





ABBREVIATIONS	
A/C	AIR CONDITIONING
A.C.	ASPHALTIC CONCRETE
	PAVING
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
C.L.	CENTER LINE
CLG.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONC. BLK.	CONCRETE BLOCK
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.S.	DOWN SPOUT
DTL.	DETAIL
DWG.	DRAWING
(E)	EXISTING
ELEC.	ELECTRIC
E.V.	ELECTRIC VEHICLE
ELEV.	ELEVATION
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXT.	EXTERIOR
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FP.	FIREPLACE
FT.	FEET
FTG.	FOOTING
G.	GAS
GA.	GAUGE
GALV.	GALVANIZE
GL.	GLASS
GYP.	GYPSUM
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HD.	HEAD
HT.	HEIGHT
H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING
H.W.	HOT WATER
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M/C	MEDICINE CABINET
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
P.A.	PLANTING AREA
P.C.	PRE-CAST CONCRETE
P.P.	POWER POLE
PL.	PLATE
P.L.	PROPERTY LINE
PLYWD.	PLYWOOD
PLUMB.	PLUMBING
PR.	PAIR
PT.	PAINT
R.	RISER
R.A.	RETURN AIR
RAD.	RADIUS
R.D.	ROOF DRAIN
RECP.	RECEPTACLE
REF.	REFRIGERATOR
REINF.	REINFORCED
REQ'D.	REQUIRED
REV.	REVISION
RF.	ROOF
RM.	ROOM
R.O.	ROUGH OPENING
S.A.	SUPPLY AIR
S.C.	SOLID CORE
S.D.	STORM DRAIN
S.F.	SQUARE FEET
SHTG.	SHEATHING
SHT. MTL.	SHEET METAL
SIM.	SIMILAR
S/S	STAINLESS STEEL
STL.	STEEL
STR.	STRUCTURAL
SUBFLR.	SUB-FLOOR
SUSP.	SUSPENDED
T.	TREAD
T & G	TONGUE AND GROOVE
THK.	THICK
T.O.	TOP OF
TYP.	TYPICAL
U.G.	UNDERGROUND
U.O.N.	UNLESS OTHERWISE NOTED
UNF.	UNFINISHED
W.	WATER
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
W.I.	WROUGHT IRON
W/O	WITHOUT
W.O.	WHERE OCCURS
W.P.	WATER PROOF
W.W.M.	WELDED WIRE MESH

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
( )	EXISTING CONDITION
+461.0' T.O.P.	NEW OR REQUIRED POINT ELEVATION LOCATION
(+461.0') T.O.P.	EXISTING POINT ELEVATION LOCATION
288	EXISTING CONTOUR LINE
320	NEW CONTOUR LINE
	MATCH LINE, SHADED PORTION SIDE SHOWN
	LEVEL LINE, CONTROL POINT OR DATUM
	PROPERTY LINE, BOUNDARY LINES
	CENTER LINE, EXTERIOR ELEVATION LINES
	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
	OUTLINE OF HIDDEN OBJECTS BELOW
	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION REFERENCE DRAWING NUMBER
	DETAIL NUMBER REFERENCE DRAWING NUMBER
	WALL SECTION OR ELEVATION NUMBER REFERENCE DRAWING NUMBER
	DOOR NUMBER
	WALL REFERENCE
	WINDOW NUMBER
	MATERIAL REFERENCE COLOR REFERENCE
	EQUIPMENT NUMBER
	REVISION
	PROJECT NORTH (MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
	REFERENCE GRIDS

**PROJECT SUMMARY**

**LOCATION:**  
1707 CLOVERFIELD, SANTA MONICA, CALIFORNIA 90404

**PROPOSED PROJECT:**  
4 STORY MULTI-FAMILY RESIDENTIAL APARTMENTS OVER GROUND LEVEL PARKING AND RETAIL SPACE OVER 2 LEVELS OF SUBTERRANEAN PARKING. EXISTING "EXTRA SPACE STORAGE" BUILDING TO REMAIN.

**LOT AREA:**  
74,065 SF, 1.70 ACRES

**LEGAL DESCRIPTION:**  
THAT PORTION OF LOT 1 IN BLOCK 30 OF ERKENBRECHER SYNDICATE SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGES 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING WESTERLY OF A LINE BEARING NORTH 45 DEGREES 15 MINUTES EAST FROM A POINT IN THE SOUTHERLY LINE OF SAID LOT, DISTANT NORTH 44 DEGREES 45 MINUTES WEST 434.33 FEET FROM THE MOST SOUTHERLY CORNER OF LOT 2 IN SAID BLOCK 30.

**APN:**  
4268-014-013

**ZONE:** BERGAMOT TRANSIT VILLAGE (BTV)

**OCCUPANCY TYPE:** R-2 RESIDENTIAL, M RETAIL, S-2 PARKING GARAGE

**CONSTRUCTION TYPE:** 4 STORY TYPE V-A OVER 1 STORY TYPE I-A OVER 2 LEVELS TYPE 1-A SUBTERRANEAN PARKING

**FIRE PROTECTION:** FULLY SPRINKLERED, NFPA 13

MAXIMUM BUILDING HEIGHT ALLOWED: 60.00 FT

MAXIMUM BUILDING HEIGHT PROVIDED: 60.00 FT

**PARKING CALCULATIONS**

<b>Parking Required:</b>	
Storage Building Requirements	21 spaces
Retail (2 spaces per 1,000 SF)	2
Residential (1.5 spaces per unit)	
-58 units	87
-5 affordable units	5
<b>Total:</b>	<b>115</b>
<b>Parking Spaces Provided:</b>	
ADA Spaces:	115 (3 + 1 van)
Compact Spaces:	34 / 115 = (30%)
Electric Vehicle Spaces:	(4)
Car Share Spaces:	(3) (x2)
<b>Bicycle Parking Required:</b>	
Retail	4
Residential	10
<b>Total:</b>	<b>14</b>
<b>Bicycle Parking Provided:</b>	<b>162</b>

**PROJECT DIRECTORY**

**OWNER:**  
Extra Space of Santa Monica, LLC  
1707 Cloverfield Blvd  
Santa Monica, CA 90404  
TEL: 818.635.8713  
CONTACT: Bruce Kaufman

**ARCHITECT OF RECORD:**  
DFH Architects, LLP  
1544 20th Street  
Santa Monica, CA 90404  
TEL: 310.394.4045  
FAX: 310.998.8658  
CONTACT: David Hibbert

**LANDSCAPE ARCHITECT:**  
SQLA, INC  
380 N Palm Street, Suite B  
Brea, CA 92821  
TEL: 562.905.0800  
FAX: 562.905.0880  
CONTACT: Muhammad Ali

**DENSITY/F.A.R.**

**BUILDABLE AREA DEFINITION:** SMMC SECTION 9.04.080.

**FLOOR AREA DEFINITION:** SMMC SECTION 9.04.080. SEE SECTION 9.04.090 FOR FLOOR AREA RATIO DETERMINATION.

The total gross horizontal areas of all floors of a building, including usable basements and all other areas measured from the interior face of the exterior walls or, in the case of a shared wall, from the centerline of a wall separating the two buildings. Floor area also includes unenclosed decks, balconies, porches, and platforms used for commercial or restaurant activity. In addition to calculating floor area ratio, floor area shall be used to determine parking requirements and all relevant impact fees including but not limited to affordable housing fees, transportation impact fees, childcare linkage fees, cultural arts fees, and parks and recreation fees.

**FLOOR AREA RATIO (FAR):**

LOT AREA	74,065 SF
FLOOR AREA ALLOWED (2.0 FAR - TIER 2)	148,130 SF
EXISTING FLOOR AREA ("EXTRA SPACE STORAGE")	73,665 SF
NEW FLOOR AREA	62,993 SF
TOTAL AREA ON PARCEL	136,658 SF
FAR PROPOSED (FLOOR AREA PROVIDED/LOT AREA)	1.845 FAR

**OPEN SPACE**

**OPEN SPACE/OUTDOOR LIVING AREA DEFINITION:** SEE SMMC 9.21.090

**OPEN SPACE REQUIRED:** PER SMMC 9.21.090

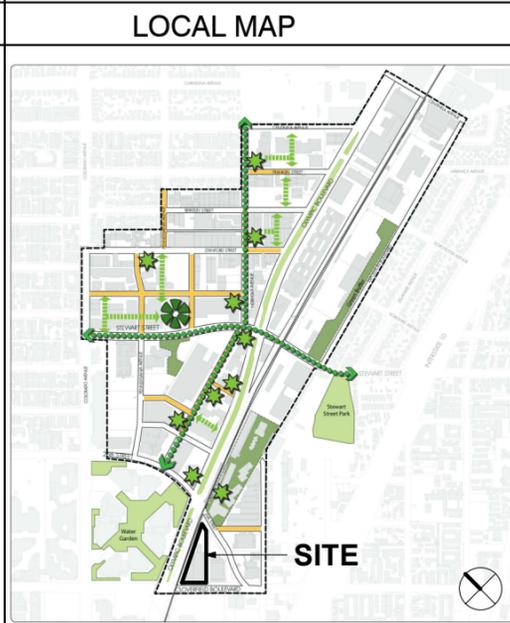
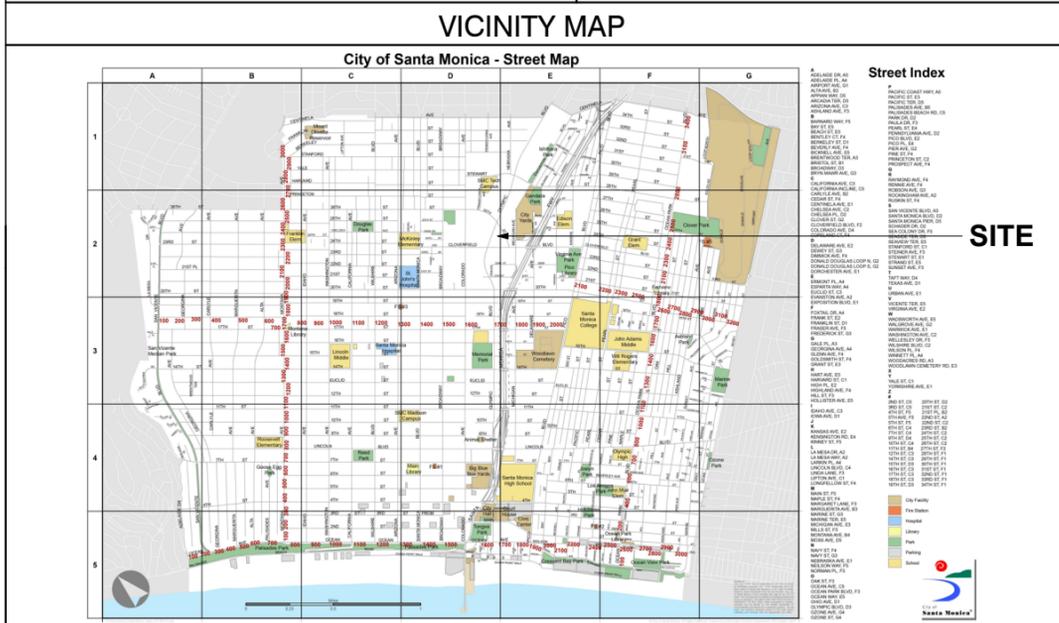
MIN OPEN SPACE REQ'D (15% OF LOT AREA *FLEXIBLE):	14,813 SF
MIN SIZE OF PRIMARY OPEN SPACE (*FLEXIBLE):	4,000 SF

**OPEN SPACE PROVIDED:**

**TOTAL OPEN SPACE:** 12,039 SF

**SHEET INDEX**

<b>ARCHITECTURAL:</b>	
R-0.01	RENDERING
R-0.02	RENDERING
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T-1.02	PERSPECTIVES
T-1.03	OPEN SPACE
T-1.04	FAR CALCULATIONS
T-1.05	SITE PHOTOS
A-1.01	PLOT PLAN
A-1.02	SITE SURVEY
A-2.01	PARKING LEVEL B
A-2.02	PARKING LEVEL A
A-2.03	1ST FLOOR / GROUND LEVEL
A-2.04	2ND FLOOR
A-2.05	3RD FLOOR
A-2.06	4TH FLOOR
A-2.07	5TH FLOOR
A-2.08	ROOF LEVEL
A-3.01	SECTIONS
A-3.02	SECTIONS
A-4.01	ELEVATIONS
A-4.02	ELEVATIONS
A-4.03	ELEVATION FEATURES
A-4.04	ELEVATION FEATURES
<b>LANDSCAPE:</b>	
LT-1	COVER SHEET
LP-1	PLANTING PLAN - GROUND FLOOR
LP-2	PLANTING PLAN - SECOND FLOOR
LP-3	PLANTING PLAN - FIFTH FLOOR
LP-4	PLANTING PLAN - ROOF DECK
LP-5	PLANTING DETAILS
LE-1	LANDSCAPE ELEVATIONS - @2 YEARS MATURITY
LE-2	LANDSCAPE ELEVATIONS - @2 YEARS MATURITY
LE-3	LANDSCAPE ELEVATIONS - @PLANTING
LE-4	LANDSCAPE ELEVATIONS - @PLANTING
LI-1	IRRIGATION PLAN - GROUND FLOOR
LI-2	IRRIGATION PLAN - SECOND FLOOR
LI-3	IRRIGATION PLAN - FIFTH FLOOR
LI-4	IRRIGATION PLAN - ROOF DECK
LI-5	IRRIGATION DETAILS



**RESIDENTIAL SUMMARY**

FLOOR	STUDIO	1 BR	2 BR	3 BR	SUBTOTAL
2	2	7	4	3	16
3	2	7	4	3	16
4	2	7	4	3	16
5	2	7	4	2	15
<b>TOTAL</b>	<b>8 (13%)</b>	<b>28 (45%)</b>	<b>16 (25%)</b>	<b>11 (17%)</b>	<b>63 UNITS</b>

AVERAGE NUMBER OF BEDROOMS: 1.5  
EXTREMELY LOW INCOME UNITS @ 7.5% = 5  
(1) 3 BEDROOM UNIT, (1) 2 BEDROOM UNIT, (3) 1 BEDROOM UNITS = 1.6

**EXTREMELY LOW INCOME UNITS**

FLOOR	1 BR	2 BR	3 BR	SUBTOTAL	SQ.FT. (MIN.)
2	1	1	1	3	600
3	1			1	850
4	1			1	1080
<b>TOTAL</b>				<b>5 UNITS</b>	<b>3,730</b>



VIEW LOOKING NORTHWEST



CORNER AT EAST SIDE



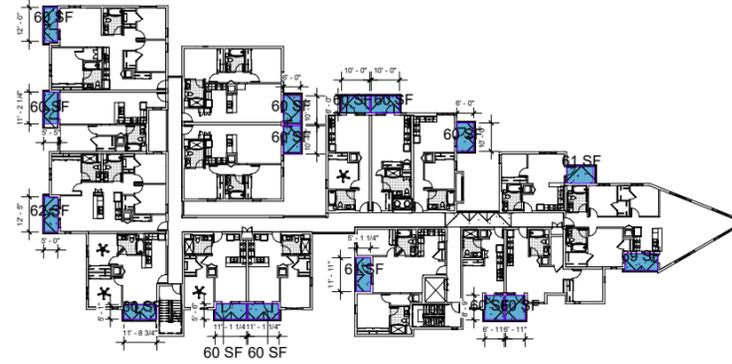
VIEW LOOKING SOUTHWEST



VIEW FROM TRAIN BRIDGE



Roof Level SCALE: 1" = 30'-0" 6



3rd Floor SCALE: 1" = 30'-0" 3

OPEN SPACE/OUTDOOR LIVING AREA DEFINITION: SEE SMMC 9.21.090

OPEN SPACE REQUIRED: PER SMMC 9.21.090

MIN OPEN SPACE REQ'D (15% OF LOT AREA \*FLEXIBLE): 14,813 SF  
 MIN SIZE OF PRIMARY OPEN SPACE (\*FLEXIBLE): 4,000 SF

OPEN SPACE PROVIDED:

TOTAL OPEN SPACE: 12,039 SF

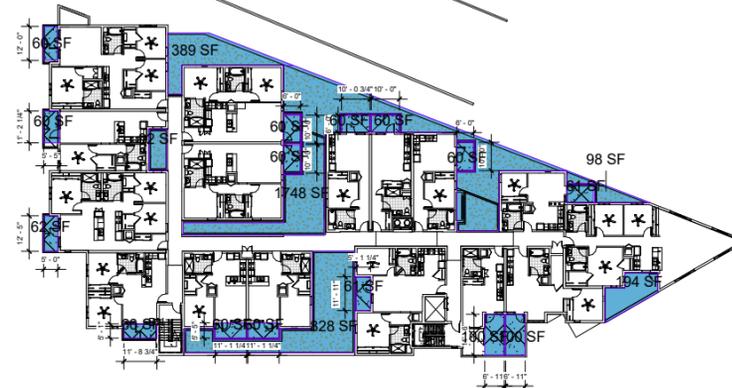
OPEN SPACE COMBINED		
Level	Count	Area
Not Placed	2	0 SF
2nd Floor	21	4334 SF
3rd Floor	16	975 SF
4th Floor	16	975 SF
5th Floor	16	2244 SF
Roof Level	1	3506 SF
Grand total: 72		12033 SF

OPEN SPACE

- Open Space
- Calculating...



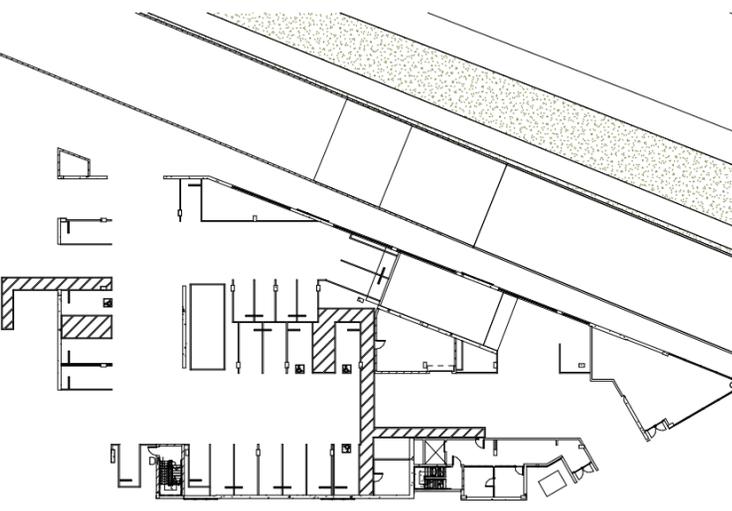
5th Floor SCALE: 1" = 30'-0" 5



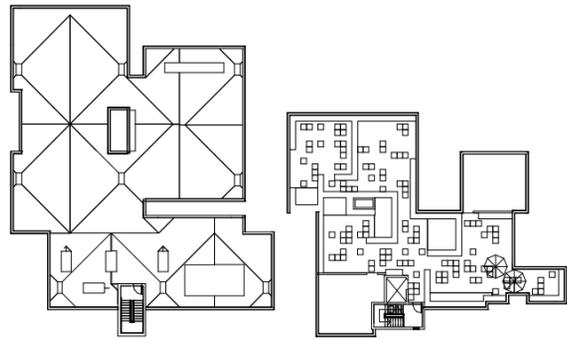
2nd Floor SCALE: 1" = 30'-0" 2



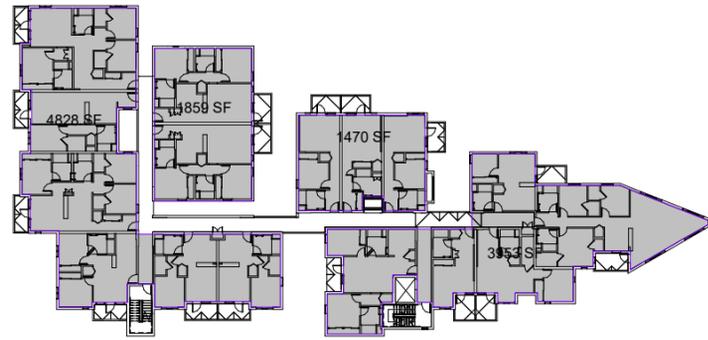
4th Floor SCALE: 1" = 30'-0" 4



1st Floor/Ground Level SCALE: 1" = 30'-0" 1



Roof Level SCALE: 1" = 30'-0" 6



3rd Floor SCALE: 1" = 30'-0" 3

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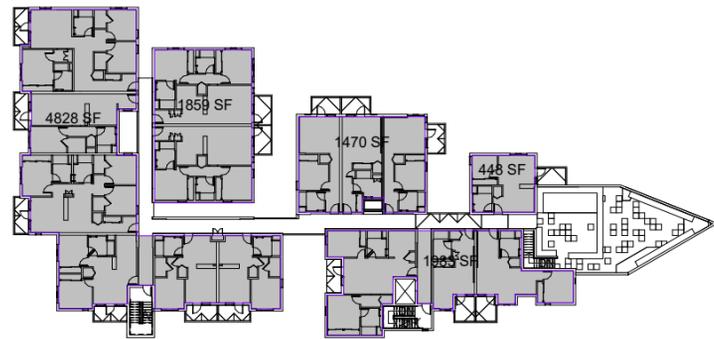
PROPOSED FLOOR AREA		
Level	Area	Area Type
1st Floor/Ground Level	16293 SF	Floor Area
2nd Floor	12113 SF	Floor Area
3rd Floor	12110 SF	Floor Area
4th Floor	11888 SF	Floor Area
5th Floor	10589 SF	Floor Area
	62993 SF	

**FLOOR AREA RATIO (FAR):**

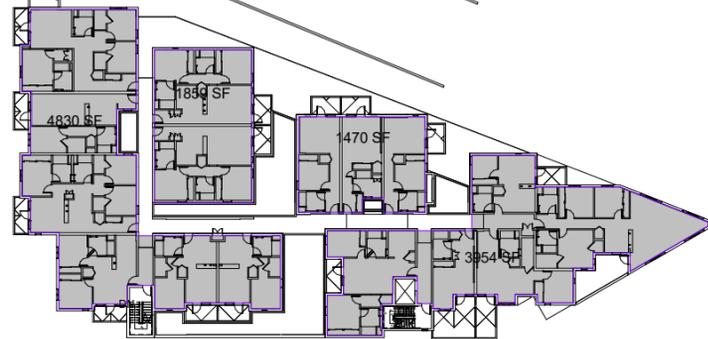
LOT AREA	74,065 SF
FLOOR AREA ALLOWED (2.0 FAR - TIER 2)	148,130 SF
EXISTING FLOOR AREA ("EXTRA SPACE STORAGE")	73,665 SF
<b>NEW FLOOR AREA</b>	<b>62,993 SF</b>
TOTAL AREA ON PARCEL	136,658 SF
FAR PROPOSED (FLOOR AREA PROVIDED/LOT AREA)	1.845 FAR

**Area Legend**

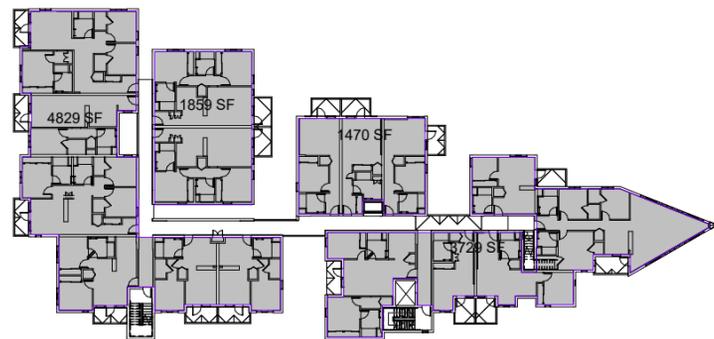
- Floor Area
- Calculating...



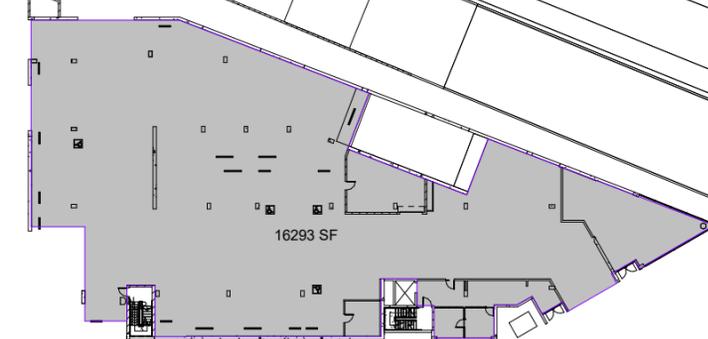
5th Floor SCALE: 1" = 30'-0" 5



2nd Floor SCALE: 1" = 30'-0" 2



4th Floor SCALE: 1" = 30'-0" 4



1st Floor/Ground Level SCALE: 1" = 30'-0" 1

FACING SITE

START



END

ACROSS STREET

START

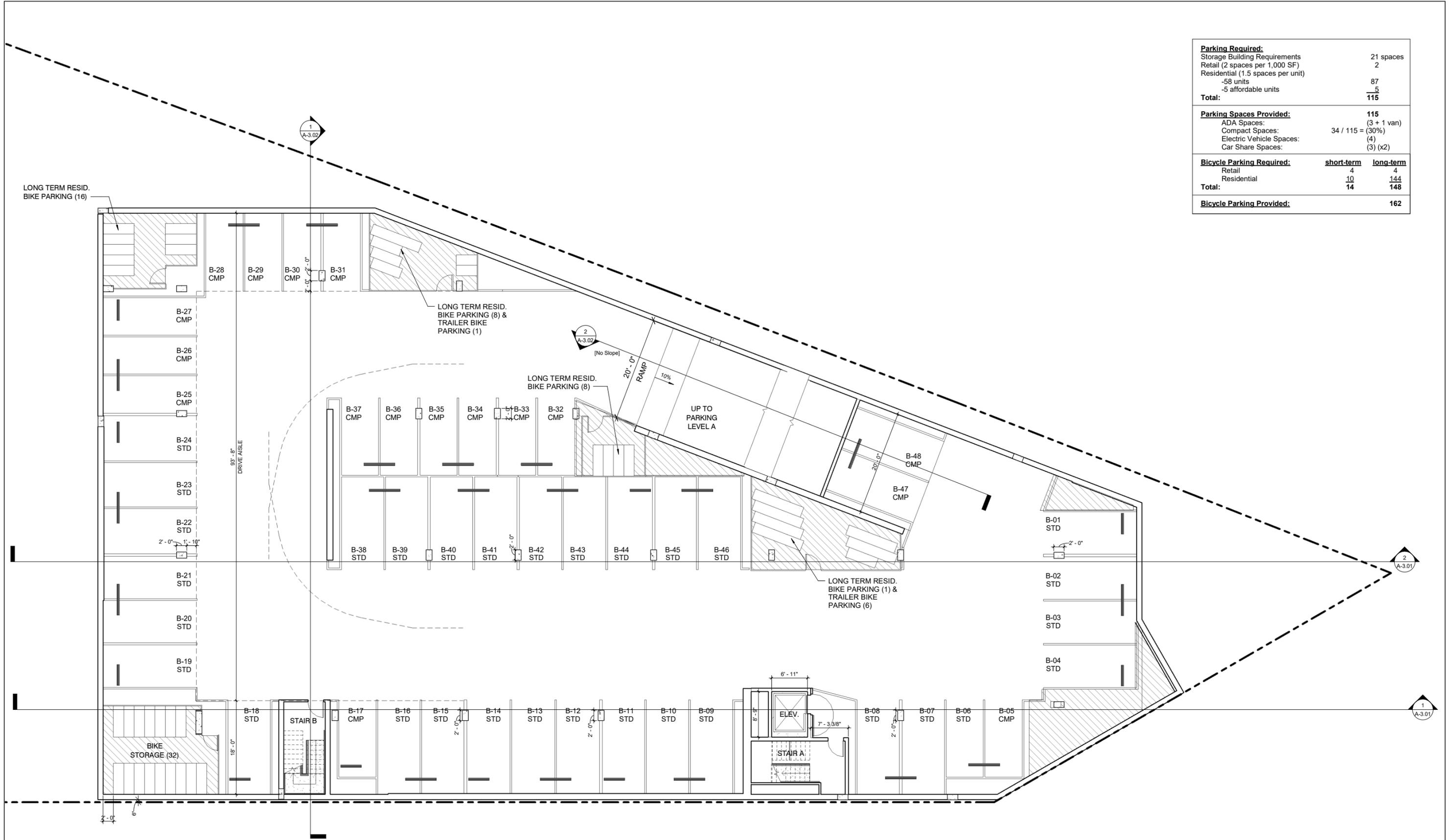


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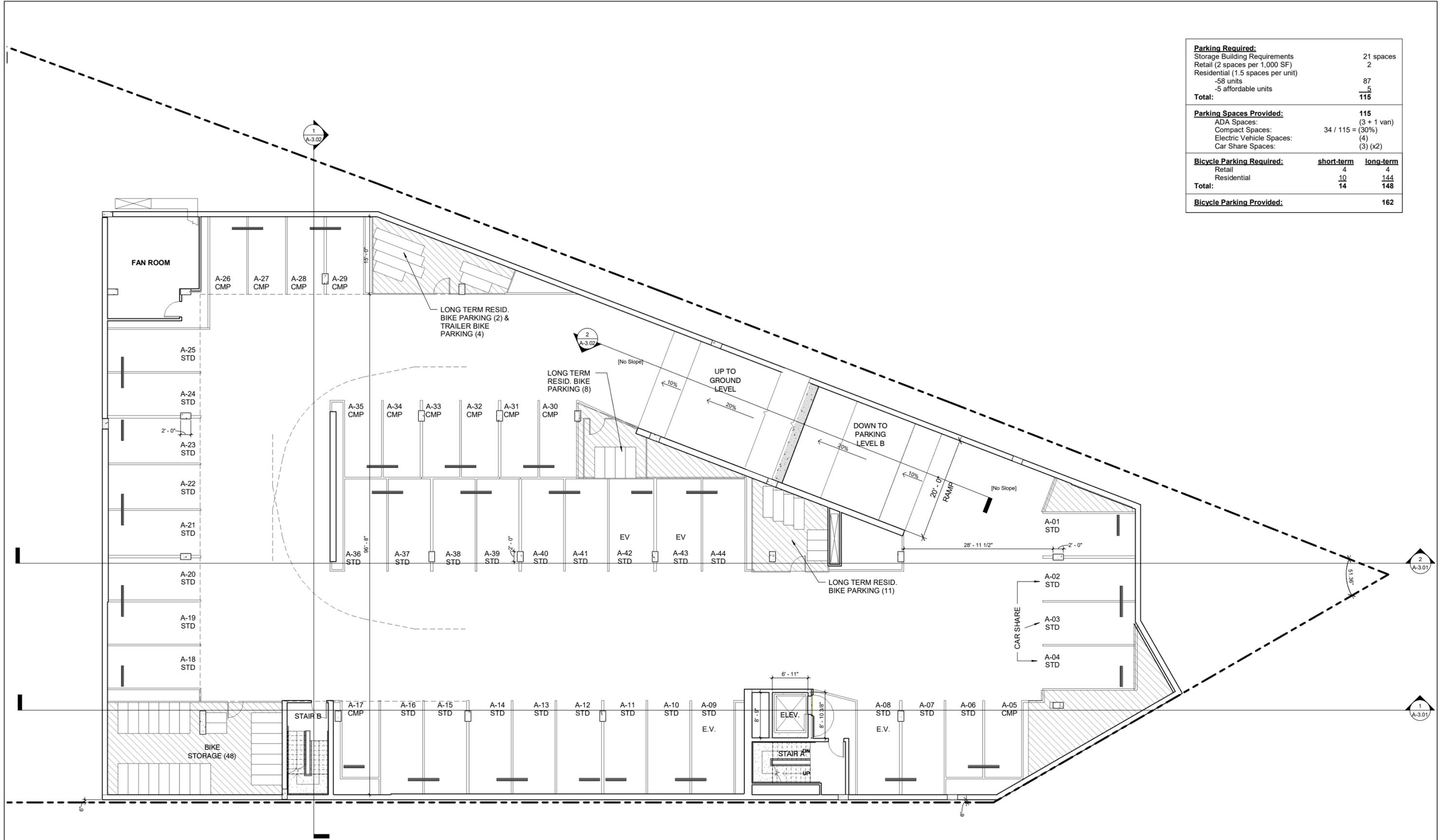




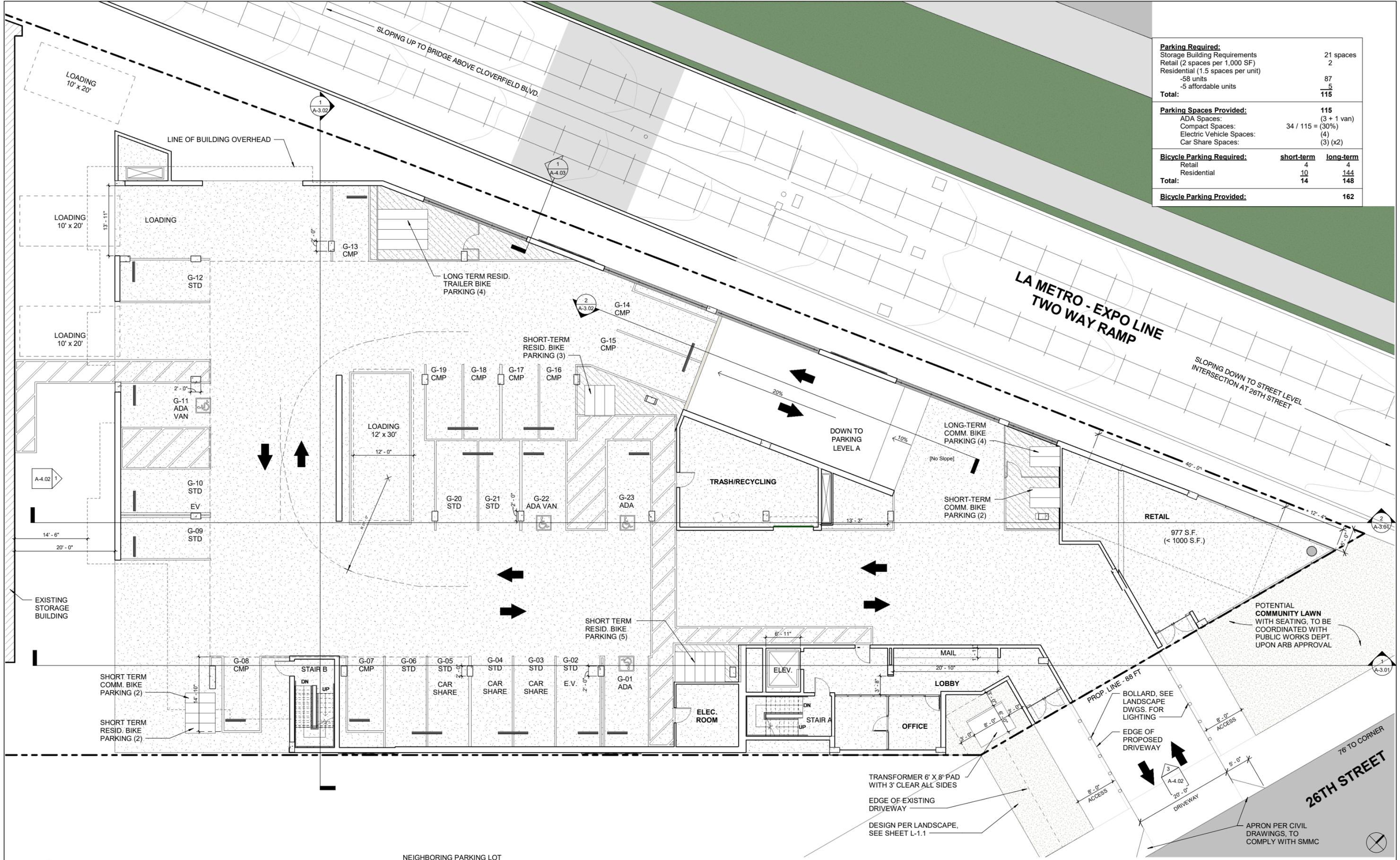
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Storage Building Requirements		21 spaces
Retail (2 spaces per 1,000 SF)		2
Residential (1.5 spaces per unit)		
-58 units		87
-5 affordable units		5
<b>Total:</b>		<b>115</b>
<b>Parking Spaces Provided:</b>		
ADA Spaces:		115 (3 + 1 van)
Compact Spaces:	34 / 115 =	(30%)
Electric Vehicle Spaces:		(4)
Car Share Spaces:		(3) (x2)
<b>Bicycle Parking Required:</b>		
	<b>short-term</b>	<b>long-term</b>
Retail	4	4
Residential	10	144
<b>Total:</b>	<b>14</b>	<b>148</b>
<b>Bicycle Parking Provided:</b>		
		<b>162</b>



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NEIGHBORING PARKING LOT

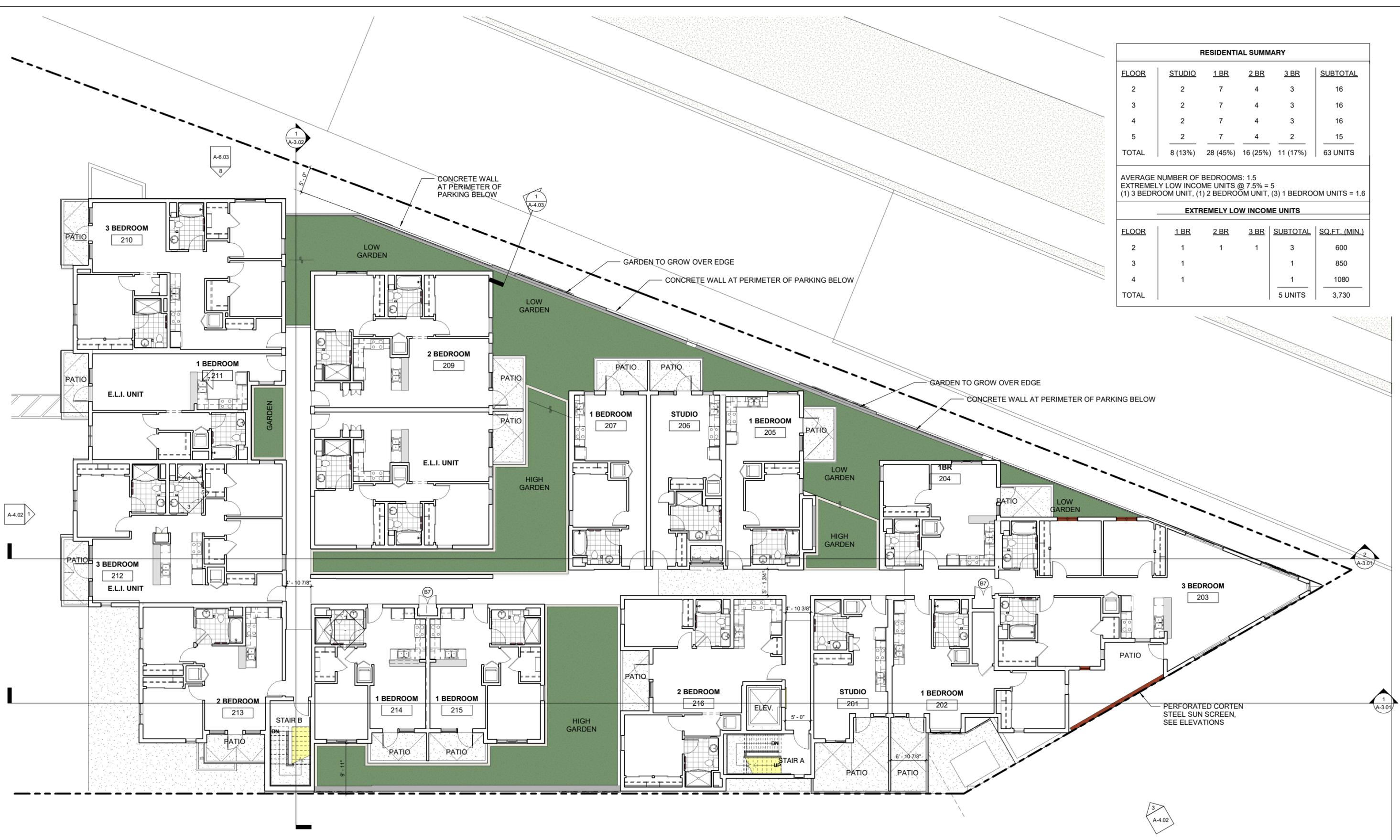
1707 Cloverfield | Architectural Review Board  
 1707 Cloverfield Blvd, Santa Monica, CA 90404 | January 21, 2020

1ST FLOOR / GROUND LEVEL

SCALE: 1/8" = 1'-0"

A-2.03

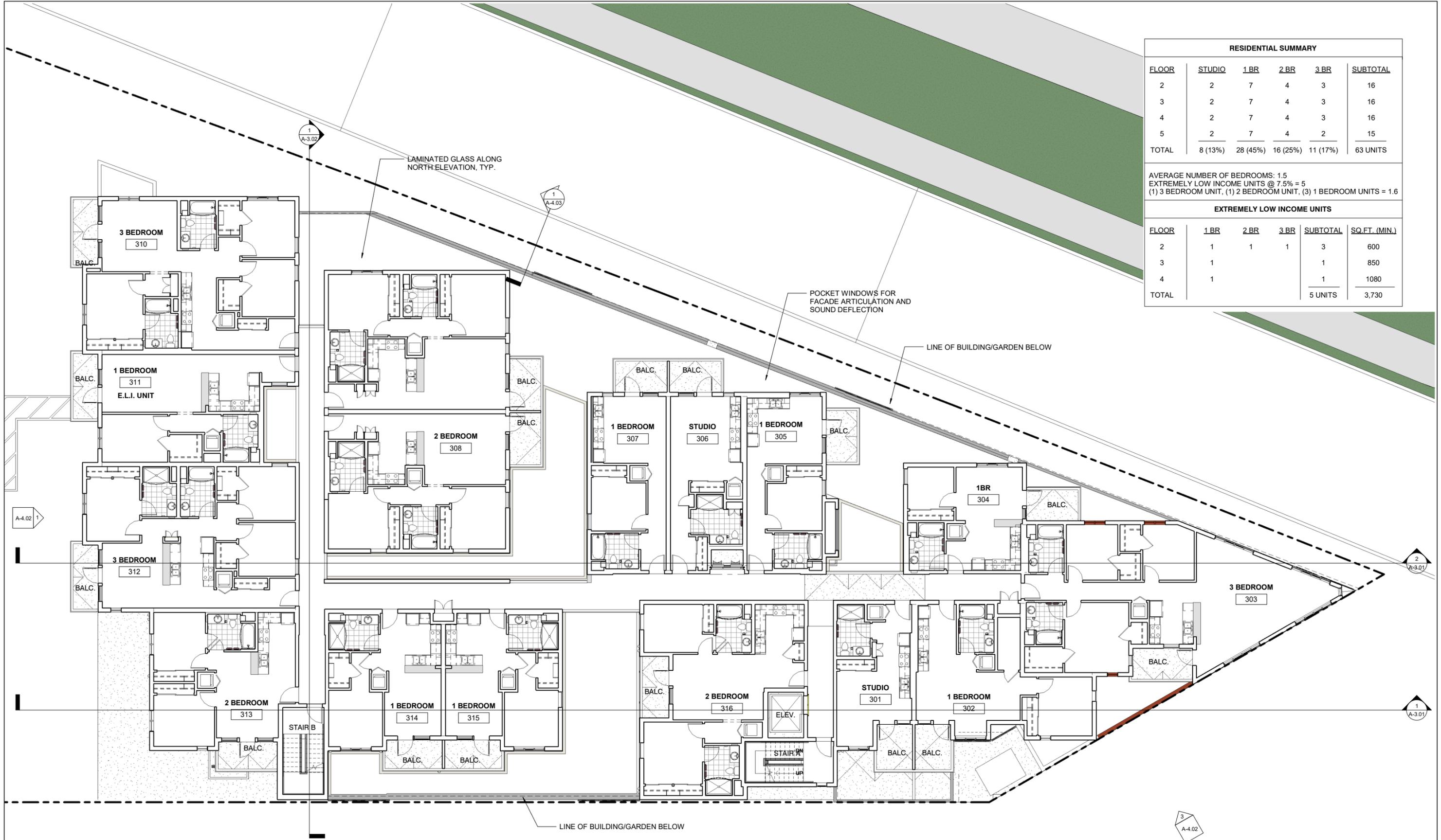




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AVERAGE NUMBER OF BEDROOMS: 1.5  
 EXTREMELY LOW INCOME UNITS @ 7.5% = 5  
 (1) 3 BEDROOM UNIT, (1) 2 BEDROOM UNIT, (3) 1 BEDROOM UNITS = 1.6

EXTREMELY LOW INCOME UNITS					
FLOOR	1 BR	2 BR	3 BR	SUBTOTAL	SQ.FT. (MIN.)
2	1	1	1	3	600
3	1			1	850
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<b>TOTAL</b>				<b>5 UNITS</b>	<b>3,730</b>



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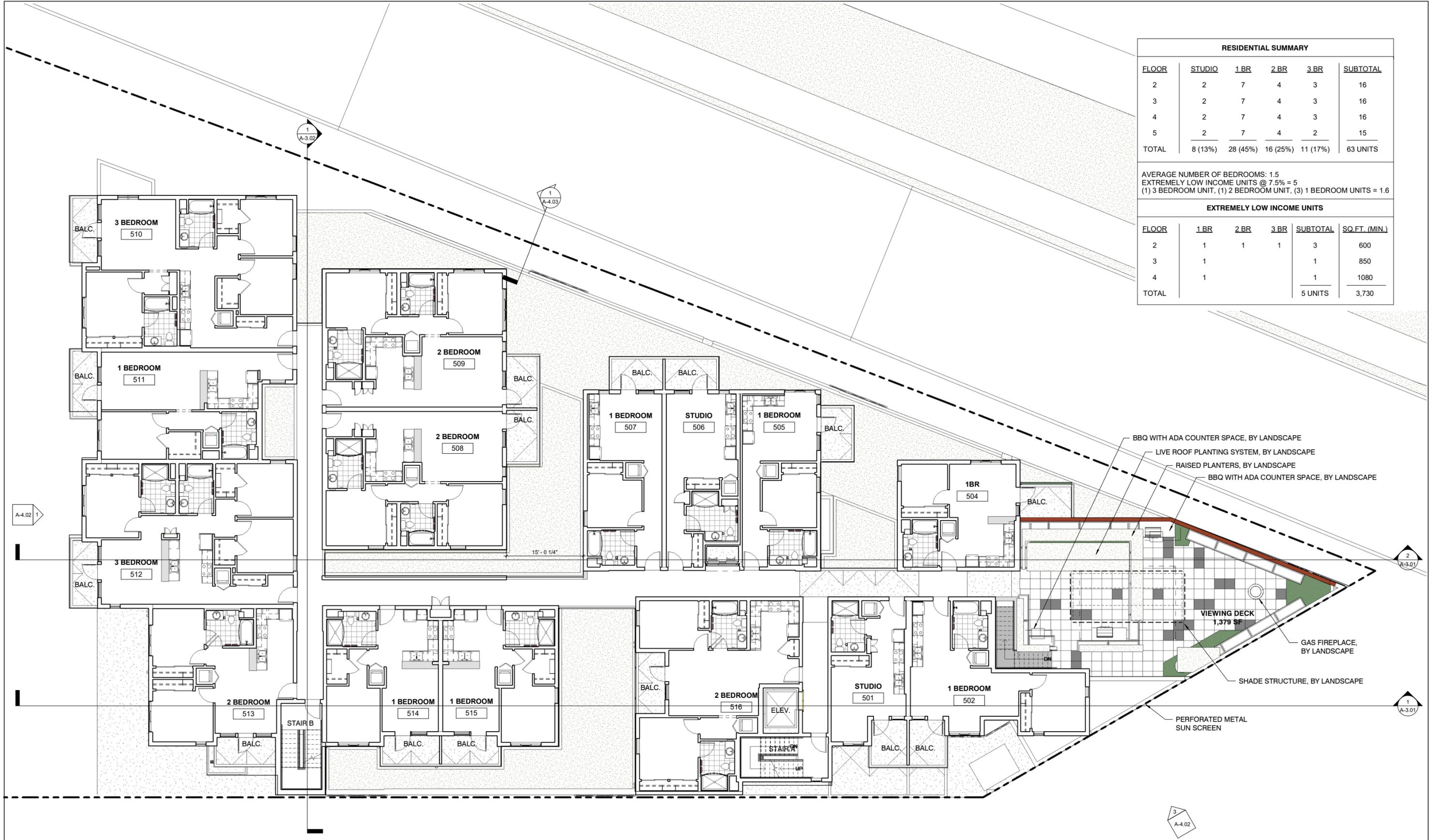
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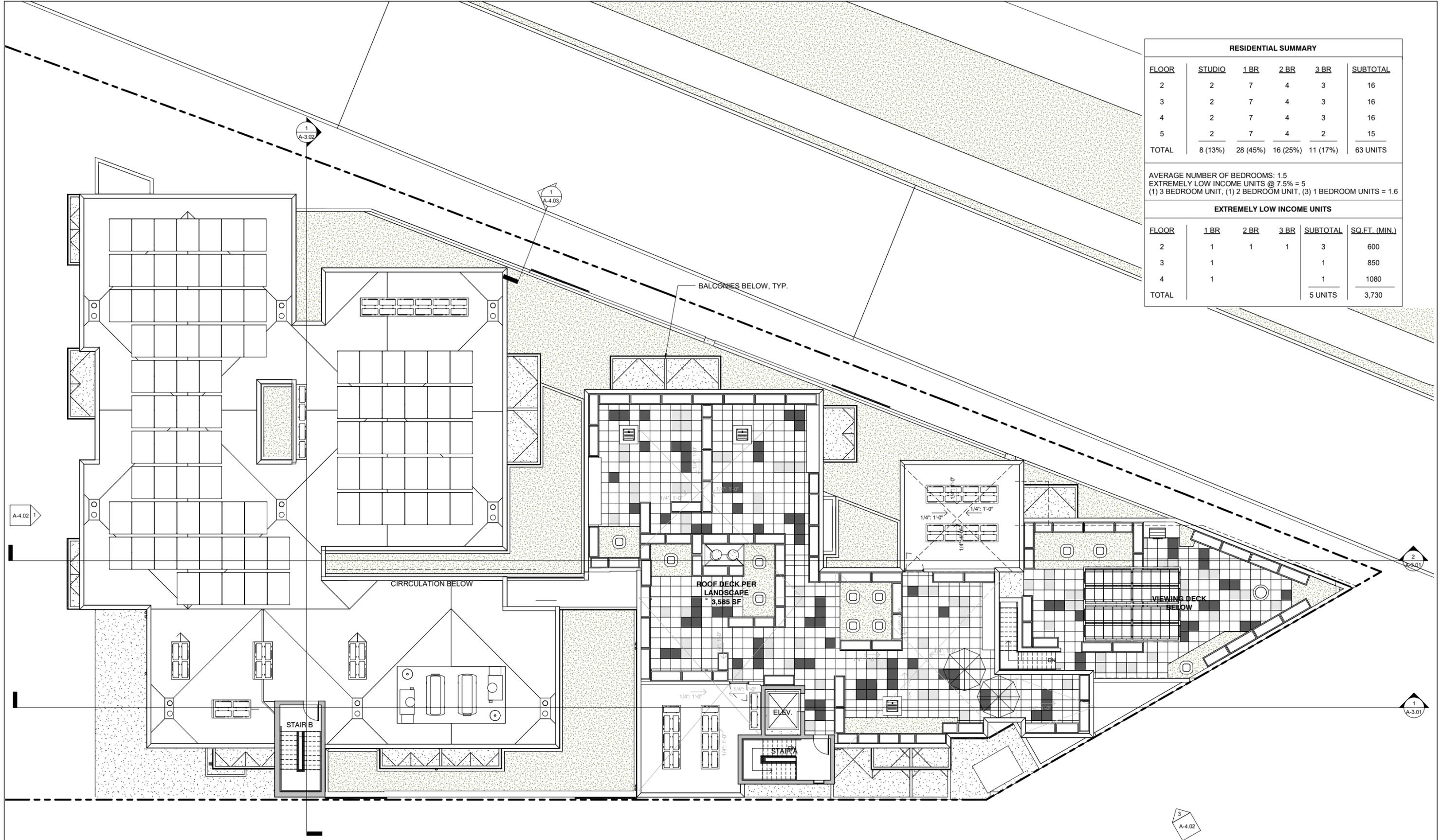
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 (1) 3 BEDROOM UNIT, (1) 2 BEDROOM UNIT, (3) 1 BEDROOM UNITS = 1.6

EXTREMELY LOW INCOME UNITS					
FLOOR	1 BR	2 BR	3 BR	SUBTOTAL	SQ.FT. (MIN.)
2	1	1	1	3	600
3	1			1	850
4	1			1	1080
TOTAL				5 UNITS	3,730

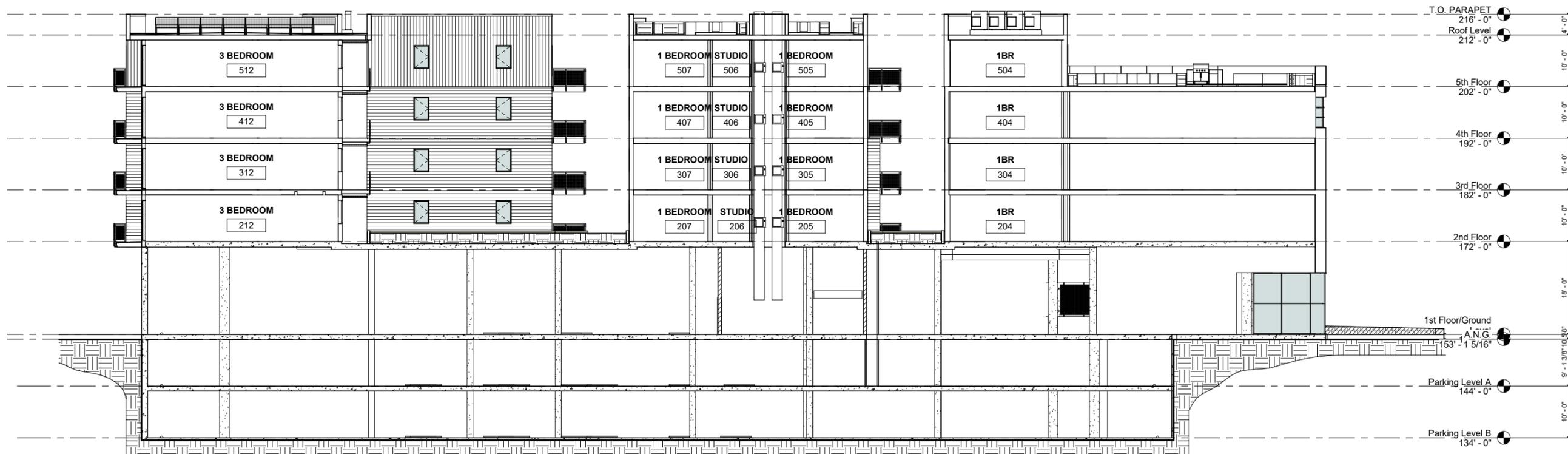




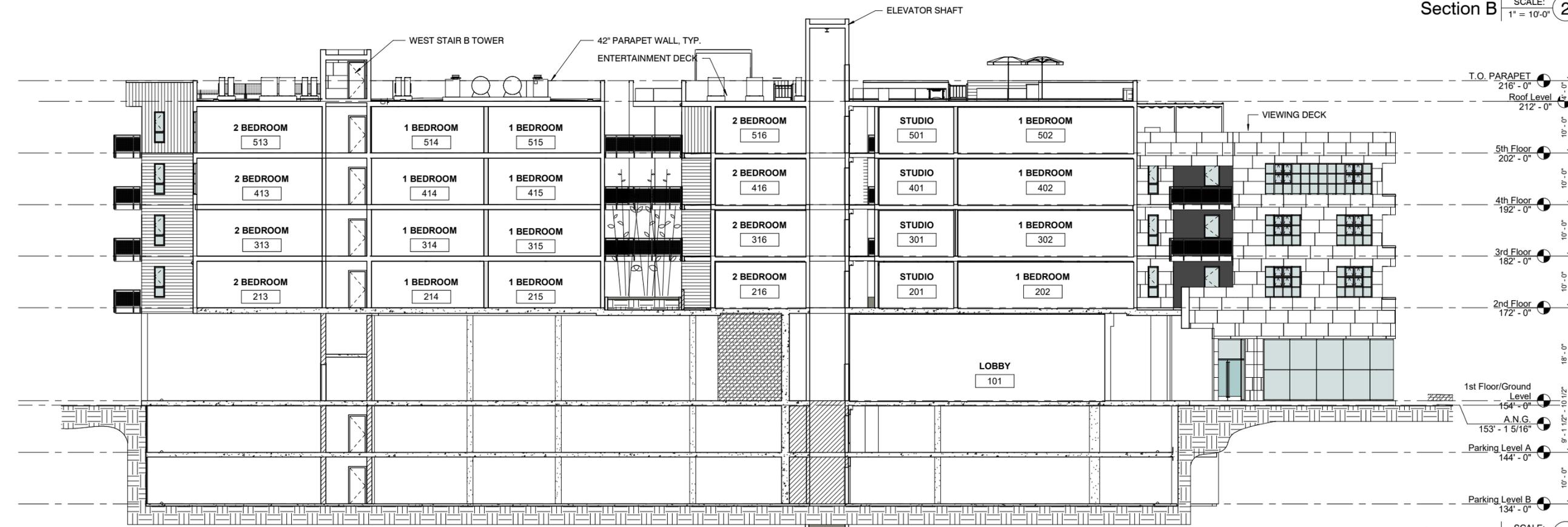
RESIDENTIAL SUMMARY					
FLOOR	STUDIO	1 BR	2 BR	3 BR	SUBTOTAL
2	2	7	4	3	16
3	2	7	4	3	16
4	2	7	4	3	16
5	2	7	4	2	15
<b>TOTAL</b>	<b>8 (13%)</b>	<b>28 (45%)</b>	<b>16 (25%)</b>	<b>11 (17%)</b>	<b>63 UNITS</b>

AVERAGE NUMBER OF BEDROOMS: 1.5  
 EXTREMELY LOW INCOME UNITS @ 7.5% = 5  
 (1) 3 BEDROOM UNIT, (1) 2 BEDROOM UNIT, (3) 1 BEDROOM UNITS = 1.6

EXTREMELY LOW INCOME UNITS					
FLOOR	1 BR	2 BR	3 BR	SUBTOTAL	SQ.FT. (MIN.)
2	1	1	1	3	600
3	1			1	850
4	1			1	1080
<b>TOTAL</b>				<b>5 UNITS</b>	<b>3,730</b>

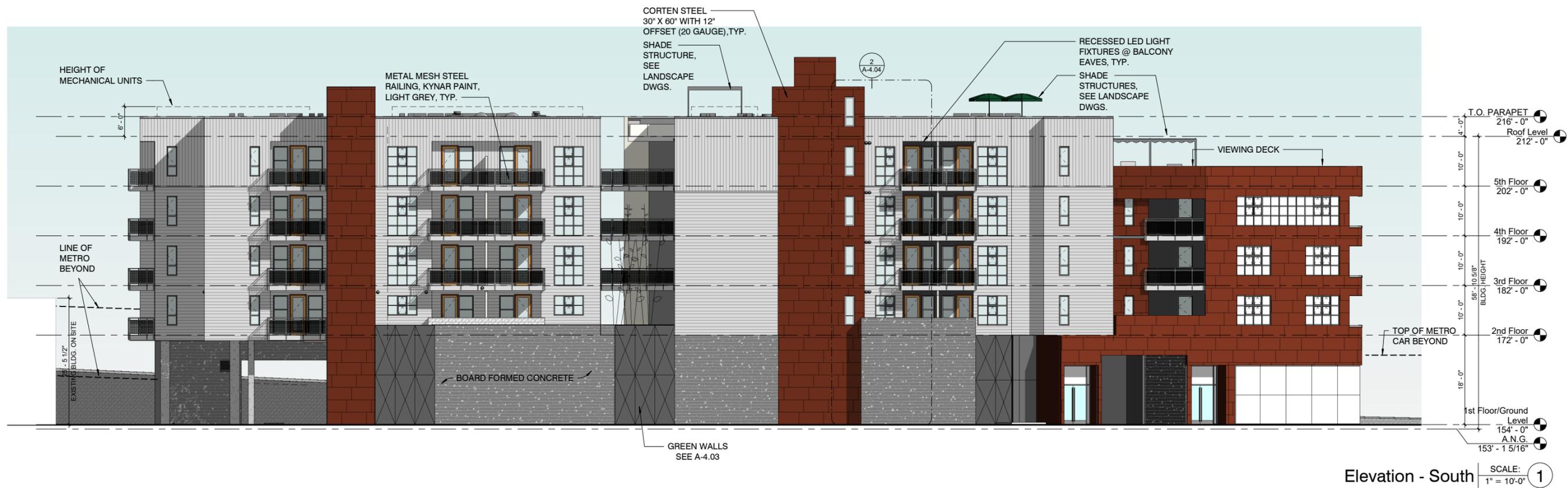
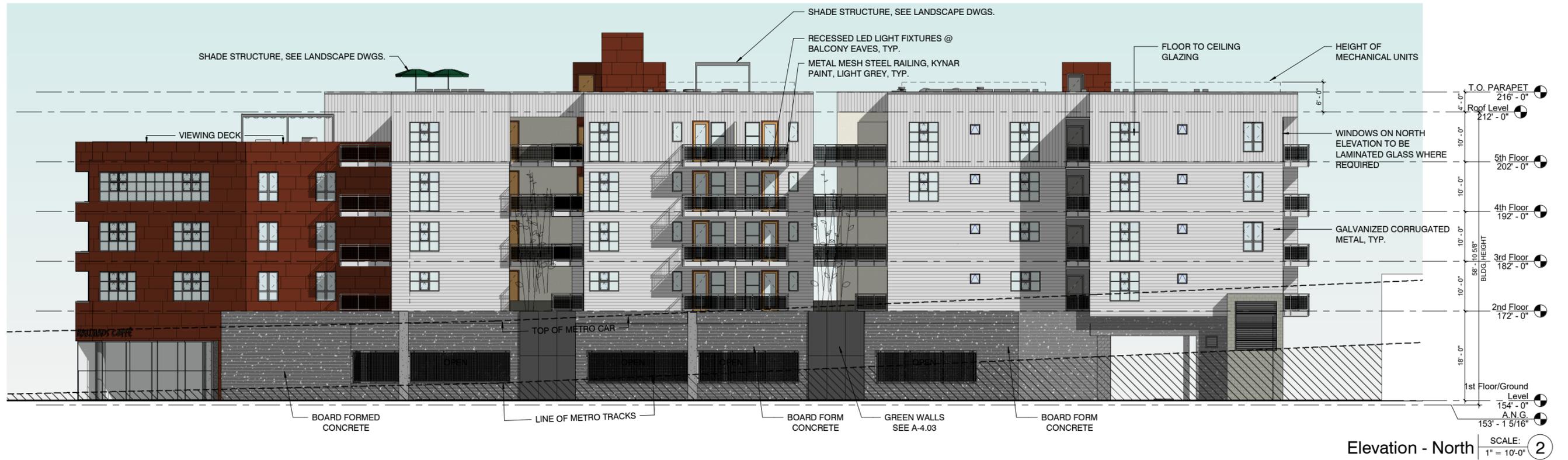


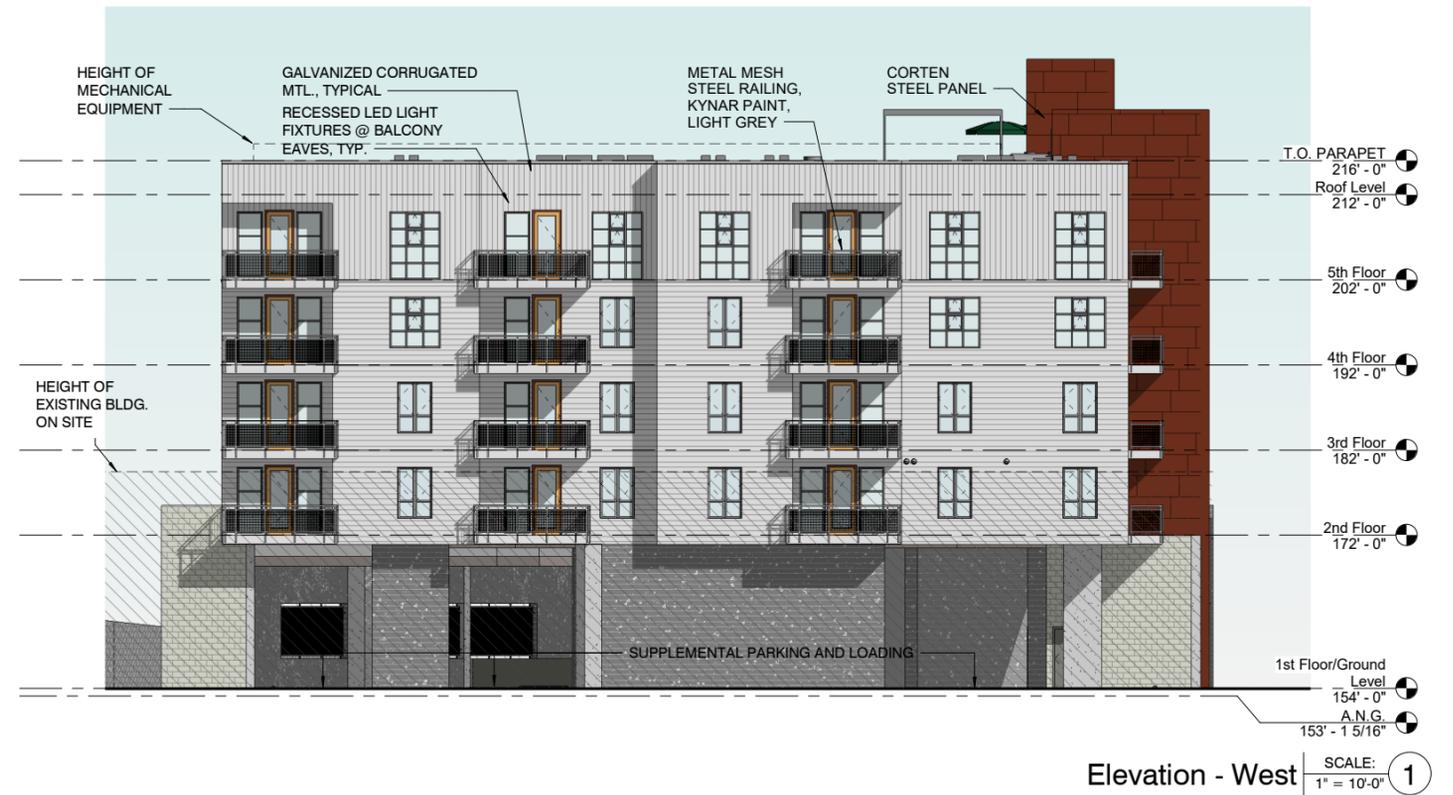
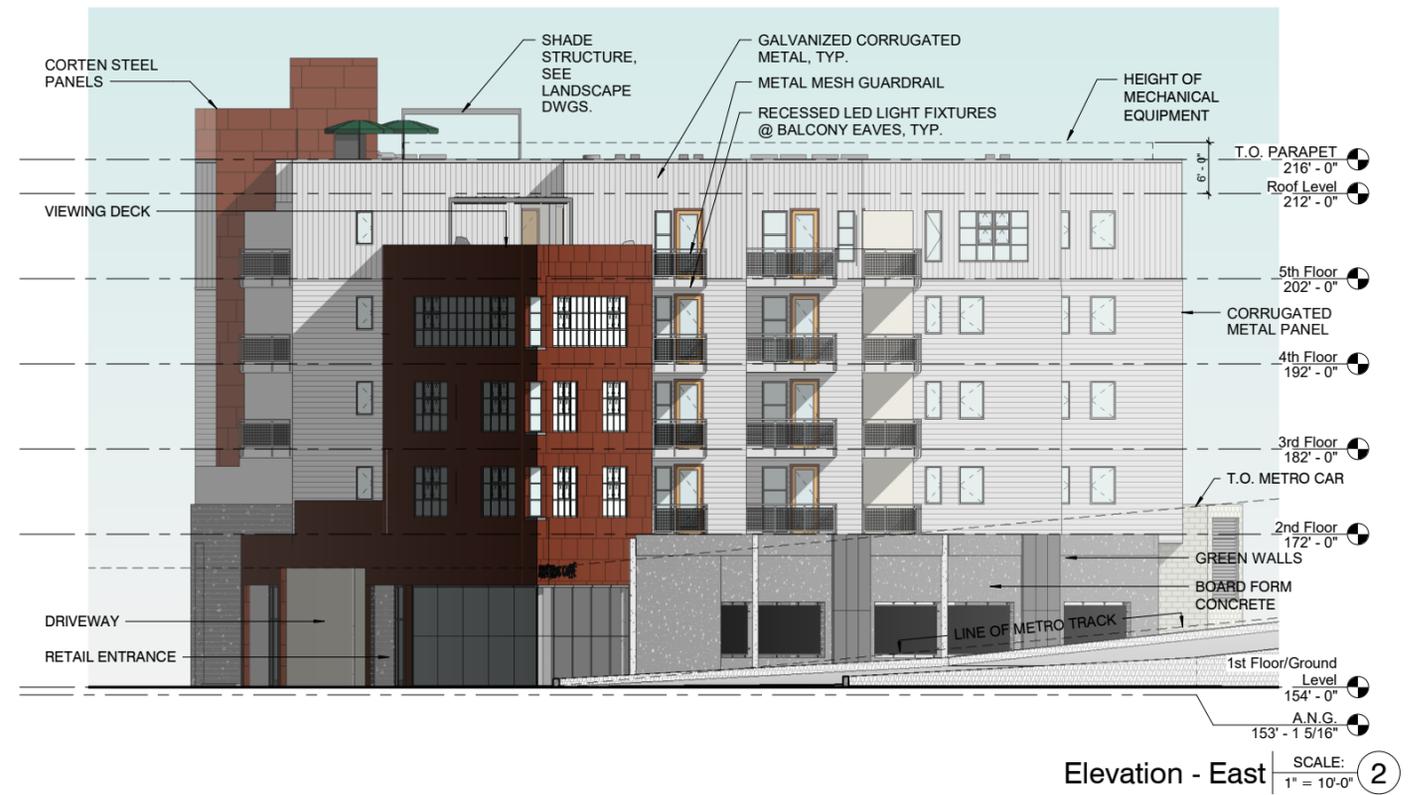
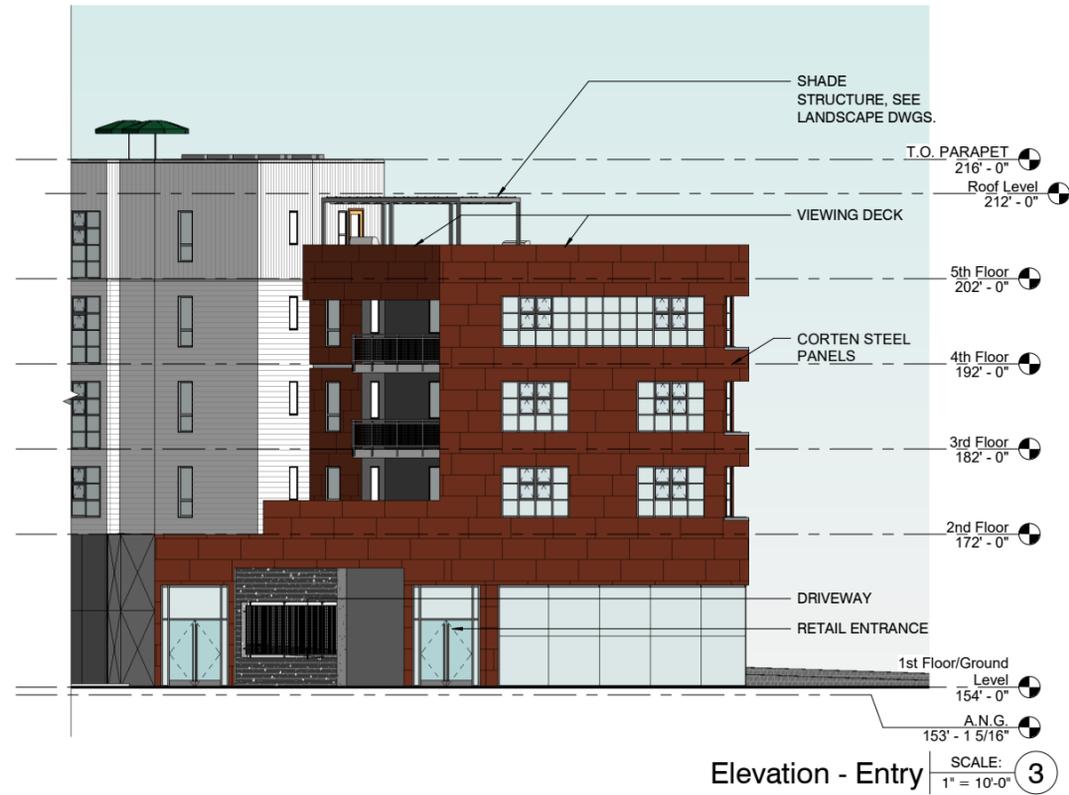
Section B SCALE: 1" = 10'-0" 2



Section A SCALE: 1" = 10'-0" 1





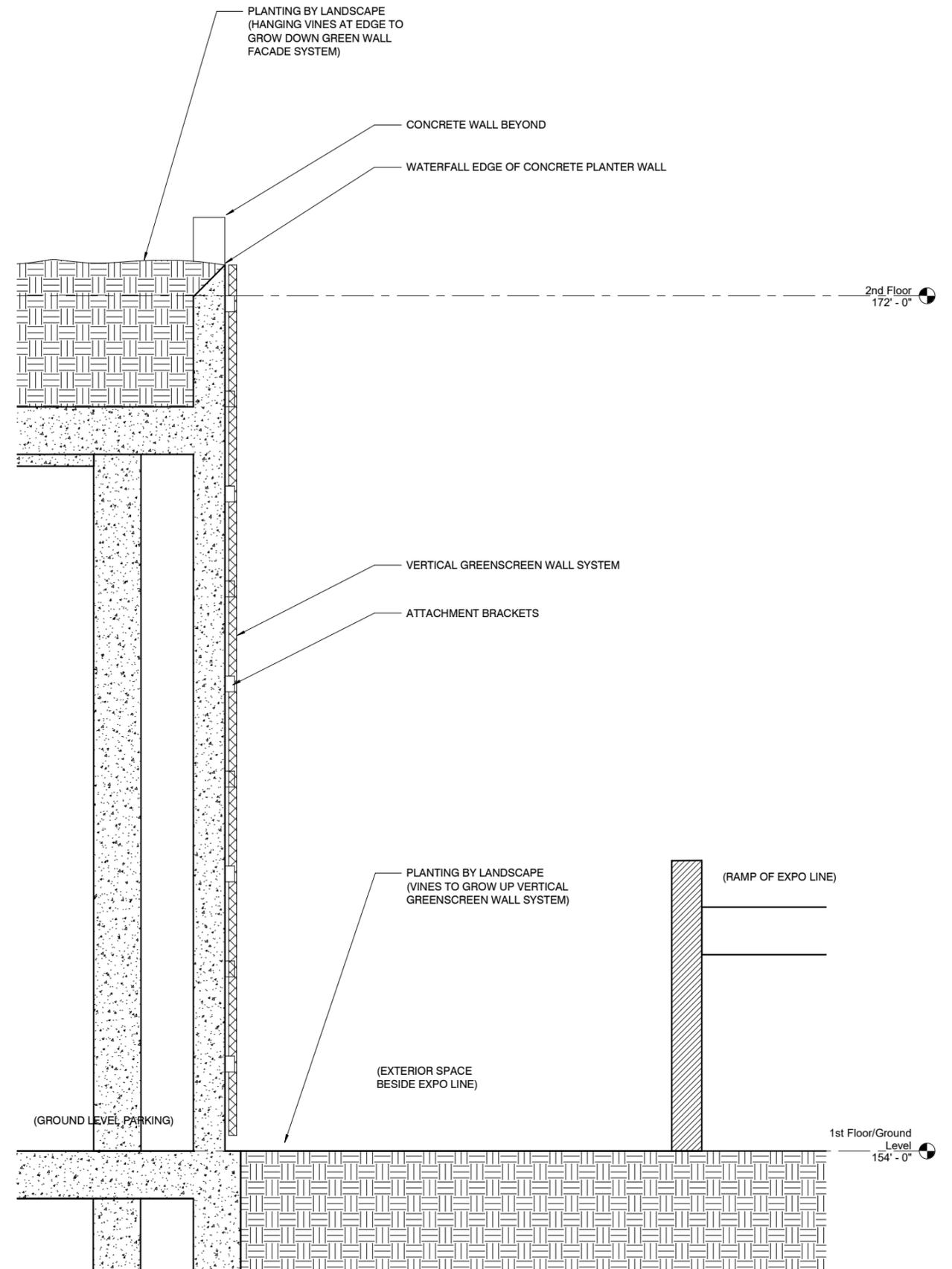




GREENSCREEN1707 CLOVERFIELD



GREENSCREEN WATERFALL EDGE



SECTION - VERTICAL PLANTER FACADE SYSTEM SCALE: 3/4" = 1'-0" 1

ELEVATION FEATURES

SCALE: 3/4" = 1'-0"

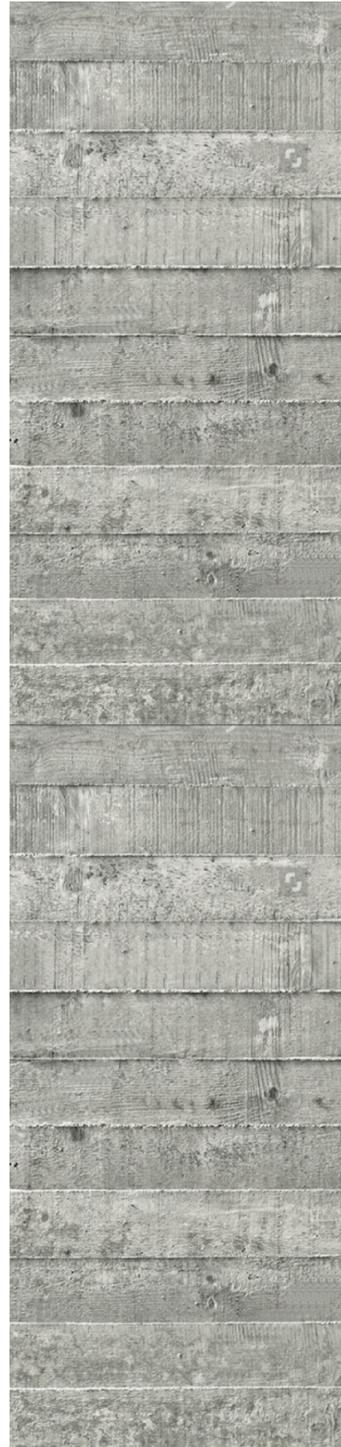
A-4.03



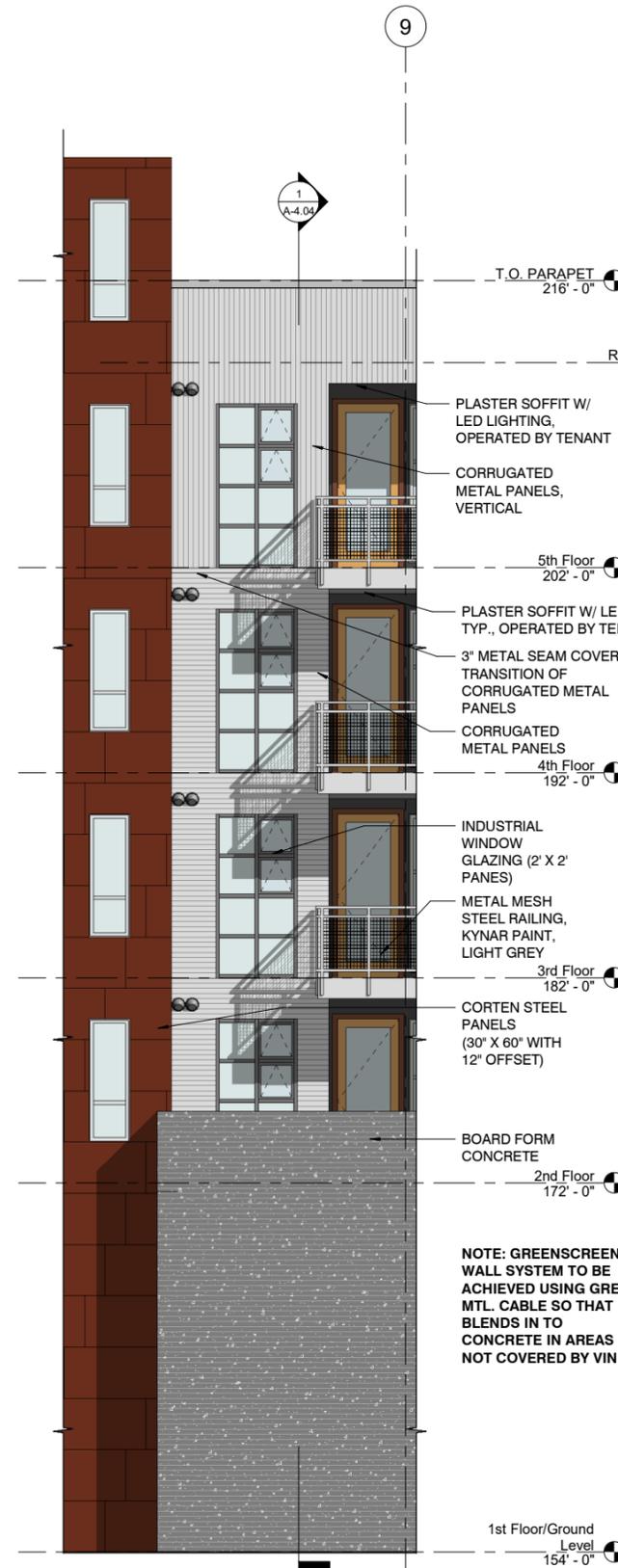
CORTEN STEEL



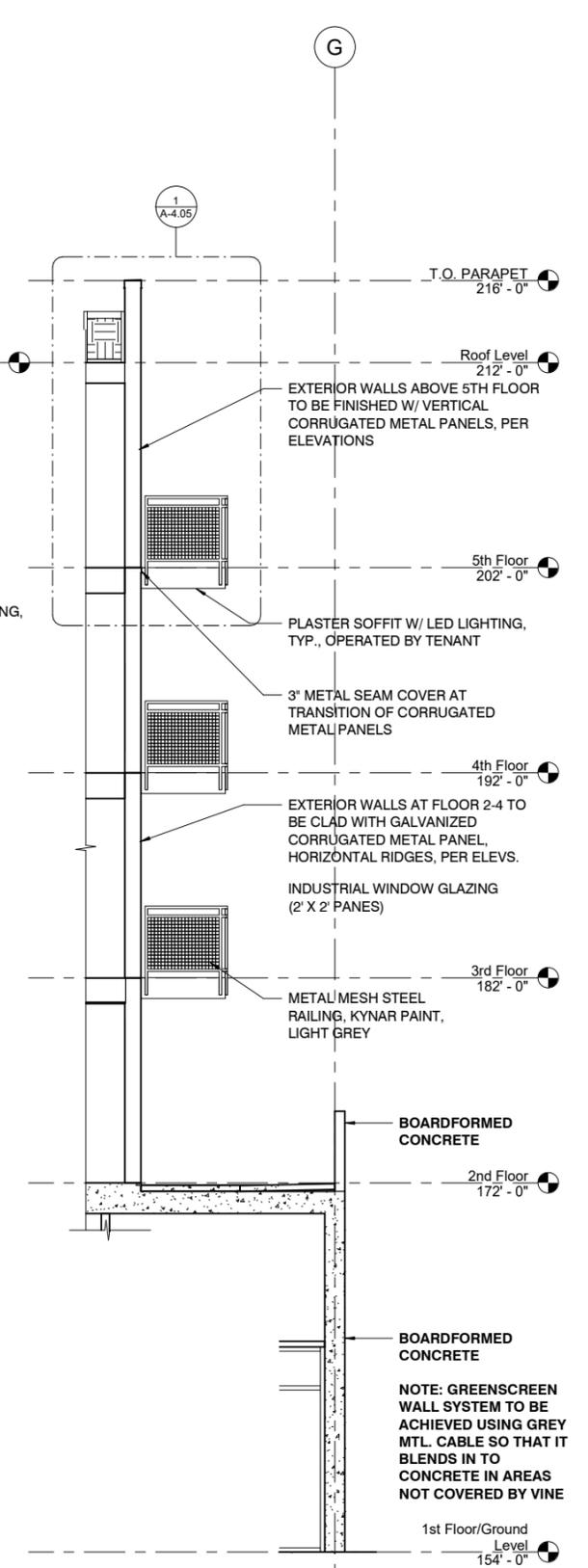
CORRUGATED METAL (VERTICAL OR HORIZONTAL)



BOARDFORMED CONCRETE



Elevation - South - Material Callout | SCALE: 1/4" = 1'-0" | 2

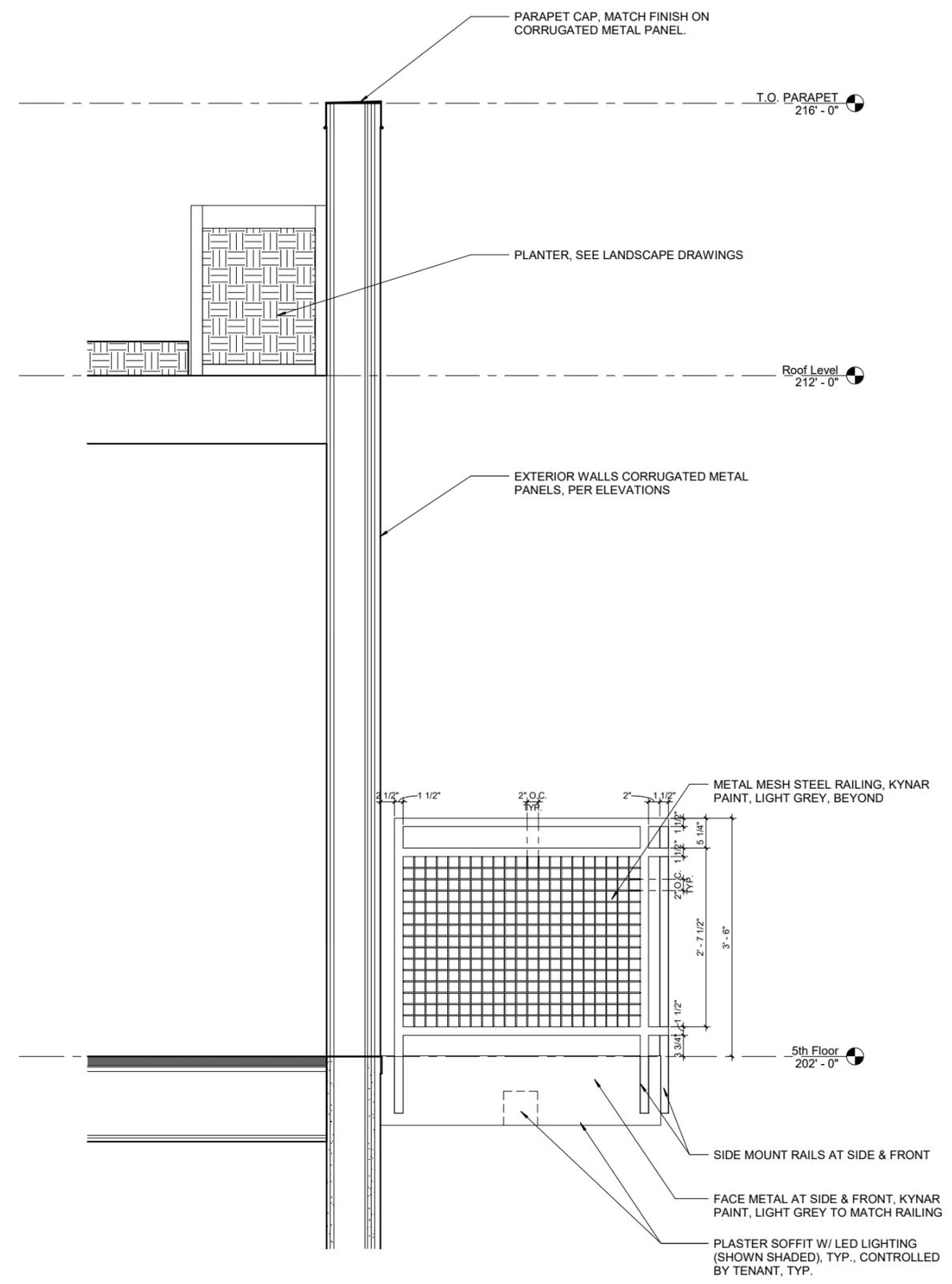


Material Wall Section | SCALE: 1/4" = 1'-0" | 1

ELEVATION FEATURES

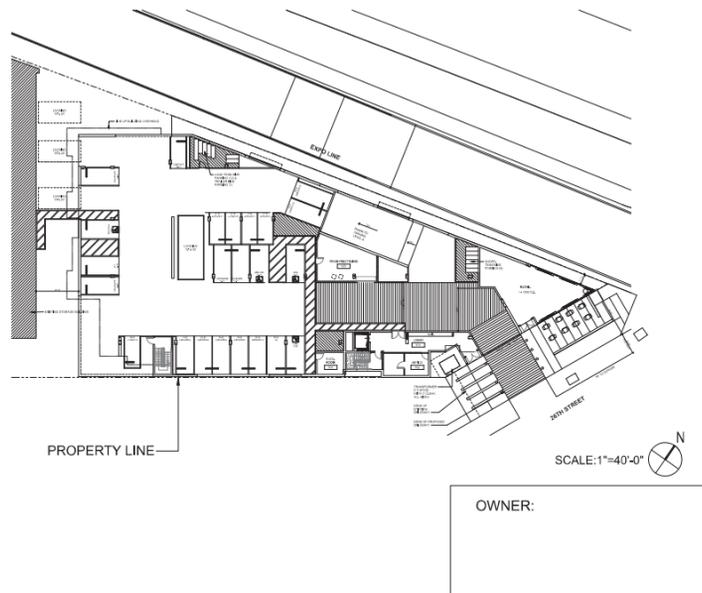
SCALE: 1/4" = 1'-0"

A-4.04



1 Balcony Section  
1" = 1'-0"

KEY MAP



DIG ALERT

DIAL TOLL FREE  
1-800-422-4133

AT LEAST TWO DAYS  
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

CALL BEFORE YOU DIG - 811 DIG ALERT UNDERGROUND SERVICE ALERT.

1. DELINEATE SITE. IT IS MANDATORY THAT YOU OUTLINE THE PROPOSED EXCAVATION SITE WITH WHITE PAINT OR STAKES.
2. CALL AT LEAST TWO WORKING DAYS BEFORE YOU DIG. YOU MAY CALL 14 DAYS PRIOR TO THE EXCAVATION.
3. YOU ARE RESPONSIBLE FOR DAMAGE IF DAMAGE TO UNDERGROUND UTILITIES RESULTS FROM YOUR DIGGING.

PROJECT DIRECTORY

CLIENT:

ARCHITECTS:  
DFH ARCHITECTS, LLP  
1544 20TH STREET  
SANTA MONICA, CA 90404  
TEL: 310.394.4045  
FAX: 310.998.8658  
CONTACT: JAMES FISCHER

LANDSCAPE ARCHITECTS:  
SQLA INC.  
2669 SATURN STREET  
BREA, CA 92821  
CONTACT: SAMUEL KIM  
TEL: ((562) 905-0800

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA  
PHONE: (800) 422-4133

WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS PLAN SUBMITTAL NOTES

- 1. PARKWAY DECLARATIONS:**
  - A. ALL EXISTING SPRINKLERS AND SPRAY HEADS SHALL BE REMOVED IN THE PARKWAY.
  - B. THE INSTALLATION OF NEW SPRINKLER IRRIGATION SYSTEMS ARE PROHIBITED IN THE PARKWAY.
  - C. THE INSTALLATION OF ANY IRRIGATION SYSTEM IN THE PARKWAY SHALL NOT DAMAGE THE ROOTS OF THE STREET TREE.
  - D. NO MULCH SHALL BE APPLIED WITHIN SIX INCHES(6) OF THE BASE OF A STREET TREE.
  - E. NO PLANT MATERIAL SHALL BE INSTALLED WITHIN TWENTY-FOUR (24) INCHES OF THE BASE OF A STREET TREE.
  - F. THE PROPERTY OWNER ADJACENT TO THE PARKWAY ASSUMES LIABILITY FOR ANY IMPROVEMENTS TO THE PARKWAY AREA.
- 2. GENERAL NOTATIONS:**
  - A. AN OPEN-TRENCH INSPECTION BY CITY STAFF IS REQUIRED PRIOR TO COVERING BELOW GRADE PIPES, LATERALS, AND MAINS. THE DESIGNER OF THE LANDSCAPE, OR THE DESIGNER, AND GENERAL CONTRACTOR, OR THEIR DESIGNEE, PERFORMING THE INSTALLATION MUST BE PRESENT AT THE OPEN-TRENCH INSPECTION. FOR OPEN-TRENCH INSPECTIONS, CALL THE OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT AT (310) 458-8405
  - B. PRIOR TO FINAL INSPECTION INSTALLER SHALL TEST THE IRRIGATION SYSTEMS TO VERIFY THAT IT MEETS THE APPROVED DESIGN AND SPECIFICATIONS.
  - C. PRIOR TO FINAL INSPECTION THE INSTALLER MUST PROGRAM THE IRRIGATION CONTROLLER.
  - D. FINAL INSPECTION BY CITY STAFF IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY TO ENSURE THAT THE SYSTEM WAS BUILT TO APPROVED PLANS AND SPECIFICATIONS. FOR FINAL INSPECTIONS, CALL THE OFFICE OF SUSTAINABILITY AND THE ENVIRONMENT AT (310) 458-8405. THE FOLLOWING ITEMS WILL BE REQUIRED AT FINAL INSPECTION PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY:
    - I. POST INSTALLATION SOIL TEST RESULTS WHICH MUST CONTAIN THE PERCENTAGE (%) OF ORGANIC MATTER; MAY ALSO INCLUDE BUT IS NOT LIMITED TO SOIL TEXTURE; INFILTRATION RATE OR SLATS; SODIUM; AND AND RECOMMENDATIONS DETERMINED BY LABORATORY TEST. EXCEPTION: LANDSCAPE CONTAINED ENTIRELY IN PLANTERS OR CONTAINERS ARE EXEMPT FROM THIS REQUIREMENT.
    - II. A DETAILED IRRIGATION CONTROLLER MAP MUST BE INSTALLED INSIDE OR NEAR THE IRRIGATION CONTROLLER WITH AT MINIMUM A DESCRIPTION FOR EACH ZONE INCLUDING: PLANT MATERIAL, WATERING DEVICE, VALVE OR STATION NUMBER, RUN TIME FOR PEAK DEMAND, MONTH AND PRECIPITATION RATE.
    - III. IRRIGATION SCHEDULES INCLUDING ESTABLISHMENT PERIOD START AND END DATES, MUST BE POSTED INSIDE THE IRRIGATION CONTROLLER HOUSING UNIT BY THE INSTALLER.
  - E. ELECTRONIC SUBMISSION OF AN AS-BUILT SET OF PLANS TO THE CITY IS REQUIRED IF REQUESTED BY CITY INSPECTOR.
  - F. PRIOR TO CONSTRUCTION OF LANDSCAPE IRRIGATION, THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS.
  - G. ALL LANDSCAPING AND IRRIGATION SYSTEMS MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
  - H. THE IRRIGATION SYSTEMS MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
  - I. THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION TO CHECK FOR ADHERENCE TO THE DESIGN, INCLUDING THAT THE PROPER INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY, MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS, AND SENSORS MEETS THE INTENT OF THE IRRIGATION DESIGN PLAN AS DESIGNED AND APPROVED.
- 3. CONSTRUCTION NOTATIONS:**
  - A. AREAS DESIGNATED AS MULCH ON APPROVED LANDSCAPE PLANS, INCLUDING AREAS COVERED BY WOOD CHIPS, GRAVEL, STONE, DECOMPOSED GRANITE, AND AREAS DESIGNATED AS ARTIFICIAL TURF ON APPROVED LANDSCAPE PLANS CANNOT BE REPLACED WITH TURFGRASS OR HIGH WATER USE PLANTS AS DEFINED IN THE CURRENT EDITION OF THE WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS). ONCE MULCH OR ARTIFICIAL TURF HAS BEEN INSTALLED.
  - B. FOR SINGLE-FAMILY HOMES ONLY INSTALLING NEW LANDSCAPING, SUBMITTED CONSTRUCTION PLANS MUST INCLUDE THE FOLLOWING DECLARATION SIGNED BY THE PROJECT APPLICANT: "THE LANDSCAPE FOR THIS PROPERTY MUST BE BUILT TO THE APPROVED LANDSCAPE PLANS WITHIN THIS APPROVED BUILDING PLAN SET. ANY REVISIONS TO APPROVED PLANS WILL REQUIRE RE-SUBMITTAL AND APPROVAL AND MUST STILL COMPLY WITH THE CURRENT WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS. ANY AREAS OF LANDSCAPE NOT COMPLETED AT TIME OF THE CLOSE OF THE BUILDING CONSTRUCTION PERMIT MUST BE COVERED WITH A MINIMUM 3" INCH (3") LAYER OF MULCH. THIS INCLUDES ALL EXPOSED SOIL SURFACES OF EXISTING PLANTING AREAS EXCEPT IN TURF AREAS, OVER CREEPING OR ROOTING GROUNDCOVERS, OR IN DIRECT SEEDING APPLICATIONS, WHERE MULCH IS NOT APPROPRIATE. FUTURE LANDSCAPE INSTALLATIONS FOR INCOMPLETE LANDSCAPE INSTALLATIONS MUST BE TO THE APPROVED LANDSCAPE PLANS.
  - C. INDIVIDUAL SINGLE-FAMILY DWELLINGS INSTALLING NO NEW LANDSCAPING, OTHER THAN MULCH AND ARTIFICIAL TURF, AND NO NEW IRRIGATION SYSTEM, SHALL BE REQUIRED ONLY TO SUBMIT A CONSTRUCTION PLAN WITH THIS NOTE: NO NEW PERMANENT, AUTOMATED IRRIGATION SYSTEM TO BE INSTALLED. A MINIMUM 3" INCH (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF EXISTING PLANTING AREAS EXCEPT IN TURF AREAS, OVER CREEPING OR ROOTING GROUNDCOVERS, OR IN DIRECT SEEDING APPLICATIONS, WHERE MULCH IS NOT APPROPRIATE. ANY REVISIONS TO APPROVED PLANS WILL REQUIRE RE-SUBMITTAL AND APPROVAL AND MUST COMPLY WITH THE CURRENT WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS. CALL (310) 458-8405 TO SCHEDULE A FINAL INSPECTION.
- 4. LANDSCAPE NOTATIONS:**
  - A. TURFGRASS, INCLUDING EXISTING PLANT MATERIAL IS NOT ALLOWED ON SLOPES GREATER THAN TWENTY-FIVE PERCENT (25%) WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE AND WHERE TWENTY-FIVE PERCENT (25%) MEANS ONE FOOT (1') OF VERTICAL ELEVATION CHANGE FOR EVERY FOUR FEET (4') OF HORIZONTAL LENGTH (RISE DIVIDED BY RUN X 100 = SLOPE %).
  - B. PLANT MATERIAL LISTED IN THE CURRENT INVASIVE PLANT INVENTORY FOR THE SOUTHWEST REGION BY THE CALIFORNIA INVASIVE PLANT COUNCIL OR LISTED FOR THE SOUTH COAST REGION BY THE PLANTRIGHT ORGANIZATION ARE PROHIBITED INCLUDING EXISTING PLANT MATERIAL, EXCEPT FOR KNOWN NON-FRUITING, NON-INVASIVE, STERILE VARIETIES, CULTIVARS OR SELECTIONS.
  - C. LANDSCAPES INSTALLING NEW PLANT MATERIAL BUT WITHOUT A PERMANENT, AUTOMATED IRRIGATION SYSTEM, WHERE WATER IS ACCESSED ONLY THROUGH A HOSE BIB OR QUICK COUPLER CONNECTION, ARE NOT REQUIRED TO SUBMIT A HYDROZONE MATRIX, AN IRRIGATION PLAN, OR AN IRRIGATION DETAIL AND SPECIFICATIONS PLAN. ADD THIS NOTE: NO PERMANENT, AUTOMATED IRRIGATION SYSTEM TO BE INSTALLED. ANY FUTURE IRRIGATION SYSTEM INSTALLATION WILL REQUIRE A FULL LANDSCAPE PLAN SUBMITTAL FOR CITY OF SANTA MONICA REVIEW AND APPROVAL PRIOR TO INSTALLATION.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY THE DEPARTMENT OF PUBLIC WORKS OF SANTA MONICA, CALIFORNIA.
  - 1. SUBMITTALS:** THE CONTRACTOR SHALL FOLLOW THE PLANS AND WILL NOT SUBSTITUTE SPECIFIED PRODUCTS, BUILDING MATERIALS OR PLANTS UNLESS APPROVED BY LANDSCAPE ARCHITECT/OWNER. ALL PROPOSED SUBSTITUTIONS SHALL BE DESCRIBED AND DOCUMENTED IN SUBMITTALS BY THE CONTRACTOR, AND SUBMITTED TO THE LANDSCAPE ARCHITECT/OWNER 2 WEEKS PRIOR TO INSTALLATION.
  - 2. PERMITS AND INSPECTIONS:** THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS. DELIVER ALL PERMITS AND CERTIFICATES OF INSPECTION TO BUILDING & SAFETY CITY OF SANTA MONICA.
  - 3. PROTECTION OF EXISTING FEATURES:** STRUCTURES, STREETS, SIDEWALK, TREES, ALL HARDSCAPE, UTILITIES TO REMAIN AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
    - 4.1. ALL WORK REQUIRED BY CONTRACT ADMINISTRATION THROUGH ITS FINAL INSPECTION HAS SATISFACTORILY BEEN ACCOMPLISHED.
    - 4.2. THE DEPARTMENT OF BUILDING AND SAFETY HAS SIGNED OFF THE FINAL INSPECTION APPROVAL AT THE BOTTOM OF THE JOB INSPECTION CARD, (IF REQUIRED)
    - 4.3. THE CONTRACTOR HAS MADE ALL PAYMENTS TO SUBCONTRACTORS AND MATERIAL SUPPLIERS AND NO LIENS EXIST.
  - 4. ACCEPTANCE OF COMPLETED PROJECT:** THE PROJECT SHALL BE ACCEPTED AS COMPLETE WHEN THE FOLLOWING CONDITIONS HAVE BEEN MET:
    1. DEMOLITION WORK
    2. RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL OR SUPPORTING A SURCHARGE.
    3. EACH SEPARATE STRUCTURE
    4. FENCES GREATER THAN SIX (6) FEET HIGH
- ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. FAILURE TO DO SO WILL PLACE RESPONSIBILITY ON THE CONTRACTOR FOR CORRECTION.
- THE CONTRACTOR SHALL VERIFY ON SITE, ALL DIMENSIONS AND LOCATION OF ANY UNDERGROUND UTILITY.
- A SEPARATE APPLICATION AND PERMIT(S) IS/ARE REQUIRED FOR:
  1. DEMOLITION WORK
  2. RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL OR SUPPORTING A SURCHARGE.
  3. EACH SEPARATE STRUCTURE
  4. FENCES GREATER THAN SIX (6) FEET HIGH

\*\*PURSUANT TO SMMC SECTION 8.108.080, THE CITY'S STANDARD LANDSCAPE AND WATER CONVERSATION REQUIREMENTS DO NOT APPLY TO THIS PARCEL BECAUSE IT IS AN OFFICIALLY-DESIGNATED LANDMARK PARCEL.

BUILDING SUMMARY

LOCATION:  
1707 CLOVERFIELD, SANTA MONICA, CALIFORNIA 90404

PROPOSED PROJECT:  
4 STORY MULTI-FAMILY RESIDENTIAL APARTMENTS OVER GROUND LEVEL PARKING AND RETAIL SPACE OVER 2 STORIES OF SUBTERRANEAN PARKING; 5 STORIES TOTAL.

LOT AREA:  
74,065 SF, 1.70 ACRES

LEGAL DESCRIPTION:  
THAT PORTION OF LOT 1 IN BLOCK 30 OF ERKENBRECHER SYNDICATE SANTA MONICA TRACT, IN THE CITY OF SANTA MONICA COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGES 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING WESTERLY OF A LINE BEARING NORTH 45 DEGREES 15 MINUTES EAST FROM A POINT IN THE SOUTHERLY LINE OF SAID LOT, DISTANT NORTH 44 DEGREES 45 MINUTES WEST 434.33 FEET FROM THE MOST SOUTHERLY CORNER OF LOT 2 IN SAID BLOCK

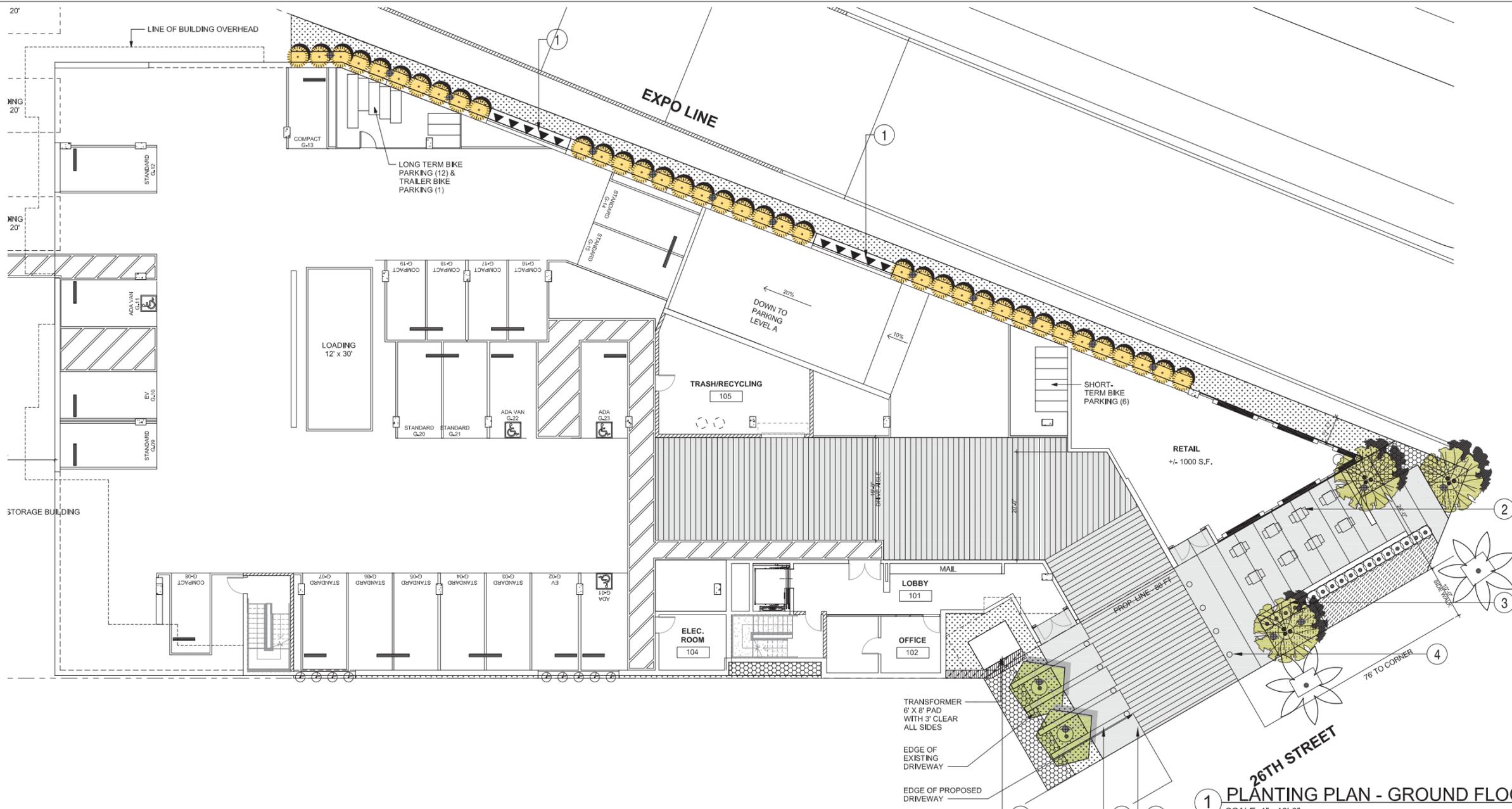
APN:  
4268-014-013

ZONE: BERGAMOT TRANSIT VILLAGE (BTV)

OCCUPANCY TYPE: R-2 RESIDENTIAL, M RETAIL, S-2 PARKING

SHEET INDEX

- LT-0 COVER SHEET
- LP-1 PLANTING PLAN - GROUND FLOOR
- LP-2 PLANTING PLAN - SECOND FLOOR
- LP-3 PLANTING PLAN - FIFTH FLOOR
- LP-4 PLANTING PLAN - ROOF DECK
- LP-5 PLANTING DETAILS
- LD-1 CABANA DETAILS
- LE-1 LANDSCAPE ELEVATIONS - @2 YEARS MATURITY
- LE-2 LANDSCAPE ELEVATIONS - @2 YEARS MATURITY
- LE-3 LANDSCAPE ELEVATIONS - @PLANTING
- LE-4 LANDSCAPE ELEVATIONS - @PLANTING
- LI-1 IRRIGATION PLAN - GROUND FLOOR
- L-2 IRRIGATION PLAN - SECOND FLOOR
- LI-3 IRRIGATION PLAN - FIFTH FLOOR
- LI-4 IRRIGATION PLAN - ROOF DECK
- LI-5 IRRIGATION DETAILS



**KEYNOTES**  
1. GREEN SCREEN



- 2. OUTDOOR DINING TABLE & CHAIRS
- 3. CONC. SEATING WALL
- 4. BOLLARD LIGHT - FGP PATH LIGHT  
[www.landscapeforms.com](http://www.landscapeforms.com)



- 5. CONCRETE PAVING
- 6. CONCRETE BANDING
- 7. TRANSFORMER

**LIGHTING LEGENDS**

TREE UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.voltlighting.com/>



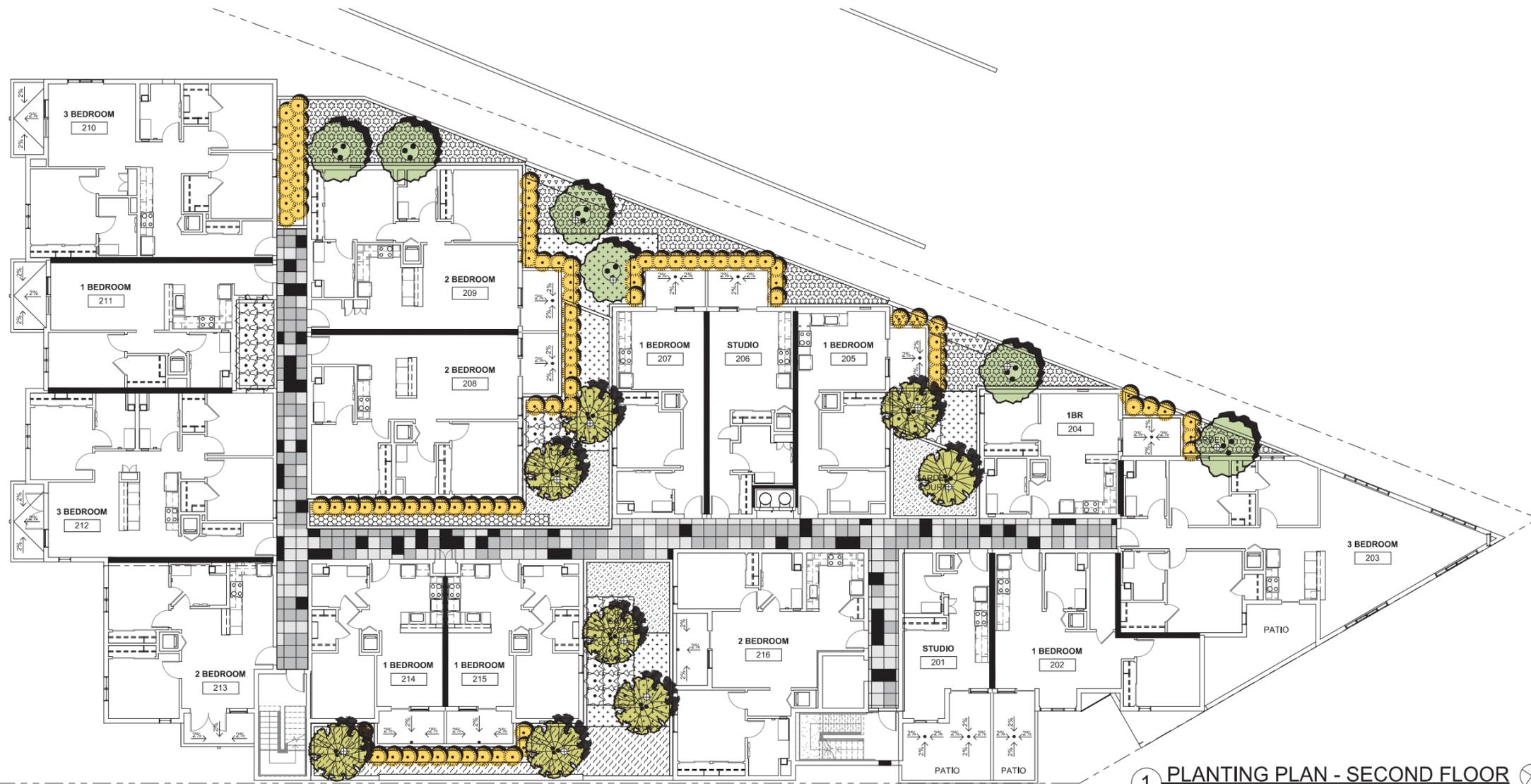
**1 PLANTING PLAN - GROUND FLOOR**  
SCALE: 1"= 10'-0"

**PLANTING LEGEND**

TREES	SIZE & QUAN.	IG	PLANT FACTOR	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY
TPUANA TPU TREE	24" BOX/ 2 EA.	1	M/ 0.5	TREE	8'-9" HT. & 3'-4" W.	20'-35" HT. & 25'-40" W.
GINKGO BILBOA MAIDENHAIR TREE	24" BOX/ 3 EA.	1	M/ 0.5	TREE	6'-8" HT. & 2'-3" W.	30'-50" HT. & 20'-30" W.
BAMBUSA OLDHAMII GIANT TIMBER BAMBOO	15 GAL./ 37 EA.	1	M/ 0.5	TREE	6'-8" HT. & 2'-3" W.	15'-35" HT. & 10'-15" W.
EXISTING STREET TREE (DATE PALM) TO REMAIN						

SHRUB & GROUND COVER	SIZE & QUAN.	IG	PLANT FACTOR	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY
ANIGOZANTHOS 'BIG RED' RED KANGAROO PAW	5 GAL./ 18 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	14"-30" HT. & 10"-14" W.	5'-6" HT. & 2' W.
DODONAEA VISCOSA HOPBUSH (MAINTAIN 42" HT. MAXIMUM IN THE FRONTYARD SETBACK PER CITY OF SANTA MONICA REQUIREMENT)	5 GAL.@24" O.C./ 7 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	3'-4" HT. & 1'-2" W.	8'-12" HT. & 8'-12" W.
MUHLENBERGIA CAPILLARIS 'REAL MIST' PINK MUHLY	5 GAL.@ 24" O.C./ 65 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	12"-16" HT. & 10"-12" W.	3' HT. & 3' W.
SALVIA GREGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	5 GAL.@ 24" O.C./ 34 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	12"-14" HT. & 12"-14" W.	2'-4" HT. & 2'-3" W.
ARMERIA MARITIMA COMMON SEATHRIFT	1 GAL.@ 12" O.C./ 77 EA.	2	L/ 0.3	DESERT ADAPTED GROUND COVER	1'-2" HT. & 6" W.	1.5'-1' HT. & 1' W.
LIPPIA HYBRID 'KURAPIA' AVAILABLE FROM WEST COAST TURF	SOD/ 245 SF.	2	L/ 0.3	DESERT ADAPTED GROUND COVER	1'-2" HT. & 4" W.	2'-3" HT. & 20" W.
VINE	SIZE & QUAN.	IG	PLANT FACTOR	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY
TRACHELOSPERMUM JASMINOIDES STAR JASMINE	5 GAL./ 10 EA. (ESPALEE)	1	M/ 0.5	VINE	3' HT. & 3' W.	10'-12' HT. & 5'-8' W.
BOUGAINVILLEA 'CALIFORNIA GOLD' CALIFORNIA GOLD BOUGAINVILLEA	5 GAL./ 9 EA. (ESPALEE)	2	L/ 0.3	DESERT ADAPTED GROUND COVER	3' HT. & 3' W.	12'-15' HT. & 5'-10" W.





1 PLANTING PLAN - SECOND FLOOR  
SCALE: 1"= 10'-0"

**PLANTING LEGEND**

TREES	SIZE & QUAN.	IG	PLANT FACTOR	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY
GINKGO BILBOA MAIDENHAIR TREE	24" BOX/ 8 EA.	1	M/0.5	TREE	6'-8" HT. & 2'-3" W.	30'-50' HT. & 20'-30' W.
MELALEUCA QUINQUENERVIA CAJEPUT TREE	24" BOX/ 6 EA.	1	M/0.5	TREE	7'-8" HT. & 2'-3" W.	20'-30' HT. & 15'-25' W.
BAMBUSA MULTIPLEX 'ALPHONSE KARR' ALPHONSE KARR BAMBOO	15 GAL./ 93 EA.	1	M/0.5	TREE	4'-6" HT. & 1.5'-2" W.	15'-25' HT. & 10'-15' W.
SHRUB & GROUND COVER	SIZE & QUAN.	IG	PLANT FACTOR	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY
AGAVE ANGUSTIFOLIA 'MARGINATA' CARIBBEAN AGAVE	5 GAL./ 52 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	14"-30" HT. & 10"-14" W.	5'-6" HT. & 2' W.
MUHLENBERGIA CAPILLARIS 'REGAL MIST' PINK MUHLY	5 GAL. @ 24" O.C./ 73 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	12"-16" HT. & 10"-12" W.	3' HT. & 3' W.
LOMANDRA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	5 GAL. @ 24" O.C./ 159 EA.	2	L/ 0.3	DESERT ADAPTED GROUNDCOVER	1'-2" HT. & 1'-2" W.	2'-3" HT. & 2'-4" W.
SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	5 GAL. @ 24" O.C./ 96 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	12"-14" HT. & 12"-14" W.	2'-4" HT. & 2'-3" W.
DIANELLA REVOLUTA 'ALLYN-CITATION' COOLVISTA DIANELLA	5 GAL. @ 24" O.C./ 109 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	10"-12" HT. & 6"-8" W.	18"-24" HT. & 18"-24" W.
ARMERIA MARITIMA COMMON SEATHRIFT	1 GAL. @ 12" O.C./ 77 EA.	2	L/ 0.3	DESERT ADAPTED GROUNDCOVER	1'-2" HT. & 6" W.	1.5'-1" HT. & 1' W.
ROSMARINUS OFFICINALIS TRAILING ROSEMARY	1 GAL. @ 12" O.C./ 69 EA.	2	L/ 0.3	DESERT ADAPTED GROUNDCOVER	4'-6" HT. & 6"-8" W.	1'-2" HT. & 4'-6" W.

**LIGHTING LEGENDS**

TREE UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.vollighting.com/>



- KEYNOTES**
1. SCREENING SHRUBS
  2. LEMON TREE IN B2G INC SQUARE POT



3. MODULAR GREEN ROOF
4. FIBERGLASS PLANTER BACK2GARDEN.COM



5. SHADE STRUCTURE W/ MOVABLE FABRIC



6. LOUNGE SEATING AREA



7. BBQ W/ ADA ACCESS



8. 24" X 24" PEDESTAL PAVERS

9. FIRE PIT W/ SEATING

10. BUILT IN BENCH W/ DINNING TABLE

**LIGHTING LEGENDS**



- TREE UPLIGHT  
 VOLT ALL STAR CAST BRASS SPOTLIGHT  
 VAL-2000-4-BBZ  
<https://www.vollighting.com/>



- SINGLE PATH LIGHT  
 VOLT ELEVATOR CAST BRASS PATH LIGHT  
 VPL-3024-4-BBZ  
<https://www.vollighting.com/>



**1 PLANTING PLAN - FIFTH FLOOR**  
 SCALE: 1"= 10'-0"

**PLANTING LEGEND**

**TREES**



CITRUS LEMON  
 'MEYER IMPROVED'  
 IMPROVED MEYER LEMON

SIZE & QUAN.	IG	PLANT FACTOR	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY
24" BOX/ 3 EA.	1	M/ 0.5	TREE	5.5'-6" HT. & 3'-3.5" W.	8'-12" HT. & 6'-8" W.



LAURUS NOBILIS  
 SWEET BAY

15 GAL./ 17 EA.	1	L/ 0.3	DESERT ADAPTED TREE	6'-7" HT. & 1'-2" W.	15'-25" HT. & 10'-15" W.
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**SHRUB & GROUND COVER**



ANIGOZANTHOS 'BIG RED'  
 BIG RED KANGAROO PAW

SIZE & QUAN.	IG	PLANT FACTOR	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY
5 GAL./ 33 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	14"-30" HT. & 10"-14" W.	5'-6" HT. & 2' W.



MUHLENBERGIA CAPILLARIS  
 'REGAL MIST'  
 PINK MUHLY

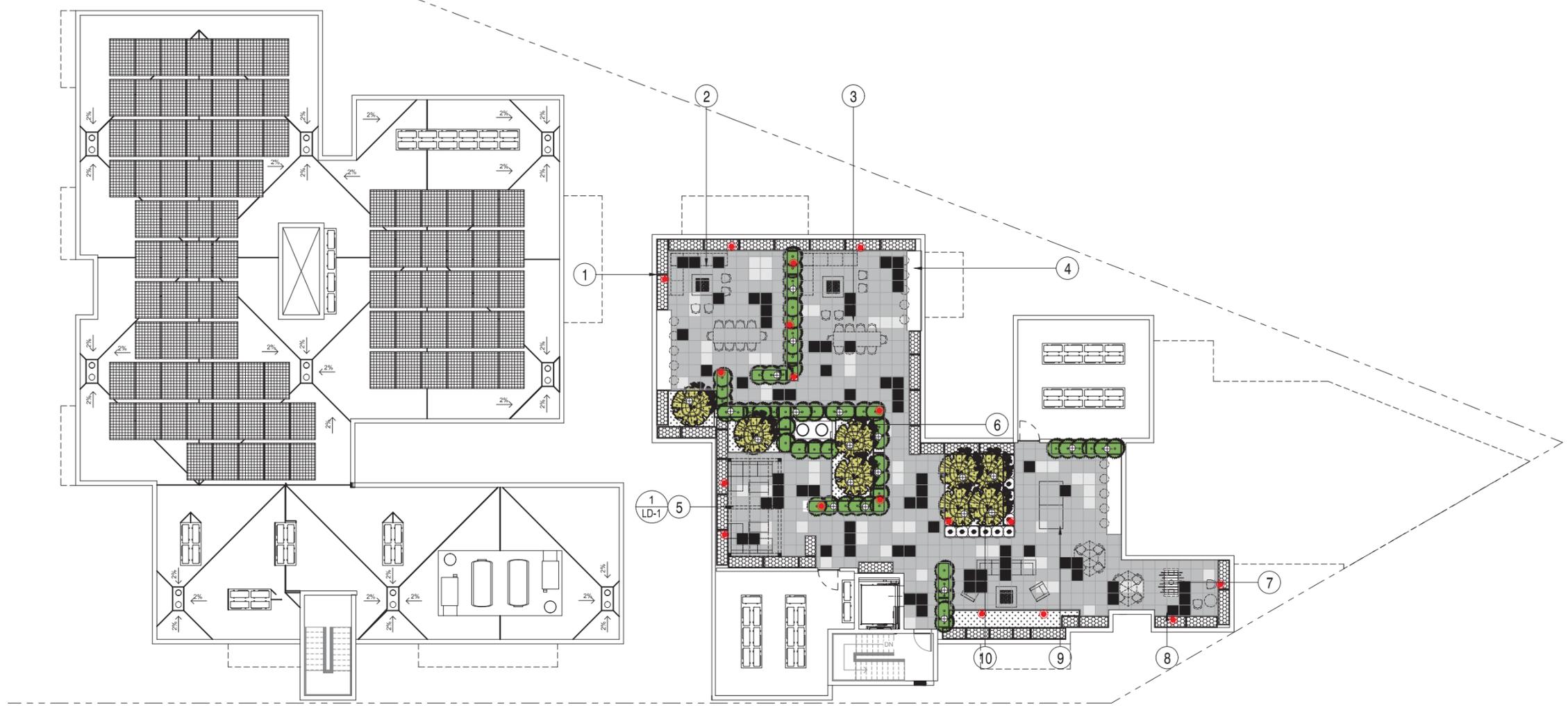
5 GAL. @ 24" O.C./ 11 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	12"-16" HT. & 10"-12" W.	3' HT. & 3' W.
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DIANELLA REVOLUTA  
 'ALLYN-CITATION'  
 COOLVISTA DIANELLA

5 GAL. @ 18" O.C./ 91 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	10"-12" HT. & 6"-8" W.	18"-24" HT. & 18"-24" W.
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**KEYNOTES**  
1. FIBERGLASS PLANTER BY B2G



2. FIREPIT W/ SEATING



3. OUTDOOR DINING TABLE & CHAIRS  
4. BAR SEATING

5. METAL TRELIS/ CABANA  
6. LIVE ROOF SYSTEM W/ ALUMINIUM EDGING



7. FOOSBALL TABLE



8. 24"x 24" PEDESTAL PAVER

9. PINGPONG TABLE

10. SQUARO POT



**1 PLANTING PLAN - ROOF DECK**  
SCALE: 1"= 10'-0"

PLANTING LEGEND							
TREES							
	SIZE & QUAN.	IG	PLANT FACTOR	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY	
	CITRUS LEMON 'MEYER IMPROVED' IMPROVED MEYER LEMON	24" BOX/ 8 EA.	1	M/ 0.5	TREE	5.5-6' HT. & 3-3.5' W.	8-12' HT. & 6-8' W.
	LAURUS NOBILIS SWEET BAY	15 GAL./ 60 EA.	2	L/ 0.3	DESERT ADAPTED TREE	6-7' HT. & 1'-2' W.	15-25' HT. & 10'-15' W.
SHRUB & GROUND COVER							
	SIZE & QUAN.	IG	PLANT FACTOR/ IG	PLANT CATEGORY	SIZE @ PLANTING	SIZE @ MATURITY	
	ANIGOZANTHOS 'BIG RED' BIG RED KANGAROO PAW	5 GAL./ 21 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	14"-30" HT. & 10"-14" W.	5'-6" HT. & 2' W.
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' PINK MUHLY	5 GAL./ 24" O.C./ 90 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	12"-16" HT. & 10"-12" W.	3' HT. & 3' W.
	DIANELLA REVOLUTA 'ALLYN-CITATION' COOLVISTA DIANELLA	5 GAL./ 18" O.C./ 326 EA.	2	L/ 0.3	DESERT ADAPTED SHRUB	10"-12" HT. & 6"-8" W.	18"-24" HT. & 18"-24" W.

**LIGHTING LEGENDS**

TREE UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.vollighting.com/>

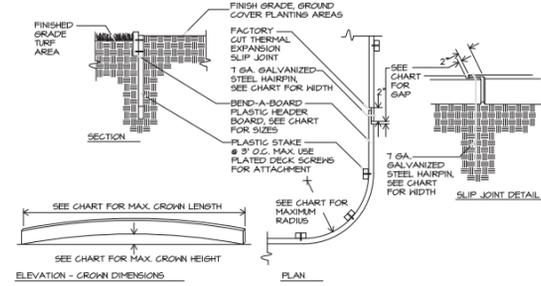


SINGLE PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ  
<https://www.vollighting.com/>



**LANDSCAPE PLANTING NOTES**

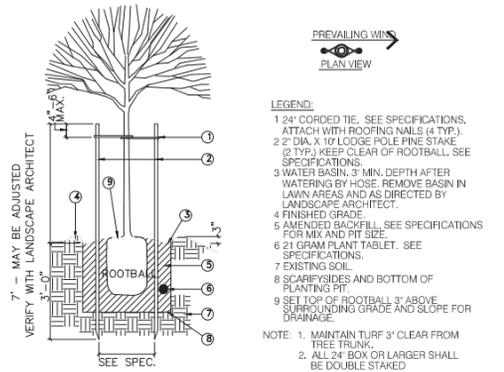
1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED BY THE LANDSCAPE DRAWINGS.
2. ANY DEVIATION FROM THE PLAN IS TO HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
3. THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND OR GRASSES (INCLUDING THE ROOTS) EXISTING IN THE PROPOSED GROUND COVER AREA.
4. THE PROPOSED GROUND COVER AREA SHALL RECEIVE THE PRE-EMERGENT HERBICIDE SURFLAN 75W PER MANUFACTURER'S INSTRUCTIONS. APPLICATION OF THIS HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.
5. ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE FINISH GRADING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. FINISH GRADING WILL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE, LOOSENING THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS OR CLODS OF 2" DIAMETER OR LARGER. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT CURBS AND SIDEWALKS.
6. ALL LANDSCAPE AREAS ARE TO RECEIVE AN EVEN APPLICATION OF 6 CUBIC YARDS OF NITROGEN MINERALIZED STABILIZED WOOD SAWDUST, 30 POUNDS OF 8N-20P-20K FERTILIZER, 10 LB. OF SOIL SULFUR FOR EACH 1,000 SQUARE FEET. THE ABOVE AMENDMENTS ARE TO BE INCORPORATED UNIFORMLY INTO THE TOP 6" OF SOIL.
7. ALL ROCK OR UNBROKEN SOIL CLODS OVER 1" IN DIAMETER BROUGHT TO THE SURFACE ARE TO BE REMOVED FROM THE SITE.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORTICULTURAL SOILS FERTILITY REPORT PRIOR TO SOIL PREPARATION AND PLANT INSTALLATION. SOIL CONDITIONING AMENDMENTS AND PLANTING BACKFILL MIXES SHALL BE IN ACCORDANCE TO SOIL AND PLANT LAB RECOMMENDATIONS. SOIL AND PLANT LAB: (714)-282-8777, 1594 N. MAIN STREET, ORANGE, CA 92667
9. GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
10. WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING.
11. MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A 3" MIN. LAYER OF 1/2" TO 3/4" REDWOOD BARK.
12. AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE TO BE REMOVED FROM THE SITE.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF THIRTY CALENDAR DAYS FROM THE DATE OF COMPLETION, ESTABLISHED BY THE OWNER OR HIS REPRESENTATIVE. ALL AREAS ARE TO BE KEPT WELL WATERED, FREE OF GRASSES AND TRASH DURING THIS MAINTENANCE PERIOD.
14. AN APPLICATION OF FERTILIZER (15% NITROGEN, 6% PHOSPHORIC, 8% POTASH) IS TO BE MADE JUST PRIOR TO THE COMPLETION OF THE MAINTENANCE PERIOD, OR AT 30 DAYS INTERVALS IF MAINTENANCE PERIOD IS GREATER THAN 30 DAYS.
15. ALL TREES, SHRUBS AND PLANT MATERIAL (OTHER THAN PLATTED MATERIAL) LESS THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 MONTH; 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS. ALL MATERIAL LARGER THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR.



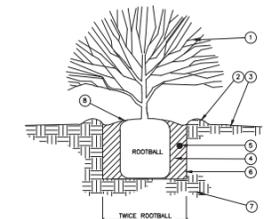
NOTES:  
 1. COLOR OPTIONS  
 BROWN (STOCK ITEM)  
 SAND (SPECIAL ORDER)  
 BLACK (SPECIAL ORDER)  
 GREY (SPECIAL ORDER)  
 2. INSTALLATION TIPS  
 -USE COARSE WOOD WORKING TOOLS FOR CUTTING AND DRILLING.  
 -USE PLATED SCREWS OR RING SHANK NAILS TO JOIN BOARDS.  
 -ALLOW FOR THERMAL EXPANSION THE SLIP BY LEAVING GAPS IN JOINTS OR AT THE END OF THE RUN.  
 -DO NOT SCREW THROUGH SLIP JOINT.  
 MANUFACTURED BY:  
 EPIC PLASTICS, 1880 GARDEN TRACT RD., RICHMOND, CA 94801  
 PH # (610) 235-9339 E: www.epicplastics.com

HERF. SIZE	ACTUAL DIMENSIONS	MAXIMUM RADIUS POSSIBLE	MAXIMUM CROWN POSSIBLE	RECOMMENDED GAP AT SLIP JOINT	SLIP JOINT HAIRPIN DIMENSIONS
1x4	3/4" x 3/4" x 20'	24"	8" / 20'	1/4" x 1/2"	3/4" ID x 13"
2x4	1 1/2" x 1 1/2" x 20'	36"	16" / 20'	1/2" x 3/4"	1 1/2" ID x 13"
1x6	1 1/2" x 3/4" x 20'	24"	8" / 20'	3/4" ID x 13"	1/2" x 3/4"
2x6	1 1/2" x 1 1/2" x 16'	36"	N/A	3/4" x 1"	N/A

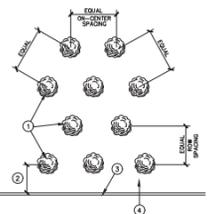
**PLASTIC EDGING** ④  
 SCALE: N.T.S.



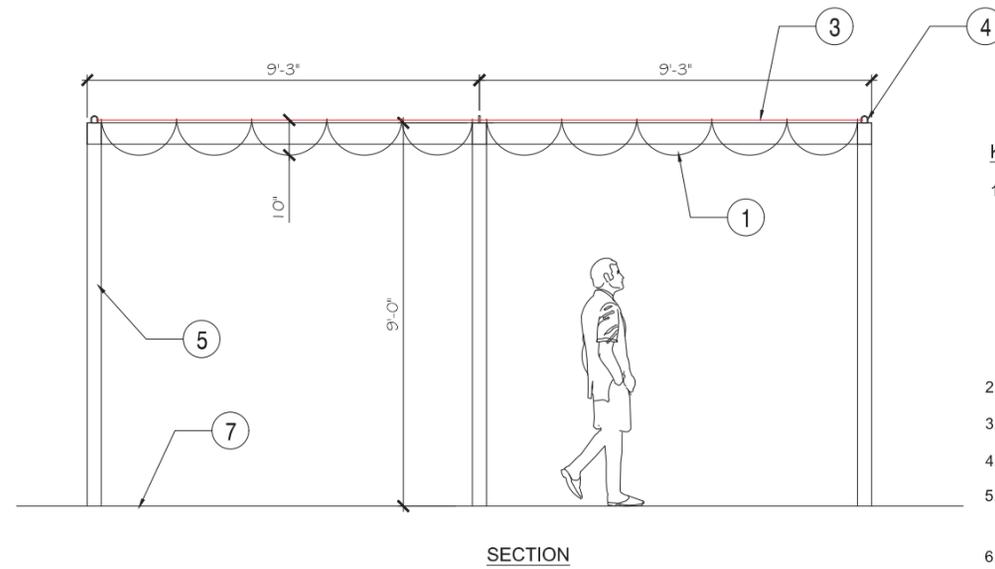
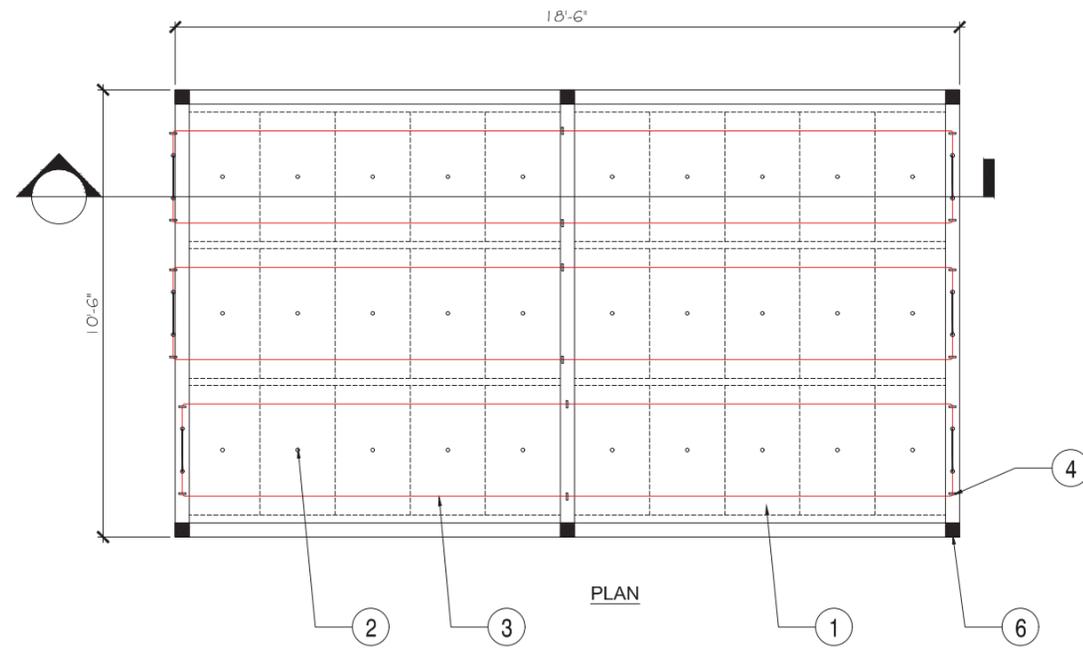
**TREE PLANTING-DOUBLE STAKING** ①  
 SCALE: N.T.S.



**SHRUB PLANTING** ②  
 SCALE: N.T.S.



**SHRUB/GROUNDCOVER SPACING** ③  
 SCALE: N.T.S.

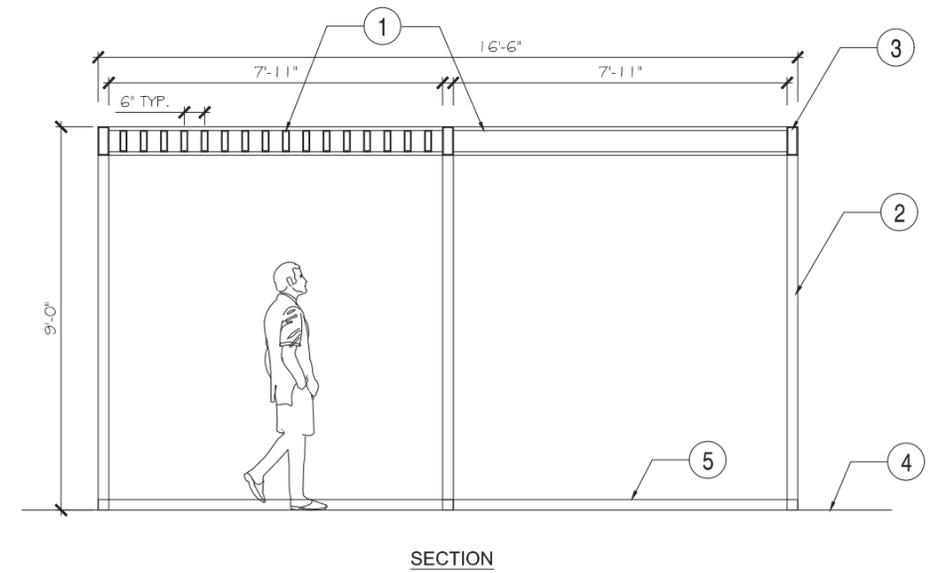
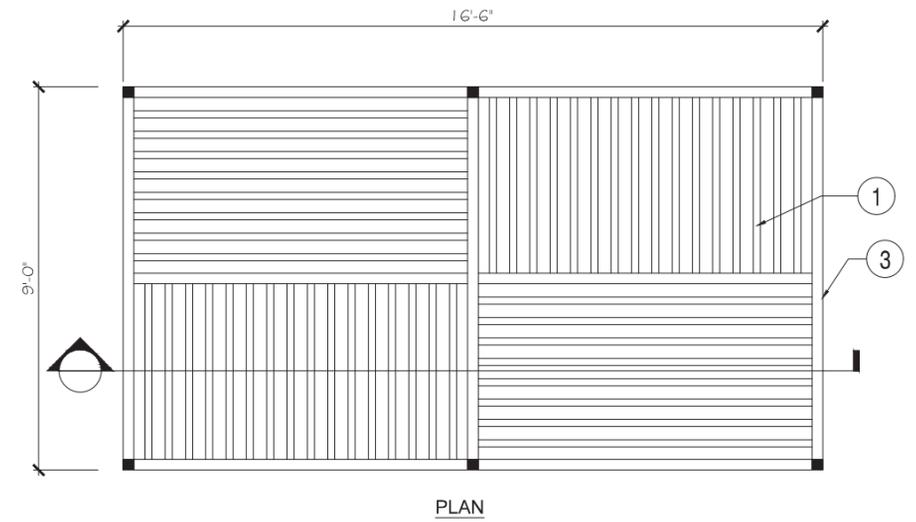


**KEYNOTES**

- 1. SUNBRELLA FABRIC  
COLOR : NATURAL 4604
- 2. DRAIN GROMMET
- 3. 3/16" S.S. TENSION CABLE
- 4. CABLE SLOT
- 5. 4" SQ. TUB. ALUMINUM POST W/  
POWDER COATED. ( COLOR TBD)
- 6. 4" X 6" TUB. ALUMINUM FRAME W/  
POWDER COATED. ( COLOR TBD)
- 7. FINISH PAVING SURFACE OVER PEDESTAL SYSTEM

NOTE: PAINT FINISH T.B.D. AND APPROVED BY OWNER  
RECOMENDATION - LIGHT GREY

**2 CABANA @ 5TH FLOOR**  
SCALE: 1/4" = 1'-0"



**KEYNOTES**

- 1. 2" x 6" GALV.TUB. STL. WELDED TO FRAME
- 2. 3" SQ. HSS POST
- 3. 3"X 8" HSS TOP FRAME
- 4. FINISH SURFACE
- 5. 3" SQ. HSS BOTTOM FRAME (3 SIDES)

**1 CABANA @ ROOF DECK**  
SCALE: 1/4" = 1'-0"



1 NORTH - LANDSCAPE ELEVATION @ 2YRS. MATURITY  
SCALE: 1"= 10'-0"



2 SOUTH - LANDSCAPE ELEVATION @ 2YRS. MATURITY  
SCALE: 1"= 10'-0"



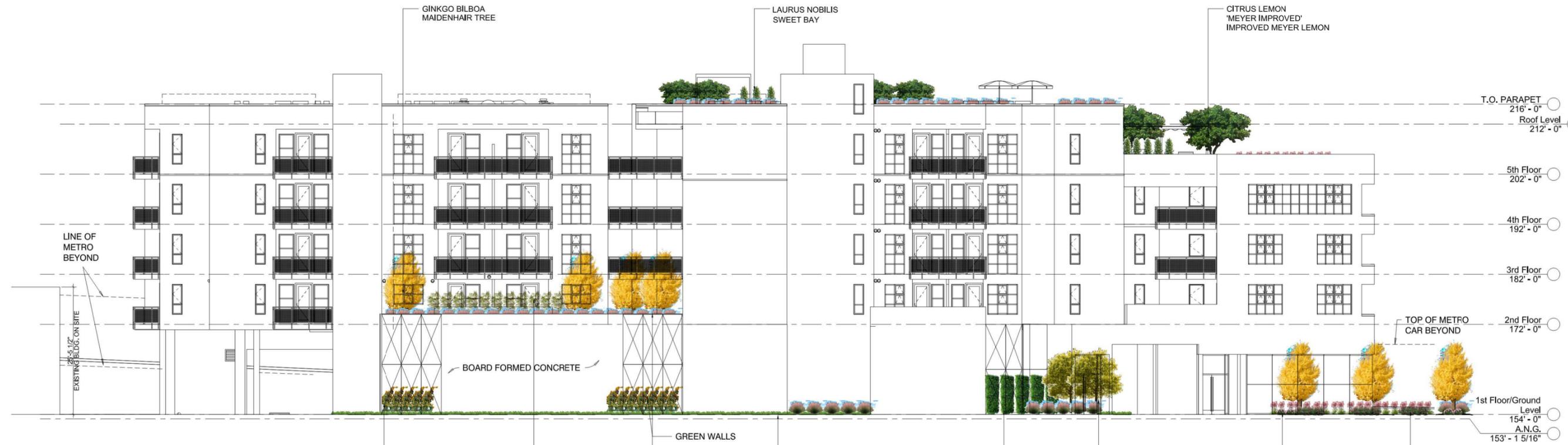
1 EAST - LANDSCAPE ELEVATION @ 2YRS. MATURITY  
SCALE: 1"= 10'-0"



2 WEST - LANDSCAPE ELEVATION @ 2YRS. MATURITY  
SCALE: 1"= 10'-0"



**1 NORTH - LANDSCAPE ELEVATION @ PLANTING**  
SCALE: 1"= 10'-0"



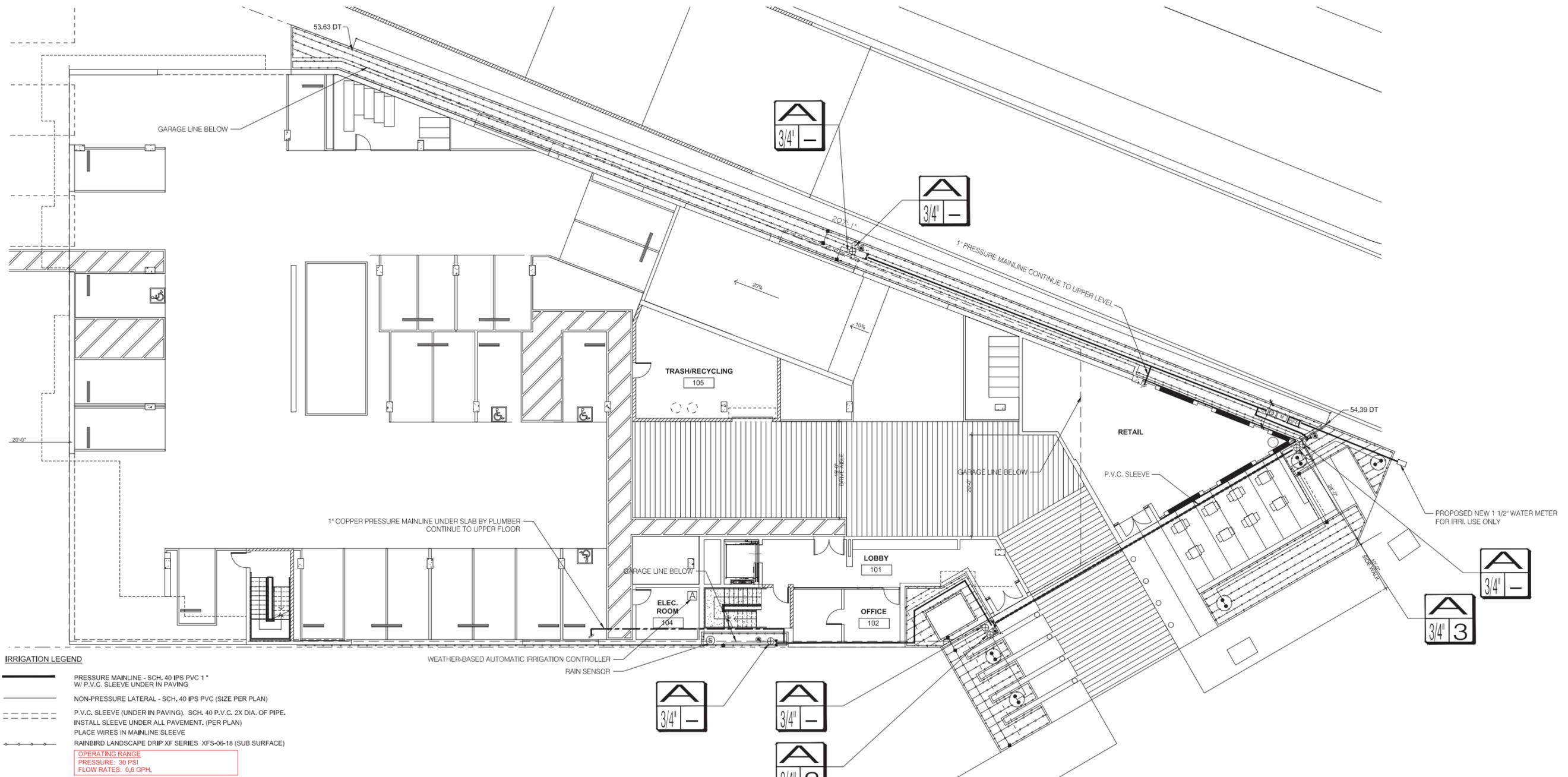
**2 SOUTH - LANDSCAPE ELEVATION @ PLANTING**  
SCALE: 1"= 10'-0"



**1 EAST - LANDSCAPE ELEVATION @ PLANTING**  
SCALE: 1"= 10'-0"



**2 WEST - LANDSCAPE ELEVATION @ PLANTING**  
SCALE: 1"= 10'-0"



- IRRIGATION LEGEND**
- PRESSURE MAINLINE - SCH. 40 IPS PVC 1" W/ P.V.C. SLEEVE UNDER IN PAVING
  - NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
  - P.V.C. SLEEVE (UNDER IN PAVING), SCH. 40 P.V.C. 2X DIA. OF PIPE. INSTALL SLEEVE UNDER ALL PAVEMENT. (PER PLAN)
  - PLACE WIRES IN MAINLINE SLEEVE
  - RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
  - OPERATING RANGE  
PRESSURE: 30 PSI  
FLOW RATES: 0.8 GPM.
  - SUB LANDSCAPE WATER METERS FM100B 1"
  - REDUCED PRESSURE BACKFLOW FEBCO 825-Y 1"
  - MASTER VALVE RAIN BIRD 1" BRASS VALVE
  - FLOW SENSOR RAIN BIRD FS100B 1" BRASS TEE FLOW SENSOR
  - GATE VALVE-1"
  - ROOT ZONE WATERING SYSTEM RAINBIRD RWS-B-C-1402 (0.5 GPM)
  - OPERATING RANGE  
PRESSURE: 30 PSI  
FLOW RATES: 0.5 GPM.
  - LOW FLOW CONTROL ZONE KITS W/ PR FILTER RAINBIRD XCZ-075-PRF
  - QUICK COUPLER VALVE - RAINBIRD 33 DR3-3/4"
  - WEATHER-BASED AUTOMATIC IRRIGATION CONTROLLER RAINBIRD ESP-SMT6 SMART CONTROL INSTALL METAL CABINET W/ ET MANAGER (PER LAMC. 4.304.1)
  - RAINBIRD - RSD SERIES RAIN SENSOR RSD-BEX (PER LAMC. 4.304.1)
  - VALVE SEQUENCE  
VALVE SIZE: 1 1/10 G.P.M.

- CONSTRUCTION NOTES**
1. WATER METER AND SERVICE LINE SHALL BE A MINIMUM SIZE OF 1".
  2. CONTRACTOR SHALL CONFIRM WATER PRESSURE PRIOR TO INSTALLING THE IRRIGATION SYSTEM. SHALL REQUEST PLAN CHANGE IF PRESSURE IS LOWER THAN THE DESIGN RATING.
  3. RIGID PIPE, COPPER TYPE "K" AND/OR BRONZE PIPE SHALL CONNECT THE BACK FLOW TO THE SERVICE LINE.
  4. CONTRACTOR SHALL CONTACT UNDERGROUND MODIFICATION SERVICE, "DIG ALERT," PRIOR TO ANY UNDERGROUND ACTIVITY AND REQUEST DRAWINGS OF THE EXISTING SITE UTILITIES.
  5. OWNER SHALL PROVIDE AN 1" GATE VALE AT THE EXISTING WATER SERVICE FOR THE IRRIGATION MAINLINE POINT OF CONNECTION (P.O.C.).
  6. OWNER SHALL PROVIDE 120 VOLT ELECTRICAL POWER OUTLET AT THE IRRIGATION CONTROLLER LOCATION. CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTION TO THE CONTROLLER.
  7. CONTRACTOR SHALL ADHERE TO ALL CAL OSHA REQUIREMENTS, AND PROTECT THE PUBLIC FROM HIS CONSTRUCTION ACTIVITIES.
  8. ALL WORK SHALL COMPLY WITH THE LATEST UNIFORM PLUMBING CODES AS WELL AS LOCAL ORDINANCES.
  9. CONTRACTOR SHALL PULL ALL WIRES THROUGH CONDUIT FROM STREET LEVEL TO PODIUM LEVEL.
  10. ALL CONDUITS SHALL BE COORDINATED WITH GENERAL CONTRACTOR
  11. SUBSLAB COPPER PIPES SHALL BE PROVIDED BY PLUMBING CONTRACTOR W/STUB OUT AT PLANTERS.
  12. ELECTRICAL CONDUITS FOR CONTROL WIRES TO CONTROLLERS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
  13. LANDSCAPE CONTRACTOR SHALL PULL WIRES THROUGH EXISTING CONDUIT FROM CONTROLLER LOCATION TO EACH REMOTE CONTROL VALVE ABOVE SLAB.
  14. CONTRACTOR SHALL COORDINATE ALL UNDER SLAB WORK WITH GENERAL CONTRACTOR PRIOR TO COMMENCING ANY WORK

- IRRIGATION NOTES**
1. IRRIGATION PLAN IS DIAGRAMATIC. ALL PIPING AND IRRIGATION IMPROVEMENTS SHALL BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
  2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE FIELD CONDITIONS ARE OBVIOUS, THAT OBSTRUCTIONS, GRADE DIFFERENCE AND AREA DIMENSIONS ARE NOT ACCURATE. SUCH DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
  3. VALVE BOXES SHALL BE LOCATED 12" FROM THE EDGE OF CURB, WALKWAYS AND VALVE BOXES SHALL BE A MINIMUM OF 12" APART.
  4. PROVIDE MINIMUM 18" COVER FROM FINISH GRADE TO TOP OF PIPE, PRESSURE PIPE (MAINLINE), AND 12" COVER FOR NON PRESSURE PIPE, LATERAL LINE.
  5. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON TO WALKS, ROADS, AND/OR BUILDINGS INCLUDING SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
  6. CONTROL WIRES SHALL BE BUNDLED WITH ELECTRICAL TAPE AT 10 FT. ON CNETER AND BURIED BENEATH THE MAINLINE.
  7. WIRE CONNECTIONS, ALL SPLICES SHALL BE MADE WITH PENTILE ON EQUAL WIRE CONNECTORS IN VALVE BOXES ONLY.
  8. ROUTE ONE EXTRA WIRE WITH A COLOR DIFFERENT THAN THE CONTROL AND COMMON WIRES. ALL WIRE RUN TO FOLLOW MAINLINE.
  9. TRENCHES SHALL BE COMPACTED AND/ OR JETTED TO PREVENT SETTLEMENT.
  10. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE:
    - A. PRESSURE TEST MAINLINE UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A MINIMUM OF 2 HOURS. CONTRACTOR MAY CENTER-LOAD PIPE WITH BACKFILL TO PREVENT ARCHING OR SLIPPING OF PIPE. ALL JOINTS SHALL REMAIN EXPOSED FOR INSPECTION.
    - B. COVERAGE TEST, SHALL BE PERFORMED TO DETERMINE IF THE COVERAGE IS COMPLETE AND ADEQUATE.
  11. CONTRACTOR SHALL GUARANTEE WORK AGAINST DEFECTIVE INSTALLATION AND FAULTY PARTS FOR PERIOD OF 12 MONTHS.

**1 IRRIGATION PLAN - GROUND FLOOR**  
SCALE: 1"= 10'-0"

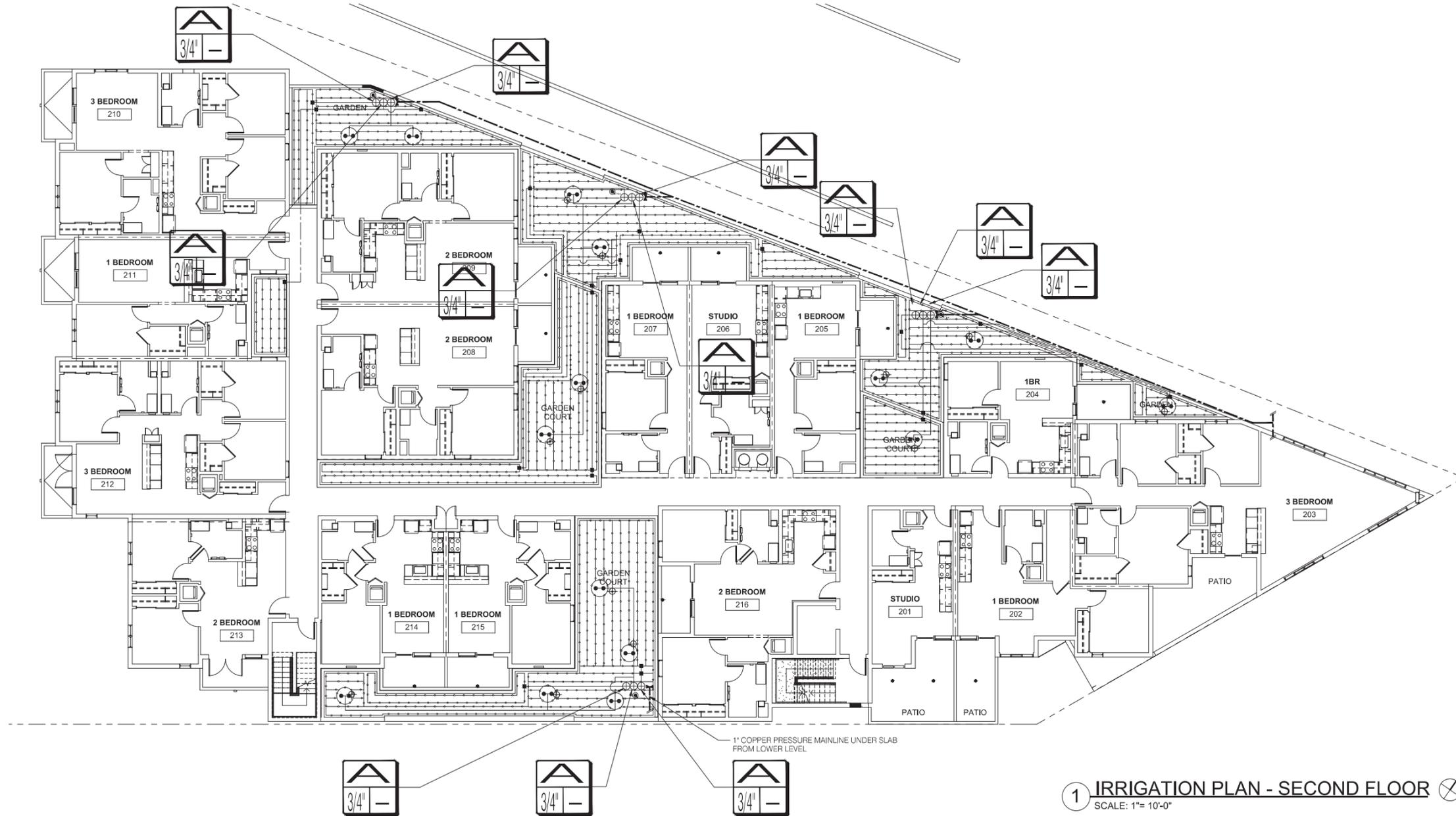
1. THE IRRIGATION SYSTEM MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
2. THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION TO CHECK FOR ADHERENCE TO THE DESIGN, INCLUDING THE PROPER INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY, MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS, AND SENSORS AND SHOULD ASSURE THAT THE INTENT OF THE IRRIGATION DESIGN HAS BEEN PRESERVED.

**NOTES:**

- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

AVAILABLE STATIC WATER PRESSURE: LOW 75, HIGH 85 @ POINT OF CONNECTION

SITE AVERAGE SLOPE: 0.4%



1 IRRIGATION PLAN - SECOND FLOOR  
SCALE: 1"= 10'-0"

**IRRIGATION LEGEND**

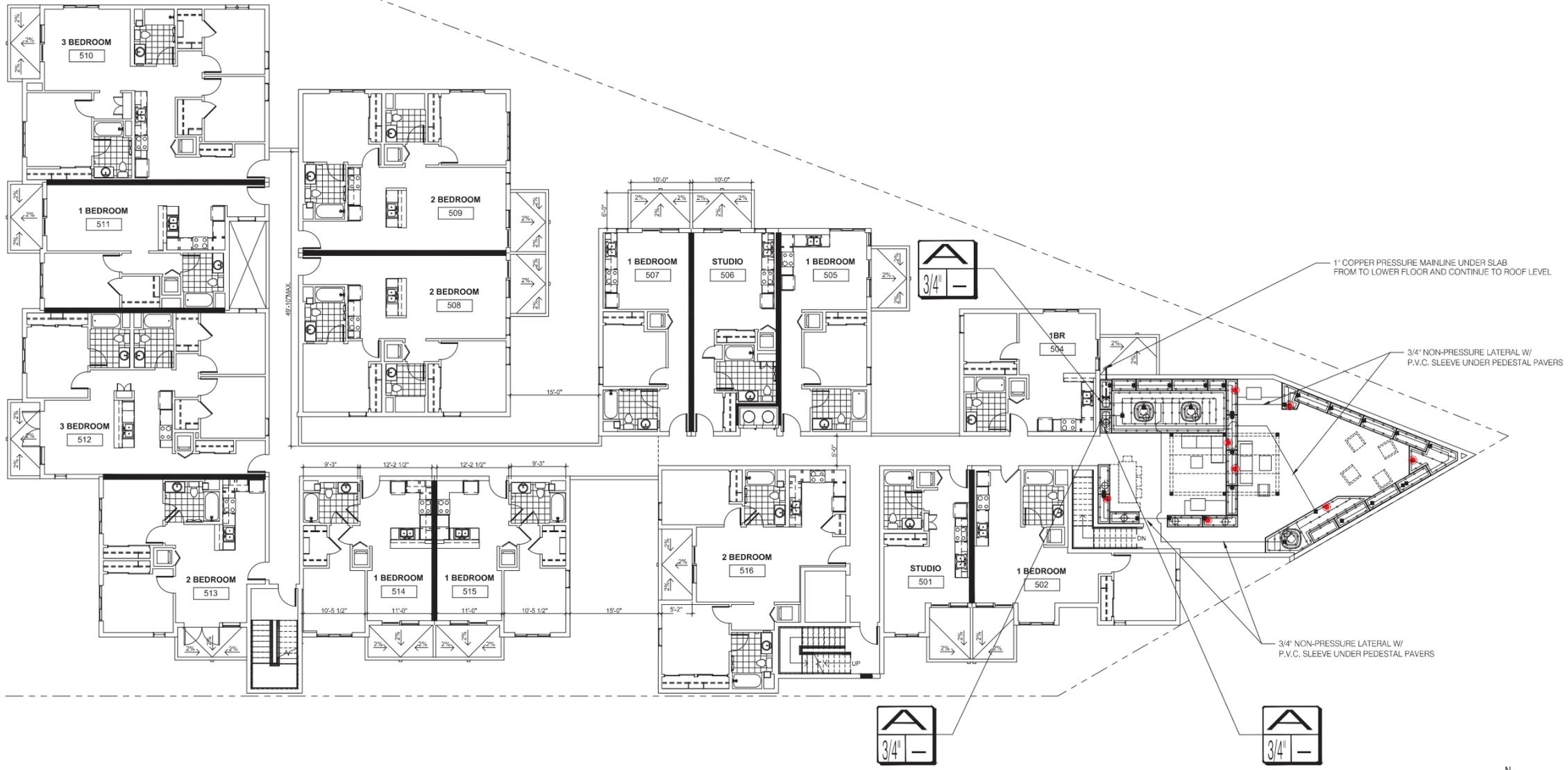
- 1" COPPER PRESSURE MAINLINE UNDER SLAB BY PLUMBER
- - - COPPER PIPE UNDER SLAB BY PLUMBER (SIZE PER PLAN)
- RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
- OPERATING RANGE  
PRESSURE: 30 PSI  
FLOW RATES: 0.8 GPH.
- ⊘ GATE VALVE-1"
- ⊕ LOW FLOW CONTROL ZONE KITS W/ PR FILTER  
RAINBIRD XCZ-075-PRF
- ⊙ QUICK COUPLER VALVE - RAINBIRD 33 DRC-3/4"

A-1	VALVE SEQUENCE
1" 10	G.P.M.

**IRRIGATION NOTES**

1. IRRIGATION PLAN IS DIAGRAMATIC. ALL PIPING AND IRRIGATION IMPROVEMENTS SHALL BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE FIELD CONDITIONS ARE OBVIOUS, THAT OBSTRUCTIONS, GRADE DIFFERENCE AND AREA DIMENSIONS ARE NOT ACCURATE. SUCH DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
3. VALVE BOXES SHALL BE LOCATED 12" FROM THE EDGE OF CURB, WALKWAYS AND VALVE BOXES SHALL BE A MINIMUM OF 12" APART.
4. PROVIDE MINIMUM 18" COVER FROM FINISH GRADE TO TOP OF PIPE, PRESSURE PIPE (MAINLINE), AND 12" COVER FOR NON PRESSURE PIPE, LATERAL LINE.
5. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON TO WALKS, ROADS, AND/OR BUILDINGS INCLUDING SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
6. CONTROL WIRES SHALL BE BUNDLED WITH ELECTRICAL TAPE AT 10 FT. ON CNETER AND BURIED BENEATH THE MAINLINE.
7. WIRE CONNECTIONS, ALL SPLICES SHALL BE MADE WITH PENTILE ON EQUAL WIRE CONNECTORS IN VALVE BOXES ONLY.
8. ROUTE ONE EXTRA WIRE WITH A COLOR DIFFERENT THAN THE CONTROL AND COMMON WIRES. ALL WIRE RUN TO FOLLOW MAINLINE.
9. TRENCHES SHALL BE COMPACTED AND/ OR JETTED TO PREVENT SETTLEMENT.
10. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE:
  - A. PRESSURE TEST MAINLINE UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A MINIMUM OF 2 HOURS. CONTRACTOR MAY CENTER-LOAD PIPE WITH BACKFILL TO PREVENT ARCHING OR SLIPPING OF PIPE. ALL JOINTS SHALL REMAIN EXPOSED FOR INSPECTION.
  - B. COVERAGE TEST, SHALL BE PERFORMED TO DETERMINE IF THE COVERAGE IS COMPLETE AND ADEQUATE.
11. CONTRACTOR SHALL GUARANTEE WORK AGAINST DEFECTIVE INSTALLATION AND FAULTY PARTS FOR PERIOD OF 12 MONTHS.

NOTES:  
 --PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.  
 --CHECK VALVES OR ANTIDRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.



**1 IRRIGATION PLAN - FIFTH FLOOR**  
 SCALE: 1"= 10'-0"

**IRRIGATION LEGEND**

	PRESSURE MAINLINE - SCH. 40 IPS PVC 1" W/ P.V.C. SLEEVE UNDER IN PAVING
	NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
	RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
	OPERATING RANGE PRESSURE: 30 PSI FLOW RATES: 0.6 GPH.
	GATE VALVE-1"
	LOW FLOW CONTROL ZONE KITS W/ PR FILTER RAINBIRD XCZ-075-PRF
	QUICK COUPLER VALVE - RAINBIRD 33 DRC-3/4"
	VALVE SEQUENCE
	G.P.M.

- IRRIGATION NOTES**
- IRRIGATION PLAN IS DIAGRAMATIC. ALL PIPING AND IRRIGATION IMPROVEMENTS SHALL BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
  - DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE FIELD CONDITIONS ARE OBVIOUS, THAT OBSTRUCTIONS, GRADE DIFFERENCE AND AREA DIMENSIONS ARE NOT ACCURATE. SUCH DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
  - VALVE BOXES SHALL BE LOCATED 12" FROM THE EDGE OF CURB, WALKWAYS AND VALVE BOXES SHALL BE A MINIMUM OF 12" APART.
  - PROVIDE MINIMUM 18" COVER FROM FINISH GRADE TO TOP OF PIPE, PRESSURE PIPE (MAINLINE), AND 12" COVER FOR NON PRESSURE PIPE, LATERAL LINE.
  - ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON TO WALKS, ROADS, AND/OR BUILDINGS INCLUDING SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
  - CONTROL WIRES SHALL BE BUNDLED WITH ELECTRICAL TAPE AT 10 FT. ON CNETER AND BURIED BENEATH THE MAINLINE.
  - WIRE CONNECTIONS, ALL SPLICES SHALL BE MADE WITH PENTILE ON EQUAL WIRE CONNECTORS IN VALVE BOXES ONLY.
  - ROUTE ONE EXTRA WIRE WITH A COLOR DIFFERENT THAN THE CONTROL AND COMMON WIRES. ALL WIRE RUN TO FOLLOW MAINLINE.
  - TRENCHES SHALL BE COMPACTED AND/ OR JETTED TO PREVENT SETTLEMENT.
  - IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE:
    - PRESSURE TEST MAINLINE UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A MINIMUM OF 2 HOURS. CONTRACTOR MAY CENTER-LOAD PIPE WITH BACKFILL TO PREVENT ARCHING OR SLIPPING OF PIPE. ALL JOINTS SHALL REMAIN EXPOSED FOR INSPECTION.
    - COVERAGE TEST, SHALL BE PERFORMED TO DETERMINE IF THE COVERAGE IS COMPLETE AND ADEQUATE.
  - CONTRACTOR SHALL GUARANTEE WORK AGAINST DEFECTIVE INSTALLATION AND FAULTY PARTS FOR PERIOD OF 12 MONTHS.

**NOTES:**  
 --PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.  
 --CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.\*



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 Landscape Architects  
 2669 SATURN STREET  
 9024 CA, 90201  
 www.sqilainc.com

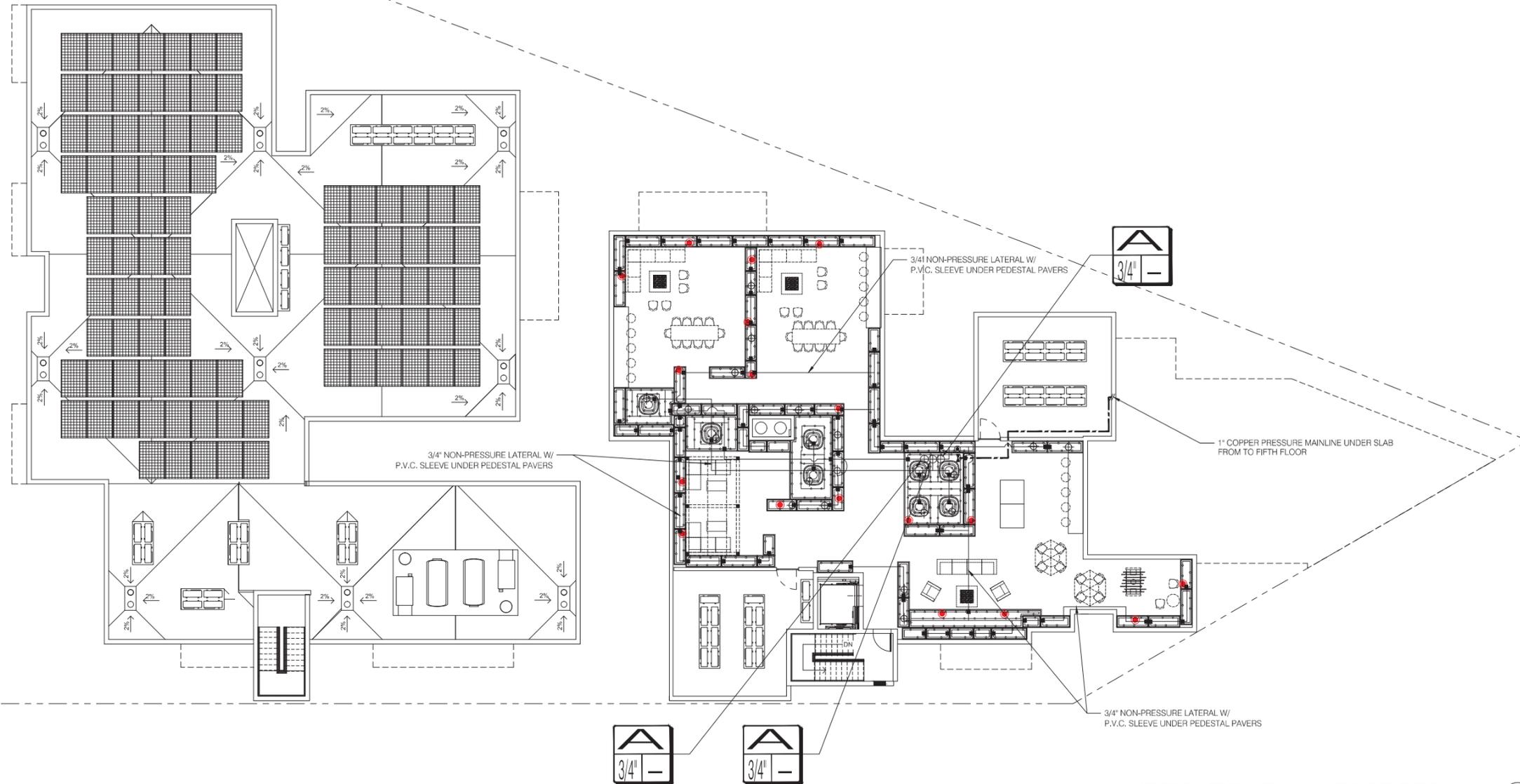


**1707 Cloverfield**  
 1707 Cloverfield Blvd, Santa Monica, CA 90404

**Architectural Review Board**  
 TBD

**Project #**  
 21792

IRRIGATION PLAN - FIFTH FLOOR  
 SCALE: AS SHOWN



**1 IRRIGATION PLAN - ROOF DECK**  
SCALE: 1"= 10'-0"

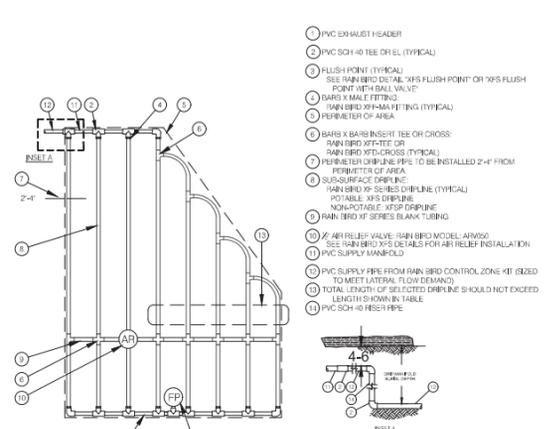
**IRRIGATION LEGEND**

-  PRESSURE MAINLINE - SCH. 40 IPS PVC 1" W/ P.V.C. SLEEVE UNDER IN PAVING
-  NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
-  RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
- OPERATING RANGE**  
PRESSURE: 30 PSI  
FLOW RATES: 0.6 GPH.
-  GATE VALVE-1"
-  LOW FLOW CONTROL ZONE KITS W/ PR FILTER RAINBIRD XCZ-075-PRF
-  QUICK COUPLER VALVE - RAINBIRD 33 DRC-3/4"
-  VALVE SEQUENCE  
VALVE SIZE: 1" G.P.M.

**IRRIGATION NOTES**

1. IRRIGATION PLAN IS DIAGRAMATIC. ALL PIPING AND IRRIGATION IMPROVEMENTS SHALL BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE FIELD CONDITIONS ARE OBVIOUS, THAT OBSTRUCTIONS, GRADE DIFFERENCE AND AREA DIMENSIONS ARE NOT ACCURATE. SUCH DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
3. VALVE BOXES SHALL BE LOCATED 12" FROM THE EDGE OF CURB, WALKWAYS AND VALVE BOXES SHALL BE A MINIMUM OF 12" APART.
4. PROVIDE MINIMUM 18" COVER FROM FINISH GRADE TO TOP OF PIPE, PRESSURE PIPE (MAINLINE), AND 12" COVER FOR NON PRESSURE PIPE, LATERAL LINE.
5. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON TO WALKS, ROADS, AND/OR BUILDINGS INCLUDING SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
6. CONTROL WIRES SHALL BE BUNDLED WITH ELECTRICAL TAPE AT 10 FT. ON CNETER AND BURIED BENEATH THE MAINLINE.
7. WIRE CONNECTIONS, ALL SPLICES SHALL BE MADE WITH PENTILE ON EQUAL WIRE CONNECTORS IN VALVE BOXES ONLY.
8. ROUTE ONE EXTRA WIRE WITH A COLOR DIFFERENT THAN THE CONTROL AND COMMON WIRES. ALL WIRE RUN TO FOLLOW MAINLINE.
9. TRENCHES SHALL BE COMPACTED AND/ OR JETTED TO PREVENT SETTLEMENT.
10. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE:
  - A. PRESSURE TEST MAINLINE UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A MINIMUM OF 2 HOURS. CONTRACTOR MAY CENTER-LOAD PIPE WITH BACKFILL TO PREVENT ARCHING OR SLIPPING OF PIPE. ALL JOINTS SHALL REMAIN EXPOSED FOR INSPECTION.
  - B. COVERAGE TEST, SHALL BE PERFORMED TO DETERMINE IF THE COVERAGE IS COMPLETE AND ADEQUATE.
11. CONTRACTOR SHALL GUARANTEE WORK AGAINST DEFECTIVE INSTALLATION AND FAULTY PARTS FOR PERIOD OF 12 MONTHS.

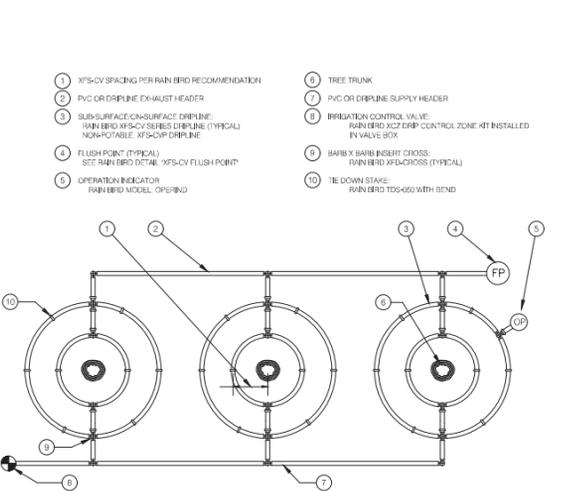
NOTES:  
--PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.\*  
--CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.\*



- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 FLUSH POINT (TYPICAL)
- 4 SEE RAINBIRD DETAIL 'XFS FLUSH POINT OR 'XFS FLUSH POINT WITH BALL VALVE'
- 5 BARRI X MALE FITTING
- 6 RAINBIRD XFS-MA FITTING (TYPICAL)
- 7 PERIMETER OF AREA
- 8 BARRI X BARRI INSERT TEE OR CROSS
- 9 RAINBIRD XFS-TEE OR CROSS
- 10 PERFORATION DRIFLINE PIPE TO BE INSTALLED 2'-4" FROM PERIMETER OF AREA
- 11 SUB-SURFACE DRIFLINE (TYPICAL)
- 12 POTABLE 'XFS DRIFLINE
- 13 NON-POTABLE 'XFS DRIFLINE
- 14 RAINBIRD 'XFS SERIES BLANK TUBING
- 15 AIR RELIEF VALVE (RAINBIRD MODEL: ARV50) SEE RAINBIRD 'XFS MANUAL FOR AIR RELIEF INSTALLATION
- 16 PVC SUPPLY MAIN/LO
- 17 PVC SUPPLY PIPE FROM RAINBIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 18 TOTAL LENGTH OF SELECTED DRIFLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- 19 PVC SCH 40 RISER PIPE

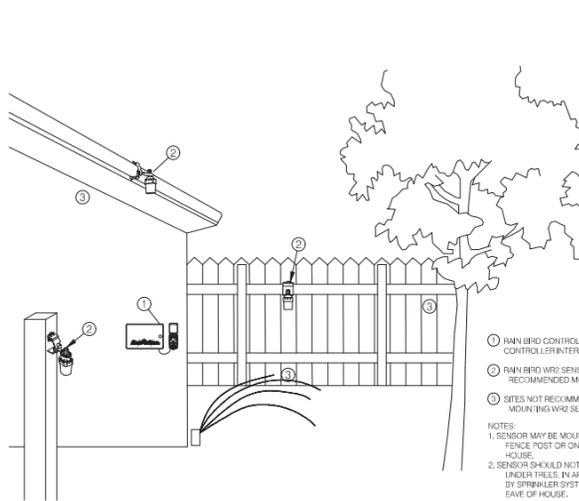
NOTES:  
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGE IN ELEVATION. SEE RAINBIRD 'XFS DRIFLINE INSTALLATION GUIDE FOR SUGGESTED SPACINGS.  
 2. LENGTH OF LONGEST DRIFLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.  
 3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.  
 4. WIRE USING 'TWIN INSERT' FITTINGS WITH DESIGN PRESSURE OVER 50PSI IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

**XFS SUB-SURFACE IRREGULAR SHAPED LAYOUT** (16)  
 SCALE: N.T.S.



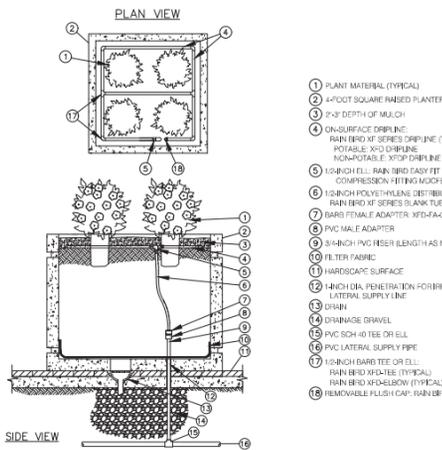
- 1 XFS-CV SPACING PER RAINBIRD RECOMMENDATION
- 2 PVC OR DRIFLINE EXHAUST HEADER
- 3 SUB-SURFACE DRIFLINE (TYPICAL)
- 4 RAINBIRD XFS-CV SERIES DRIFLINE (TYPICAL)
- 5 NON-POTABLE 'XFS-CV DRIFLINE
- 6 FLUSH POINT (TYPICAL)
- 7 SEE RAINBIRD DETAIL 'XFS-CV FLUSH POINT'
- 8 OPERATION INDICATOR (RAINBIRD MODEL: OPERIND)
- 9 TREE TRUNK
- 10 PVC OR DRIFLINE SUPPLY HEADER
- 11 IRRIGATION CONTROL VALVE (RAINBIRD XCFZ-CP CONTROL ZONE KIT INSTALLED IN WALKWAY)
- 12 BARRI X BARRI INSERT CROSS (TYPICAL)
- 13 TIE DOWN STAKE (RAINBIRD TDS-600 WITH BEND)

**RAINBIRD XFS - CV SUBSURFACE DRIFLINE** (17)  
 SCALE: N.T.S.



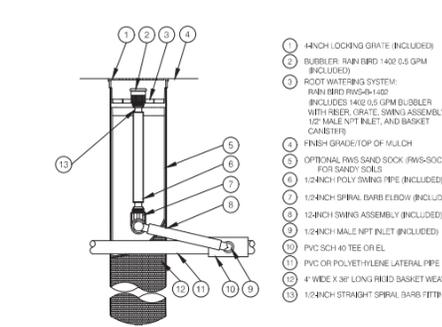
- 1 RAINBIRD CONTROLLER WITH WIR CONTROL INTERFACE
  - 2 RAINBIRD WIR SENSOR (RECOMMENDED MOUNTING SITE)
  - 3 SITES NOT RECOMMENDED FOR MOUNTING WIR SENSOR
- NOTES:  
 1. SENSOR MAY BE MOUNTED ON FENCE, FENCE POST OR ON GUTTER OF HOUSE.  
 2. SENSOR SHOULD NOT BE MOUNTED UNDER TREES IN AREAS AFFECTED BY SPRINKLER SYSTEM OR UNDER EAVE OF HOUSE.

**WR2 WIRELESS RAIN SENSOR LOCATION** (18)  
 SCALE: N.T.S.



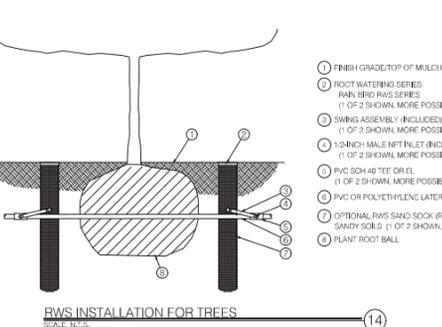
- 1 PLANT MATERIAL (TYPICAL)
- 2 4'-0" SQUARE RAISED PLANTER
- 3 2'-0" DEPTH OF MULCH
- 4 ON-SURFACE DRIFLINE (RAINBIRD 'XFS' SERIES DRIFLINE (TYPICAL))
- 5 POTABLE 'XFS DRIFLINE
- 6 NON-POTABLE 'XFS DRIFLINE
- 7 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 8 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 9 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
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- 16 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 17 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 18 REMOVABLE FLUSH CAP (RAINBIRD MOC74P)

**DRIFLINE RAISED PLANTER** (12)  
 SCALE: N.T.S.



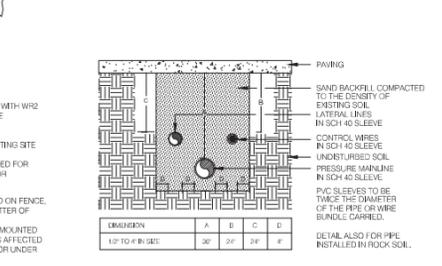
- 1 1/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 2 BUBBLER (RAINBIRD 1402 0.5 GPM (INCLUDED))
- 3 ROOT WATERING SYSTEM (RAINBIRD RWS-4-1402)
- 4 INCLUDES 1402 0.5 GPM BUBBLER WITH FILTER, GRATE, SWING ASSEMBLY, 1/2" MALE NPT INLET, AND BASKET CONDUIT
- 5 FINISH GRADE/TOP OF MULCH
- 6 OPTIONAL RWS SAND SOCK (RWS-SOCK) FOR SANDY SOILS
- 7 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
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- 18 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT

**ROOT WATERING SYSTEM RWS SERIES** (13)  
 SCALE: N.T.S.



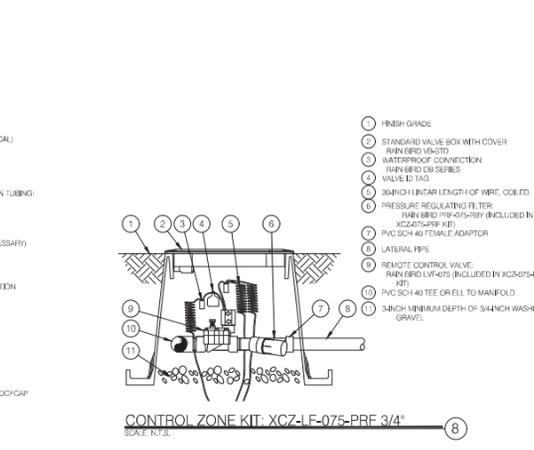
- 1 FINISH GRADE/TOP OF MULCH
- 2 ROOT WATERING SYSTEM (RAINBIRD RWS SERIES)
- 3 (1 OF 2) SHOWAL MORE POSSIBLE
- 4 SWING ASSEMBLY (INCLUDED) (1 OF 2) SHOWAL MORE POSSIBLE
- 5 1/2" (1 OF 2) 1/2" MALE NPT INLET (INCLUDED) (1 OF 2) SHOWAL MORE POSSIBLE
- 6 PVC OR POLYETHYLENE LATERAL PIPE
- 7 PVC OR POLYETHYLENE LATERAL PIPE
- 8 PVC OR POLYETHYLENE LATERAL PIPE
- 9 PVC OR POLYETHYLENE LATERAL PIPE
- 10 PVC OR POLYETHYLENE LATERAL PIPE
- 11 PVC OR POLYETHYLENE LATERAL PIPE
- 12 PVC OR POLYETHYLENE LATERAL PIPE
- 13 PVC OR POLYETHYLENE LATERAL PIPE
- 14 PVC OR POLYETHYLENE LATERAL PIPE
- 15 PVC OR POLYETHYLENE LATERAL PIPE
- 16 PVC OR POLYETHYLENE LATERAL PIPE
- 17 PVC OR POLYETHYLENE LATERAL PIPE
- 18 PVC OR POLYETHYLENE LATERAL PIPE

**RWS INSTALLATION FOR TREES** (14)  
 SCALE: N.T.S.



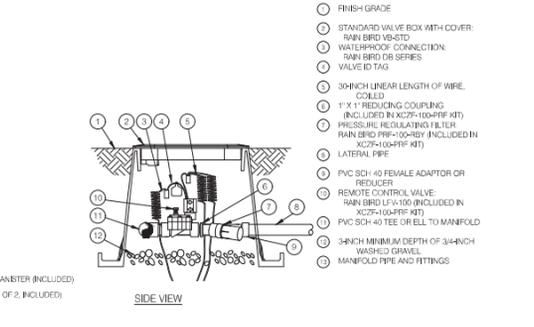
- 1 SAND BACKFILL (COMPACTED)
  - 2 EXISTING SOIL
  - 3 LATERAL LINES
  - 4 CONTROL WIRES
  - 5 IN SCH 40 SLEEVE
  - 6 UNDISTURBED SOIL
  - 7 PRESSURE MAINLINE
  - 8 IN SCH 40 SLEEVE
  - 9 PVC SLEEVES TO BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLES CARRIED.
  - 10 DETAIL ALSO FOR PIPE INSTALLED IN ROCK SOIL.
- | DIMENSION            | A  | B  | C  | D  |
|----------------------|----|----|----|----|
| 1 1/2" TO 4" IN SIZE | 3" | 3" | 2" | 4" |

**SLEEVE INSTALLATION** (15)  
 SCALE: N.T.S.



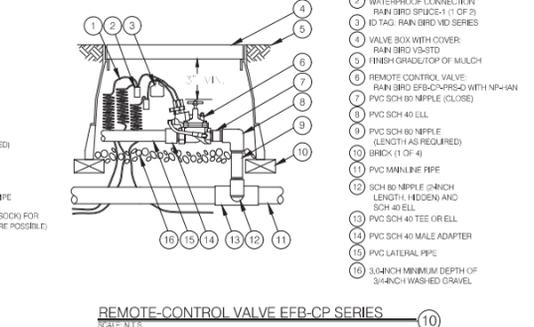
- 1 FINISH GRADE
- 2 STANDARD VALVE BOX WITH COVER (RAINBIRD VB-STD)
- 3 WATERPROOF CONNECTION (RAINBIRD DB SERIES)
- 4 VALVE BOX WITH COVER (RAINBIRD VB-STD)
- 5 VALVE ID TAG
- 6 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 7 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
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**CONTROL ZONE KIT: XCZ-I-F-075-PRF 3/4"** (8)  
 SCALE: N.T.S.



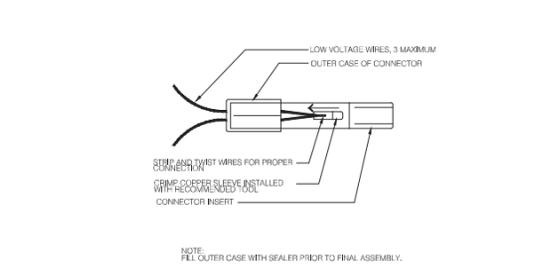
- 1 FINISH GRADE/TOP OF MULCH
- 2 STANDARD VALVE BOX WITH COVER (RAINBIRD VB-STD)
- 3 WATERPROOF CONNECTION (RAINBIRD DB SERIES)
- 4 VALVE BOX WITH COVER (RAINBIRD VB-STD)
- 5 VALVE ID TAG
- 6 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
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**CONTROL ZONE KIT: XCZF-100-PRF 1"** (9)  
 SCALE: N.T.S.



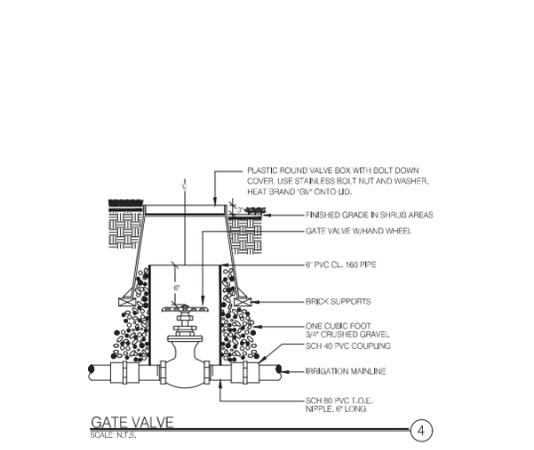
- 1 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 2 WATERPROOF CONNECTION (RAINBIRD DB SERIES) (1 OF 2)
- 3 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 4 VALVE BOX WITH COVER (RAINBIRD VB-STD)
- 5 FINISH GRADE/TOP OF MULCH
- 6 REMOTE CONTROL VALVE (RAINBIRD EFB-CP) WITH NPT-HAN
- 7 PVC SCH 40 NPT (CLOSE)
- 8 PVC SCH 40 ELL
- 9 PVC SCH 40 NPT (LENGTH AS REQUIRED)
- 10 BRCK (1 OF 4)
- 11 PVC MAINLINE PIPE
- 12 SCH 80 NPT (3/4" (1 OF 2) SHOWAL MORE POSSIBLE)
- 13 PVC SCH 40 TEE OR ELL
- 14 PVC SCH 40 MALE ADAPTER
- 15 PVC LATERAL PIPE
- 16 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT

**REMOTE-CONTROL VALVE EFB-CP SERIES** (10)  
 SCALE: N.T.S.



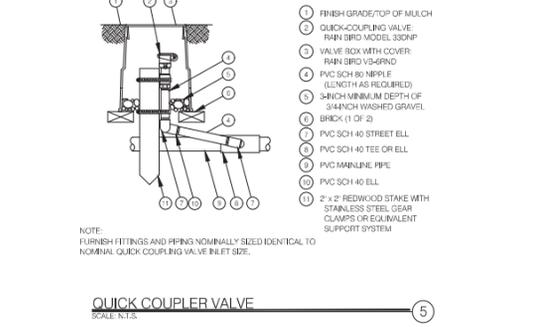
- 1 LOW VOLTAGE WIRES, 3 MAXIMUM
  - 2 OUTER CASE OF CONNECTOR
  - 3 STRIP AWAY TO REVEAL WIRE
  - 4 CRIMP COPPER SLEEVE INSTALLED WITH RECOMMENDED TOOL
  - 5 CONNECTOR INSERT
- NOTE: FILL OUTER CASE WITH SEALER PRIOR TO FINAL ASSEMBLY.

**WIRE CONNECTION** (11)  
 SCALE: N.T.S.



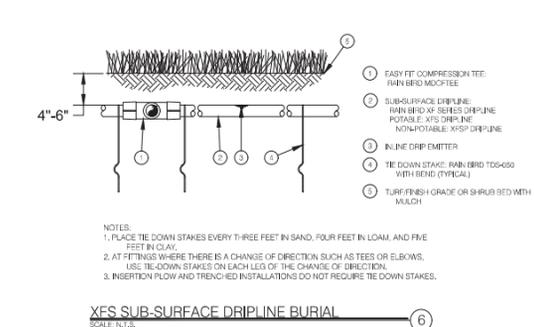
- 1 FINISH GRADE/TOP OF MULCH
- 2 STANDARD VALVE BOX WITH COVER (RAINBIRD VB-STD)
- 3 WATERPROOF CONNECTION (RAINBIRD DB SERIES)
- 4 VALVE BOX WITH COVER (RAINBIRD VB-STD)
- 5 VALVE ID TAG
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- 15 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 16 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 17 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 18 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT

**GATE VALVE** (4)  
 SCALE: N.T.S.



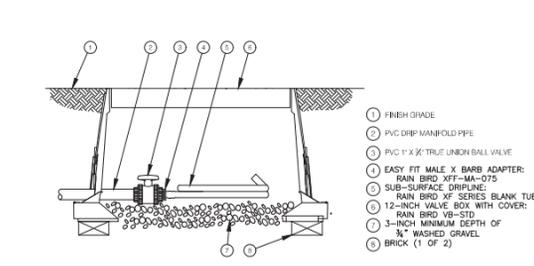
- 1 FINISH GRADE/TOP OF MULCH
  - 2 QUICK-COUPLING VALVE (RAINBIRD MODEL: 330P)
  - 3 VALVE BOX WITH COVER (RAINBIRD VB-STD)
  - 4 PVC SCH 80 NPT (LENGTH AS REQUIRED)
  - 5 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
  - 6 BRCK (1 OF 2)
  - 7 PVC SCH 40 STREET ELL
  - 8 PVC SCH 40 TEE OR ELL
  - 9 PVC MAINLINE PIPE
  - 10 PVC SCH 40 ELL
  - 11 2" x 2" REDWOOD STAKE WITH STAINLESS STEEL GEAR CLAMP OR EQUIVALENT CLAMP SYSTEM
- NOTE: FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK-COUPLING VALVE INLET SIZE.

**QUICK COUPLER VALVE** (5)  
 SCALE: N.T.S.



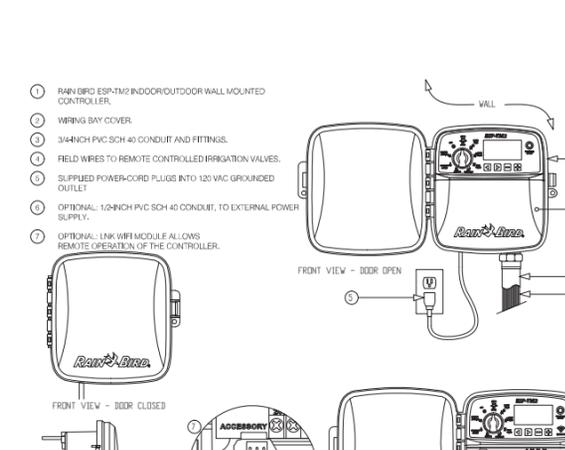
- 1 EACH FIT COMPRESSION TEE (RAINBIRD MOC74E)
- 2 SUB-SURFACE DRIFLINE (RAINBIRD 'XFS' SERIES DRIFLINE (TYPICAL))
- 3 POTABLE 'XFS DRIFLINE
- 4 NON-POTABLE 'XFS DRIFLINE
- 5 IN-LINE DRIP EMITTER
- 6 TIE DOWN STAKE (RAINBIRD TDS-600 WITH BEND) (TYPICAL)
- 7 TURF/FINISH GRADE OR SHRUB BED WITH MULCH

**XFS SUB-SURFACE DRIFLINE BURIAL** (6)  
 SCALE: N.T.S.



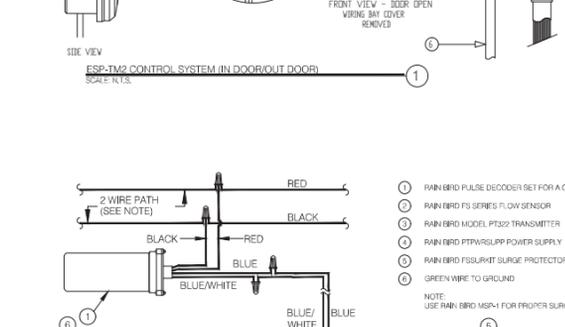
- 1 FINISH GRADE
- 2 PVC DRIP MAIN/LOD PIPE
- 3 PVC 1" X 3/4" TRUE UNION BALL VALVE
- 4 EASY FIT MALE X BARB ADAPTER (RAINBIRD XFF-MA-075)
- 5 SUB-SURFACE DRIFLINE (RAINBIRD 'XFS' SERIES BLANK TUBING)
- 6 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 7 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 8 BRCK (1 OF 2)

**SUB-SURFACE FLUSH POINT WITH BALL VALVE** (7)  
 SCALE: N.T.S.



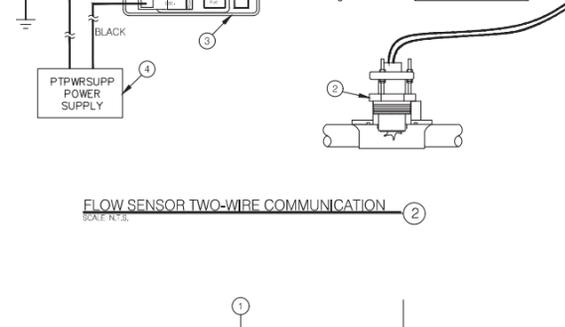
- 1 RAINBIRD ESP-TM2 INDOOR/OUTDOOR WALL MOUNTED CONTROLLER
- 2 WIRING BAY COVER
- 3 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 4 FIELD WIRES TO REMOTE CONTROLLED IRRIGATION VALVES
- 5 SUPPLIED POWER-CORD PLUGS INTO 120 VAC GROUNDED OUTLET
- 6 OPTIONAL: 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT TO EXTERNAL POWER SUPPLY
- 7 OPTIONAL: LINK WIRING MODULE ALLOWS REMOTE OPERATION OF THE CONTROLLER

**ESP-TM2 CONTROL SYSTEM (IN DOOR/OUT DOOR)** (1)  
 SCALE: N.T.S.



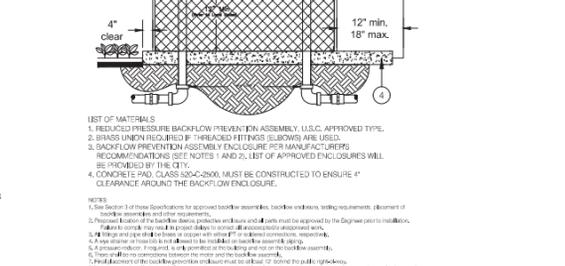
- 1 RAINBIRD FLSR DECODER SET FOR A CHANNEL DECAL
  - 2 RAINBIRD FLSR SERIES FLOW SENSOR
  - 3 RAINBIRD MODEL PFS3 TRANSMITTER
  - 4 RAINBIRD PTPWRSUPP POWER SUPPLY
  - 5 RAINBIRD FSSURKIT SURGE PROTECTOR
  - 6 GREEN WIRE TO GROUND
- NOTE: USE RAINBIRD MSA-1 FOR PROPER SURGE PROTECTION.

**FLOW SENSOR TWO-WIRE COMMUNICATION** (2)  
 SCALE: N.T.S.



- 1 FINISH GRADE
- 2 PVC DRIP MAIN/LOD PIPE
- 3 PVC 1" X 3/4" TRUE UNION BALL VALVE
- 4 EASY FIT MALE X BARB ADAPTER (RAINBIRD XFF-MA-075)
- 5 SUB-SURFACE DRIFLINE (RAINBIRD 'XFS' SERIES BLANK TUBING)
- 6 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 7 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 8 BRCK (1 OF 2)

**SUB-SURFACE FLUSH POINT WITH BALL VALVE** (7)  
 SCALE: N.T.S.



- 1 FINISH GRADE
- 2 PVC DRIP MAIN/LOD PIPE
- 3 PVC 1" X 3/4" TRUE UNION BALL VALVE
- 4 EASY FIT MALE X BARB ADAPTER (RAINBIRD XFF-MA-075)
- 5 SUB-SURFACE DRIFLINE (RAINBIRD 'XFS' SERIES BLANK TUBING)
- 6 1/2" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 7 3/4" (1 OF 2) 1/2" MALE NPT INLET AND BASKET CONDUIT
- 8 BRCK (1 OF 2)

**SUB-SURFACE FLUSH POINT WITH BALL VALVE** (7)  
 SCALE: N.T.S.