROUND COVER	1"-2" HT. & 6" W.	1.5"-1" HT. & 1" W.



**LIGHTING LEGENDS**

 TREE UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.vollighting.com/>



- KEYNOTES**
1. SCREENING SHRUBS
  2. LEMON TREE IN B2G INC SQUARE POT



3. MODULAR GREEN ROOF
4. FIBERGLASS PLANTER BACK2GARDEN.COM



5. SHADE STRUCTURE W/ MOVABLE FABRIC



6. LOUNGE SEATING AREA



7. BBQ W/ ADA ACCESS



8. 24" X 24" PEDESTAL PAVERS

9. FIRE PIT W/ SEATING

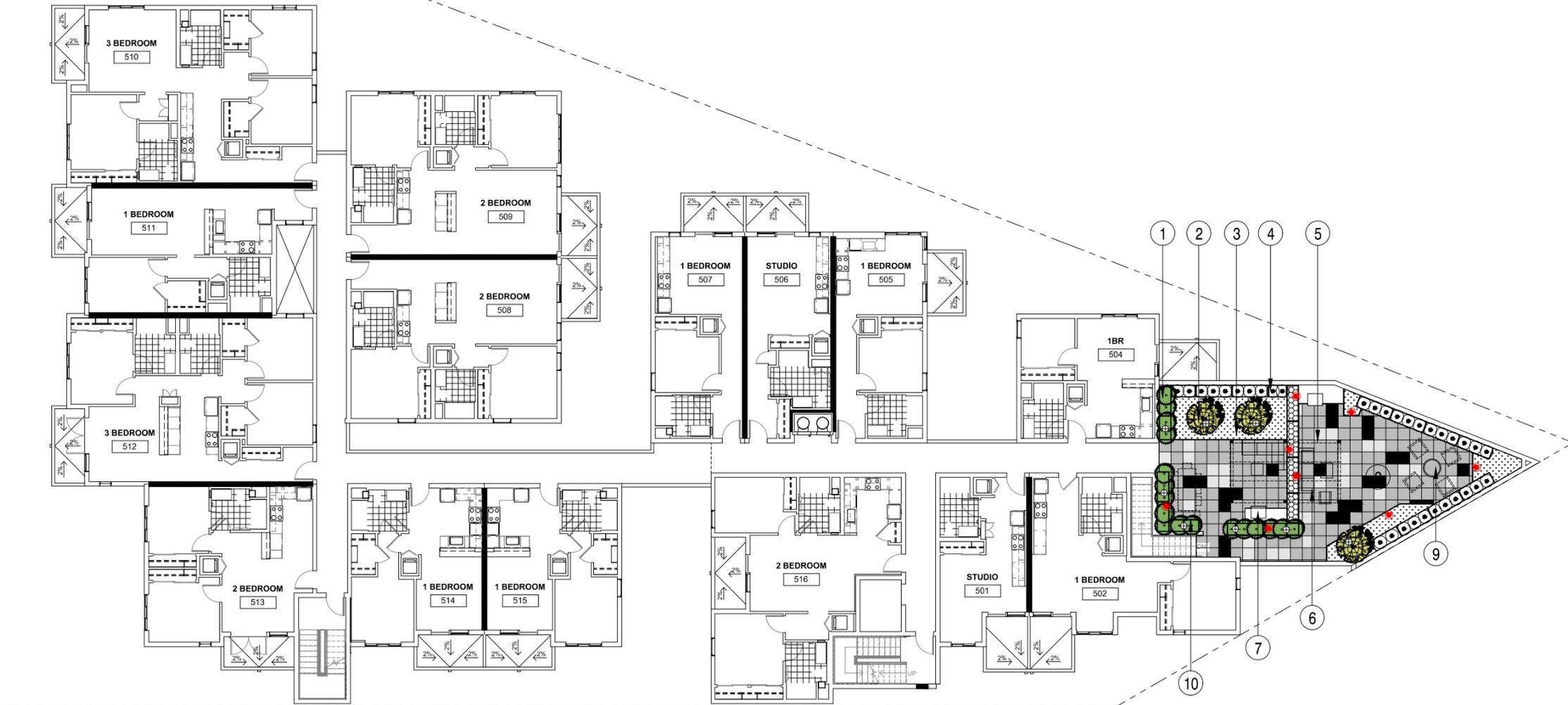
10. BUILT IN BENCH W/ DINNING TABLE

**LIGHTING LEGENDS**

- TREE UPLIGHT
- VOLT ALL STAR CAST BRASS SPOTLIGHT VAL-2000-4-BBZ <https://www.vollighting.com/>



- SINGLE PATH LIGHT
- VOLT ELEVATOR CAST BRASS PATH LIGHT VPL-3024-4-BBZ <https://www.vollighting.com/>



**1 PLANTING PLAN - FIFTH FLOOR**  
SCALE: 1"= 10'-0"

**PLANTING LEGEND**

**TREES**

CITRUS LEMON 'MEYER IMPROVED' IMPROVED MEYER LEMON

LAURUS NOBILIS SWEET BAY

SHRUB & GROUND COVER  
ANIGOZANTHOS 'BIG RED' BIG RED KANGAROO PAW

MUHLENBERGIA CAPILLARIS 'REGAL MIST' PINK MUHLY

DIANELLA REVOLUTA 'ALLYN-CITATION' COOLVISTA DIANELLA

SIZE & QUAN.	IG	PLANT FACTOR/IG	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY
24" BOX/ 3 EA.	1	M/ 0.5	TREE	5.5'-6" HT. & 3'-3.5' W.	8'-12" HT. & 6'-8" W.
15 GAL./ 17 EA.	1	L/ 0.3	DESERT ADAPTED TREE	6'-7" HT. & 1'-2" W.	15'-25" HT. & 10'-15" W.
5 GAL.@/ 33 EA.		L/ 0.3	DESERT ADAPTED SHRUB	14"-30" HT. & 10"-14" W.	5'-6" HT. & 2' W.
5 GAL.@ 24" O.C./ 11 EA.		L/ 0.3	DESERT ADAPTED SHRUB	12"-16" HT. & 10"-12" W.	3' HT. & 3' W.
5 GAL.@ 18" O.C./ 91 EA.		L/ 0.3	DESERT ADAPTED SHRUB	10"-12" HT. & 6"-8" W.	18"-24" HT. & 18"-24" W.





**KEYNOTES**

- 1. FIBERGLASS PLANTER BY B2G  

- 2. FIREPIT W/ SEATING  

- 3. OUTDOOR DINING TABLE & CHAIRS  
4. BAR SEATING
- 5. SHADE STRUCTURE W/ MOVABLE FABRIC  

- 6. LIVE ROOF SYSTEM W/ ALUMINIUM EDGING  

- 7. FOOSBALL TABLE  

- 8. 24"x 24" PEDESTAL PAVER  
9. PINGPONG TABLE  
10. SQUARE POT  


**1 PLANTING PLAN - ROOF DECK**  
SCALE: 1"= 10'-0"

**PLANTING LEGEND**

**TREES**

	SIZE & QUAN.	IG	PLANT FACTOR/ IG	PLANT CATEGORY	SIZE @ PLANTING	SIZE@ MATURITY
 CITRUS LEMON 'MEYER IMPROVED' IMPROVED MEYER LEMON	24" BOX/ 8 EA.	1	M/ 0.5	TREE	5.5'-6" HT. & 3'-3.5" W.	8'-12" HT. & 6'-8" W.
 LAURUS NOBILIS SWEET BAY	15 GAL./ 60 EA.	1	L/ 0.3	DESERT ADAPTED TREE	6'-7" HT. & 1'-2" W.	15'-25" HT. & 10'-15" W.

**SHRUB & GROUND COVER**

	SIZE & QUAN.	PLANT FACTOR/ IG	PLANT CATEGORY	SIZE @ PLANTING	SIZE@ MATURITY
 ANIGOZANTHOS 'BIG RED' 'BIG RED' KANGAROO PAW	5 GAL./ 21 EA.	L/ 0.3	DESERT ADAPTED SHRUB	14"-30" HT. & 10"-14" W.	5'-6" HT. & 2' W.
 MUHLENBERGIA CAPILLARIS 'REGAL MIST' 'PINK MUHLY'	5 GAL./ 24" O.C./ 90 EA.	L/ 0.3	DESERT ADAPTED SHRUB	12"-16" HT. & 10"-12" W.	3' HT. & 3' W.
 DIANELLA REVOLUTA 'ALLYN-CITATION' 'COOLVISTA DIANELLA'	5 GAL./ 18" O.C./ 326 EA.	L/ 0.3	DESERT ADAPTED SHRUB	10"-12" HT. & 6"-8" W.	18"-24" HT. & 18"-24" W.

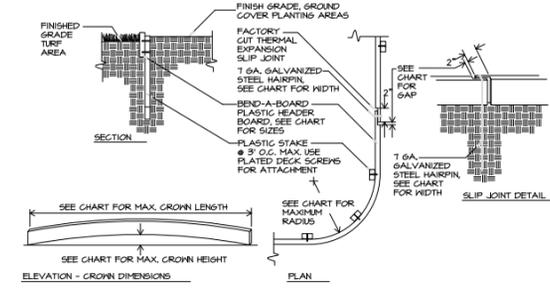


**LIGHTING LEGENDS**

-  TREE UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.vollighting.com/>
-  SINGLE PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ  
<https://www.vollighting.com/>

**LANDSCAPE PLANTING NOTES**

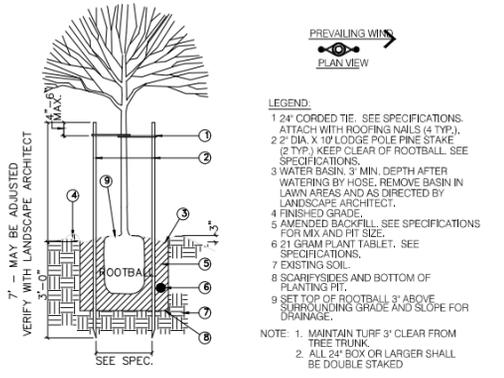
1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED BY THE LANDSCAPE DRAWINGS.
2. ANY DEVIATION FROM THE PLAN IS TO HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
3. THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND OR GRASSES (INCLUDING THE ROOTS) EXISTING IN THE PROPOSED GROUND COVER AREA.
4. THE PROPOSED GROUND COVER AREA SHALL RECEIVE THE PRE-EMERGENT HERBICIDE SURFLAN 75W PER MANUFACTURER'S INSTRUCTIONS. APPLICATION OF THIS HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.
5. ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE FINISH GRADING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. FINISH GRADING WILL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE, LOOSENING THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS OR CLODS OF 2" DIAMETER OR LARGER. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT CURBS AND SIDEWALKS.
6. ALL LANDSCAPE AREAS ARE TO RECEIVE AN EVEN APPLICATION OF 6 CUBIC YARDS OF NITROGEN MINERALIZED STABILIZED WOOD SAWDUST, 30 POUNDS OF 6N-20P-20K FERTILIZER, 10 LB. OF SOIL SULFUR FOR EACH 1,000 SQUARE FEET. THE ABOVE AMENDMENTS ARE TO BE INCORPORATED UNIFORMLY INTO THE TOP 6" OF SOIL.
7. ALL ROCK OR UNBROKEN SOIL CLODS OVER 1" IN DIAMETER BROUGHT TO THE SURFACE ARE TO BE REMOVED FROM THE SITE.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORTICULTURAL SOILS FERTILITY REPORT PRIOR TO SOIL PREPARATION AND PLANT INSTALLATION. SOIL CONDITIONING AMENDMENTS AND PLANTING BACKFILL MIXES SHALL BE IN ACCORDANCE TO SOIL AND PLANT LAB RECOMMENDATIONS. SOIL AND PLANT LAB: (714)-282-8777, 1594 N. MAIN STREET, ORANGE, CA 92867
9. GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
10. WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING.
11. MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A 3" MIN. LAYER OF 1/2" TO 3/4" REDWOOD BARK.
12. AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE TO BE REMOVED FROM THE SITE.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF THIRTY CALENDAR DAYS FROM THE DATE OF COMPLETION, ESTABLISHED BY THE OWNER OR HIS REPRESENTATIVE. ALL AREAS ARE TO BE KEPT WELL WATERED, FREE OF GRASSES AND TRASH DURING THIS MAINTENANCE PERIOD.
14. AN APPLICATION OF FERTILIZER (16% NITROGEN, 6% PHOSPHORIC, 8% POTASH) IS TO BE MADE JUST PRIOR TO THE COMPLETION OF THE MAINTENANCE PERIOD, OR AT 30 DAYS INTERVALS IF MAINTENANCE PERIOD IS GREATER THAN 30 DAYS.
15. ALL TREES, SHRUBS AND PLANT MATERIAL (OTHER THAN FLATTED MATERIAL) LESS THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 MONTH; 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS. ALL MATERIAL LARGER THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR.



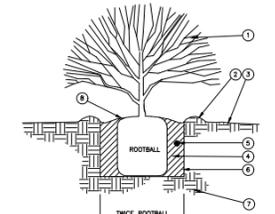
NOTES:  
 1. COLOR OPTIONS:  
 BROWN (STOCK ITEM)  
 SAND (SPECIAL ORDER)  
 BLACK (SPECIAL ORDER)  
 GREY (SPECIAL ORDER)  
 2. INSTALLATION TIPS:  
 -USE COARSE WOOD WORKING TOOLS FOR CUTTING AND DRILLING.  
 -USE PLATED SCREWS OR RING SHANK NAILS TO JOIN BOARDS.  
 -ALLOW FOR THERMAL EXPANSION OF THE SLIP BY LEAVING GAPS IN JOINTS OR AT THE END OF THE RUN.  
 -DO NOT SCREW THROUGH SLIP JOINT.  
 MANUFACTURED BY:  
 EPIC PLASTICS, 1880 GARDEN TRACT RD., RICHMOND, CA 94801  
 PH # (510) 235-9339 E [www.epicplastics.com](http://www.epicplastics.com)

BEND-A-BOARD CHART			
HDR. SIZE	ACTUAL DIMENSIONS	MAXIMUM BASKING POSSIBLE	MAXIMUM FURNISH POSSIBLE
1/4"	1 1/2" x 3/4" x 20'	24"	14' / 20'
3/8"	1 1/2" x 1 1/2" x 20'	36"	16' / 20'
1/2"	1 1/2" x 3/4" x 20'	24"	8' / 20'
3/4"	1 1/2" x 1 1/2" x 16'	36"	N/A

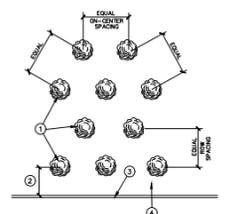
**PLASTIC EDGING**  
 SCALE: N.T.S.



**TREE PLANTING-DOUBLE STAKING**  
 SCALE: N.T.S.



**SHRUB PLANTING**  
 SCALE: N.T.S.



- LEGEND:  
 1. LOCATE PLANTS WITH EQUAL SPACING AS INDICATED IN THE PLANTING LEGEND.  
 2. 1/2 ON-CENTER SPACING.  
 3. PAVING, CURB, BUILDING, OR HEADER - SHOWING PLANTING AREA LIMIT.  
 4. PROVIDE A MINIMUM OF 2" DEPTH MULCH LAYER IN ALL LANDSCAPE AREAS

**SHRUB/GROUNDCOVER SPACING**  
 SCALE: N.T.S.



**SQLA INC**  
 Landscape Architects  
 2669 SATURN STREET  
 BREA, CA, 92821  
 www.sqlainc.com  
 T. 562-905-0800 (Main)  
 F. 562-905-0880  
 T. 213-383-1788 (Studio)

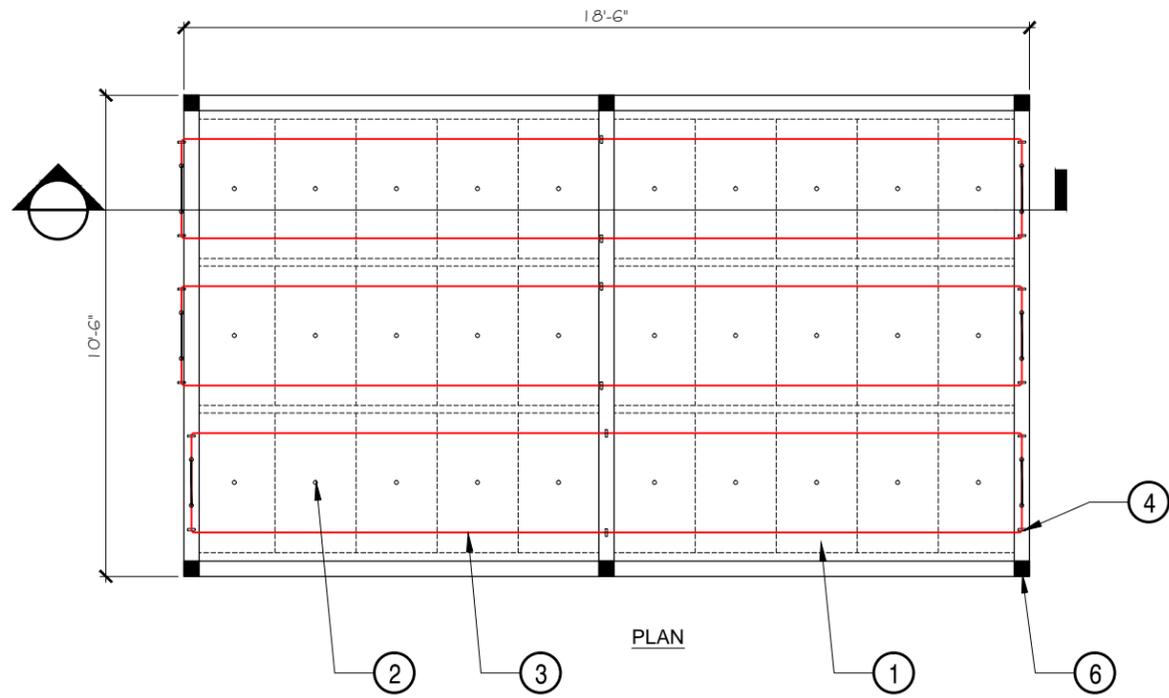


**1707 Cloverfield**  
 1707 Cloverfield Blvd, Santa Monica, CA 90404

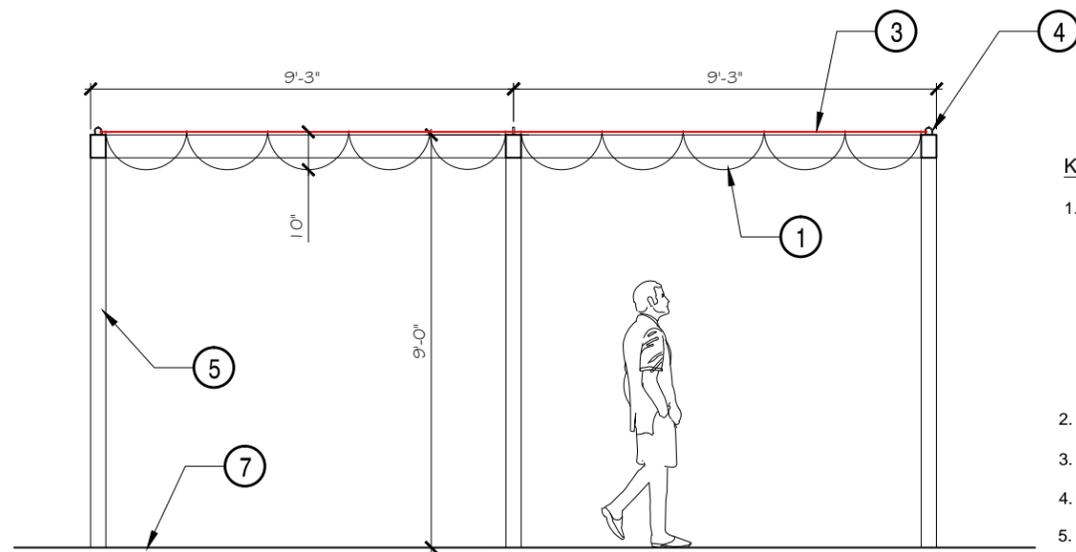
**Architectural Review Board**  
 TBD

**Project #**  
 21792

**PLANTING DETAILS**  
 SCALE: AS SHOWN  
 LP-5



PLAN



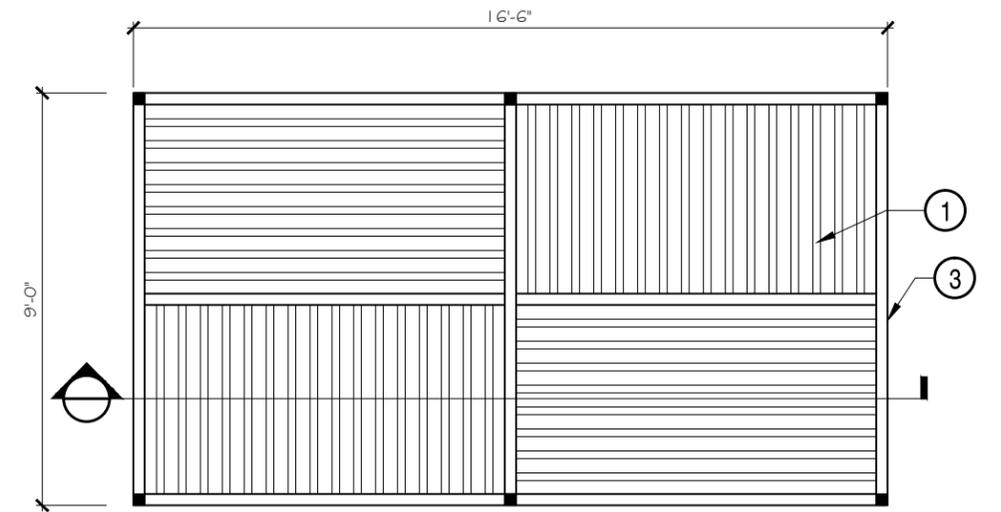
SECTION

**KEYNOTES**

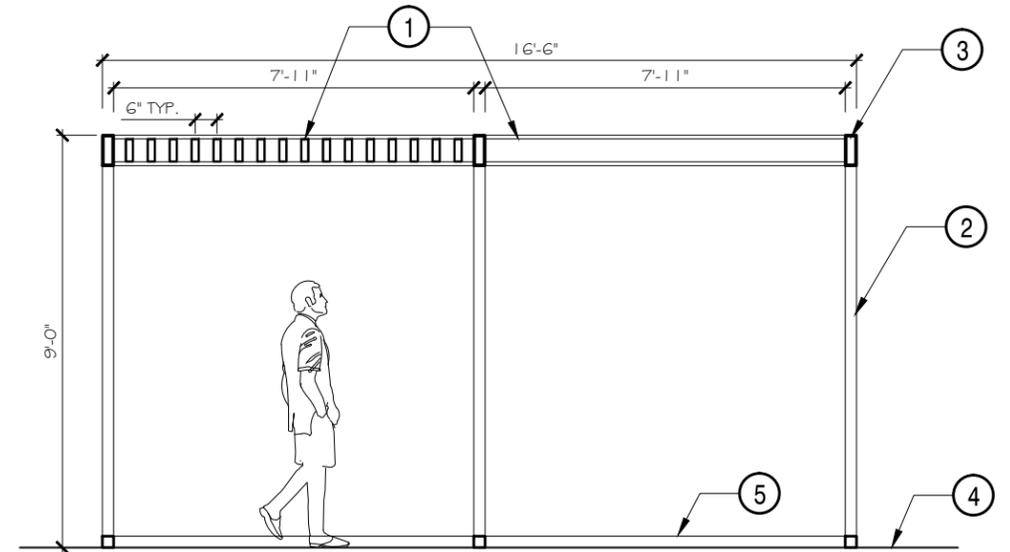
- 1. SUNBRELLA FABRIC  
COLOR : NATURAL 4604
- 2. DRAIN GROMMET
- 3. 3/16" S.S. TENSION CABLE
- 4. CABLE SLOT
- 5. 4" SQ. TUB. ALUMINUM POST W/  
POWDER COATED. ( COLOR TBD)
- 6. 4" X 6" TUB. ALUMINUM FRAME W/  
POWDER COATED. ( COLOR TBD)
- 7. FINISH PAVING SURFACE OVER PEDESTAL SYSTEM

NOTE: PAINT FINISH T.B.D. AND APPROVED BY OWNER  
RECOMENDATION - LIGHT GREY

**2 CABANA @ 5TH FLOOR**  
SCALE: 1/4" = 1'-0"



PLAN

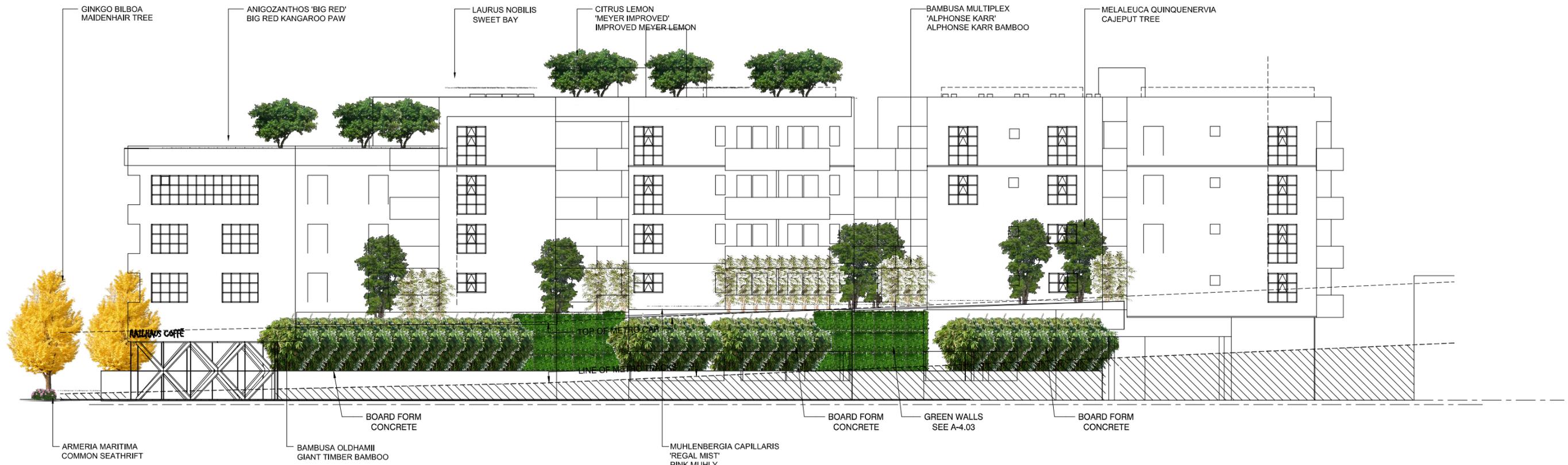


SECTION

**KEYNOTES**

- 1. 2" x 6" GALV.TUB. STL. WELDED TO FRAME
- 2. 3" SQ. HSS POST
- 3. 3"X 8" HSS TOP FRAME
- 4. FINISH SURFACE
- 5. 3" SQ. HSS BOTTOM FRAME (3 SIDES)

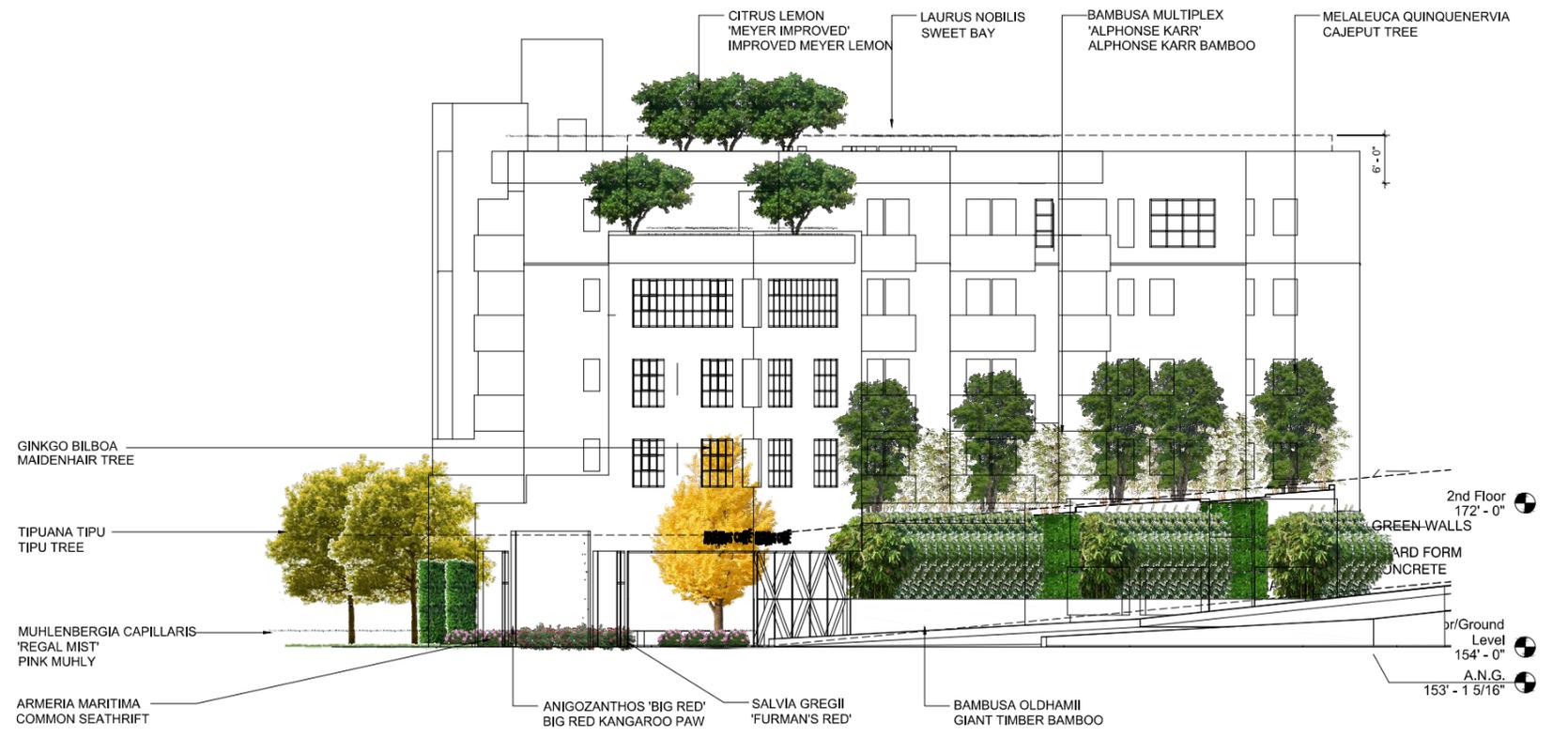
**1 CABANA @ ROOF DECK**  
SCALE: 1/4" = 1'-0"



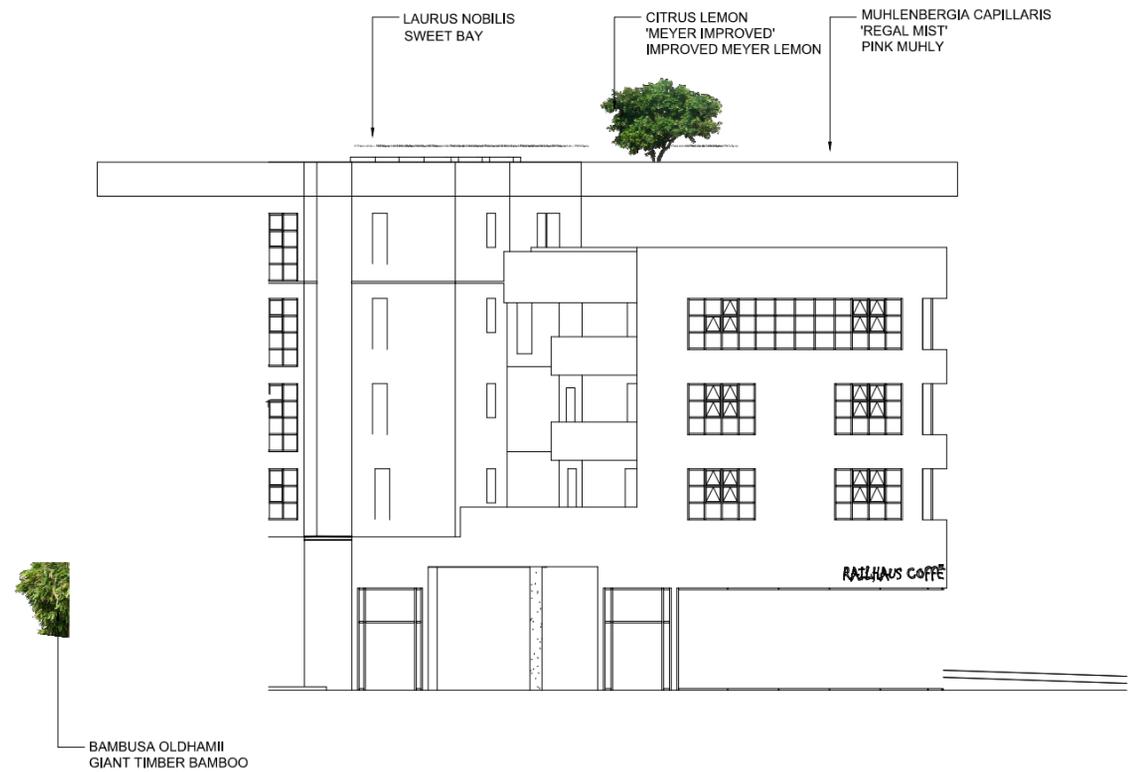
1 NORTH - LANDSCAPE ELEVATION @ 2YRS. MATURITY  
SCALE: 1"= 10'-0"



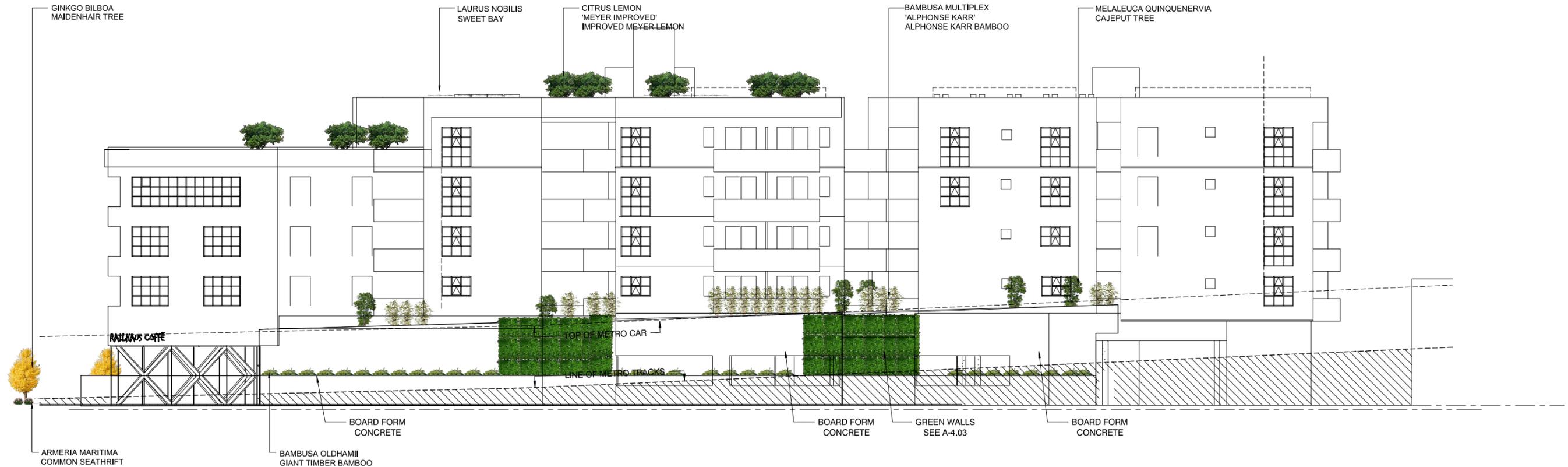
2 SOUTH - LANDSCAPE ELEVATION @ 2YRS. MATURITY  
SCALE: 1"= 10'-0"



1 EAST - LANDSCAPE ELEVATION @ 2YRS. MATURITY  
SCALE: 1"= 10'-0"



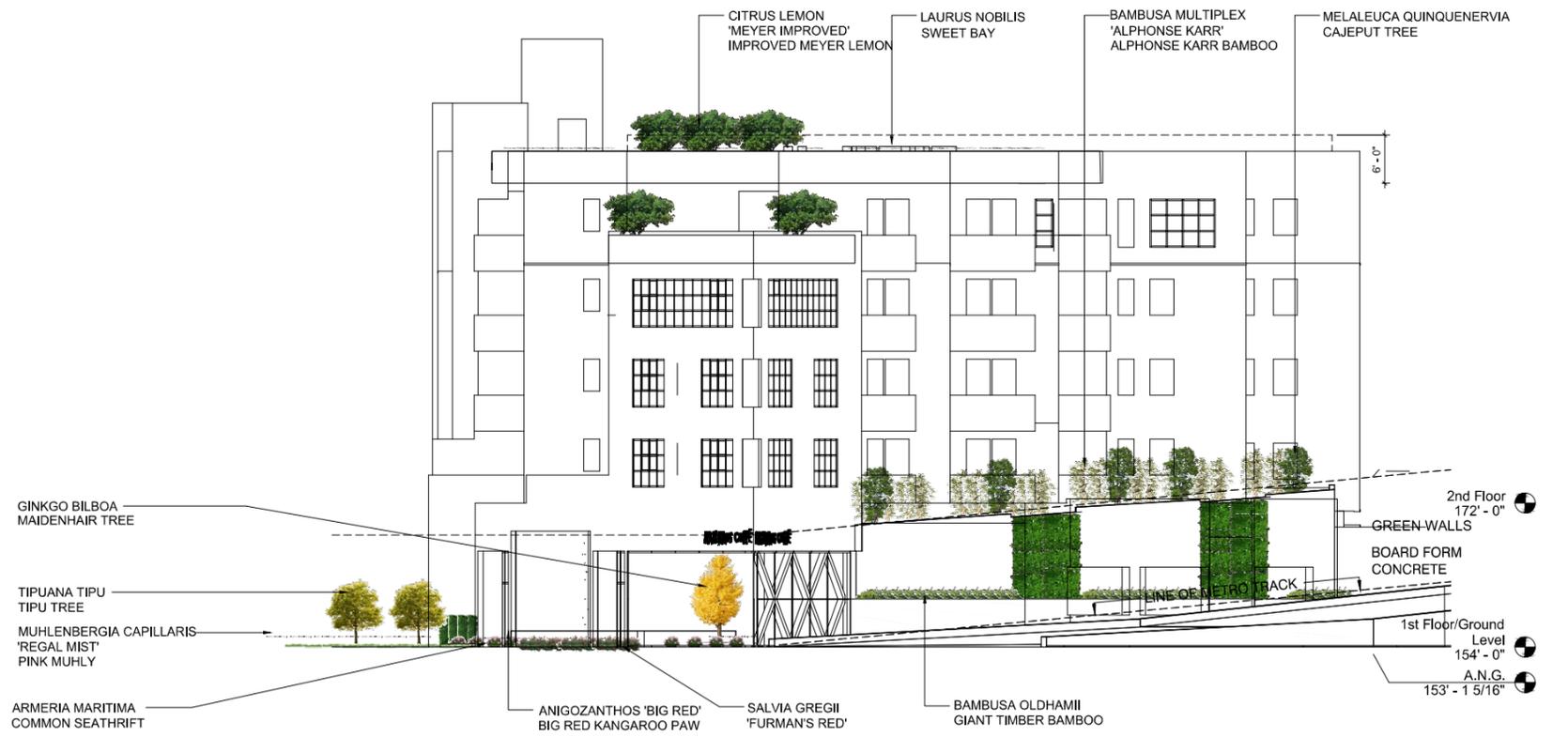
2 WEST - LANDSCAPE ELEVATION @ 2YRS. MATURITY  
SCALE: 1"= 10'-0"



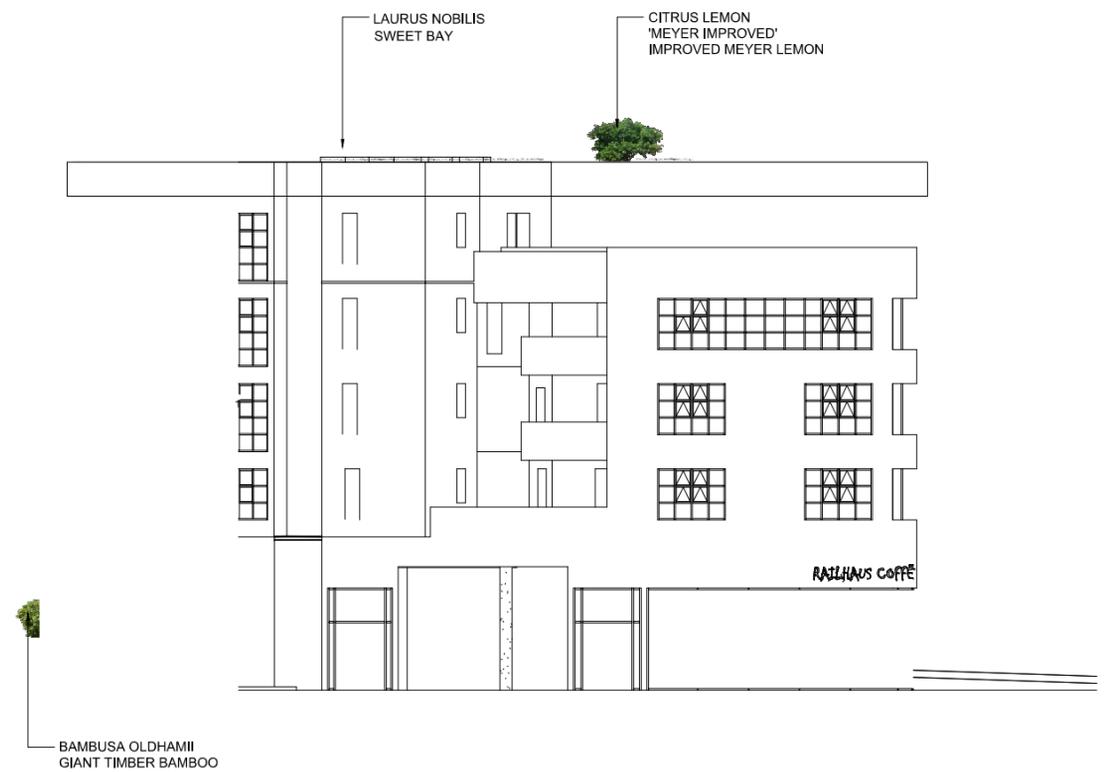
1 NORTH - LANDSCAPE ELEVATION @ PLANTING  
SCALE: 1"= 10'-0"



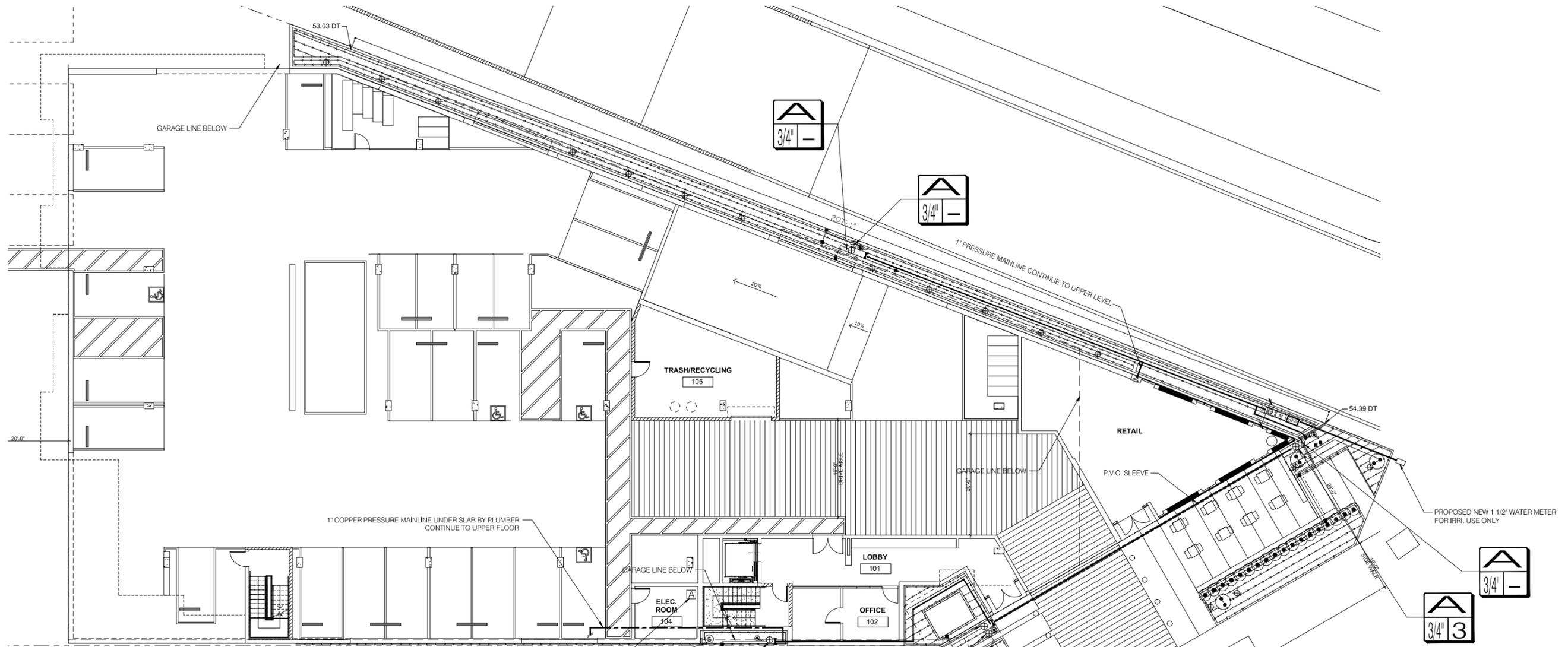
2 SOUTH - LANDSCAPE ELEVATION @ PLANTING  
SCALE: 1"= 10'-0"



**1 EAST - LANDSCAPE ELEVATION @ PLANTING**  
SCALE: 1"= 10'-0"



**2 WEST - LANDSCAPE ELEVATION @ PLANTING**  
SCALE: 1"= 10'-0"



- IRRIGATION LEGEND**
- PRESSURE MAINLINE - SCH. 40 IPS PVC 1" W/ P.V.C. SLEEVE UNDER IN PAVING
  - NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
  - P.V.C. SLEEVE (UNDER IN PAVING), SCH. 40 P.V.C. 2X DIA. OF PIPE. INSTALL SLEEVE UNDER ALL PAVEMENT. (PER PLAN)
  - PLACE WIRES IN MAINLINE SLEEVE
  - RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
  - OPERATING RANGE  
PRESSURE: 30 PSI  
FLOW RATES: 0.6 GPH.
  - SUB LANDSCAPE WATER METERS FM100B 1"
  - REDUCED PRESSURE BACKFLOW FEBCO 825-Y 1"
  - MASTER VALVE RAIN BIRD 1" BRASS VALVE
  - FLOW SENSOR RAIN BIRD FS100B 1" BRASS TEE FLOW SENSOR
  - GATE VALVE-1"
  - ROOT ZONE WATERING SYSTEM RAINBIRD RWS-B-C-1402 (0.5 GPM)
  - OPERATING RANGE  
PRESSURE: 30 PSI  
FLOW RATES: 0.5 GPM.
  - LOW FLOW CONTROL ZONE KITS W/ PR FILTER RAINBIRD XCZ-075-PRF
  - QUICK COUPLER VALVE - RAINBIRD 33 DRC-314"
  - WEATHER-BASED AUTOMATIC IRRIGATION CONTROLLER RAINBIRD ESP-SMTe SMART CONTROL INSTALL METAL CABINET W/ ET MANAGER (PER LAMC, 4.304.1)
  - RAINBIRD - RSD SERIES RAIN SENSOR RSD-BEX (PER LAMC, 4.304.1)

- CONSTRUCTION NOTES**
1. WATER METER AND SERVICE LINE SHALL BE A MINIMUM SIZE OF 1".
  2. CONTRACTOR SHALL CONFIRM WATER PRESSURE PRIOR TO INSTALLING THE IRRIGATION SYSTEM. SHALL REQUEST PLAN CHANGE IF PRESSURE IS LOWER THAN THE DESIGN RATING.
  3. RIGID PIPE, COPPER TYPE "K" AND/OR BRONZE PIPE SHALL CONNECT THE BACK FLOW TO THE SERVICE LINE.
  4. CONTRACTOR SHALL CONTACT UNDERGROUND MODIFICATION SERVICE, "DIG ALERT" PRIOR TO ANY UNDERGROUND ACTIVITY AND REQUEST DRAWINGS OF THE EXISTING SITE UTILITIES.
  5. OWNER SHALL PROVIDE AN 1" GATE VALE AT THE EXISTING WATER SERVICE FOR THE IRRIGATION MAINLINE POINT OF CONNECTION (P.O.C).
  6. OWNER SHALL PROVIDE 120 VOLT ELECTRICAL POWER OUTLET AT THE IRRIGATION CONTROLLER LOCATION, CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTION TO THE CONTROLLER.
  7. CONTRACTOR SHALL ADHERE TO ALL CAL OSHA REQUIREMENTS, AND PROTECT THE PUBLIC FROM HIS CONSTRUCTION ACTIVITIES.
  8. ALL WORK SHALL COMPLY WITH THE LATEST UNIFORM PLUMBING CODES AS WELL AS LOCAL ORDINANCES.
  9. CONTRACTOR SHALL PULL ALL WIRES THROUGH CONDUIT FROM STREET LEVEL TO PODIUM LEVEL.
  10. ALL CONDUITS SHALL BE COORDINATED WITH GENERAL CONTRACTOR
  11. SUBSLAB COPPER PIPES SHALL BE PROVIDED BY PLUMBING CONTRACTOR W/ SUB OUT AT PLANTERS.
  12. ELECTRICAL CONDUITS FOR CONTROL WIRES TO CONTROLLERS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
  13. LANDSCAPE CONTRACTOR SHALL PULL WIRES THROUGH EXISTING CONDUIT FROM CONTROLLER LOCATION TO EACH REMOTE CONTROL VALVE ABOVE SLAB.
  14. CONTRACTOR SHALL COORDINATE ALL UNDER SLAB WORK WITH GENERAL CONTRACTOR PRIOR TO COMMENCING ANY WORK

- IRRIGATION NOTES**
1. IRRIGATION PLAN IS DIAGRAMATIC. ALL PIPING AND IRRIGATION IMPROVEMENTS SHALL BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
  2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE FIELD CONDITIONS ARE OBVIOUS, THAT OBSTRUCTIONS, GRADE DIFFERENCE AND AREA DIMENSIONS ARE NOT ACCURATE, SUCH DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
  3. VALVE BOXES SHALL BE LOCATED 12" FROM THE EDGE OF CURB, WALKWAYS AND VALVE BOXES SHALL BE A MINIMUM OF 12" APART.
  4. PROVIDE MINIMUM 18" COVER FROM FINISH GRADE TO TOP OF PIPE, PRESSURE PIPE (MAINLINE), AND 12" COVER FOR NON PRESSURE PIPE, LATERAL LINE.
  5. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON TO WALKS, ROADS, AND/OR BUILDINGS INCLUDING SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
  6. CONTROL WIRES SHALL BE BUNDLED WITH ELECTRICAL TAPE AT 10 FT. ON CENTER AND BURIED BENEATH THE MAINLINE.
  7. WIRE CONNECTIONS, ALL SPLICES SHALL BE MADE WITH PENTILE ON EQUAL WIRE CONNECTORS IN VALVE BOXES ONLY.
  8. ROUTE ONE EXTRA WIRE WITH A COLOR DIFFERENT THAN THE CONTROL AND COMMON WIRES. ALL WIRE RUN TO FOLLOW MAINLINE.
  9. TRENCHES SHALL BE COMPACTED AND/ OR JETTED TO PREVENT SETTLEMENT.
  10. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE:
    - A. PRESSURE TEST MAINLINE UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A MINIMUM OF 2 HOURS. CONTRACTOR MAY CENTER-LOAD PIPE WITH BACKFILL TO PREVENT ARCHING OR SLIPPING OF PIPE. ALL JOINTS SHALL REMAIN EXPOSED FOR INSPECTION.
    - B. COVERAGE TEST. SHALL BE PERFORMED TO DETERMINE IF THE COVERAGE IS COMPLETE AND ADEQUATE.
  11. CONTRACTOR SHALL GUARANTEE WORK AGAINST DEFECTIVE INSTALLATION AND FAULTY PARTS FOR PERIOD OF 12 MONTHS.

**1 IRRIGATION PLAN - GROUND FLOOR**  
SCALE: 1"= 10'-0"

- NOTES:**
1. THE IRRIGATION SYSTEM MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
  2. THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION TO CHECK FOR ADHERENCE TO THE DESIGN, INCLUDING THE PROPER INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY, MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS, AND SENSORS AND SHOULD ASSURE THAT THE INTENT OF THE IRRIGATION DESIGN HAS BEEN PRESERVED.

NOTE:  
 --"PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES."  
 --"CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR."

AVAILABLE STATIC WATER PRESSURE: LOW 75, HIGH 85 @ POINT OF CONNECTION

SITE AVERAGE SLOPE: 0.4%

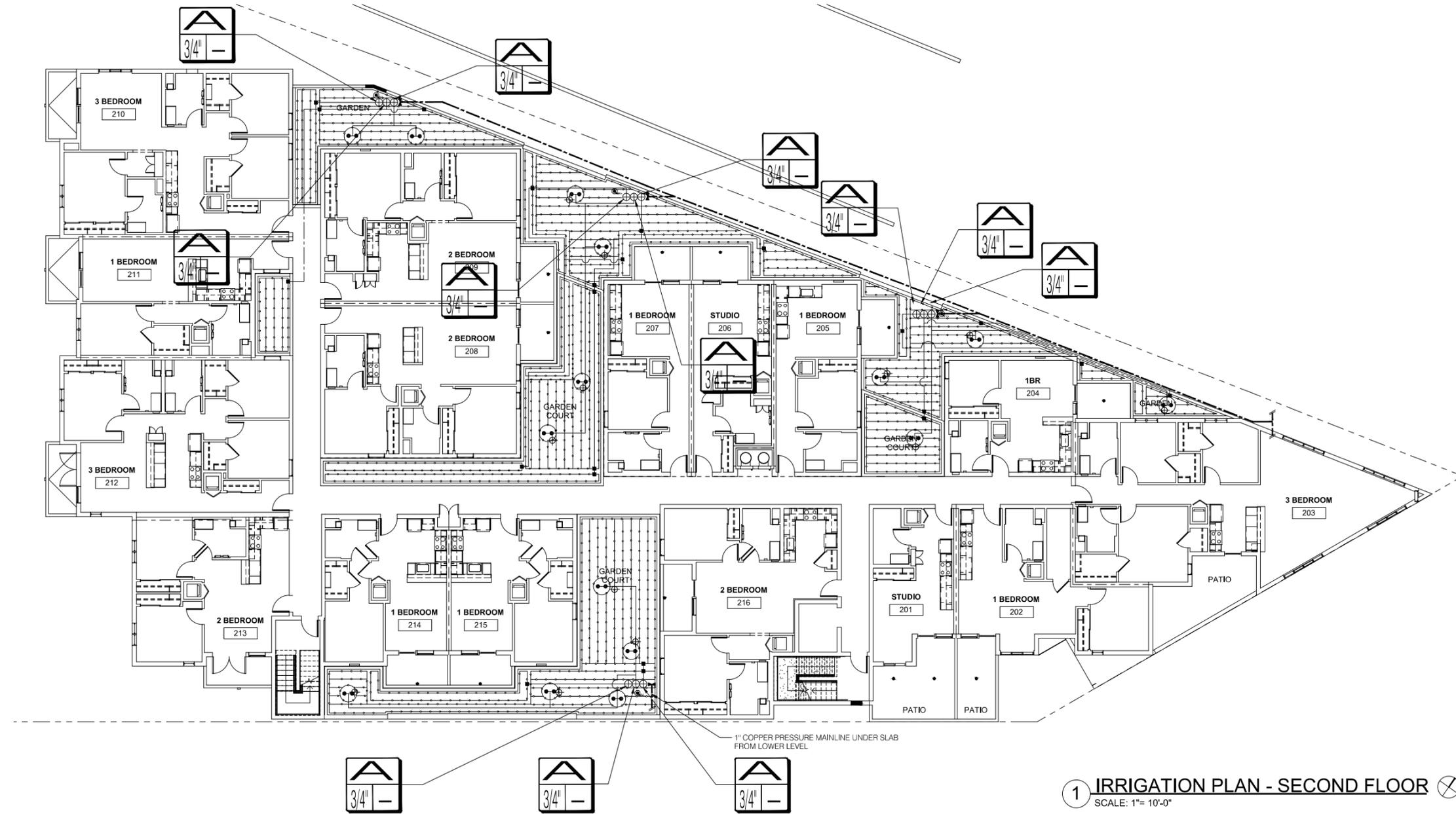


1707 Cloverfield Blvd, Santa Monica, CA 90404

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Project #  
21792

IRRIGATION PLAN - GROUND FLOOR  
SCALE: AS SHOWN



**1 IRRIGATION PLAN - SECOND FLOOR**   
 SCALE: 1"= 10'-0"

**IRRIGATION LEGEND**

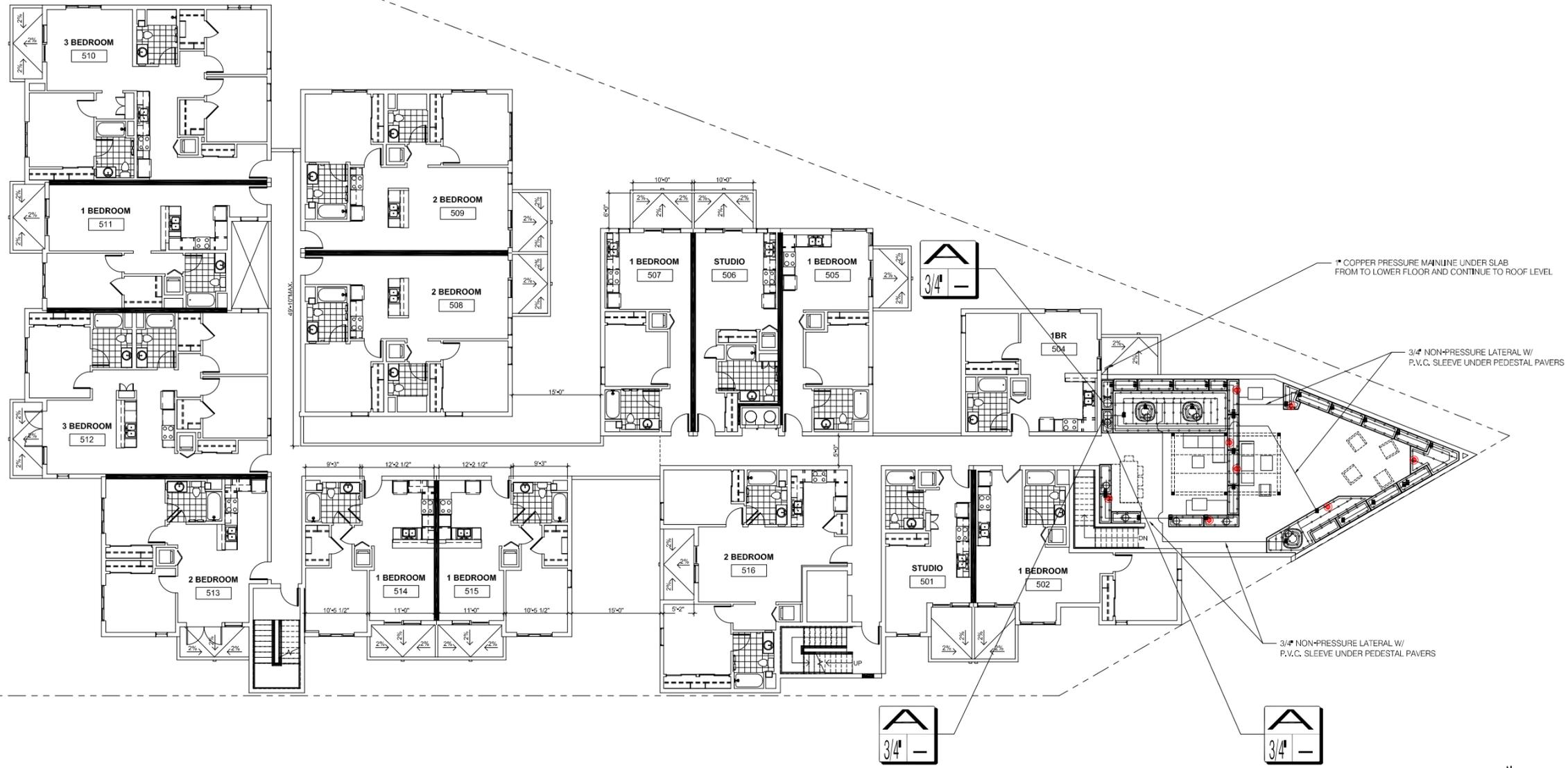
- 1" COPPER PRESSURE MAINLINE UNDER SLAB BY PLUMBER
- COPPER PIPE UNDER SLAB BY PLUMBER (SIZE PER PLAN)
- RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)  
OPERATING RANGE  
PRESSURE: 30 PSI  
FLOW RATES: 0.6 GPH.
- GATE VALVE-1"
- LOW FLOW CONTROL ZONE KITS W/ PR FILTER  
RAINBIRD XCZ-075-PRF
- QUICK COUPLER VALVE - RAINBIRD 33 DRG-34"

VALVE SIZE VALVE SEQUENCE  
 G.P.M.

**IRRIGATION NOTES**

1. IRRIGATION PLAN IS DIAGRAMATIC. ALL PIPING AND IRRIGATION IMPROVEMENTS SHALL BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE FIELD CONDITIONS ARE OBVIOUS, THAT OBSTRUCTIONS, GRADE DIFFERENCE AND AREA DIMENSIONS ARE NOT ACCURATE. SUCH DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
3. VALVE BOXES SHALL BE LOCATED 12" FROM THE EDGE OF CURB, WALKWAYS AND VALVE BOXES SHALL BE A MINIMUM OF 12" APART.
4. PROVIDE MINIMUM 18" COVER FROM FINISH GRADE TO TOP OF PIPE, PRESSURE PIPE (MAINLINE), AND 12" COVER FOR NON PRESSURE PIPE, LATERAL LINE.
5. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON TO WALKS, ROADS, AND/OR BUILDINGS INCLUDING SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
6. CONTROL WIRES SHALL BE BUNDLED WITH ELECTRICAL TAPE AT 10 FT. ON CNETER AND BURIED BENEATH THE MAINLINE.
7. WIRE CONNECTIONS. ALL SPLICES SHALL BE MADE WITH PENTILE ON EQUAL WIRE CONNECTORS IN VALVE BOXES ONLY.
8. ROUTE ONE EXTRA WIRE WITH A COLOR DIFFERENT THAN THE CONTROL AND COMMON WIRES. ALL WIRE RUN TO FOLLOW MAINLINE.
9. TRENCHES SHALL BE COMPACTED AND/ OR JETTETED TO PREVENT SETTLEMENT.
10. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE:
  - A: PRESSURE TEST MAINLINE UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A MINIMUM OF 2 HOURS. CONTRACTOR MAY CENTER-LOAD PIPE WITH BACKFILL TO PREVENT ARCHING OR SLIPPING OF PIPE. ALL JOINTS SHALL REMAIN EXPOSED FOR INSPECTION.
  - B: COVERAGE TEST. SHALL BE PERFORMED TO DETERMINE IF THE COVERAGE IS COMPLETE AND ADEQUATE.
11. CONTRACTOR SHALL GUARANTEE WORK AGAINST DEFECTIVE INSTALLATION AND FAULTY PARTS FOR PERIOD OF 12 MONTHS.

NOTES:  
 --PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.  
 --CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR."



**1 IRRIGATION PLAN - FIFTH FLOOR**  
 SCALE: 1"= 10'-0"

**IRRIGATION LEGEND**

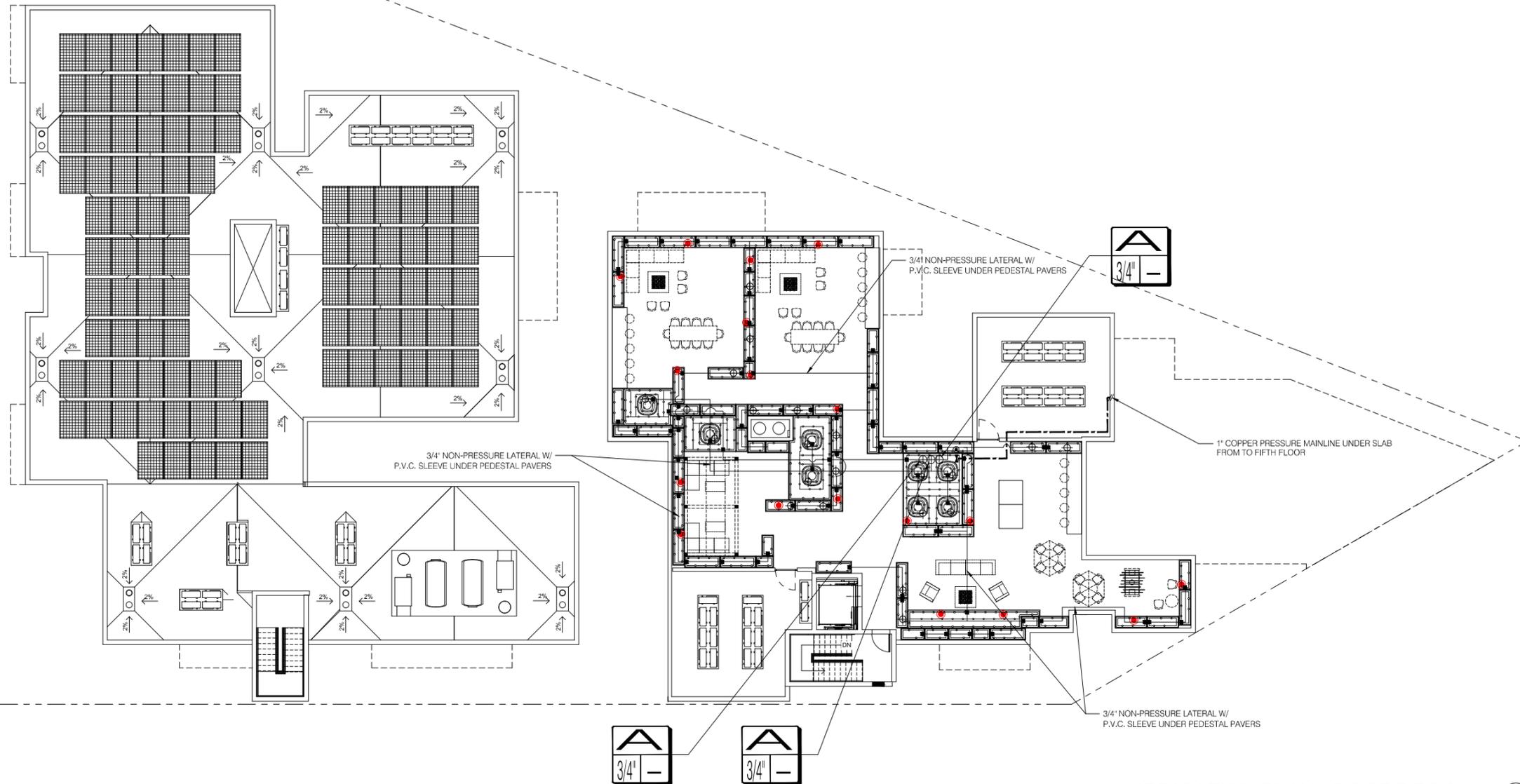
- PRESSURE MAINLINE - SCH. 40 IPS PVC 1" W/ P.V.C. SLEEVE UNDER IN PAVING
  - NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
  - RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)  
OPERATING RANGE  
 PRESSURE: 30 PSI  
 FLOW RATES: 0.6 GPH.
  - GATE VALVE-1"
  - LOW FLOW CONTROL ZONE KITS W/ PR FILTER  
 RAINBIRD XCZ-075-PRF
  - QUICK COUPLER VALVE - RAINBIRD 33 DRC-3/4"
- VALVE SEQUENCE: A-1  
 VALVE SIZE: 1 1/2 G.P.M.

**IRRIGATION NOTES**

1. IRRIGATION PLAN IS DIAGRAMATIC. ALL PIPING AND IRRIGATION IMPROVEMENTS SHALL BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE FIELD CONDITIONS ARE OBVIOUS, THAT OBSTRUCTIONS, GRADE DIFFERENCE AND AREA DIMENSIONS ARE NOT ACCURATE. SUCH DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
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5. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON TO WALKS, ROADS, AND/OR BUILDINGS INCLUDING SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
6. CONTROL WIRES SHALL BE BUNDLED WITH ELECTRICAL TAPE AT 10 FT. ON CNETER AND BURIED BENEATH THE MAINLINE.
7. WIRE CONNECTIONS, ALL SPLICES SHALL BE MADE WITH PENTILE ON EQUAL WIRE CONNECTORS IN VALVE BOXES ONLY.
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  - B: COVERAGE TEST, SHALL BE PERFORMED TO DETERMINE IF THE COVERAGE IS COMPLETE AND ADEQUATE.
11. CONTRACTOR SHALL GUARANTEE WORK AGAINST DEFECTIVE INSTALLATION AND FAULTY PARTS FOR PERIOD OF 12 MONTHS.

**NOTES**

- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.



**1 IRRIGATION PLAN - ROOF DECK**  
SCALE: 1"= 10'-0"

**IRRIGATION LEGEND**

-  PRESSURE MAINLINE - SCH. 40 IPS PVC 1" W/ P.V.C. SLEEVE UNDER IN PAVING
  -  NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
  -  RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
  - OPERATING RANGE**  
PRESSURE: 30 PSI  
FLOW RATES: 0.6 GPH.
  -  GATE VALVE-1"
  -  LOW FLOW CONTROL ZONE KITS W/ PR FILTER RAINBIRD XCZ-075-PRF
  -  QUICK COUPLER VALVE - RAINBIRD 33 DRC-3/4"
- VALVE SIZE 

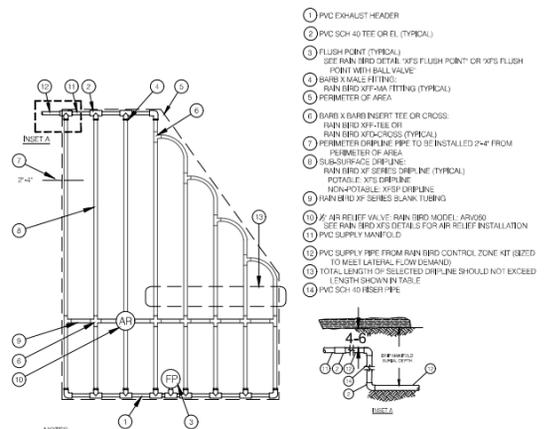
A-1
1" 10

 VALVE SEQUENCE G.P.M.

**IRRIGATION NOTES**

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NOTES:  
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 --CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR!

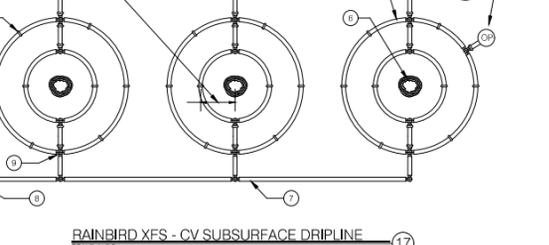


- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL. XFS FLUSH POINT OR XFS FLUSH POINT WITH BALL VALVE
- 4 BARB X MALE FITTING (TYPICAL) RAIN BIRD XFS-MA FITTING (TYPICAL) PERIMETER OF AREA
- 5 BARB X BARB INSERT TEE OR CROSS RAIN BIRD XFS-TIE OR RAIN BIRD XFS-CROSS (TYPICAL)
- 6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2-4" FROM PERIMETER OF AREA
- 7 SUB-SURFACE DRIPLINE RAIN BIRD XFS SERIES DRIPLINE (TYPICAL) POTABLE XFS DRIPLINE NON-POTABLE XFS DRIPLINE
- 8 RAIN BIRD XFS SERIES BLANK TUBING
- 9 RAIN BIRD XFS SERIES BLANK TUBING
- 10 AIR RELIEF VALVE RAIN BIRD MODEL ARV800 SEE RAIN BIRD XFS DETAILS FOR AIR RELIEF INSTALLATION
- 11 PVC SUPPLY MANIFOLD
- 12 PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SEEZ TO MEET LATERAL FLOW DEMAND)
- 13 TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- 14 PVC SCH 40 HSBP PIPE

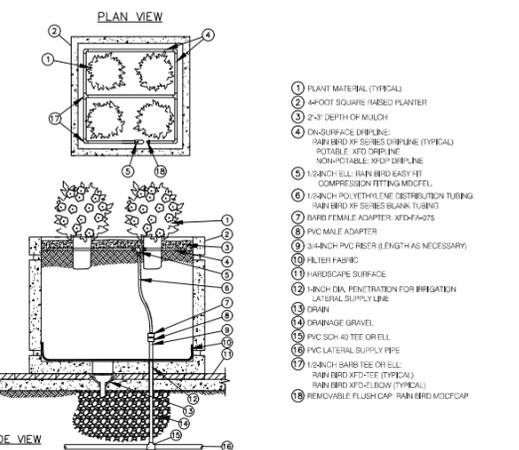
**XFS SUB-SURFACE IRREGULAR SHAPED LAYOUT** SCALE: N.T.S.



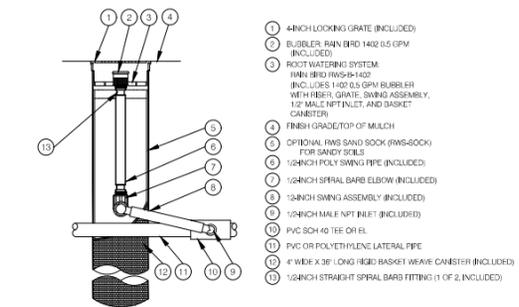
- 1 XFS-CV SPACING PER RAIN BIRD RECOMMENDATION
- 2 PVC OR DRIPLINE EXHAUST HEADER
- 3 SUB-SURFACE/SUBSURFACE DRIPLINE RAIN BIRD XFS-CV SERIES DRIPLINE (TYPICAL) NON-POTABLE XFS-CV DRIPLINE
- 4 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL. XFS-CV FLUSH POINT
- 5 OPERATION INDICATOR RAIN BIRD MODEL OPERIND
- 6 STEEL TRUNK
- 7 PVC OR DRIPLINE SUPPLY HEADER
- 8 IRRIGATION CONTROL VALVE RAIN BIRD XCFZ-CP CONTROL ZONE KIT INSTALLED IN VALVE BOX
- 9 BARB X MALE INSERT CROSS RAIN BIRD XFS-CROSS (TYPICAL)
- 10 TIE DOWN STAKE RAIN BIRD TDS-000 WITH BEND



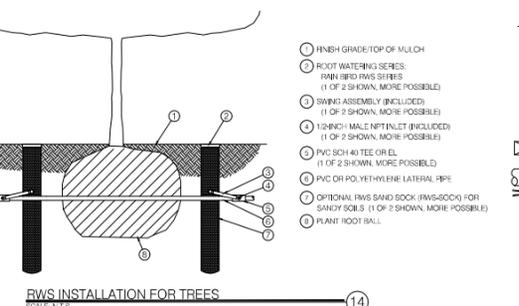
**WR2 WIRELESS RAIN SENSOR LOCATION** SCALE: N.T.S.



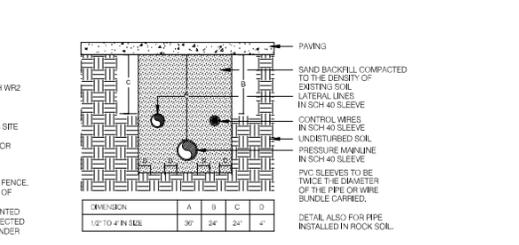
**DRIPLINE RAISED PLANTER** SCALE: N.T.S.



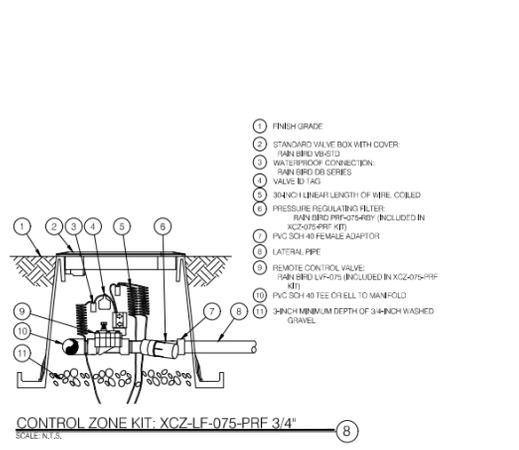
**ROOT WATERING SYSTEM RWS SERIES** SCALE: N.T.S.



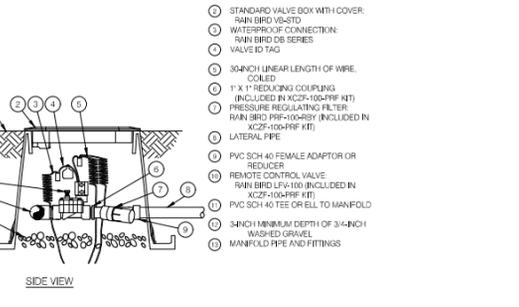
**RWS INSTALLATION FOR TREES** SCALE: N.T.S.



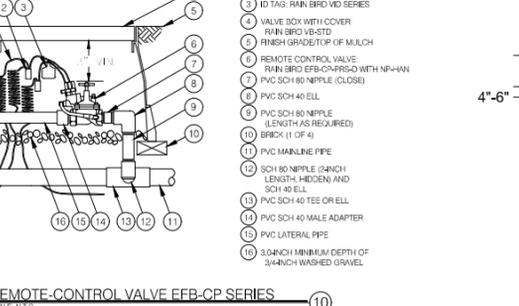
**SLEEVE INSTALLATION** SCALE: N.T.S.



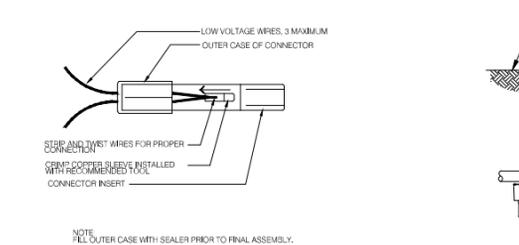
**CONTROL ZONE KIT - XCZ-LF-075-PRF 3/4"** SCALE: N.T.S.



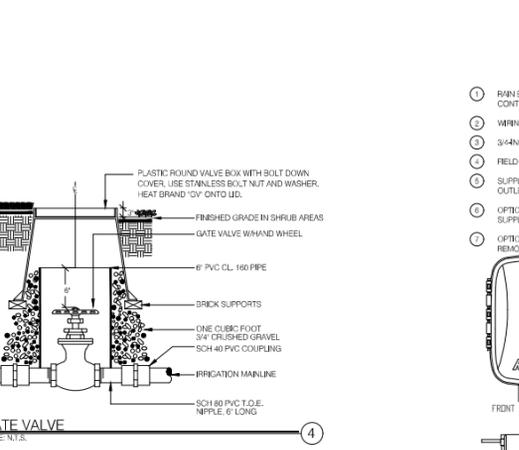
**CONTROL ZONE KIT - XCZF-100-PRF 1"** SCALE: N.T.S.



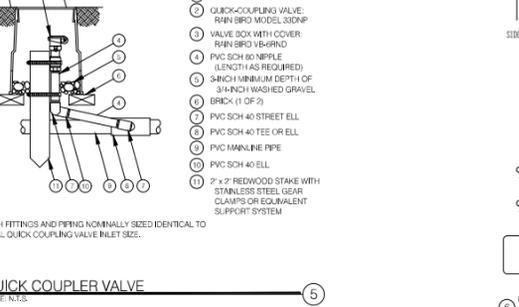
**REMOTE-CONTROL VALVE EFR-CP SERIES** SCALE: N.T.S.



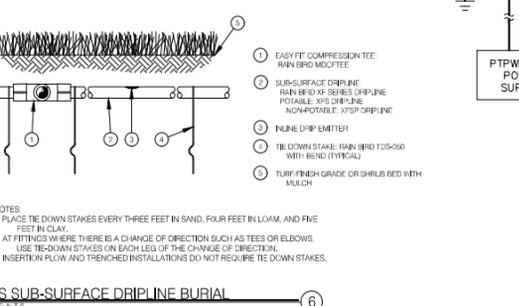
**WIRE CONNECTION** SCALE: N.T.S.



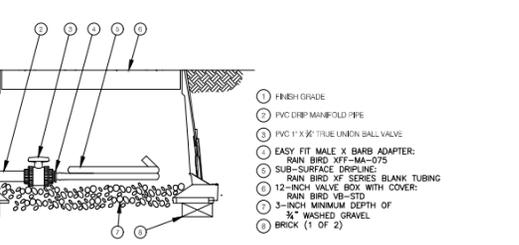
**GATE VALVE** SCALE: N.T.S.



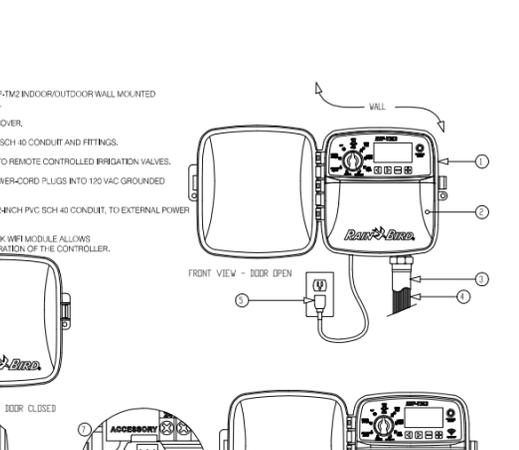
**QUICK COUPLER VALVE** SCALE: N.T.S.



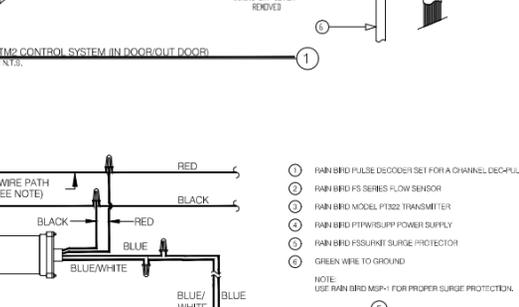
**XFS SUB-SURFACE DRIPLINE BURIAL** SCALE: N.T.S.



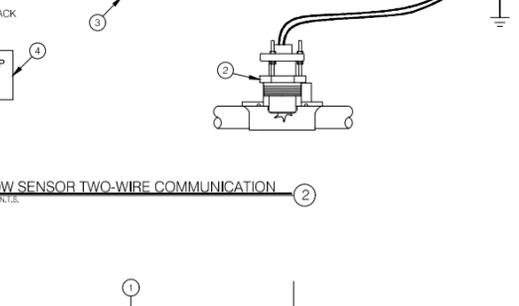
**SUB-SURFACE FLUSH POINT WITH BALL VALVE** SCALE: N.T.S.



**ESP-TM2 CONTROL SYSTEM IN DOOR/OUT DOOR** SCALE: N.T.S.



**FLOW SENSOR TWO-WIRE COMMUNICATION** SCALE: N.T.S.



**SUB-SURFACE FLUSH POINT WITH BALL VALVE** SCALE: N.T.S.